



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 26, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard and Side Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	2825 Lake St	Case No.:	2010.0931V
Cross Street(s):	Southside Of 29th Ave. & 30th Ave.	Building Permit:	2010.10.08.2618
Block / Lot No.:	1389/001A	Applicant/Agent:	Lewis Butler
Zoning District(s):	RH-1(D) / 40-X	Telephone:	415-674-5554
Area Plan:	n/a	E-Mail:	butler@butlerarmsden.com

PROJECT DESCRIPTION

The project proposes new third floor and rear horizontal additions to the existing two-story, single-family house. A one-story vertical addition above the existing garage structure is also proposed.

Planning Code Section 134 requires a rear yard depth equivalent to 25 percent of the lot depth. The project requires an approximately 19 foot rear yard at the greatest depth. As the existing house and garage structure are within the required rear yard, any expansion of these structures would require a rear yard variance.

Planning Code Section 133 requires two 5- foot side yards at the property. The existing garage structure is constructed into the western required side yard, and the vertical expansion of the garage structure would require a side yard variance, in addition to the rear yard variance referenced above.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **glenn cabreros** Telephone: **415-558-6169** Mail: glenn.cabreros@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0931V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

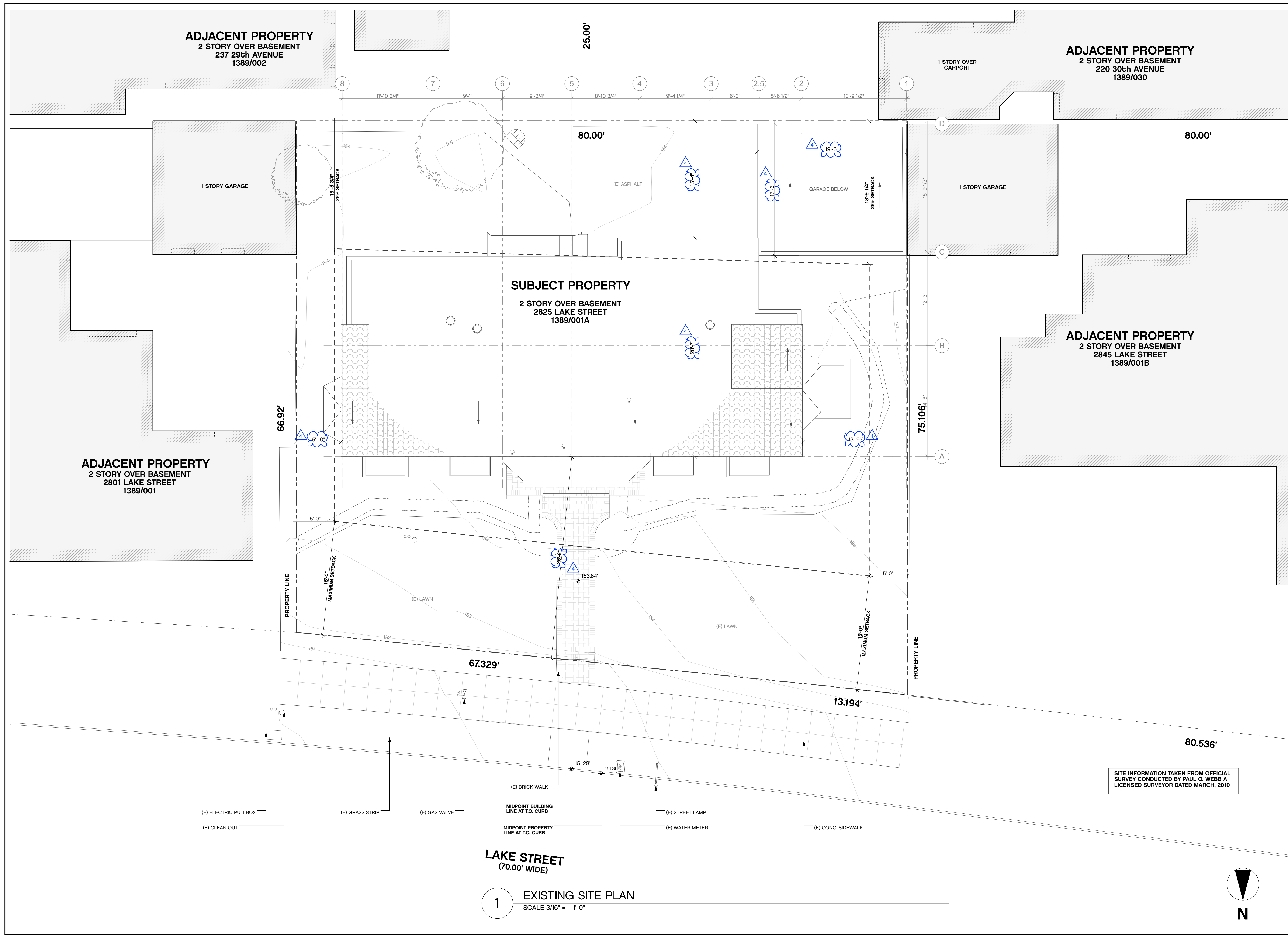
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.





Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



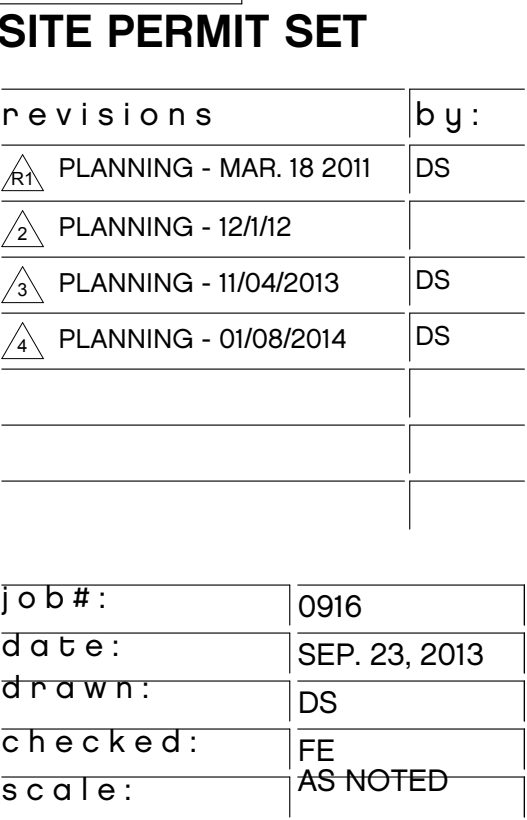
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 1	PLANNING - MAR. 18 2011	DS
 2	PLANNING - 12/11/12	
 3	PLANNING - 11/04/2013	DS
 4	PLANNING - 01/08/2014	DS

