



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, November 17, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 4076 20th Street Cross Street(s): Sanchez & Noe Streets Block /Lot No.: 3601/023 Zoning District(s): RH-1 / 40-X Area Plan: Dolores Heights SUD	Case No.: 2010.0800V Building Permit: 2010.07.16.6818 Applicant/Agent: Joram Altman Telephone: (415) 282-2626 E-Mail: Joram@jsaarchitect.com
PROJECT DESCRIPTION	
<p>The subject property contains a single-family structure that is setback approximately 56 feet from the front property line. A majority of this structure is located in the required rear yard. The project is to expand an existing basement room to match the depth of the rear walls at the 1st floor level above. The project includes replacing an existing rear deck and stairs. The project will not increase the maximum height or depth of the existing single-family structure.</p> <p>PER SECTION 241 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 51.5 feet. The existing single-family structure encroaches approximately 40.5 feet into the required rear yard; therefore, the project requires a variance from the rear yard requirement (Section 241 – Dolores Heights Special Use District) of the Planning Code.</p> <p>PER SECTION 188 OF THE PLANNING CODE a non-complying structure can be altered, providing that there is no new or increased discrepancy at any level between existing conditions on the lot and the required standards of the Planning Code. The rear dwelling constitutes a non-complying structure from the rear yard requirement with an existing rear yard setback of approximately 11 feet, where approximately 51.5 feet is required.</p>	
ADDITIONAL INFORMATION	
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Adrian C. Putra Telephone: (415) 575-9079 E-Mail: adrian.putra@sfgov.org</p>	
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0800V.pdf</p>	

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 10/6/10, the Department issued the required Section 311/312 notification for this project, which expires on 11/5/10.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

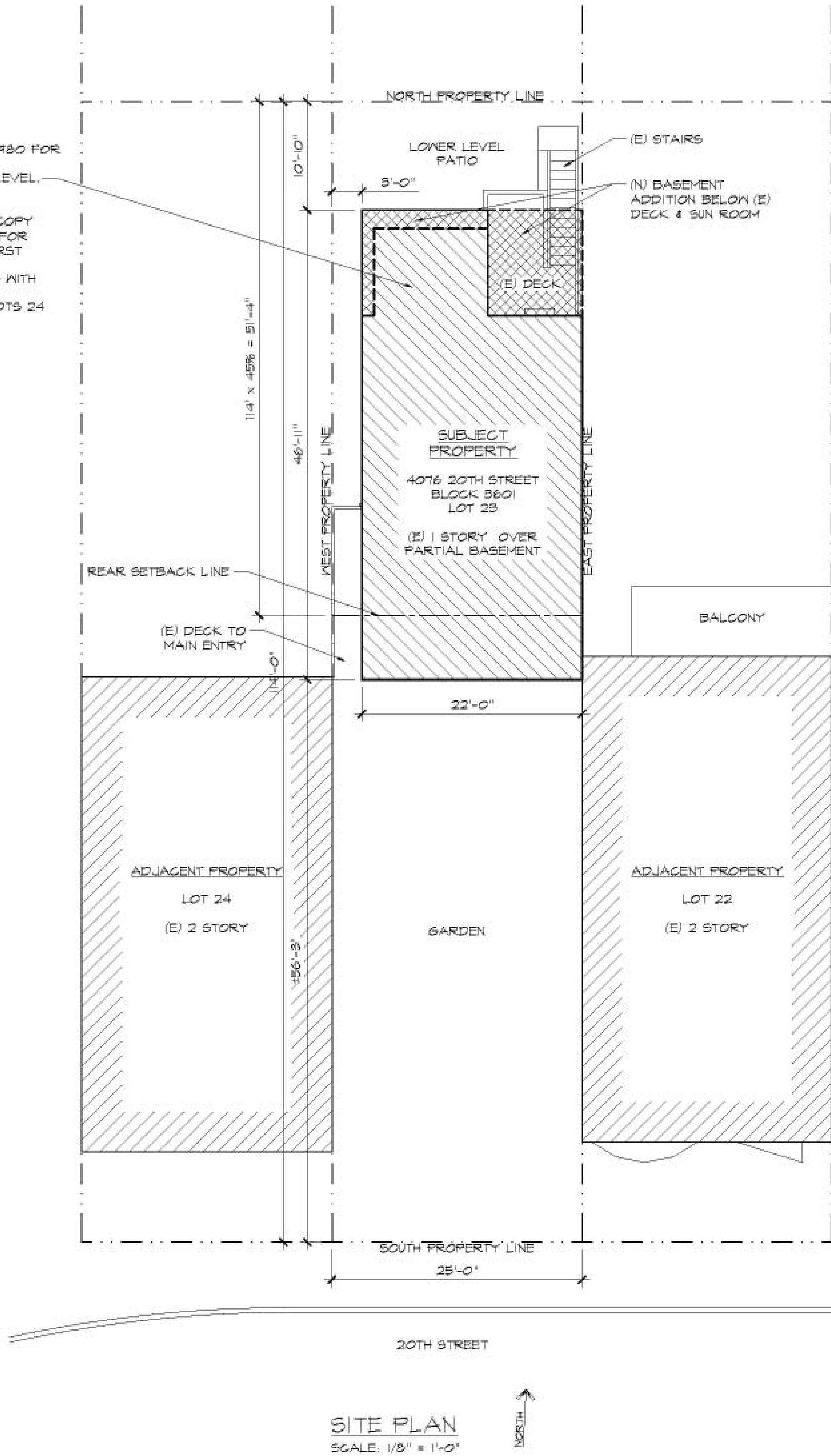
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

