



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 23, 2011**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>631 Moultrie Street</b> Cross Street(s): <b>btw Tompkins &amp; Ogden</b> Block /Lot No.: <b>5723 / 025</b> Zoning District(s): <b>RH-1 / 40-X</b> Area Plan: <b>Bernal Heights SUD</b>	Case No.: <b>2010.0922V</b> Building Permit: <b>2010.08.20.9210</b> Applicant/Agent: <b>Mike Pitler</b> Telephone: <b>(510) 368-1499</b>

### PROJECT DESCRIPTION

The proposal is to replace the existing second floor rear deck and stairs with a new rear deck and stairs with the same design. The proposal will not add square footage to the existing building. Since the proposed project will replace an existing deck and stairs, the project will not increase a discrepancy in the requirements of the Planning Code.

**PER SECTION 242(e)(2) OF THE PLANNING CODE** the subject property is required to maintain a rear yard of 35 percent of lot depth for lots 70 feet or less in a Bernal Heights RH-1 District. In this case, 35 percent of lot depth would be 24.5 feet. The existing deck and stairs already intrudes into the required rear yard, leaving a rear yard of 18.5 feet. The new deck and stairs will be located within the required rear yard. Therefore, this project requires a rear yard variance.

### ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0922V.pdf>

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Erika S. Jackson** Telephone: **(415) 558-6363** E-Mail: [erika.jackson@sfgov.org](mailto:erika.jackson@sfgov.org)

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

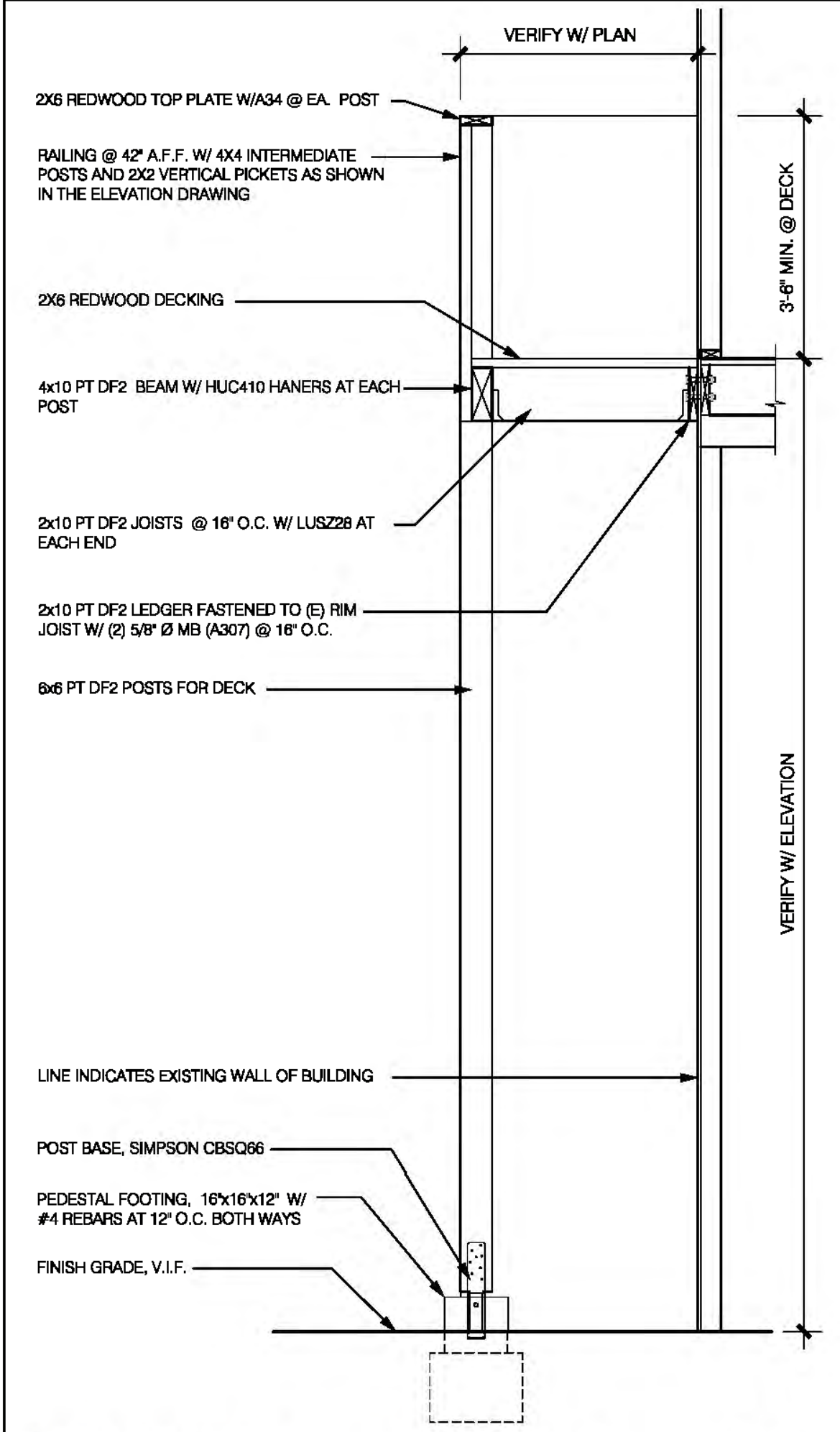
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.