job#:	0916
date:	SEP. 23, 2013
drawn:	DS
checked:	FE
scale:	AS NOTED

**SITE INFORMATION TAKEN FROM OFFICIAL
SURVEY CONDUCTED BY PAUL O. WEBB A
LICENSED SURVEYOR DATED MARCH, 2010**

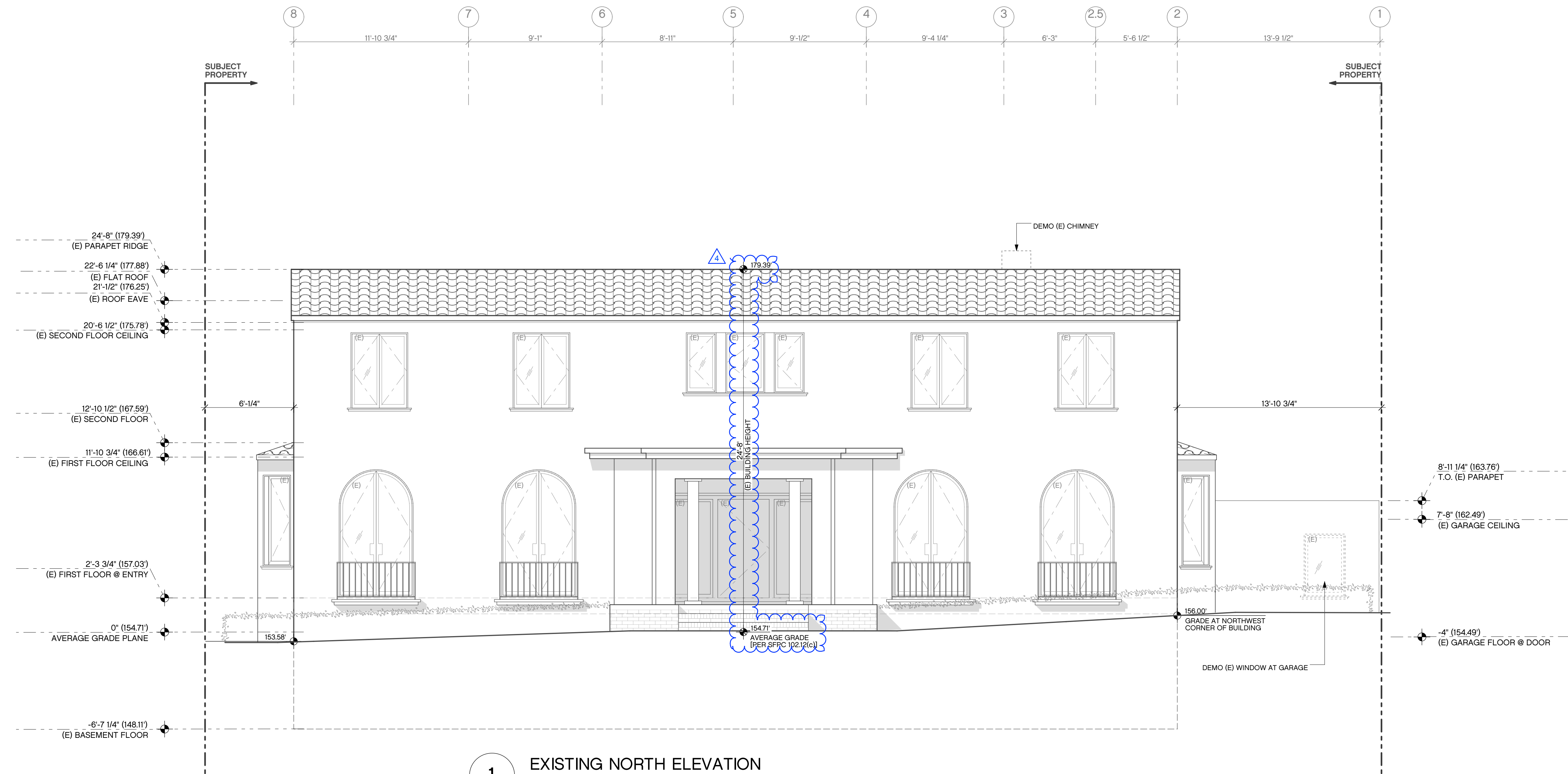
EXISTING SITE PLAN

A0.3





