



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 23, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Front Setback)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	132 Hamerton Ave.	Case No.:	2010.0829V
Cross Street(s):	Mangels and Bosworth	Building Permit:	2010.12.22.7224
Block /Lot No.:	6760/003	Applicant/Agent:	William Pashelinsky
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 379.3676
Area Plan:	N/A	E-Mail:	billpash@gmail.com
PROJECT DESCRIPTION			
The proposal is for new construction of a two-story detached structure at the front of the lot. The structure would extend to the front property line, be set back seven-feet from the south side property line, and measure 29-feet in depth. The ground floor of the structure would contain a one-car garage and the second floor would contain 328 square-feet of habitable area, including a half bath that is accessory to the dwelling unit. PER SECTION 132 OF THE PLANNING CODE the subject property is required to maintain a front setback of approximately 11'-8". The proposed structure would extend to the front property line, encroaching approximately 11'-8" feet into the required front setback; therefore, the project requires a variance from the front setback requirement of the Planning Code.			
ADDITIONAL INFORMATION			
FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Michael Smith Telephone: (415) 558-6322 E-Mail: michael.e.smith@sfgov.org			
ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0829V.pdf			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The required Section 311 notification for this project was mailed on March 8, 2011 and will expire on April 7, 2011.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES:

INTENT OF DOCUMENTS:

It is the intent of these Contract Documents to establish a high quality of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of the work without additional cost to the Owner. All materials and methods of installation shall be in accordance with industry standards and manufacturers recommendations.

A. All materials and workmanship shall conform to the requirements of the following codes and regulations and any other local and state laws and regulations:

California Building Code 2007 Edition
and the San Francisco Amendments 2007 Edition
California Fire Code 2007 Edition
California Plumbing Code 2007 Edition
California Electrical Code 2007 Edition
California Mechanical Code 2007 Edition

Verify all existing conditions and dimensions at the project site. Notify the Architect and/or Engineer of any discrepancies before beginning construction.

B. Provide adequate and proper shoring and bracing to maintain safe conditions at all times. The contractor shall be solely responsible for providing adequate shoring and bracing as required for protection of life and property during the construction of the project.

C. At all times the Contractor shall be solely and completely responsible for all conditions at the jobsite, including safety of persons and property, and all necessary independent engineering reviews of these conditions. The Architects jobsite reviews are not intended nor shall they be construed to include a review of the adequancy of the contractors safety measures.

D. Unless otherwise shown or noted, all typical details shall used where applicable.

E. All details shall be constued typical at similar conditions.

F. All Drawing conflicts shall be brought to the attention of the Architect and/or Consulting Engineer for clarification before work proceeds.

G. The Contractor shall supply all labor, materials, equipment and services, including water and power, necessary for the proper execution of the work shown on these drawings. All materials shall be new and workmanship shall be good quality. All workman and subcontractors shall be skilled in their trade. Any inspections, special or otherwise, that are required by the building codes, local builing departments, on these plans shall be done by an independent inspection company.

H. Finishes: Replace patch, repair and refinish all existing surfaces affected by the new work. All new finishes shall match the adjacent surface. all surfaces shall align.

I. The General Contractor shall visit the site and familiarize themselves with the existing site conditions prior to finalizing of any proposal to the owner. The general Contractor shall be responsibe to inform the owner or Architect of potential existing conditions that need to be addressed and or modified inorder to complete the work as herein described in these Drawings.

J. The General Contractor shall be reponsible for all means and methods of construction including but not limited to leveling, shiming, and blocking. The General Contractor shall make specific note of such items that can not be known prior to the commencement of construction.

PROJECT INFORMATION:

BLOCK: 6760
LOT: 003

OCCUPANCY: R-3
BUILDING TYPE 5-B

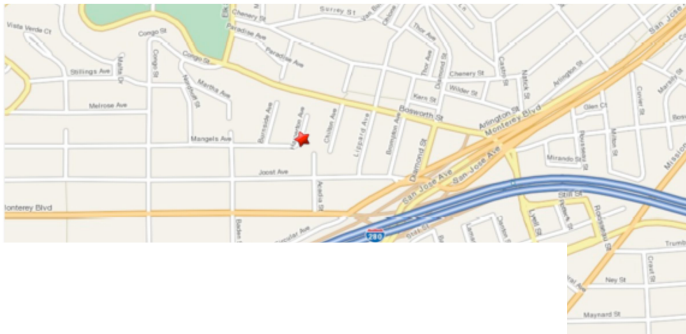
ZONING: RH-1
2 STOREYS
BUILDING HEIGHT: 23'-0"

