



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, November 17, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Parking)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1140 Potrero Ave	Case No.:	2010.0780 V
Cross Street(s):	23rd and 24th Streets	Building Permit:	N/A
Block /Lot No.:	4211/009	Applicant/Agent:	Yakuh Askew
Zoning District(s):	RH-3 / 55-X	Telephone:	(415) 920-1839
Area Plan:	Mission	E-Mail:	yakuh@ya-studio.com
PROJECT DESCRIPTION			
<p>The proposal is to revise the previously approved project under Building Permit Application No. 2007.05.21.1784 and Case No. 2007.1211D to provide two parking spaces, instead of three, for a building containing three dwelling units. The proposal will not expand or impact the proposed building envelope of the previously approved project.</p> <p>PER SECTION 151 OF THE PLANNING CODE, the subject property is required to provide one off-street parking space for each dwelling unit. The previously approved proposal included three parking spaces – through the use of a car stacker – for a building with three dwelling units. The new proposal removes the car stacker and provides only two parking spaces for three dwelling units. Therefore, the project requires a variance from the parking requirements in the Planning Code.</p>			
FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:			
Planner: Corey Teague		Telephone: (415) 575-9081	E-Mail: corey.teague@sfgov.org
ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0780V.pdf			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **At this point no Building Permit Application has been filed.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

1. All work shall be in conformance with all applicable codes including but not limited to those listed in "Project Data," and to include all the requirements of other agencies having jurisdiction.
2. All work shall be done in accordance with AIA General Conditions Documents A-201, the edition attached to the Construction Contract.
3. Examination of the site and portions thereof which affect this work shall be made by the General Contractor, who shall compare existing conditions with the contract documents and satisfy him/herself as to the existing conditions under which work is to be performed. Contractor shall at such time ascertain and verify the locations of existing structures.
4. The contract documents describe design intent, and are not intended to be all inclusive. Contractor is responsible for the means and methods to provide complete operational systems & installations. No claims for additional work will be awarded for work which is described in these documents or which is reasonably inferable from them.
5. Contractor shall be responsible for thorough coordination of trades. All claims for additional work will not be awarded for any and all work related to such coordination.
6. Contractor shall verify all dimensions, elevations and conditions at the site, confirm that the work is buildable as shown, and notify Architect in writing of any discrepancies prior to proceeding with any and all work in question.
7. All dimensions are to finish face of concrete, centerline of steel, face of stud or casework unless otherwise noted. Dimensions noted as "CLR" must be precisely maintained. Dimensions are not adjustable without architect's approval unless noted as "+/-". Verify dimensions marked "VLT" prior to commencement of construction, and notify architect of any inconsistencies.
8. All dimensions, notes and details shown on one portion of a drawing shall apply typically to all opposite hand and/or conditions unless otherwise noted.
9. "Align" shall mean to accurately locate finish faces in the same plane.
10. The contract documents are complementary. What is shown or referred to partially or whole on any shall be provided as though shown on all.
11. Do not scale drawings. Dimensions shall govern. Drawings at a large scale shall take precedence over drawings of a small scale. Details shall govern over plans and elevations.
12. Contractor shall verify layout of partitions, doors, electrical outlets, data and telephone outlets, light fixtures, and switches with Architect prior to proceeding with construction. Contractor shall verify that no conflicts exist in locations of any mechanical, telephone, data, electrical, lighting, plumbing and sprinkler equipment. This shall include, but not limited to all piping, ductwork and conduit) and that all required clearances for installation and maintenance are provided.
13. Damage to new and existing materials, finishes, structures, and equipment shall be repaired or replaced to the satisfaction of the Owner at the expense of the Contractor.
14. All work listed, shown, or implied on any contract document shall be supplied and installed by the Contractor, except where noted otherwise.
15. In case of conflict between the architect's and engineer's drawings in the location of materials and/or equipment, architectural drawings shall govern. The Contractor shall notify the Architect immediately of such conflict.
16. All manufactured articles, materials, and equipment shall be installed, connected, erected, cleaned, and conditioned per the manufacturer's instructions. In case of differences between manufacturer's instructions and the contract documents, the contractor shall notify the architect before proceeding with the work in question.
17. All work noted "By Others" or "N.I.C." shall be provided by owner or under separate contract. Submit to the architect and owner schedule requirements for this "other" work in the construction program schedule and coordinate as required to assure orderly sequence of installation.
18. The General Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a daily basis and shall exercise strict control over job cleaning to prevent any dirt, debris, or dust from affecting any finished areas or on outside the job site. Barring of debris on site shall not be permitted.
19. Contractor shall not proceed with any work requiring additional compensation beyond the contract amount without authorization from the architect or owner's representative. Failure to obtain authorization shall invalidate any claim for additional compensation.
20. Provide fireblocking at all ceilings, floors, turned-down ceilings, soffits, and concealed draft openings, per CBC 708.2.1. Fireblocking shall not exceed 10 ft. max. in both vertical and horizontal directions.
21. Some work shall be designated as design / build - deferred submittal. It shall be submitted to the project architect and engineer of record for review and coordination. Following completion review and coordination, the architect and engineer of record, the Design Builder is responsible to submit stamped drawings and calculations to the San Francisco Building Department for review and approval along with a letter from Architect and Engineer of record that they have been coordinated and found to be acceptable with no exceptions. Design / Build - deferred submittal work shall include, but is not limited to:
 - Electrical Plans
 - Plumbing Plans
 - Mechanical Plans
 - Sprinkler and Fire Alarm Plans