2 EXISTING NORTH ELEVATION
SCALE 1/8" = 1'-0"



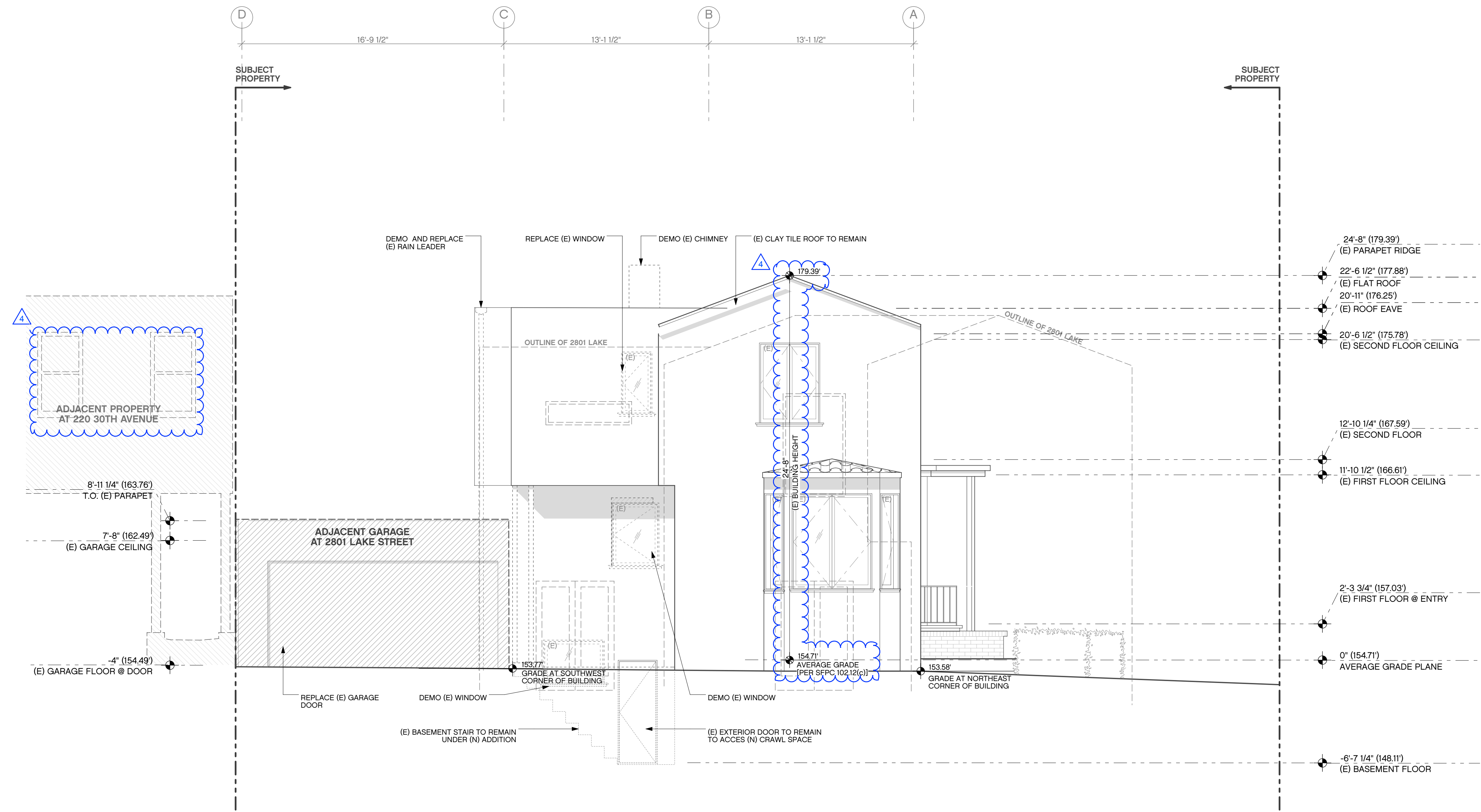
1 EXISTING NORTH ELEVATION
SCALE 1/4" = 1'-0"

SITE PERMIT SET

revisions	by:
△ PLANNING - 12/1/12	
△ PLANNING - 11/04/2013	DS
△ PLANNING - 01/08/2014	DS