DECK SECTION - 1/2" = 1'-0" SCALE 19/A0.1



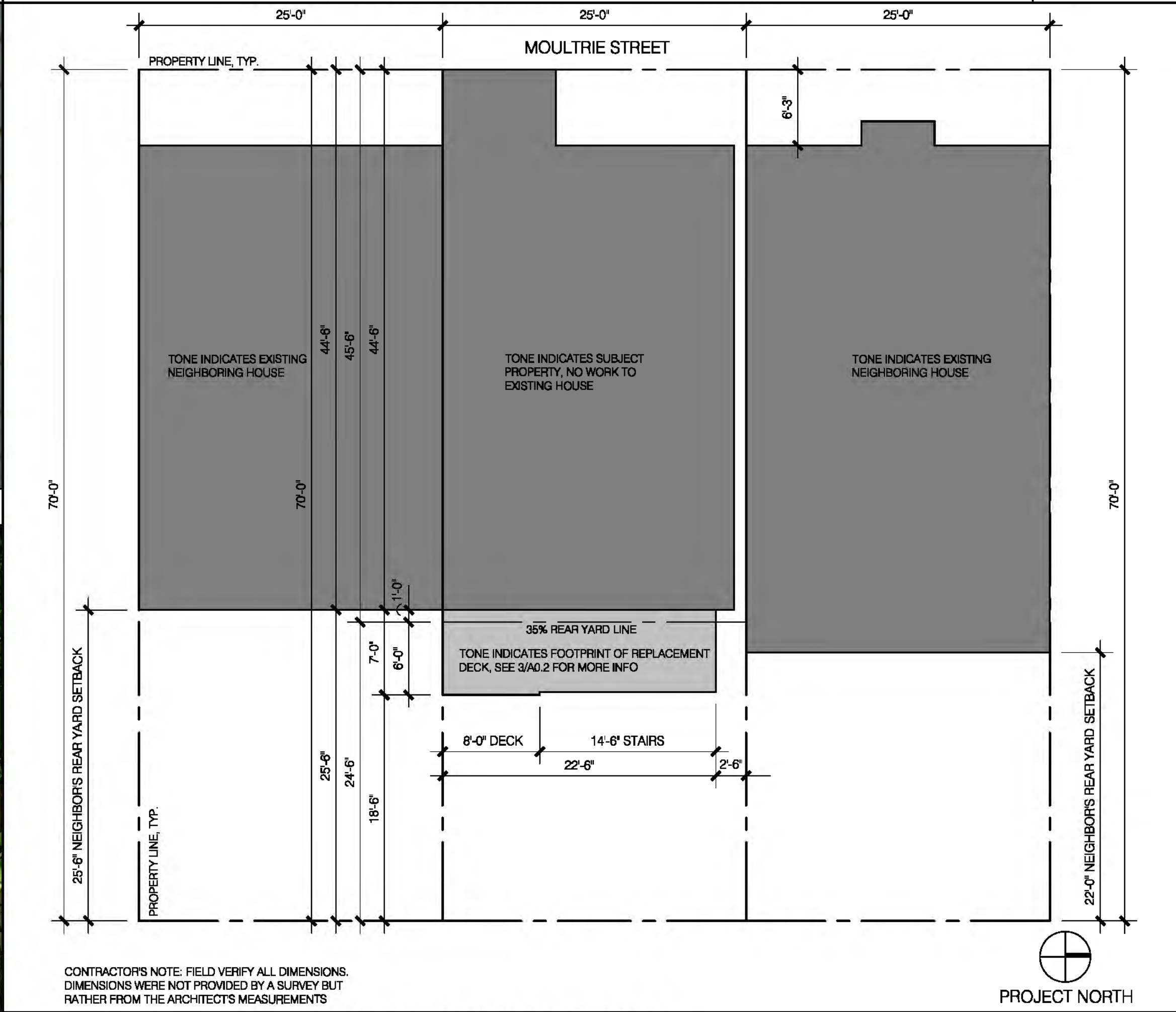
EXISTING DECK PHOTO 18/A0.1



EXISTING DECK PHOTO 17/A0.1