PROVIDE SMOKE DETECTORS AT BEDROOMS AND HALLWAYS PER CALIFORNIA BUILDING CODE.

AT ALL HABITABLE AREAS, RECEPTACLE OUTLETS ARE TO BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. AT 12" O.C. MAXIMUM AND WITHIN 6 FEET FROM END OF WALLS.
2. ANY WALL SPACE 2 OR MORE FEET WIDE.

- AT EACH KITCHEN COUNTER SPACE WIDER THAN 12", AND LOCATED SUCH THAT NO POINT ALONG THE COUNTER WALL IS MORE THAN 24" FROM A RECEPTACLE.
- IN ANY HALLWAY MORE THAN 10' IN LENGTH.
- ADJACENT TO EACH BATHROOM BASIN LOCATION.

GROUND FAULT CIRCUIT INTERRUPT (GFCI) OUTLETS SHALL BE INSTALLED IN REMODELED AREAS AT THE FOLLOWING LOCATIONS:

- GARAGE
- BATHROOMS
- ALL KITCHEN COUNTERTOPS
- ALL EXTERIOR RECEPTILES
- ALL UNFINISHED BASEMENT AREAS
- WITHIN 6 FEET OF WET BAR SINKS

KITCHEN SHALL BE SUPPLIED WITH AT LEAST 2 SEPARATE 20 AMPERE SMALL APPLIANCE CIRCUITS.

LAUNDRY SHALL BE SUPPLIED WITH AT LEAST ONE 20 AMPERE CIRCUIT FOR LAUNDRY APPLIANCES.

BATHROOM RECEPTACLE OUTLETS SHALL BE ON A DEDICATED 20 AMPERE CIRCUIT AND SEPARATED FROM BATHROOM LIGHTING CIRCUITRY.

PROVIDE A MINIMUM 100 SQ. IN. MAKE-UP AIR GRILL TO SERVE DRYER.

WALL COVERINGS IN SHOWERS AND SHOWER / TUB COMBINATION UNITS SHALL BE CERAMIC TILE TO A HEIGHT OF +70", OVER APPROVED MORTAR BED OR CEMENTITIOUS TILE UNDERLAYMENT BOARD OVER A VAPOR BARRIER. ALL MATERIALS OTHER THAN STRUCTURAL ELEMENTS IN TUB / SHOWER AREAS ARE TO BE MOISTURE RESISTANT.

GLASS ENCLOSURE DOORS AND PANELS SHALL BE LABELED CATEGORY II, WITH ALL DOORS TO SHOWER SWINGING OUTWARD.

NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1024 SQ. IN. OF FLOOR AREA AND ENCOMPASS A 30" DIA. CIRCLE.

ALL SHOWER AND TUB / SHOWERS ARE TO BE PROVIDED WITH PRESSURE BALANCING OR THERMOSTATIC MIXING VALVE CONTROLS.

ALL NEW PLUMBING FIXTURES SHALL BE LOW FLOW WATER SAVING PLUMBING DEVICES.

ALL NEW HANDRAILS INSTALLED IN REMODELED AREAS SHALL COMPLY WITH THE FOLLOWING:

1. A CONTINUOUS HANDRAIL IS REQUIRED FOR STAIRWAYS WITH 4 OR MORE RISERS.
2. THE TOP OF THE HANDRAIL SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS.
3. INTERMEDIATE BALUSTERS ON OPEN SIDES OF STAIRS AND LANDINGS SHALL BE SPACED SO THAT A SPHERE OF 4" IN DIA. CANNOT PASS THROUGH.
4. HANDRAIL ENDS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
5. HANDGRIP SURFACE SHALL BE 1-1/4" TO 1-1/2" IN CROSS SECTION OR A SHAPE THAT PROVIDES AN EQUIVALENT SMOOTH GRIPPING SURFACE.
6. HANDRAILS SHALL HAVE MINIMUM 1-1/2" CLEARANCE FROM ANY WALL SURFACE.

A PROTECTIVE GUARDRAIL SHALL BE PROVIDED WITH A MINIMUM HEIGHT OF 36" AT ALL DECKS, PORCHES, BALCONIES, RAISED FLOORS (MORE THAN 30" ABOVE GRADE OR FLOOR BELOW) AND OPEN SIDES OF STAIRS AND LANDINGS. OPENINGS BETWEEN BALUSTERS SHALL BE SUCH THAT A SPHERE 4" IN DIA. CANNOT PASS THROUGH.