job #:	0916
date:	SEP. 23, 2013
drawn:	DS
checked:	FE
scale:	AS NOTED

EXISTING
ELEVATION



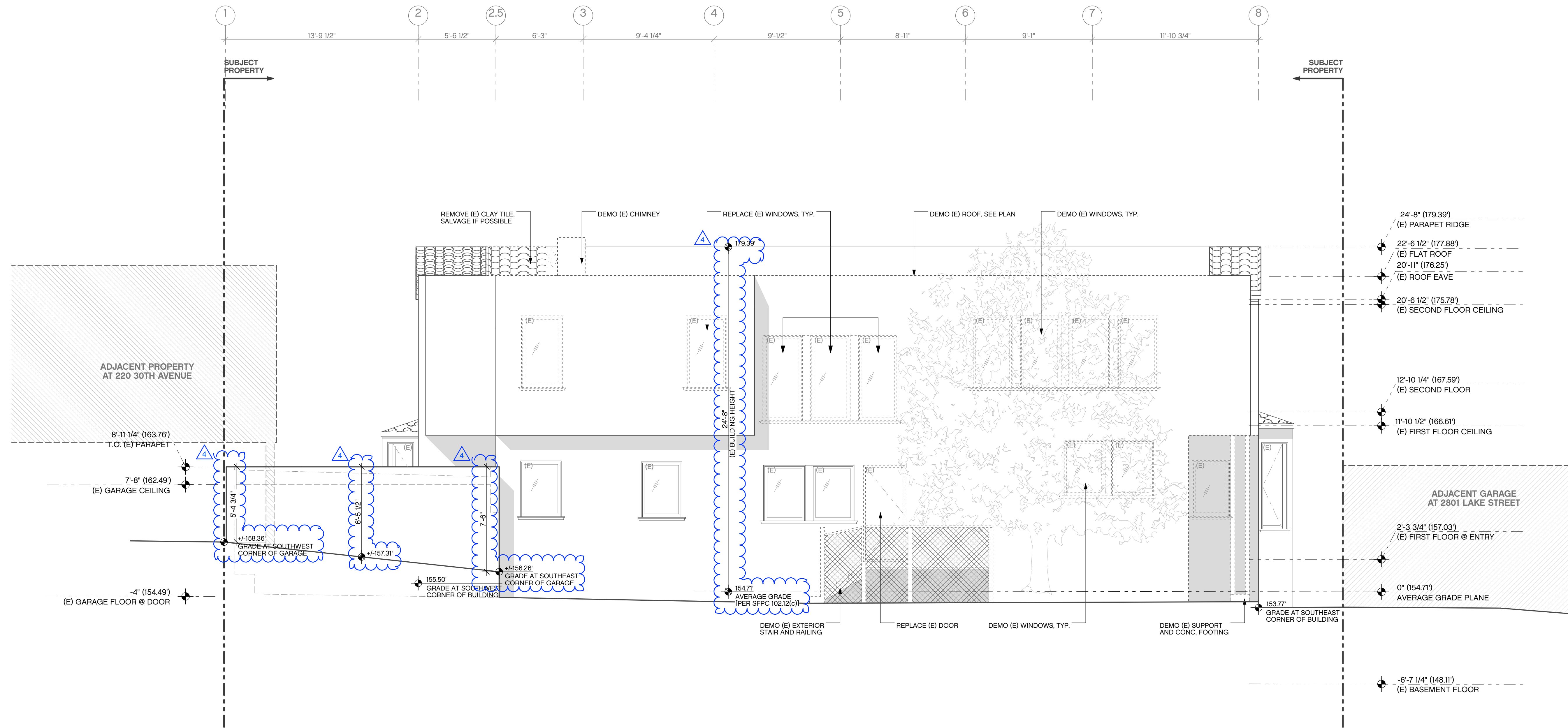
1 EXISTING EAST ELEVATION
SCALE 1/4" = 1'-0"

SITE PERMIT SET

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△ PLANNING - 12/1/12	
△ PLANNING - 11/04/2013	DS
△ PLANNING - 01/08/2014	DS

job #:	0916
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EXISTING
ELEVATION



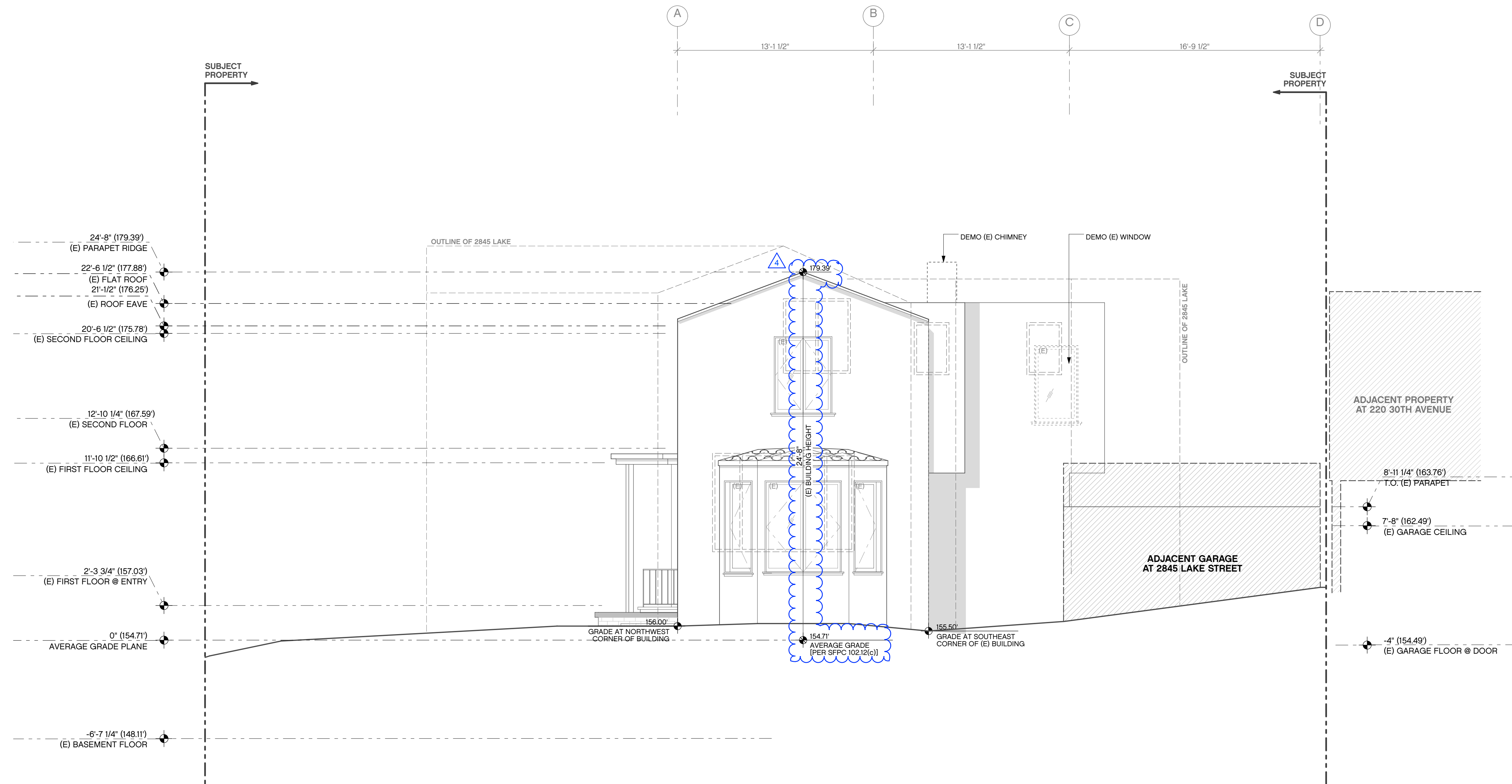
1 EXISTING SOUTH ELEVATION
SCALE 1/4" = 1'-0"