DECK SECTION/ELEVATION - 1/4" = 1'-0" SCALE 11/A0.1



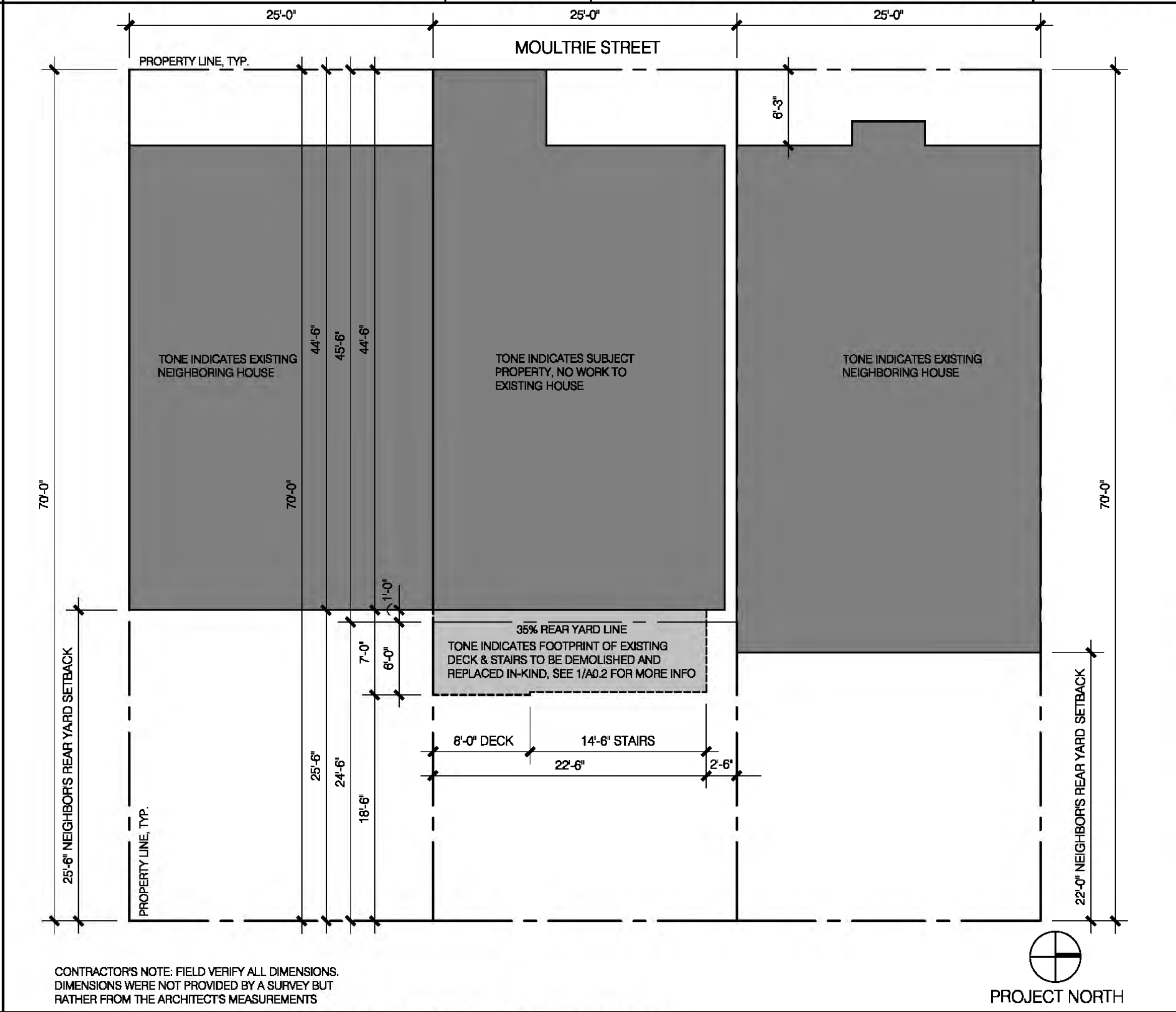
SITE PLAN - PROPOSED CONDITIONS: 1/8"=1'-0" 9/A0.1