IN BATHROOMS OR KITCHENS: HIGH EFFICACY LAMPS SHALL HAVE LAMP EFFICACY AS FOLLOWS:

- < 15 W = MIN. 40 LM/W
- 15-40 W = MIN. 50 LM/W
- >40 W = 60 LM/W

PROVIDE ATTIC VENTILATION AT PROPOSED WORK AS PER C.B.C..

PROVIDE ATTIC ACCESS WITH A MIN. OPENING AREA OF 22" x 30" WHERE ATTIC HEIGHT 30" OR GREATER, AS PER C.B.C..

AT LEAST ONE WINDOW IN EACH SLEEPING ROOM SHALL HAVE A RESCUE WINDOW THAT COMPLIES WITH C.B.C.. EACH RESCUE WINDOW SHALL HAVE A MIN. NET CLEAR OPEN AREA OF 5.7 SQUARE FEET, WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A CLEAR OPENING WIDTH OF 20". SILL HEIGHTS SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:

1. GLAZING IN EGRESS OR EGRESS DOORS
2. GLAZING IN DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
3. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE.
4. GLAZING WHERE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ. FT.
5. EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, EXPOSED TOP EDGE IS LESS THAN 36" ABOVE THE FLOOR, AND THERE IS ONE OR MORE WALKING SURFACES
6. WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

OWNER	ARCHITECTURAL	STRUCTURAL
Tom McDonald	SANTOS AND URRUTIA	SANTOS AND URRUTIA
30 Ravenwood Drive	2451 Harrison Street	2451 Harrison Street
San Francisco, CA 94127	San Francisco, CA 94110	San Francisco, CA 94110
415.608.5547	Contact: Rodrigo Santos	Contact: Rodrigo Santos
	Ph. 415.642.7722 Fax 415.642.7590	Ph. 415.642.7722 Fax 415.642.7590

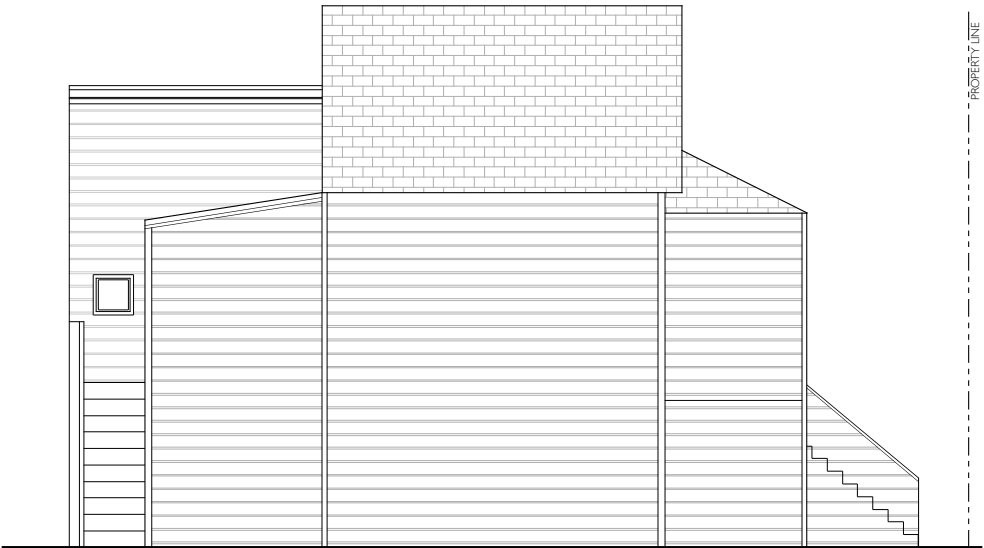


1140 POTRERO

I - LOCATION MAP

2007 CBC AMENDMENTS
AND 2007 SAN FRANCISCO AMENDMENTS
2007 CALIFORNIA FIRE CODE
2007 CALIFORNIA PLUMBING CODE
2007 CALIFORNIA ELECTRICAL
2007 ENERGY EFFICIENCY STANDARDS
2007 CALIFORNIA MECHANICAL CODE
ALL OTHER APPLICABLE LOCAL AND STATE
LAWS AND REGULATIONS