NOTE 1)
VARIANCE V280.15 (COPY
ATTACHED) ISSUED ON 5/10/1980 FOR
REAR DECK AND SUN ROOM
ADDITION ON FIRST FLOOR LEVEL.

NOTE 2)
BUILDING PERMIT #202667 (COPY
ATTACHED) ISSUED 2/9/1993 FOR
ENCLOSING SPACE UNDER FIRST
FLOOR SUN ROOM. PERMIT
APPROVED BY D.C.P. ALONG WITH
LETTERS OF SUPPORT FROM
ADJACENT NEIGHBORS AT LOTS 24
AND 22.



LOCATION MAP

SHEET INDEX

ARCHITECTURAL	STRUCTURAL	MECHANICAL
A0.1 SITE PLAN & PROJECT DATA	S	M
A1.1 EXISTING / DEMO PLANS		
A1.2 EXISTING ELEVATIONS		
A2.1 REMODELED PLANS		
A3.1 REMODELED ELEVATIONS & REMODELED SECTIONS		

PROJECT SCOPE OF WORK

EXPAND (E) BASEMENT ROOM TO MATCH WALLS OF (E) SUN ROOM ABOVE, SMALL ADDITION BELOW (E) DECK, REPLACE EXISTING DAMAGED EXTERIOR DECK & STAIRS.

PROJECT INFORMATION

APPLICABLE CODES: 2007 CALIFORNIA CBC W/SAN FRANCISCO AMENDMENTS, CPC, OMC, CEC AND SFGC

OCCUPANCY GROUP: R-3

CONSTRUCTION TYPE: V-B

STORIES: (E) 1 STORY W/ BASEMENT REMODEL & ADDITION

SF AREA TABLE

	EXISTING	NEW	TOTAL
BASEMENT	901	122	1023
FIRST FLOOR	602	0	602
TOTALS	1503	122	1625

JORAM S. ALTMAN
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KARMANOCKY & MURDOCK HOUSE REMODEL
4076 20th Street, San Francisco, CA
APN: 3601-023