SITE PERMIT SET

revisions	by:
△ PLANNING - 12/1/12	
△ PLANNING - 11/04/2013	DS
△ PLANNING - 01/08/2014	DS

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EXISTING
ELEVATION

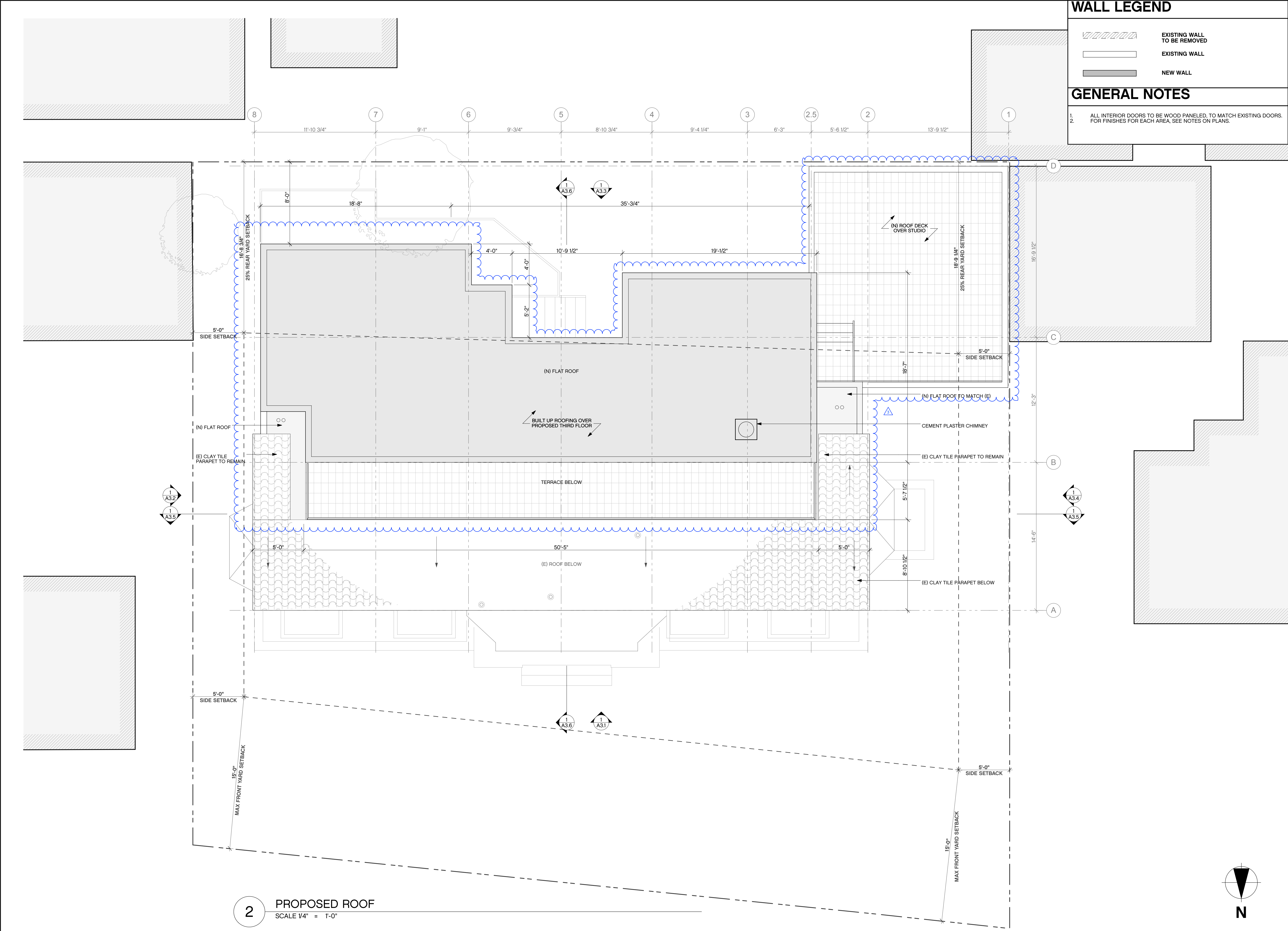


SITE PERMIT SET

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EXISTING
ELEVATION



WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL

GENERAL NOTES

- ALL INTERIOR DOORS TO BE WOOD PANELED, TO MATCH EXISTING DOORS.
- FOR FINISHES FOR EACH AREA, SEE NOTES ON PLANS.