Sheet
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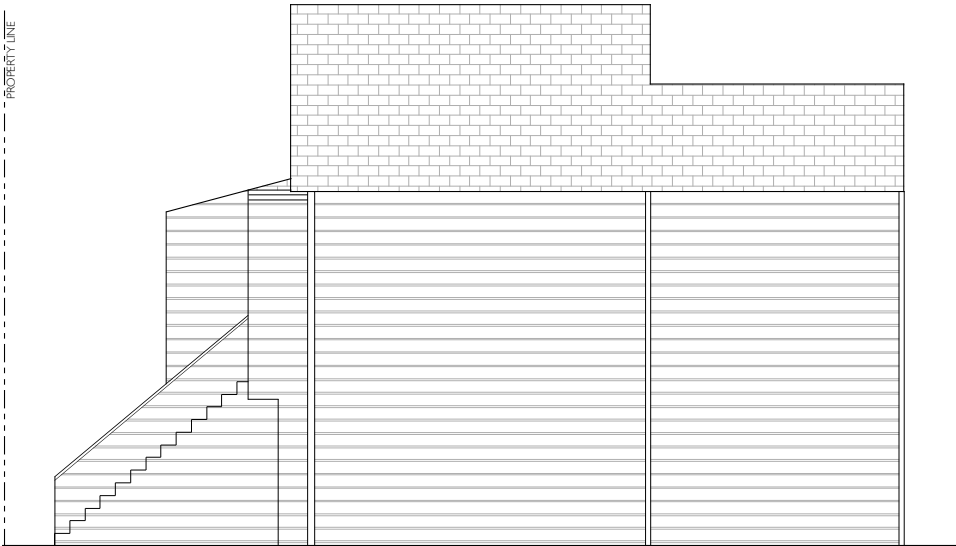
4 - (E) SIDE ELEVATION

SCALE: 1/4"=1'-0"



2 - (E) REAR ELEVATION

SCALE: 1/4"=1'-0"



3 - (E) SIDE ELEVATION

SCALE: 1/4"=1'-0"



1 - (E) FRONT ELEVATION

SCALE: 1/4"=1'-0"

SANTOS & URRUTIA
STRUCTURAL
ENGINEERS
2451 HARRISON STREET
SAN FRANCISCO, CA 94110
TELEPHONE (415) 642-7722
FAX (415) 642-7590

EXISTING
ELEVATIONS

REMODEL AND HORIZONTAL ADDITION
CONVERSION OF SINGLE-FAMILY TO (3) UNITS

BLOCK / LOT: 4211 / 009
PERMIT APP# 2007.05.21.1784

1140 POTRERO AVENUE, SAN FRANCISCO, CA 94110

Date: 06.01.09

Scale: AS NOTED

Drawn By: R.S.