ISSUED FOR:
8/23/10 Schematic Design
7/7/10 Client Meeting
7/15/10 Site Permit

SHEET TITLE

Site Plan

JOB #: 21014
DATE: 8/23/10
DRAWN BY: GS
SCALE: AS NOTED

A0.1



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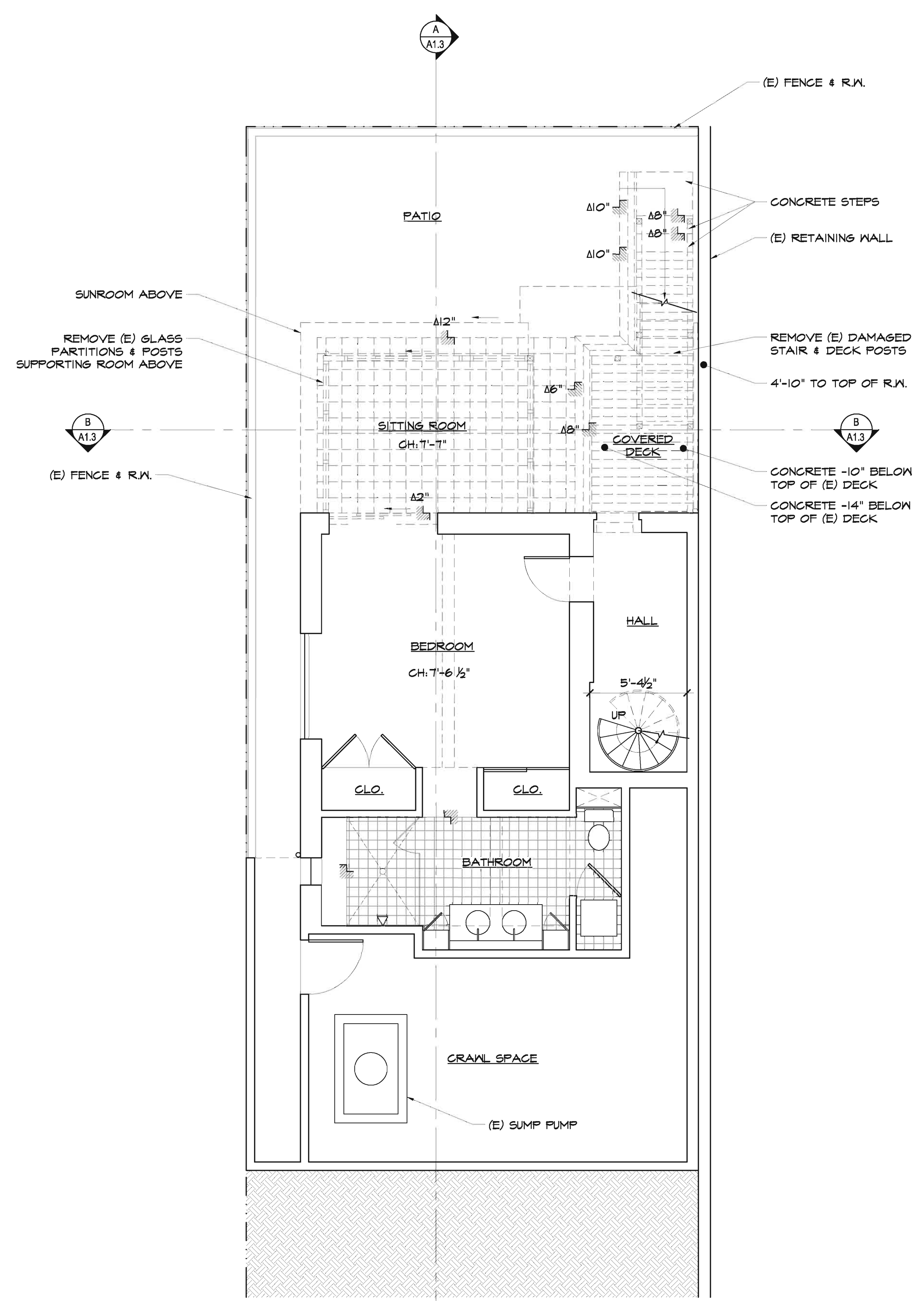
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SHEET TITLE