Butler Armsden
ARCHITECTS

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e architects@butlerarmsden.com
www.butlerarmsden.com

DORF RESIDENCE

2825 LAKE STREET, SAN FRANCISCO, CA 94121

SITE PERMIT SET

revisions	by:
PLANNING - MAR. 18 2011	DS
PLANNING - 12/1/12	
PLANNING - 11/04/2013	DS

job #:	0916
date:	OCT 12 2012
drawn:	JB
checked:	FE
scale:	AS NOTED

ROOF
PROPOSED PLAN

A2.5

SITE PERMIT SET

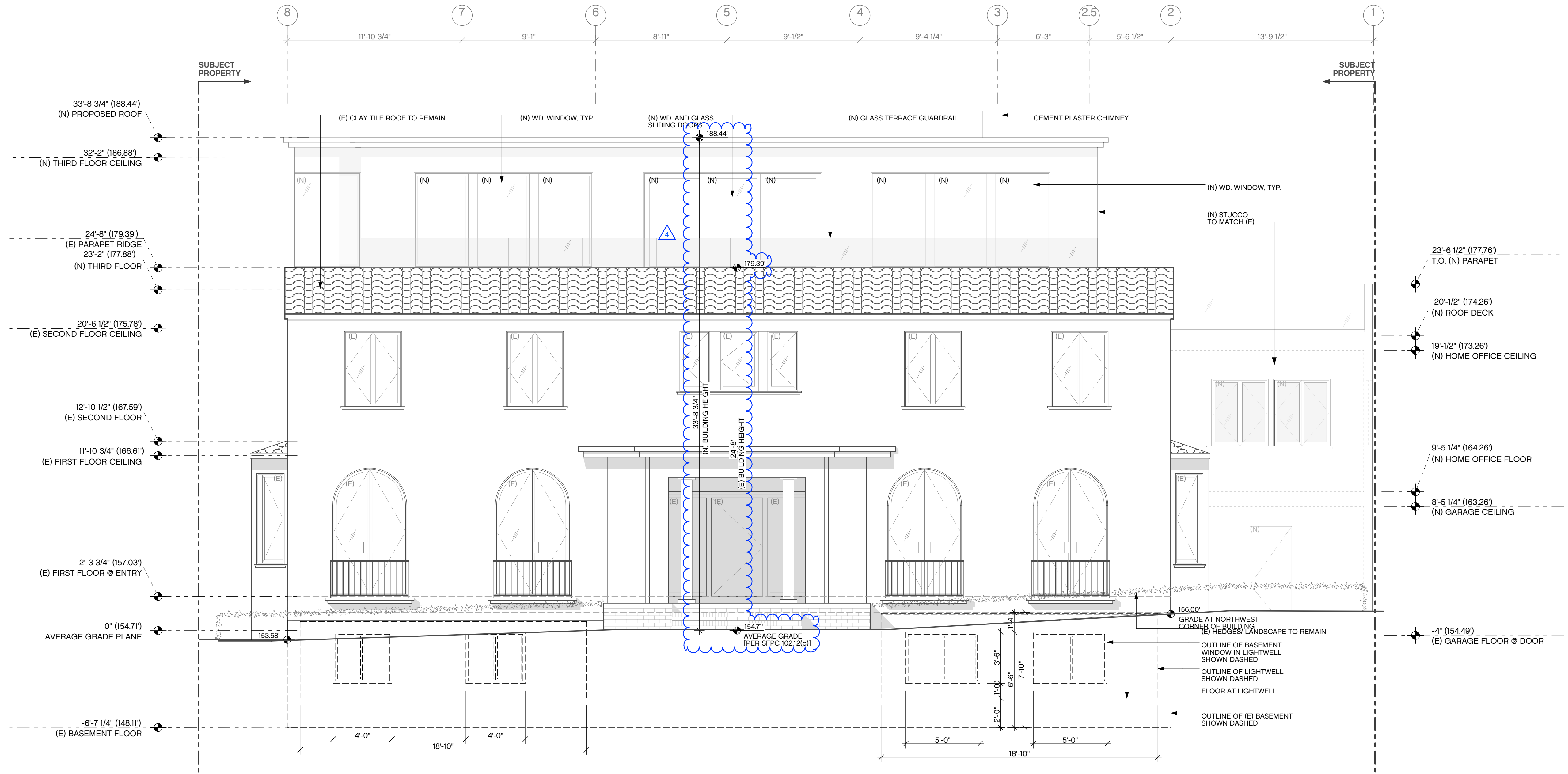
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△ PLANNING - 11/04/2013	DS
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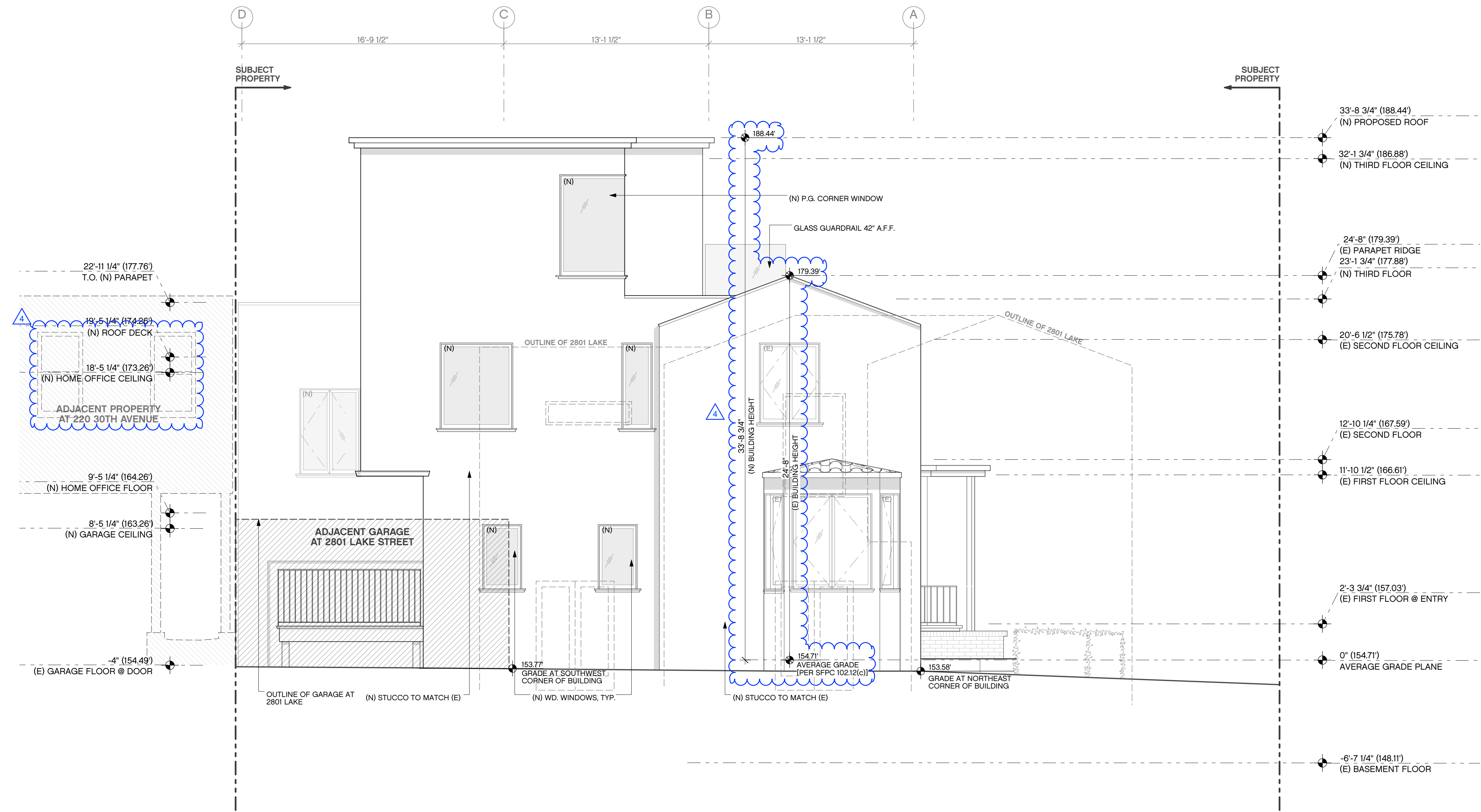
**EXTERIOR
ELEVATION**