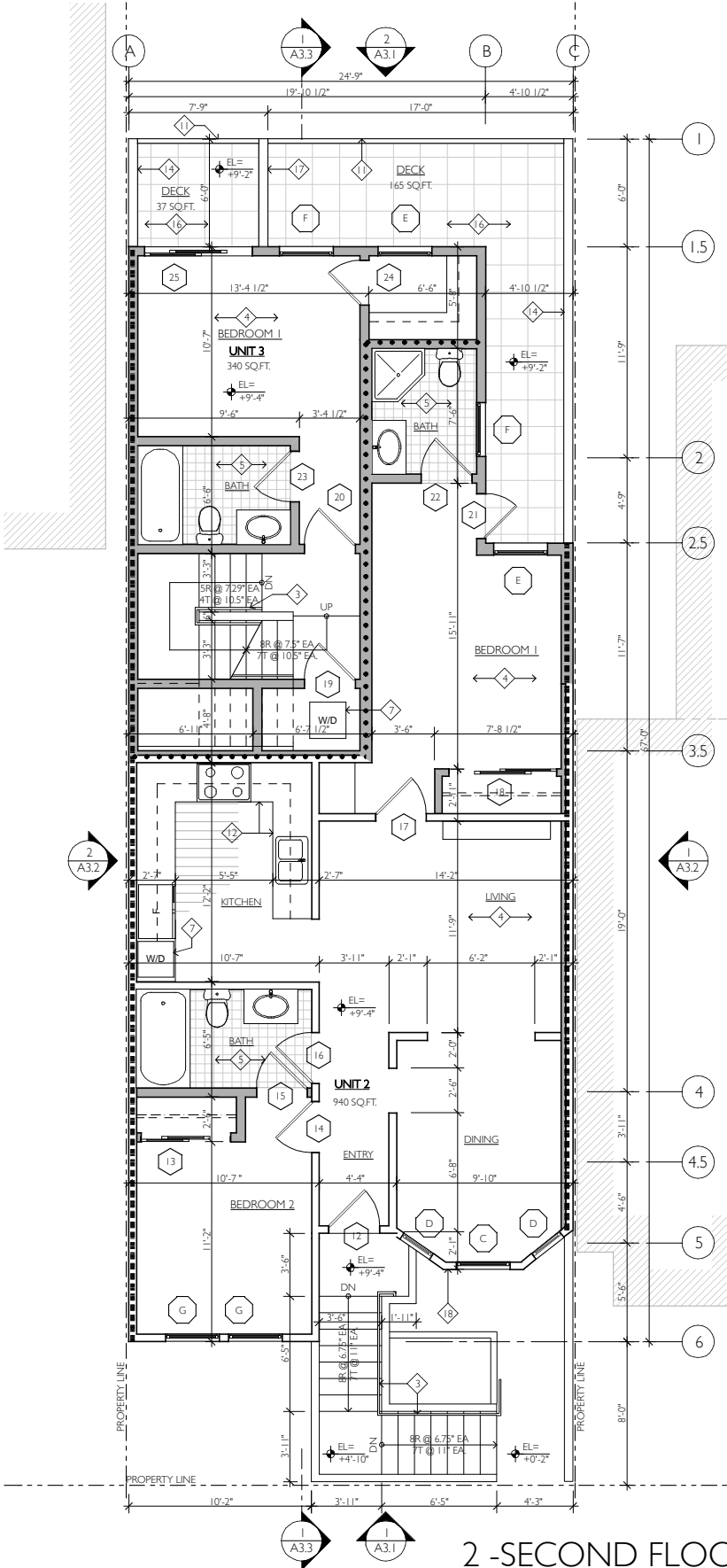
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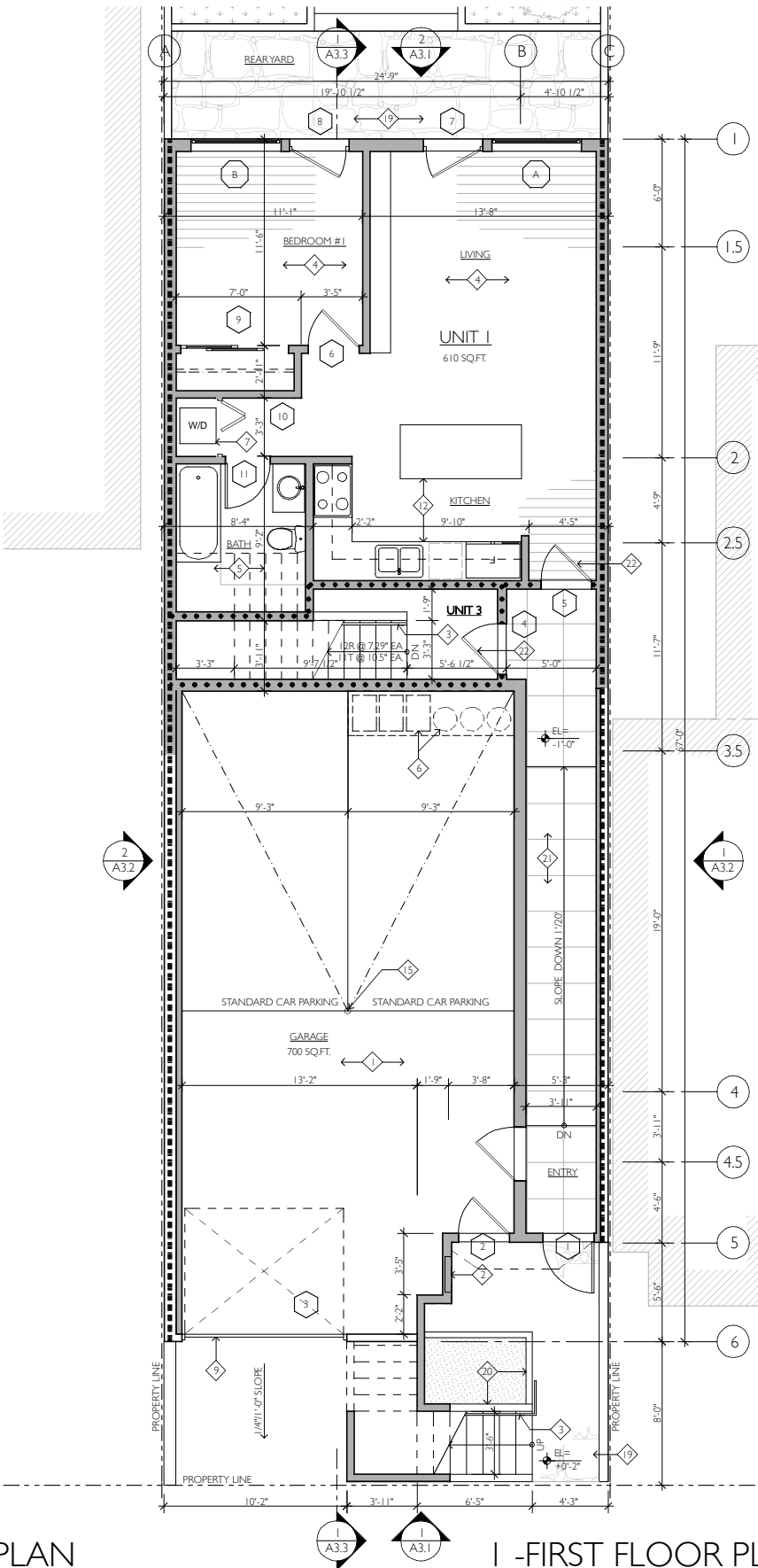
PARTITION LEGEND	
	(E) PARTITION TO BE UPGRADED TO 1 HOUR CONSTRUCTION - SEE DETAILS 2 & 4 /A8.1 FOR ADDITIONAL INFO.
	(N) 1-HOUR FIRE RATED PARTITION - SEE DETAILS 2 & 4 /A8.1 FOR ADDITIONAL INFO.
	(N) 1-HOUR FIRE RATED ACOUSTIC PARTITION BETWEEN UNITS - SEE DETAIL 3 /A8.1 FOR ADDITIONAL INFO.
	(N) 1-HOUR FIRE RATED PROPERTY LINE PARTITION - SEE DETAIL 1 /A8.1 FOR ADDITIONAL INFO.

