



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 26, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard, Dwelling Unit Exposure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1875 Mission Street Cross Street(s): 14th / 15th Streets Block /Lot No.: 3548/032 Zoning District(s): Mission St NCT/ 40X/65X Area Plan: Eastern Neighborhoods	Case No.: 2010.0787V Building Permit: 2010.12.23.7367 Applicant/Agent: David Silverman Telephone: (415) 567-9000 E-Mail: dsilverman@reubenlaw.com

PROJECT DESCRIPTION

The proposal is to convert a vacant commercial building into a multifamily residence by adding 38 dwelling units within the existing building envelope. The proposed scope of work is primarily interior in nature, with minor work to the exterior including storefront changes and window replacement.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 40 feet at the lowest story containing a dwelling unit. The building does not provide a rear yard at any level and therefore the project requires a variance from the rear yard requirement of the Planning Code.

PER SECTION 140 OF THE PLANNING CODE each dwelling unit must open directly onto a public street or alley at least 25 feet in width or a code complying rear yard. 12 units do not open directly onto a public street or alley at least 25 feet in width or a code complying rear yard and therefore require a variance from the dwelling unit exposure requirement of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Diego R Sánchez** Telephone: **(415) 575-9082** E-Mail: diego.sanchez@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0787V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ADDRESS: 1875 Mission Street, San Francisco, CA
CROSS STREET: 15th Street
BLOCK/LOT: 3548/033
ENVIRONMENTAL/PROP K: 98.891E/98.791K

PROJECT DESCRIPTION: Adaptive reuse of an existing vacant 4 story concrete framed building. The proposed project will be mixed use. There will be 39 residential units as well as 1,500 sq ft of ground level commercial space which will front onto Mission street. The building will include parking. There will typically be two unit types; 1 bedroom (60%) and 2 bedroom units (40%). None of the units are to have mezzanines. The building will be Automatic Sprinkled with a manual and automatic fire alarm system. It is considered an Adaptable Accessible Building with full elevator access.

CODE USED: 2007 CALIF BLDG CODE & SF AMENDMENTS
2007 CALIF MECH CODE & SF AMENDMENTS
2007 CALIF PLUMB CODE & SF AMENDMENTS
2007 CALIF ELECTR CODE & SF AMENDMENTS
2007 CALIF ENERGY CODE
2007 CALIF FIRE CODE & SF AMENDMENTS
2007 HOUSING CODE
2007 NFPA 72 (FIRE ALARMS)
2002 NFPA 13

ZONING: Mission Street- NCT

EXISTING SITE CONDITION: Four storey plus basement vacant concrete framed building. The existing building covers the entire site

OCCUPANCY: R-2 Multi- Residential,
S-2 Garage(>3000sf)
M Mercantile (occupant load less than 100)

ACCESSIBILITY: As per CBC 3410.2.5 all portions of the building proposed for a change of occupancy will conform to the accessibility provisions of chapter 11. Levels 1 through 4 are proposed with a change in occupancy. As such the above grade levels will comply with the multi level model in CBC Sec 11-b and The California Multi Family Disabled Access Regulations book Sec 11. The project shall be accessible in all common areas and accessible adaptable in private dwelling units. The basement was previously used as parking. Therefore not change of occupancy or use is proposed for this portion of the project. In compliance with CBC 3410.2.5 NO accessible parking stalls will be provided.

CONSTRUCTION and TYPE and BUILDING TYPE: The proposed adaptive reuse project shall be classified as a Type 3B structure. The project is 4 stories with a gross floor area (per level) of 10,247 sq ft which is less than the 16,000 sq ft specified for R-2 occupancy in table 503. The existing structure is poured in place concrete floors, columns and bearing walls. All existing and proposed building elements exceed the minimum fire resistive rating listed in Table 601.

NUMBER OF STORIES: 4 stories and a basement. THE ENTIRE BUILDING IS TO BE FULLY SPRINKLED. THIS WILL BE UNDER SEPERATE PERMIT See addendum schedule. Install Type 1 dry/wet combination standpipe.

HEIGHT: Building is 46.5' high from top of curb to roof structure. CBC Tbl 503 permits up to 75' for Type III B with automatic sprinkler system. There is a 4ft parapet.

Ground floor commercial space has a floor to floor height of 9'-2".