GOOGLE AERIAL PHOTO/SITE PLAN 7/A0.1

PROJECT TEAM AND CONTACT INFORMATION:	
CLIENT:	CHRIS FILLIUS & ALLISON GRAY 631 MOULTRIE STREET SAN FRANCISCO, CA 94110 (855) 862-9117 CHRISFILLIUS@YAHOO.COM
ARCHITECT:	MIKE PITLER ARCHITECTURE C/O MIKE PITLER, R.A. 596 86TH STREET OAKLAND, CA 94609 (510) 366-1499 MIKE@MP-ARCHITECTURE.COM
STRUCTURAL ENGINEER:	FAR ASSOCIATES C/O FERNANDO RIVERA 3515 17TH STREET SAN FRANCISCO, CA 94114 (415) 756-0612 FERNANDO@FARENGINEERS.COM
PROJECT DATA:	
PROJECT DESCRIPTION:	DEMOLITION AND IN-KIND REPLACEMENT OF EXISTING REAR-YARD DECK & STAIRS.
ZONING DISTRICT:	RH-1
OCCUPANCY TYPE:	R-3
CONSTRUCTION TYPE:	V-N
APPLICABLE CODES:	THIS PROJECT SHALL COMPLY WITH THE 2007 CALIFORNIA BUILDING CODE, WHICH ADOPTS THE 2006 IBC, 2006 UMC, 2006 UPC, 2006 NEC, AND THE CURRENT SAN FRANCISCO BUILDING AND PLANNING CODES
APPLICABLE SF PLANNING CODE SECTIONS:	
SAN FRANCISCO PLANNING CODE SECTION 19B0. ITEM 14 STATES THAT 'STEPS OF ANY TYPE NOT MORE THAN THREE FEET ABOVE GRADE, AND UNCOVERED STAIRWAYS AND LANDINGS NOT EXTENDING HIGHER THAN THE FLOOR LEVEL OF THE ADJACENT FIRST FLOOR OF OCCUPANCY ABOVE THE GROUND STORY, AND, IN THE CASE OF YARDS AND USABLE OPEN SPACE, EXTENDING NO MORE THAN SIX FEET INTO THE REQUIRED OPEN AREA FOR ANY PORTION THAT IS MORE THAN THREE FEET ABOVE GRADE, PROVIDED THAT ALL SUCH STAIRWAYS AND LANDINGS SHALL OCCUPY NO MORE THAN 2/3 THE BUILDABLE WIDTH OF THE LOT ALONG A FRONT OR REAR BUILDING WALL, 2/3 THE BUILDABLE LENGTH OF A STREET SIDE BUILDING WALL, OR 1/3 THE LENGTH OF ALL OPEN AREAS ALONG THE BUILDABLE LENGTH OF AN INTERIOR SIDE LOT LINE.	
BUILDING HEIGHT:	NO CHANGE TO EXISTING HEIGHT
LOT COVERAGE:	NO CHANGE TO LOT COVERAGE
BUILDING FLOOR AREA:	NO CHANGE TO BUILDING FLOOR AREA
SETBACKS:	NO CHANGE TO EXISTING SETBACKS, SEE SITE PLAN FOR MORE INFO
GENERAL NOTES:	
1. ALL INFORMATION SHOWN ON THE DRAWINGS IS RELATIVE TO EXISTING CONDITIONS THAT HAVE BEEN FIELD VERIFIED/OBSERVED BY THE ARCHITECT AND WITHOUT A GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND GRADES AT THE JOB SITE AND NOTIFY THE ENGINEER AND OR ARCHITECT OF ANY DISCREPANCIES. WHEN DIMENSIONS AND/OR ARE NOT SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOT SCALE OFF OF THE DRAWINGS BUT RATHER SHALL REQUEST THESE DIMENSIONS AND/OR DETAILS FROM THE ENGINEER AND ARCHITECT.	