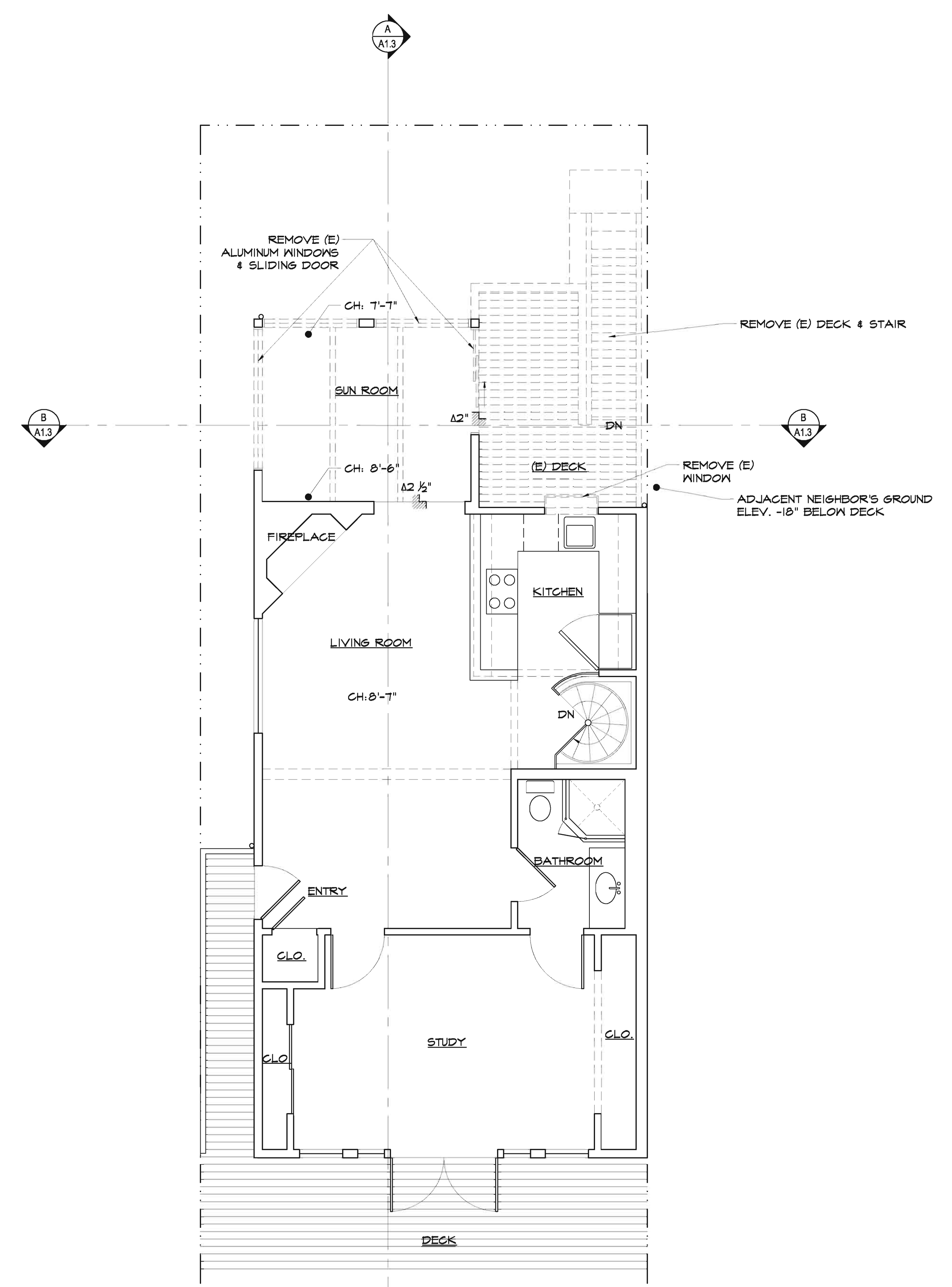
Existing/Demo Floor Plans

JOB #:	21014
DATE:	6/23/10
DRAWN BY:	GS
SCALE:	AS NOTED

A1.1

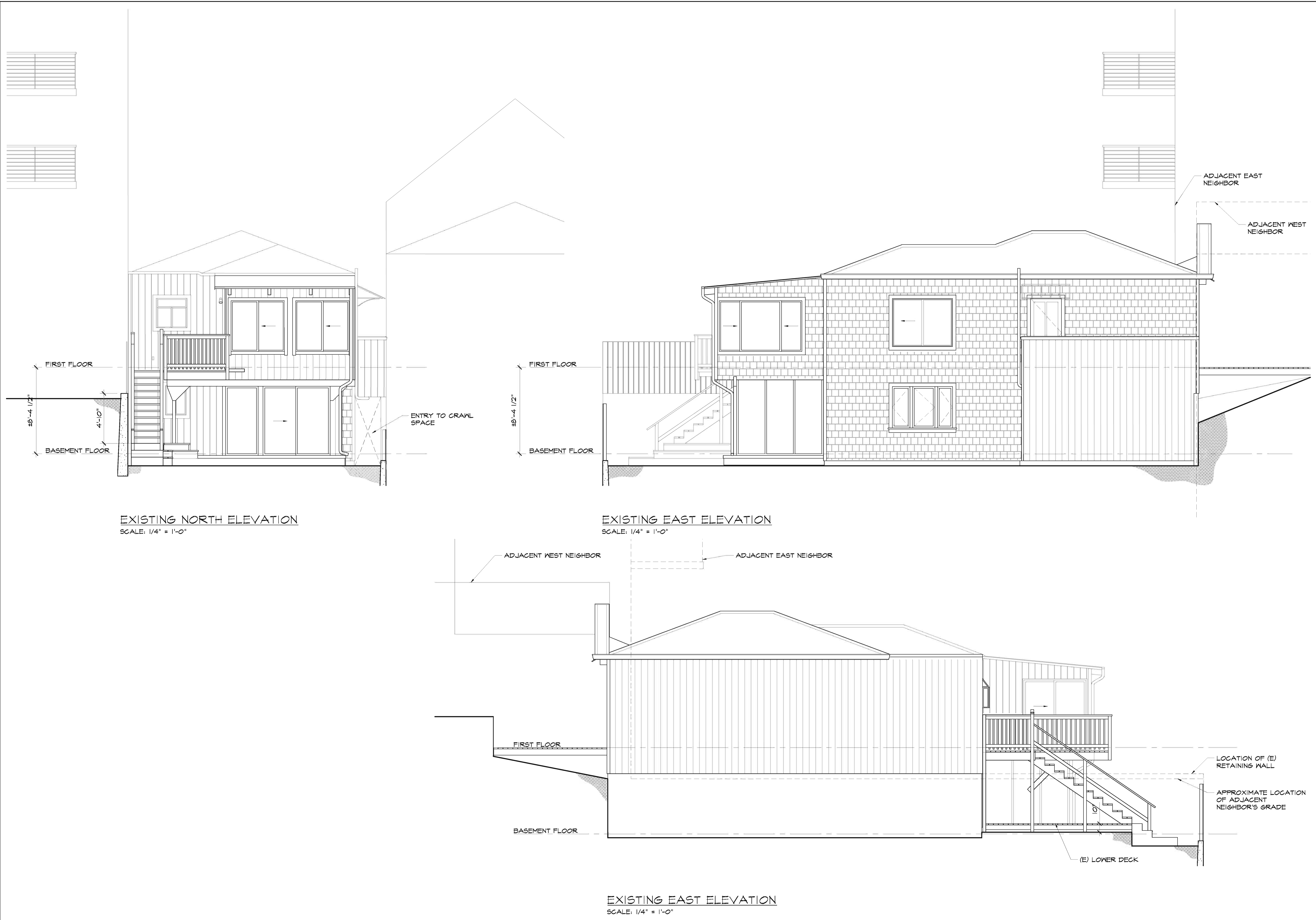


EXISTING/DEMO BASEMENT PLAN

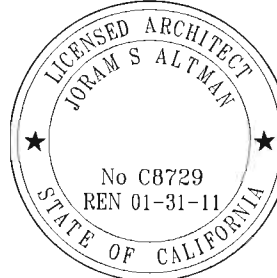


EXISTING/DEMO FIRST FLOOR PLAN

PLAN LEGEND	
EXISTING WALL/DOOR/WINDOW TO BE REMOVED	-----
EXISTING WALL TO REMAIN	=====