SCOPE OF WORK:
NEW GARAGE AT GRADE WITH
STUDY AND BATHROOM ABOVE

1ST FLOOR GARAGE:	341 SQ FT
2ND FLOOR STUDY AND GARAGE:	328 SQ FT
TOTAL:	669 Q FT

DRAWING INDEX:

- A 1.01 GENERAL NOTES, DRAWING INDEX
AND PROJECT INFORMATION
- A 1.02 SITE AND ROOF PLAN
- A 2.01 FLOOR PLANS NEW AND EXISTING
- A 3.01 EXTERIOR ELEVATIONS



VICINITY MAP

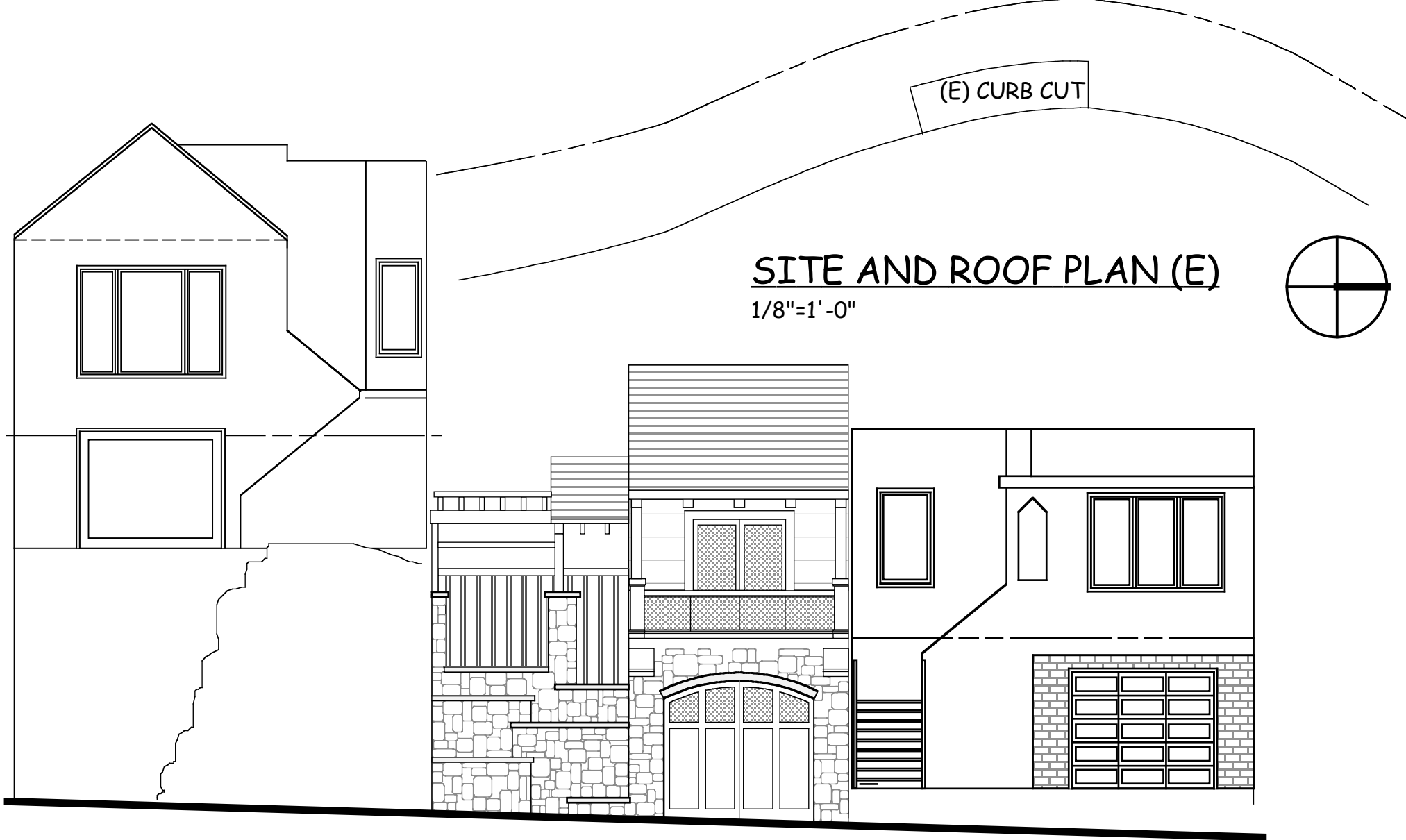
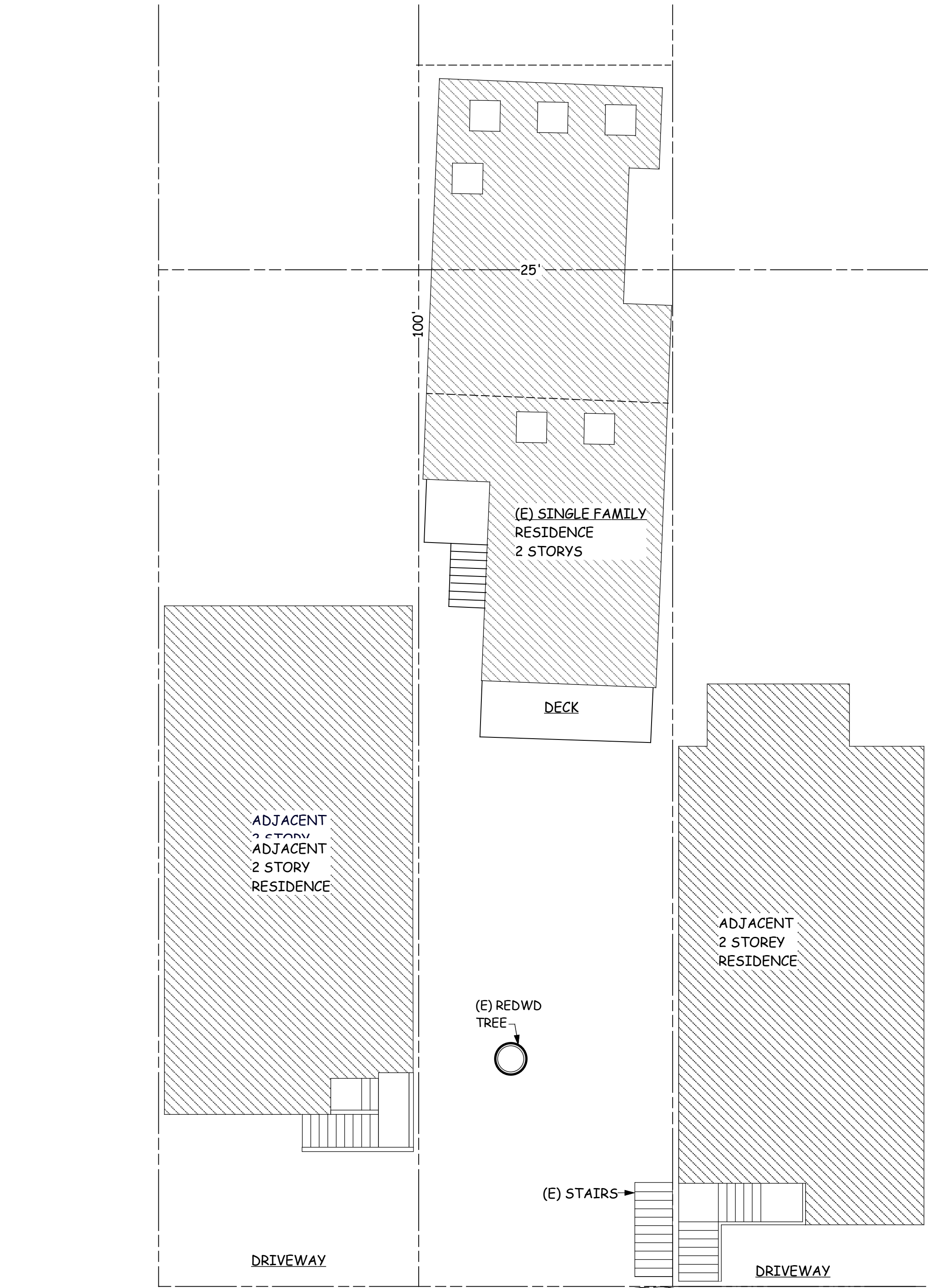
WILLIAM PASHELINSKY
ARCHITECT
1937 HAYES STREET
SAN FRANCISCO, CA. 94117
415 379 3676