- FLOOR PLAN KEYNOTES**
- PROVIDE MIN. 1 LAYER TYPE "X" GYP BOARD AT GARAGE.
 - PG&E, TELE & DATA, FIRE SPRINKLER SERVICE PANELS.
 - 1-1/4" Ø GRIPPABLE HANDRAIL @ 36" ABOVE FLOOR, NOSING AND LANDINGS. TYP. HANDRAILS TO RETURN TO WALL AT TOP AND BOTTOM AND ARE CAPABLE OF WITHSTANDING A LOAD OF AT LEAST 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ON THE RAIL. - SEE DTLS 1 & 2 /A8.2 FOR ADDITIONAL INFO.
 - HARDWOOD FLOORS, PAINTED GYP BD. WALLS, 4" PTD. WOOD BASE BOARD TYP. THROUGHOUT - U.O.N.
 - BATHROOMS
CERAMIC TILE AT BATHROOMS - PROVIDE WATER RESISTANT GYP BD. AT AREAS UNDER TILE. AT SHOWER AND TUB LOCATIONS PROVIDE TILE TO MINIMUM 70" ABOVE DRAIN INLET.
SHOWER AND SHOWER-TUB COMBINATIONS TO HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. PROVIDE SAFETY GLAZING. SEE GENERAL NOTE 25/A0.1 FOR ADDITIONAL INFO. TYP.
 - HOT WATER HEATER AND F.A.U. AT PLATFORM MAT +7'-0" A.F.F.
PROVIDE METAL SEISMIC STRAPPING FOR WATER HEATER WITHIN LOWER AND UPPER THIRD OF THE UNIT W/ LOWER STRAP AT LEAST 4" ABOVE CONTROLS.
PROVIDE WATER HEATER PRESSURE /TEMPERATURE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE OF BUILDING.
FLUES FOR FURNACES, WATER HEATERS AND BOILERS SHALL BE TERMINATED AT LEAST 4'-0" FROM PROPERTY LINES, TYP.
PROVIDE HIGH AND LOW OPENINGS FOR ENCLOSED EQUIPMENT. HIGH OPENING MUST BE WITHIN 12" OF CEILING AND LOW OPENING WITH 12" OF FLOOR - PROVIDE 1 SQ. IN. PER 4000 BTU/HR PER OPENING.
PROVIDE 3" MIN. CLEARANCES AT SIDE, TOP AND BOTTOM OF HVAC EQUIPMENT WITH A TOTAL INTERIOR WIDTH OF 12" OF UNIT AND 6" MIN. CLEARANCE FROM UNIT TO DOOR.
 - DRYER VENT TO ROOF - IF DUCT RUN EXCEED 14'-0" PROVIDE DRYER VENT BOOSTER. PROVIDE AT LEAST (1) 20 AMP DEDICATED CIRCUIT.
 - U.L. LISTED PRE-FAB GAS FIREPLACE - INSTALL APPLIANCE AND HEARTH PER MANUFACTURER INSTALLATION INSTRUCTIONS.
FIREPLACE SHALL HAVE THE FOLLOWING MANDATORY FEATURES PER 2005 TITLE 24 PART 6 SEC. 150.
- A CLOSABLE METAL OR GLASS DOOR COVERING THE ENTIRE OPENING OF THE FIREBOX.
- A COMBUSTION AIR INTAKE FROM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX W/ 6 SQ. IN. MIN. IN AREA AND IS EQUIPPED W/ A READILY ACCESSIBLE, OPERABLE, AND TIGHT FITTING DAMPER.
- FLUE DAMPER INSTALLED PER MANUFACTURER INSTALLATION INSTRUCTIONS.
 - PROVIDE SCREENED VENT AT GARAGE DOOR MIN 200 SQ. IN.
 - 42" HIGH GALV. MTL. GUARDRAIL AT PATIOS AND BALCONIES. -SEE DTLS 6 & 7 /A8.2 FOR ADDITIONAL INFO.
 - 36" HIGH GRANITE COUNTER AND ISLAND
 - 42" LOW WALL OR GUARDRAIL
 - 1-HOUR FIRE RATED PROPERTY LINE PARAPET AT MIN. 42" ABOVE DECK / STAIR SURFACE - SEE DTL 5/A8.2 FOR ADDITIONAL INFO.
 - AREA DRAIN - SLOPE SLAB TO DRAIN AT 1/4"=1'-0".
 - ECO-DECK TILE SYSTEM OVER PLI-DEK 1-HOUR RATED, CLASS "A" WALKING DECK AND ROOF COVERING SYSTEM. INSTALL PER MANUF. RECOMMENDATIONS. SLOPE 1/4" / 1'-0" MIN. TO DRAIN.
 - PRIVACY WALL TO +8" A.F.F.
 - PROVIDE CONTINUOUS SCREENED VENT AT BASE OF BAY - TYP.
 - SLIP RESISTANT STONE FLOORING.
 - CONCRETE PLANTERS
 - TILED ENTRY
 - 45 MIN. RATED DOOR W/ CLOSER AND SMOKE SEAL.