2 PROPOSED NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0"

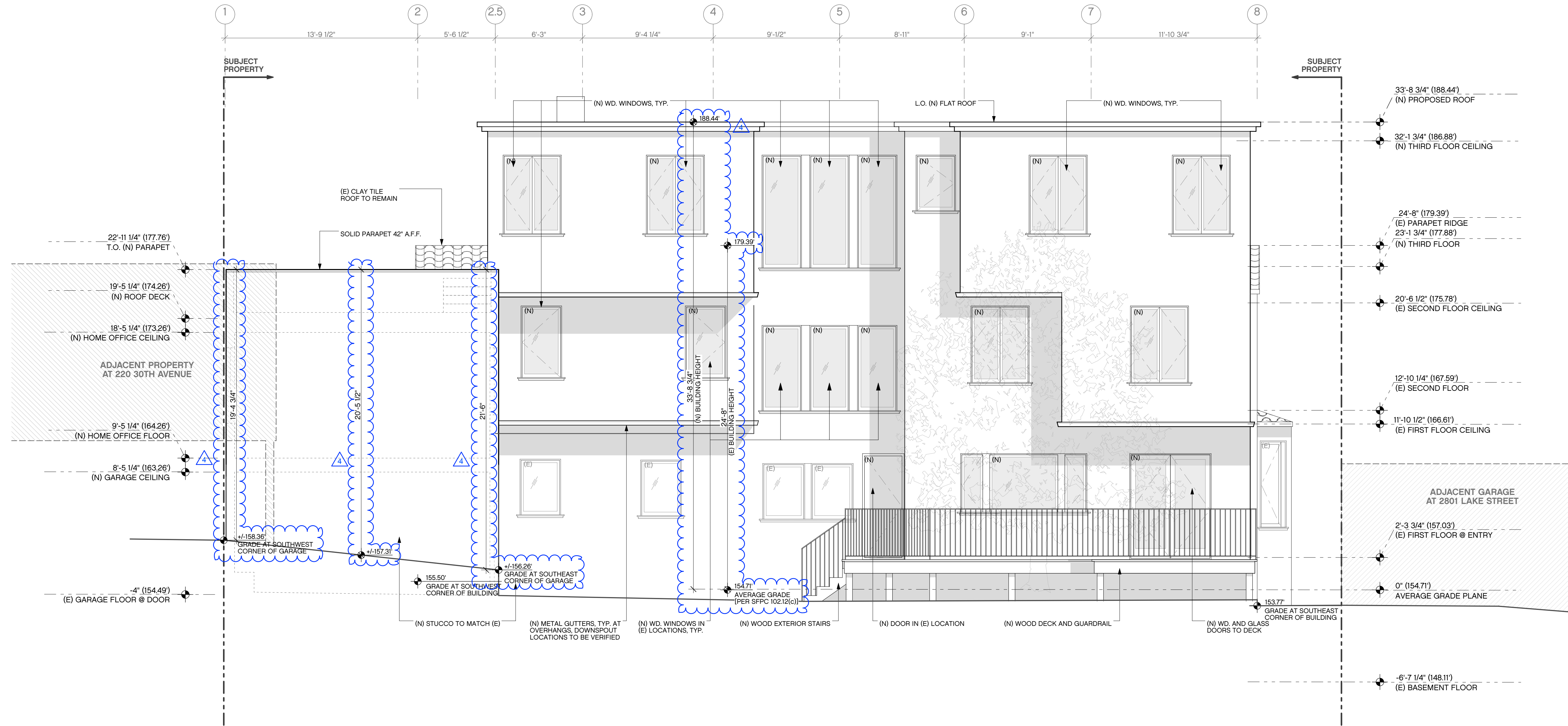
SITE PERMIT SET

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EXTERIOR
ELEVATION

DORF RESIDENCE
2825 LAKE STREET, SAN FRANCISCO, CA 94121



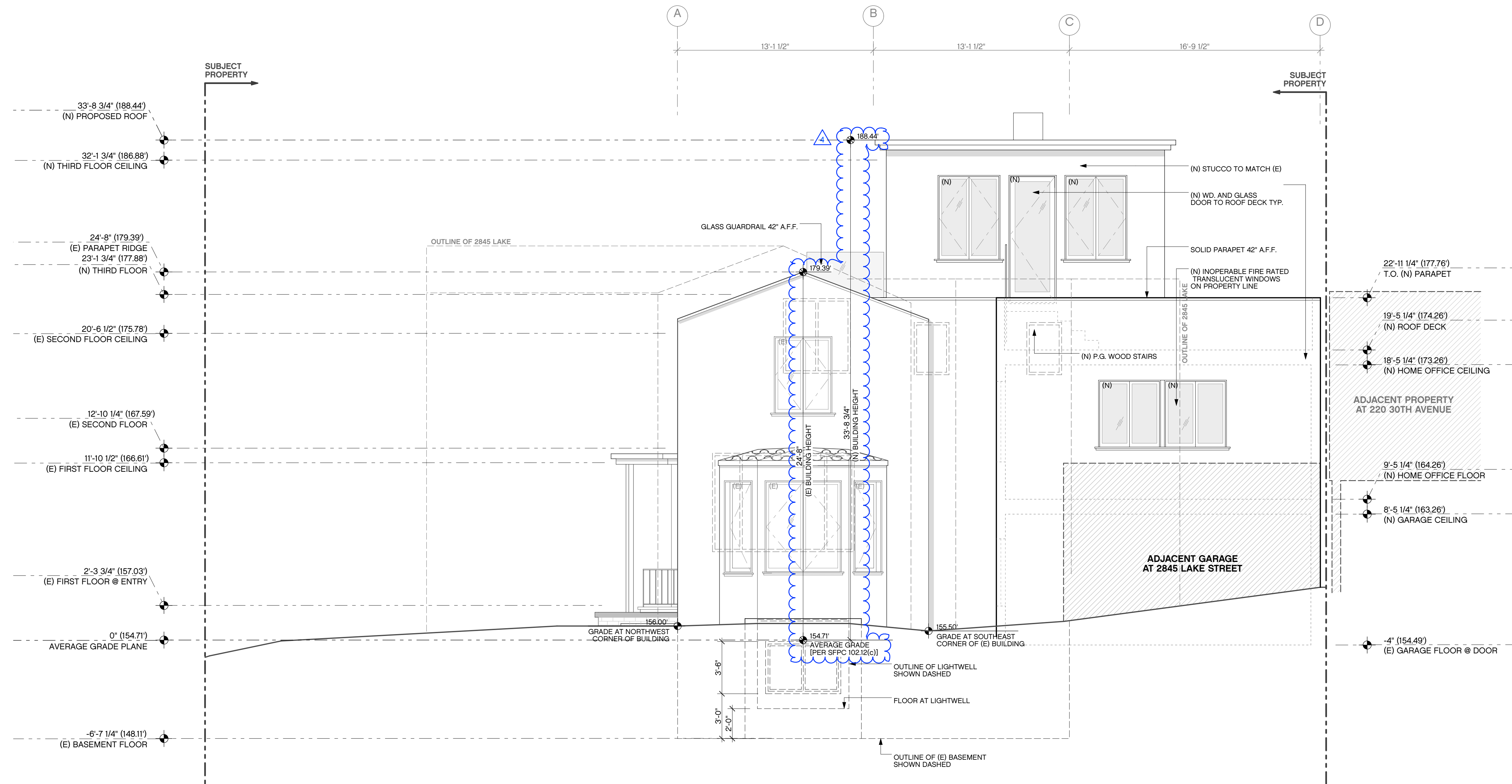
1 PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0"

SITE PERMIT SET

revisions	by:
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EXTERIOR
ELEVATION



1 PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"

SITE PERMIT SET

revisions	by:
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EXTERIOR
ELEVATION