NEW GARAGE
132 HAMERTON AVENUE
SAN FRANCISCO, CA.

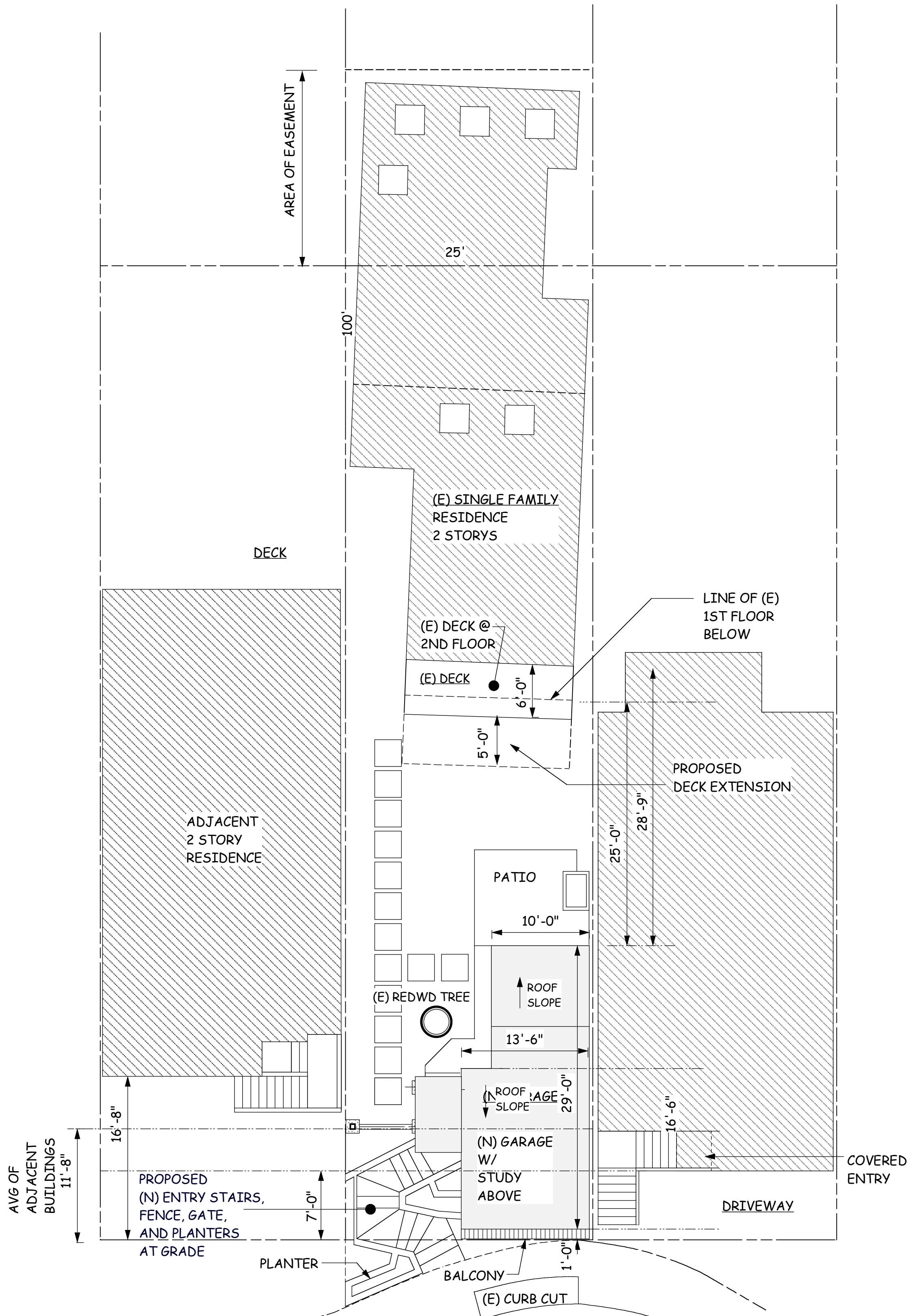
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NO.	DATE	DESCRIPTION

PROJECT NO.2010.38



EAST ELEVATION
1/8"=1'-0"



WEST ELEVATION
1/8"=1'-0"