The elevator penthouse extends 15' above the roof

LOT SIZE/AREA: The site dimensions are as follows:
Length: 160'-0"
Width: 70'-0"
Area: 11,200 sq ft

LOT COVERAGE: The proposed building occupies 10,259 sq ft (92%) of the subject site. There is an existing side yard. The project proposes a 17.5' wide x 52' deep side yard.

STREET FRONTAGE: The entire street frontage on Mission Street is designated as active Mercantile use with residential above. The frontage on Minna street is comprised predominantly of residential type use. In addition there is access to the below grade parking level and at grade mechanical / electrical room. Trees provided as per SFPC Sec 143, 24" box tree for each 20' of frontage.

REAR YARD: There is a single rear / side yard which provides 8% open space. A variance to the San Francisco planning code is sought. Please refer to Variance submittal.

OPEN SPACE: Common Outdoor Space
Number of Units = 39
Open space requirement = 80 sq. ft *1.33 (common)
Total outdoor space required = 4,150 sq ft.
The common outdoor space is to be provided on the roof. No dimension is less than 15'.
The common outdoor space is serviced by an ADA complaint elevator and two exit stairs.

PARKING: Off street parking
Residential: The project makes provision for the following 24 standard size stalls. The basement was previously used as parking. Therefore not change of occupancy or use is proposed for this portion of the project. In compliance with CBC 3410.2.5 NO accessible parking stalls will be provided.
Bike Stalls
Fourteen (14) independently accessible bike stalls have been provided.

STRUCTURE: The existing building is a poured in place concrete structure. The existing structural frame meets or exceeds the 1 hour fire rating as required per Table 601 Type IIIB. Exterior bearing walls meet or exceed the requirements stipulated in Table 601 (>2hr). All new interior portions (non load bearing) are to be no rated.

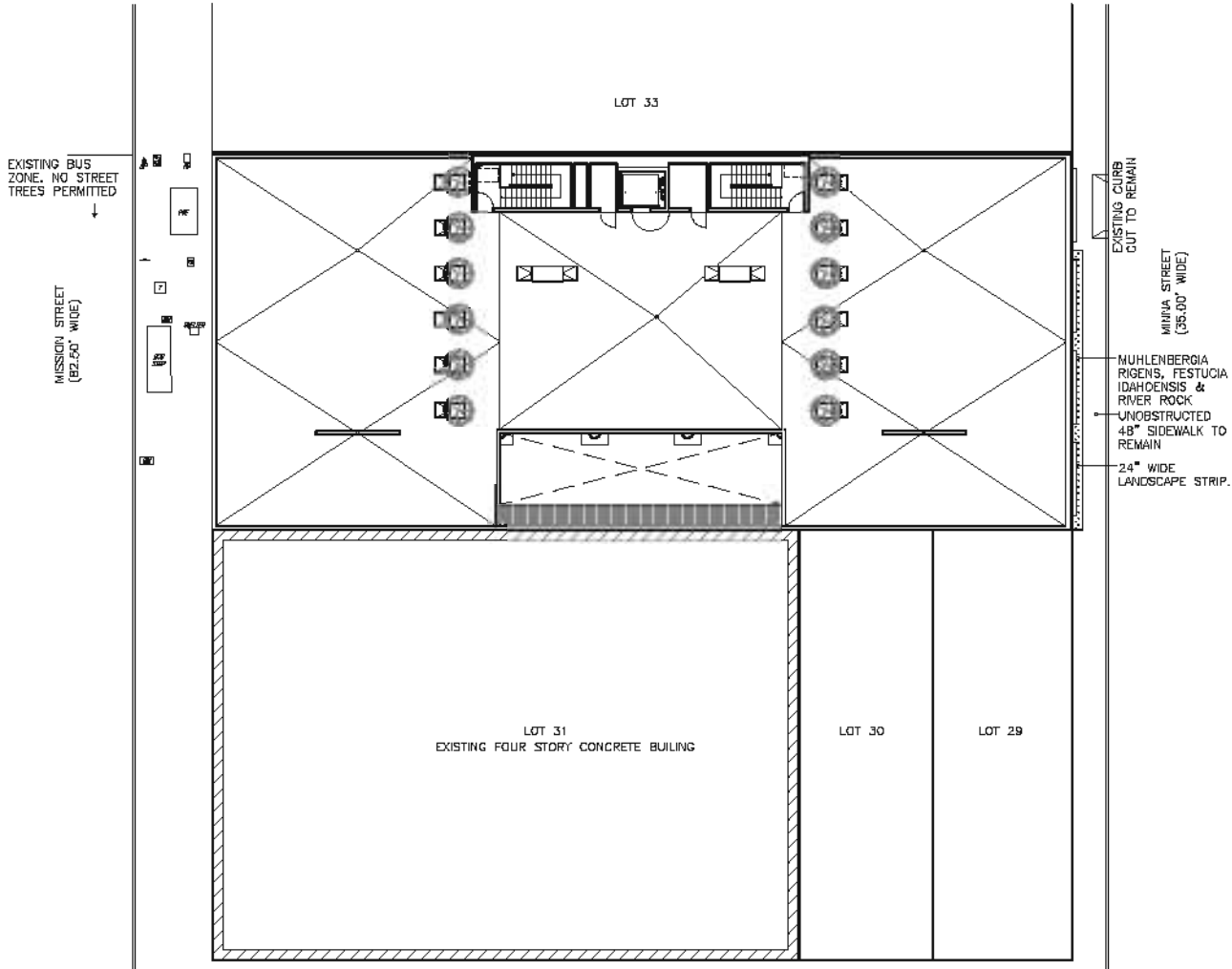
EXTERIOR MATERIALS: Exterior poured in place concrete facades to be cleaned of all existing debris and finishes and sealed with a penetrating silane/siloxane water repellent.