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SHEET TITLE
Existing Elevations
JOB #: 21014
DATE: 6/23/10
DRAWN BY: GS
SCALE: AS NOTED

A1.2

APN: 3601-023

SHEET TITLE

JOB #: 21014

DATE: 6/23/10

DRAWN BY: GS

SCALE: AS NOTED

JOB #: 21014

DATE: 6/23/10

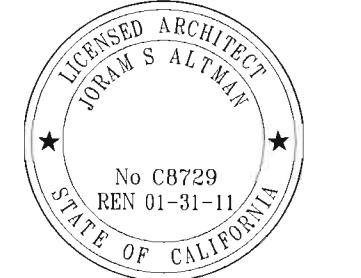
DRAWN BY: GS

SCALE: AS NOTED



PLAN LEGEND

EXISTING WALL/DOOR/WINDOW TO BE REMOVED	----
EXISTING WALL TO REMAIN	=====
(N) ONE HOUR RATED WALL: 2X4 @ 16"O.C. (U.O.N) WALL W/ 5/8" FIRE RATED GYP. EACH SIDE	=====
(N) 2X4 @ 16"O.C. (U.O.N) WALL W/ 1/2" GYP. EACH SIDE	=====



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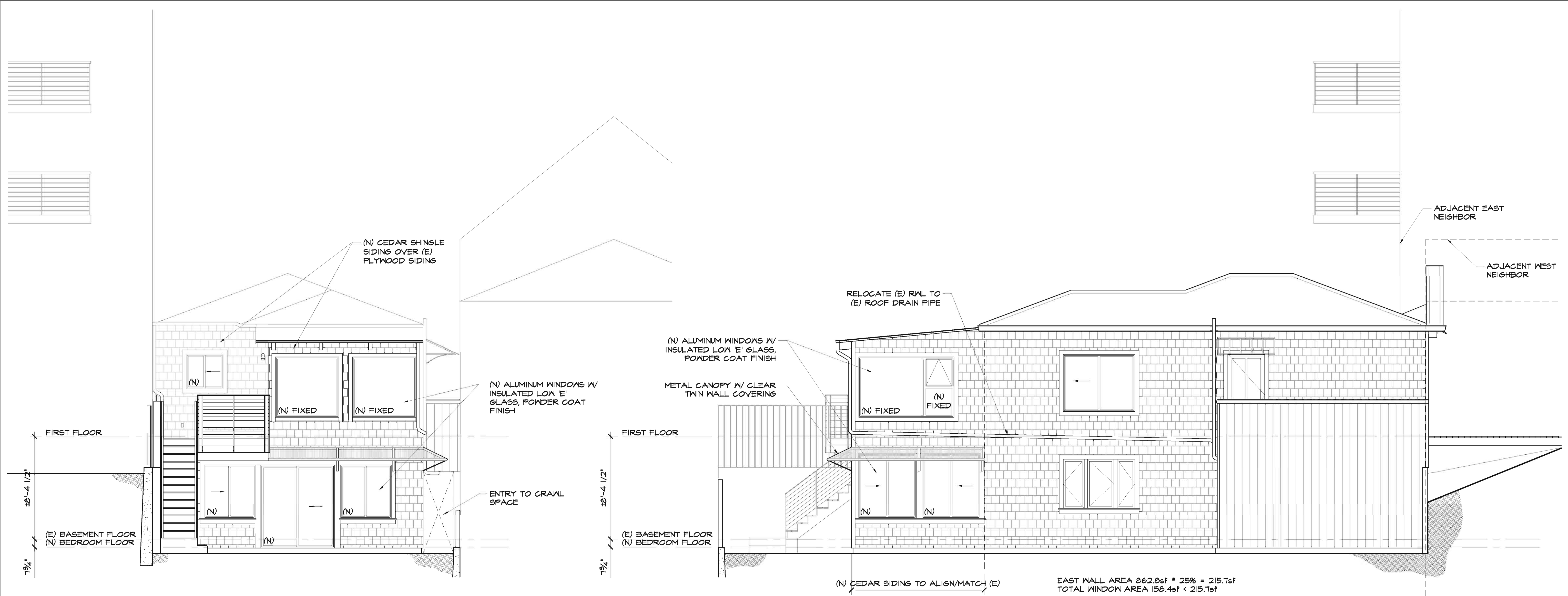
ISSUED FOR:
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7/15/10 Site Permit