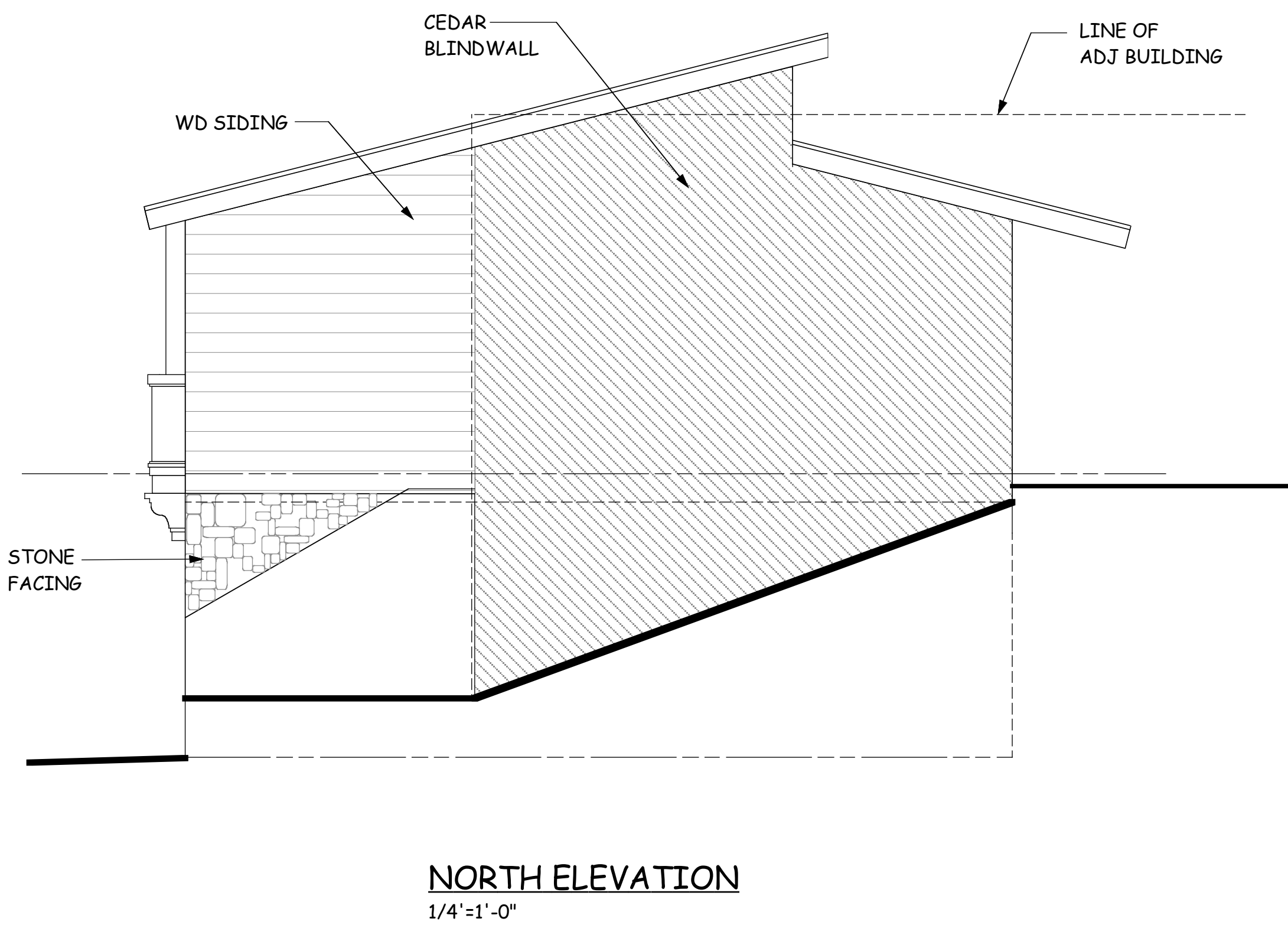
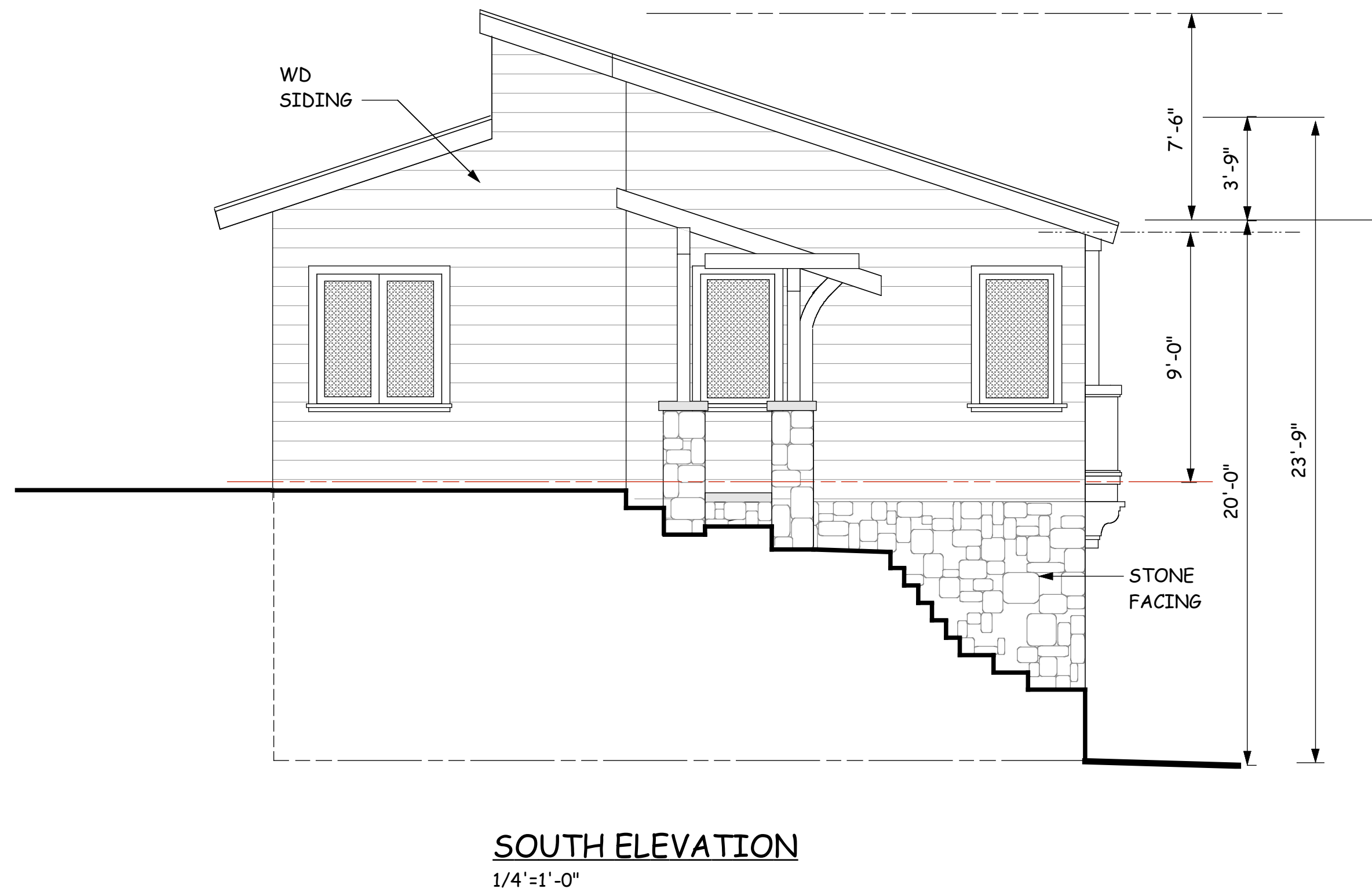