DATA AND CALCULATIONS.

1875 Mission Street									
Gross Square Footages									
	sq ft								
Level -1	11,200								
Level 1	9,951								
Level 2	10,247								
Level 3	10,247								
Level 4	10,247								
Total	61,892								
Commercial	1,436								
Residential									
	sq ft	Level 1	Level 2	Level 3	Level 4	Total	sq ft		
Type 1	631	3	3	3	3	12	7,572		
Type 2	638	3	8	8	8	27	22,626		
						39	30,198		
2 Bedrooms	40%					15	Provided		
Outdoor Space									
Common	4,150	Located on roof							

8837/200 =44	per floor: non cascading	R-2 Load Factor = 200 as per CBC Tbl 1004.1.1
9576/200 =49	per floor: non cascading	S-3 Load Factor = 200 as per CBC Tbl 1004.1.1
4150/15 =277	Load Factor:15	2 exits required Common outdoor deck: Roof 2 exits required as per CBC 1019.1
1436/30 =48	Load Factor:30	Mercantile on Grade 1 exit required as per CBC 1015.1

277	277* 0.3 = 83'	Minimum Accumulative Width of any component of means of egress system, as defined by Tbl 1005.1. However, minimum accessible stair width shall be 48" *2 = 96"
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PROJECT DATA