SHEET TITLE

Remodeled Elevations

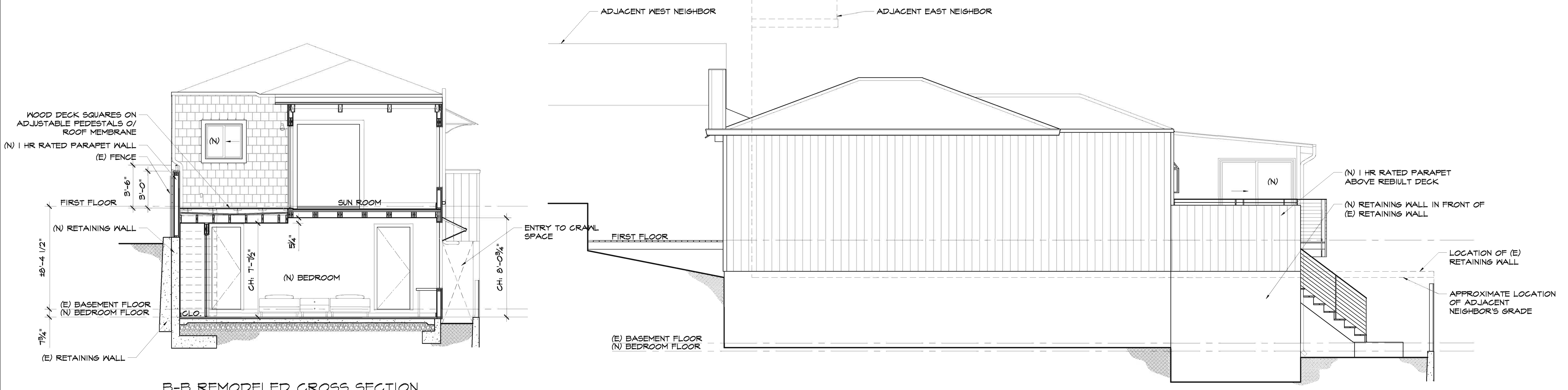
JOB #: 21014
DATE: 6/23/10
DRAWN BY: GS
SCALE: AS NOTED

A3.1



REMODELED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

REMODELED EAST ELEVATION
SCALE: 1/4" = 1'-0"



B-B REMODELED CROSS SECTION
SCALE: 1/4" = 1'-0"

REMODELED EAST ELEVATION
SCALE: 1/4" = 1'-0"