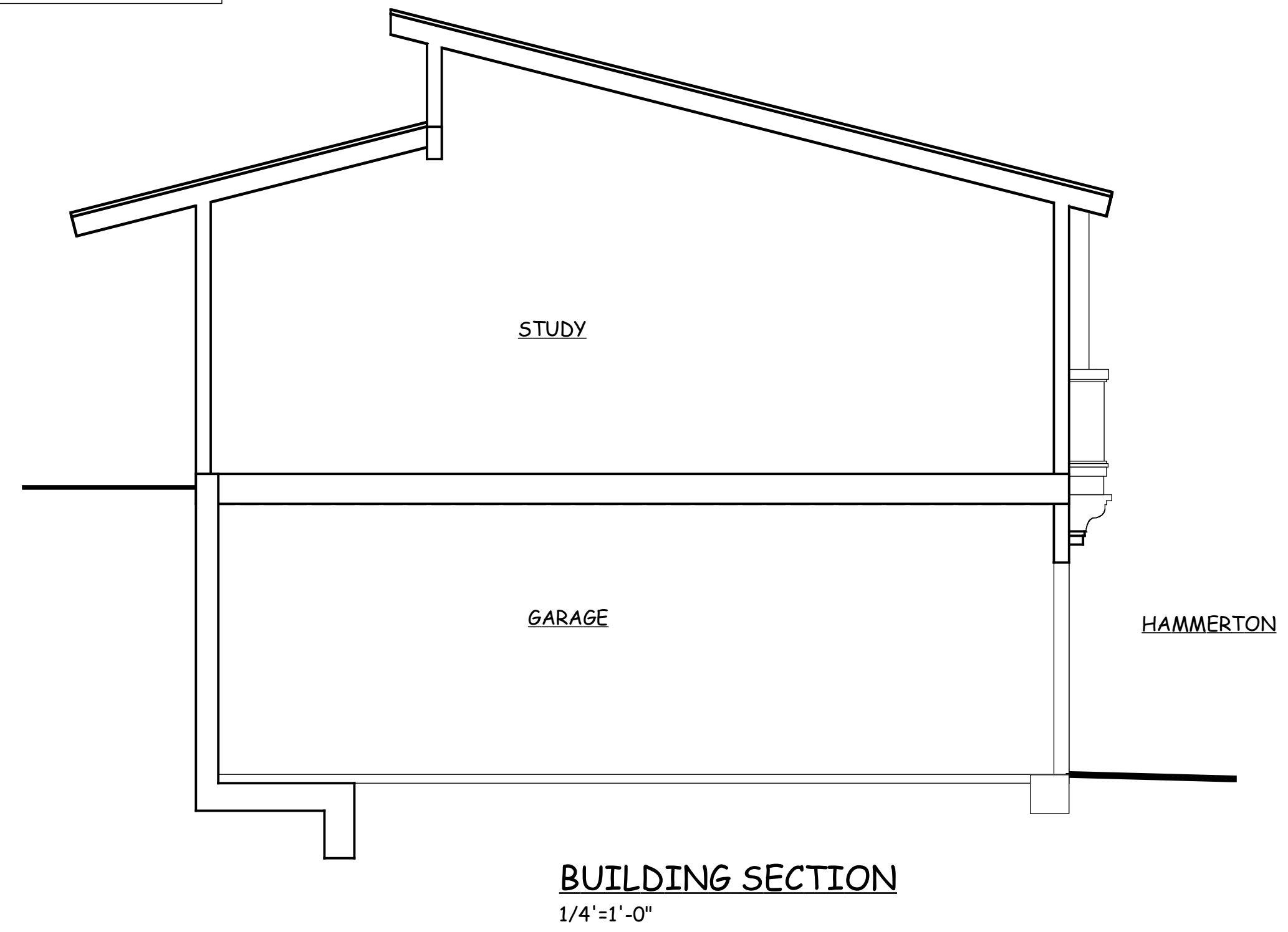