SITE PLAN

REVISIONS

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1875 MISSION STREET

1875 MISSION STREET, SAN FRANCISCO, CA

PROJECT DATA

SITE PERMIT

Date 12.1.2010

Scale N.T.S

Drawn SSD

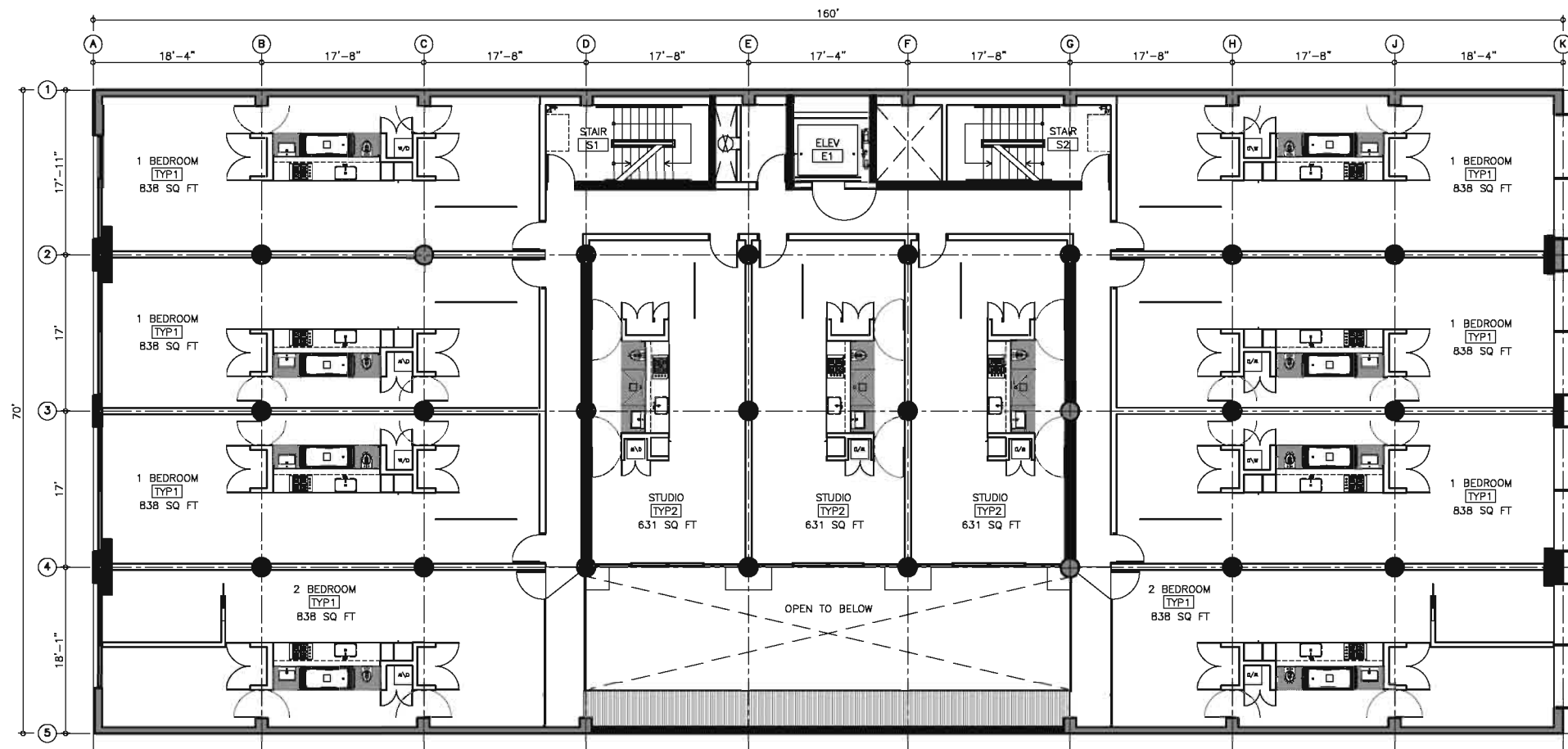
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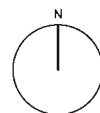
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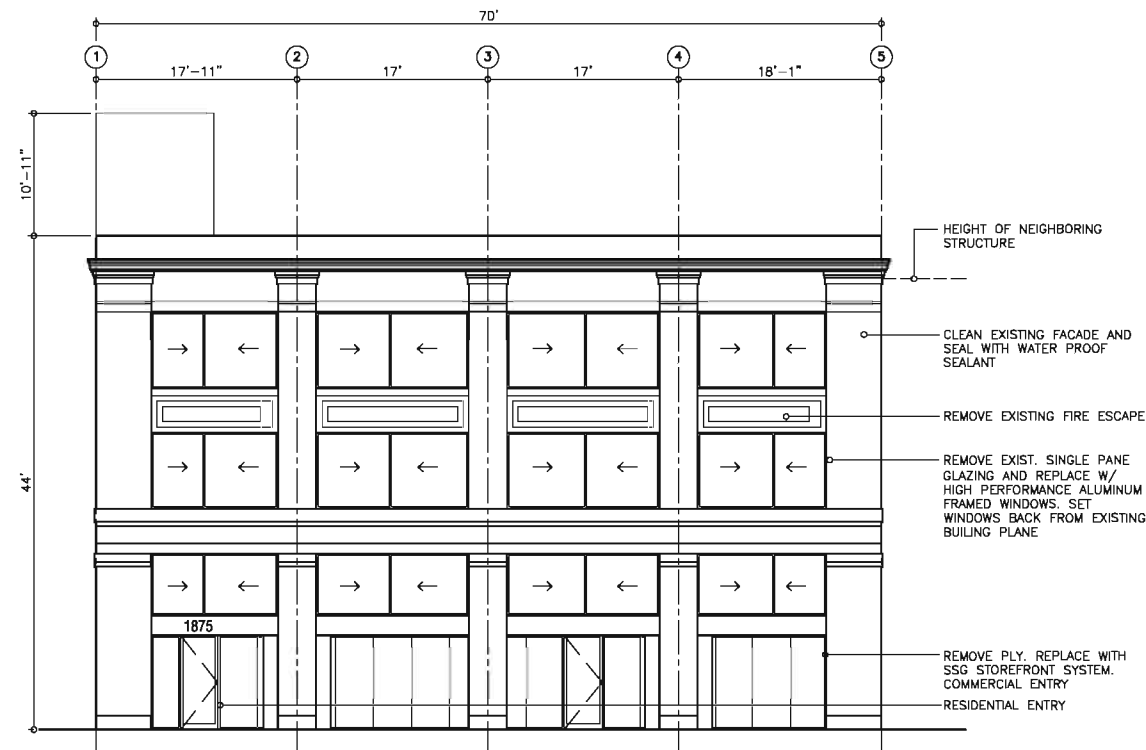