2-SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



1-FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

<div> <div> <div>SANTOS & URRUTIA</div> <div>STRUCTURAL</div> <div>ENGINEERS</div> </div> <div> <div>2451 HARRISON STREET</div> <div>SAN FRANCISCO, CA 94110</div> <div>TELEPHONE (415) 642-7722</div> <div>FAX (415) 642-7590</div> </div> </div>	
<div>PROPOSED FLOOR PLANS</div>	
<div> <div>REMODEL AND HORIZONTAL ADDITION</div> <div>CONVERSION OF SINGLE-FAMILY TO (3) UNITS</div> </div>	<div> <div>BLOCK / LOT: 4211 / 009</div> <div>PERMIT APP# 2007.05.21.1784</div> </div>
<div>1140 POTRERO AVENUE, SAN FRANCISCO, CA 94110</div>	
Date:	06.01.09
Scale:	AS NOTED
Drawn By:	R.S.
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DOOR SCHEDULE

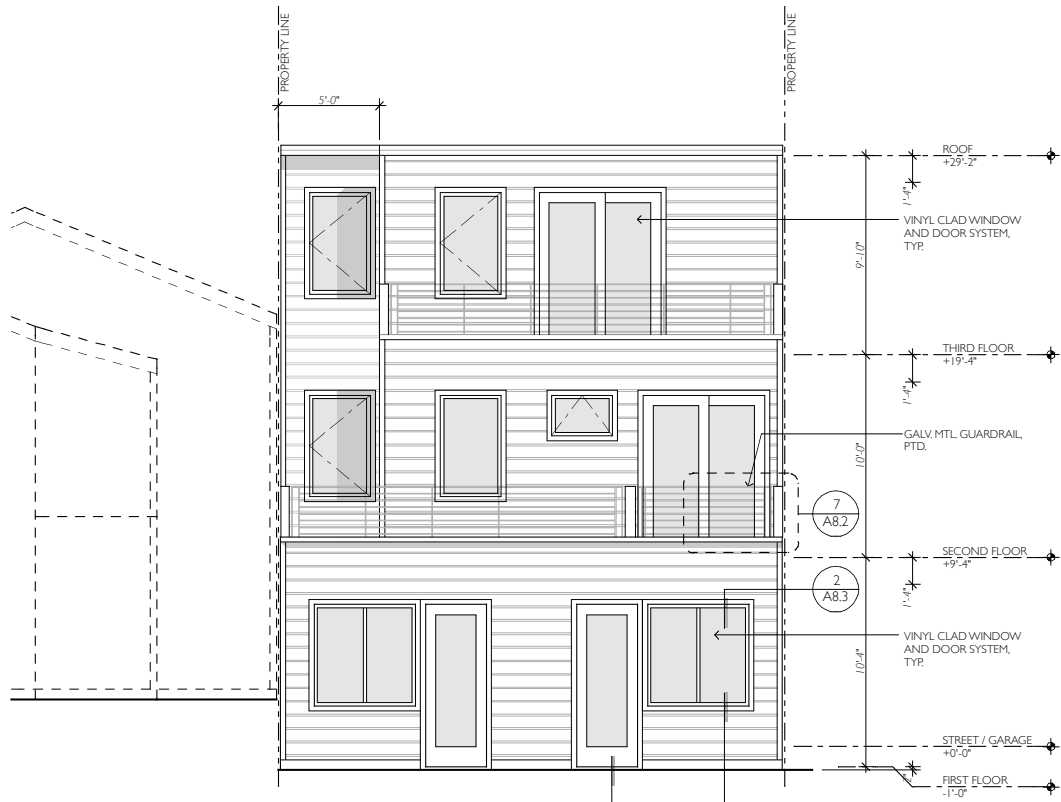
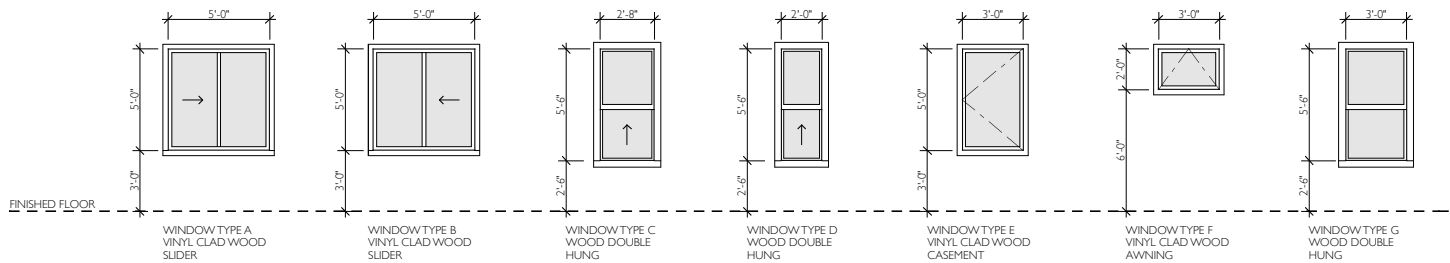
DOOR MARK	OPENING W X H	THICKNESS	TYPE	MATERIAL	FRAME	HARDWARE	NOTES
1	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	ENTRY DOOR
2	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	ENTRY DOOR
3	9'-0" X 7'-0"	MANUFACTURER'S	OVERHEAD	WOOD / TEMP GL	WD. PTD.	MANUFACTURERS	GARAGE DOOR SEE ELEVATION
4	3'-0" X 7'-0"	1 3/8"	SWING	WOOD	WD. PTD.	ENTRANCE LOCK	45 MIN. FIRE RATED DOOR W/CLOSER AND SMOKE SEAL
5	3'-0" X 7'-0"	1 3/8"	SWING	WOOD	WD. PTD.	ENTRANCE LOCK	45 MIN. FIRE RATED DOOR W/CLOSER AND SMOKE SEAL
6	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
7	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	FRENCH DOOR
8	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	FRENCH DOOR
9	6'-0" X 6'-8"	1 3/8"	SLIDING	WOOD	WD. PTD.	-	CLOSET DOORS
10	3'-0" X 6'-8"	1 3/8"	BI-FOLD	WOOD	WD. PTD.	-	
11	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
12	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	ENTRY DOOR
13	6'-0" X 6'-8"	1 3/8"	SLIDING	WOOD	WD. PTD.	-	CLOSET DOORS
14	6'-0" X 8'-0"	1 3/8"	SLIDING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	FRENCH PATIO DOOR