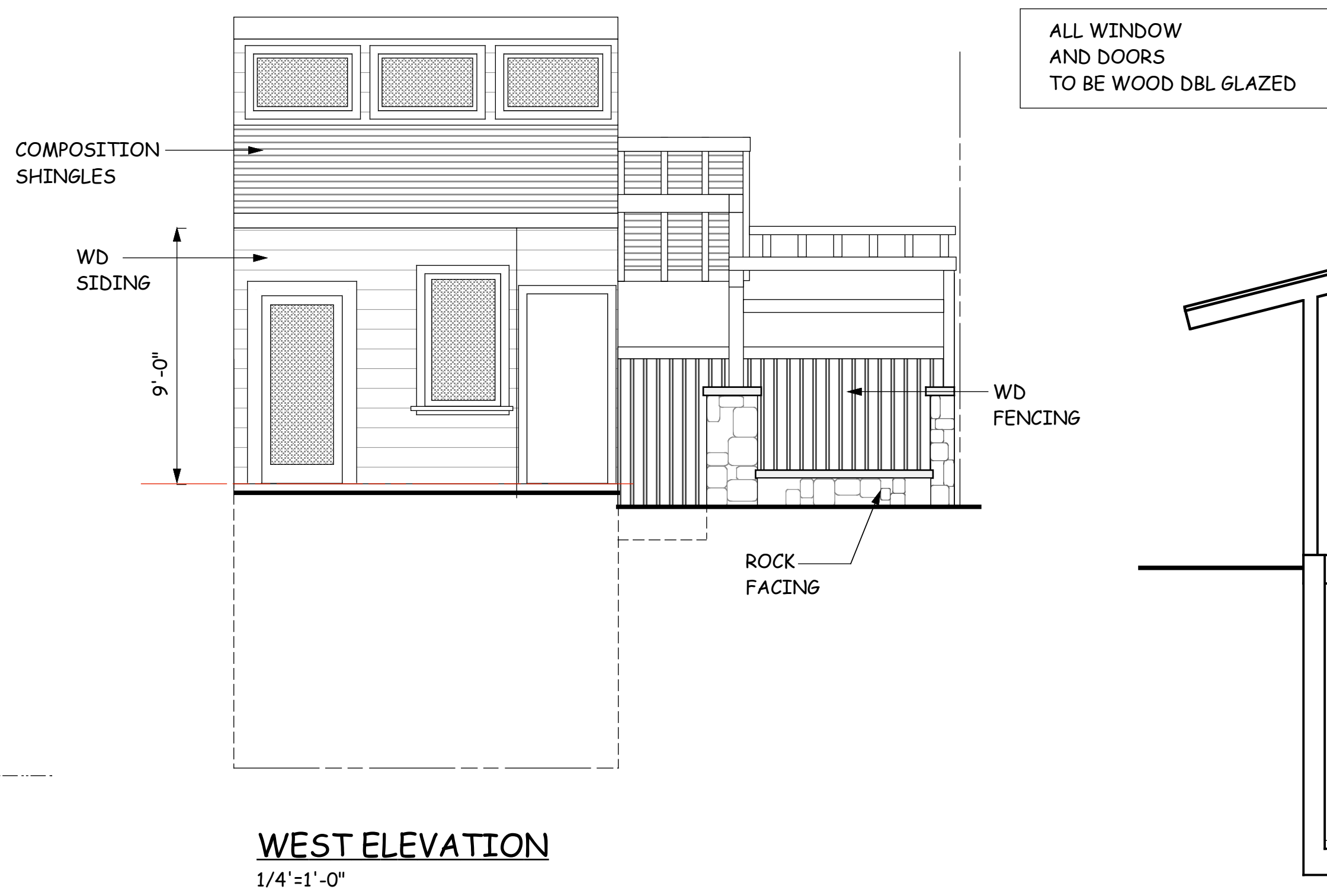
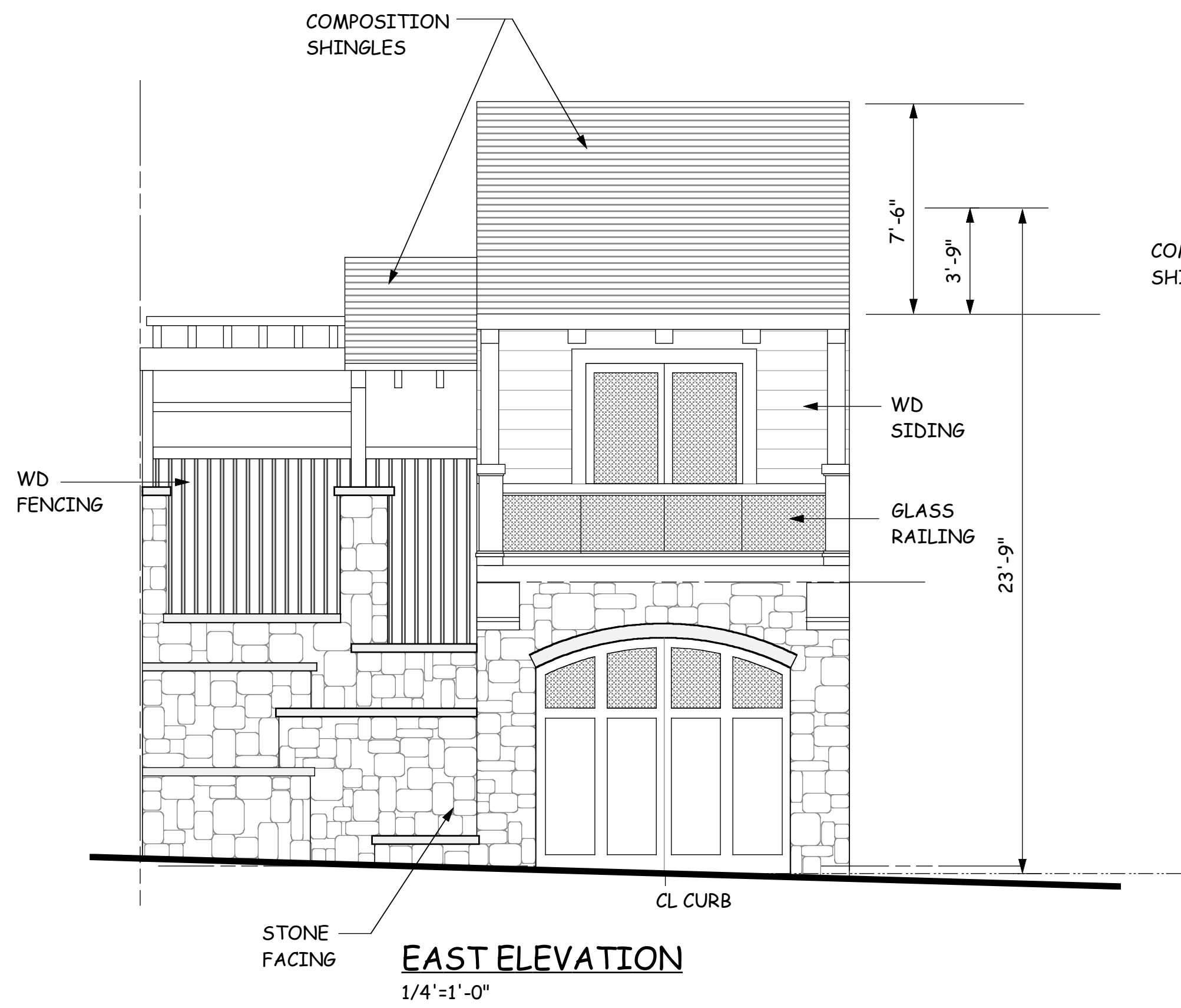
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