LEVEL 2



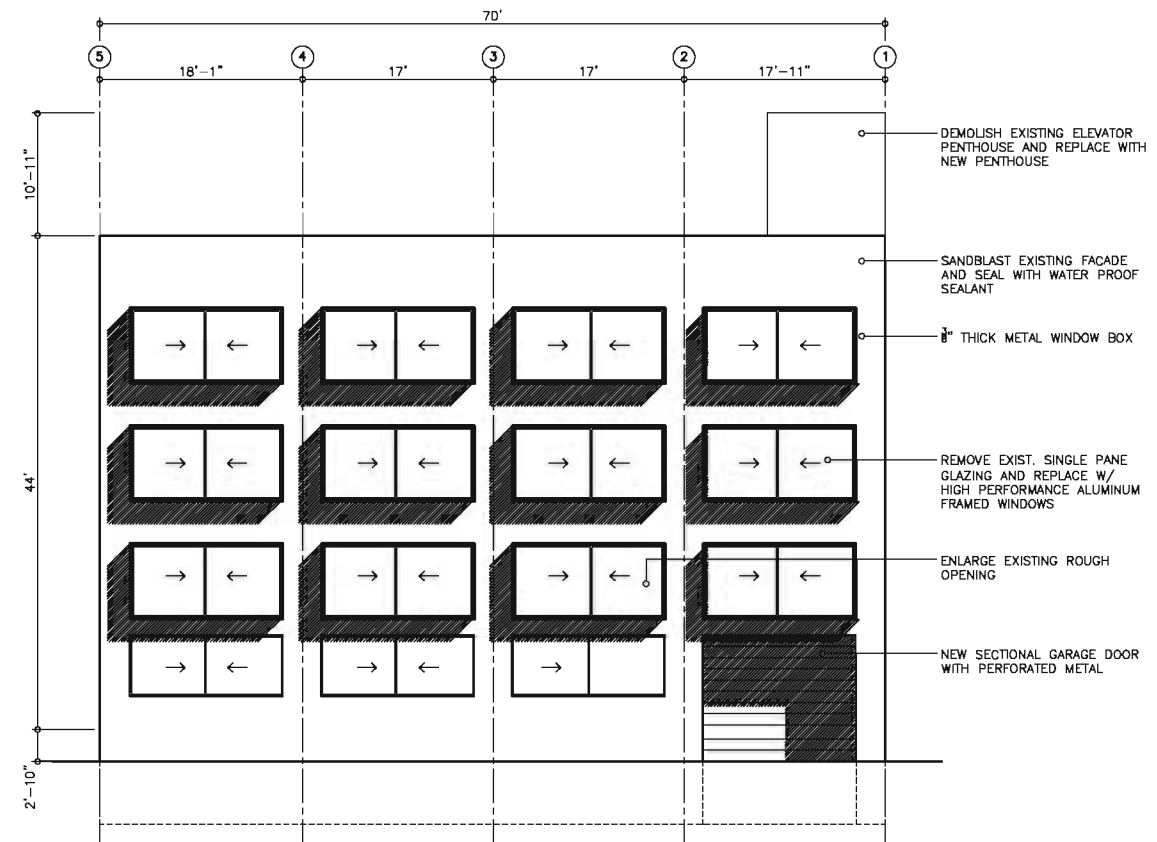
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1875 MISSION STREET 1875 MISSION STREET, SAN FRANCISCO, CA	
PLAN	
SITE PERMIT	
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MISSION STREET ELEVATION – WEST

1



MINNA STREET ELEVATION – EAST

1

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1875 MISSION STREET
1875 MISSION STREET, SAN FRANCISCO, CA

ELEVATIONS

SITE PERMIT

Date 12.1.2010

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