PROJECT INFO & GENERAL NOTES 3/A0.1



SITE PLAN - EXISTING CONDITIONS: 1/8"=1'-0" 1/A0.1

[mp-a]  
mike pitler architecture

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BLOCK 5723 / LOT 025  
SAN FRANCISCO · CALIFORNIA · 94110

LICENSED ARCHITECT  
MICHAEL P. PITLER  
No. C-30445  
12/1/10  
RENEWAL DATE  
STATE OF CALIFORNIA

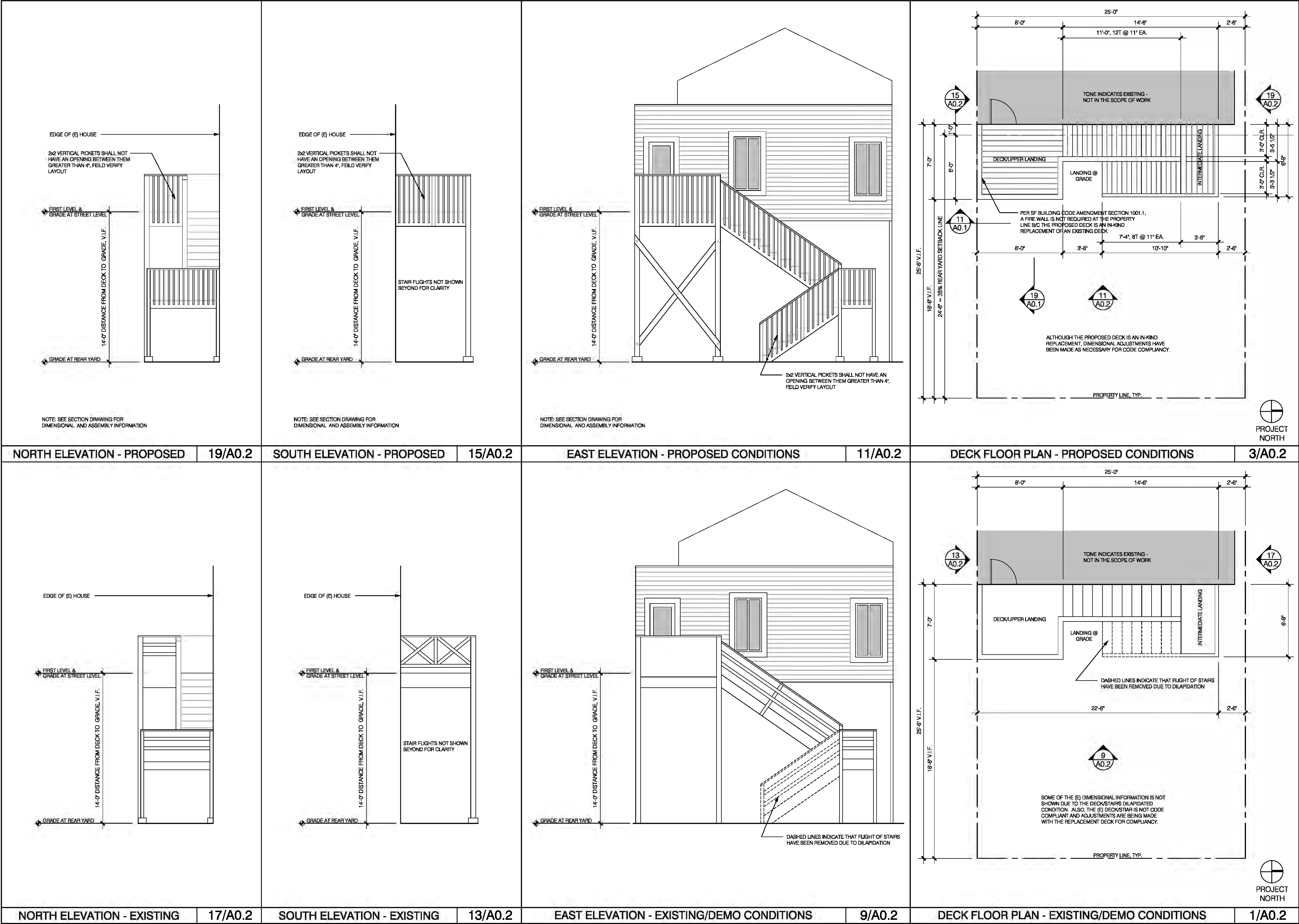
REVISIONS AND RELEASES:  
PERMIT SET 11/01/10

COVERSHEET  
W/ DATA, SITE  
PLANS,  
SECTIONS &  
PHOTOS

PREPARED BY: MHP  
DATE: 10/01/10  
SCALE: VARIES  
DRAWING NO.

A0.1





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LICENSED ARCHITECT  
MICHAEL H. PITLER  
No. C-30445  
12/11/10  
RENEWAL DATE  
STATE OF CALIFORNIA

REVISIONS AND RELEASES:  
PERMIT SET 11/01/10

DECK PLAN & ELEVATIONS - EXISTING AND PROPOSED CONDITIONS

PREPARED BY: MHP  
DATE: 10/01/10  
SCALE: VARIES  
DRAWING NO.

A0.2