15	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
16	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
17	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
18	6'-0" X 6'-8"	1 3/8"	SLIDING	WOOD	WD. PTD.	-	CLOSET DOORS
19	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	DUMMY TRIM	
20	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
21	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	ENTRY DOOR
22	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
23	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
24	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	DUMMY TRIM	
25	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	FRENCH PATIO DOOR
26	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	FRENCH PATIO DOOR
27	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	FRENCH PATIO DOOR
28	6'-0" X 6'-8"	1 3/8"	SLIDING	WOOD	WD. PTD.	-	CLOSET DOORS
29	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
30	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
31	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
32	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
33	6'-0" X 6'-8"	1 3/8"	SLIDING	WOOD	WD. PTD.	-	CLOSET DOORS
34	2'-8" X 6'-8"	1 3/8"	SWING	WOOD	WD. PTD.	PRIVACY LOCK	
35	3'-0" X 8'-0"	1 3/8"	SWING	WOOD / TEMP GL	WD. PTD.	ENTRANCE LOCK	FRENCH PATIO DOOR

PASSAGE LATCH	BOTH LEVERS ALWAYS UNLOCKED.
BATH / BEDROOM PRIVACY LOCK	PUSH-BUTTON LOCKING. CAN BE OPENED FROM OUTSIDE WITH SMALL NARROW TOOL, TURNING INSIDE LEVER RELEASES BUTTON.
ENTRANCE LOCK	UNLOCKED BY KEY FROM OUTSIDE WHEN OUTER LEVER IS LOCKED BY TURN-BUTTON ON INSIDE LEVER. INSIDE LEVER ALWAYS UNLOCKED.
CLASSROOM LOCK	OUTSIDE LEVER LOCKED AND UNLOCKED BY KEY; INSIDE LEVER ALWAYS UNLOCKED.
STOREROOM LOCK	OUTSIDE LEVER FIXED. ENTRANCE BY KEY ONLY; INSIDE LEVER ALWAYS UNLOCKED.
SINGLE DUMMY TRIM	DUMMY TRIM FOR ONE SIDE OF DOOR, USED FOR DOOR PULL OR AS MATCHING INACTIVE TRIM.

WINDOW SCHEDULE

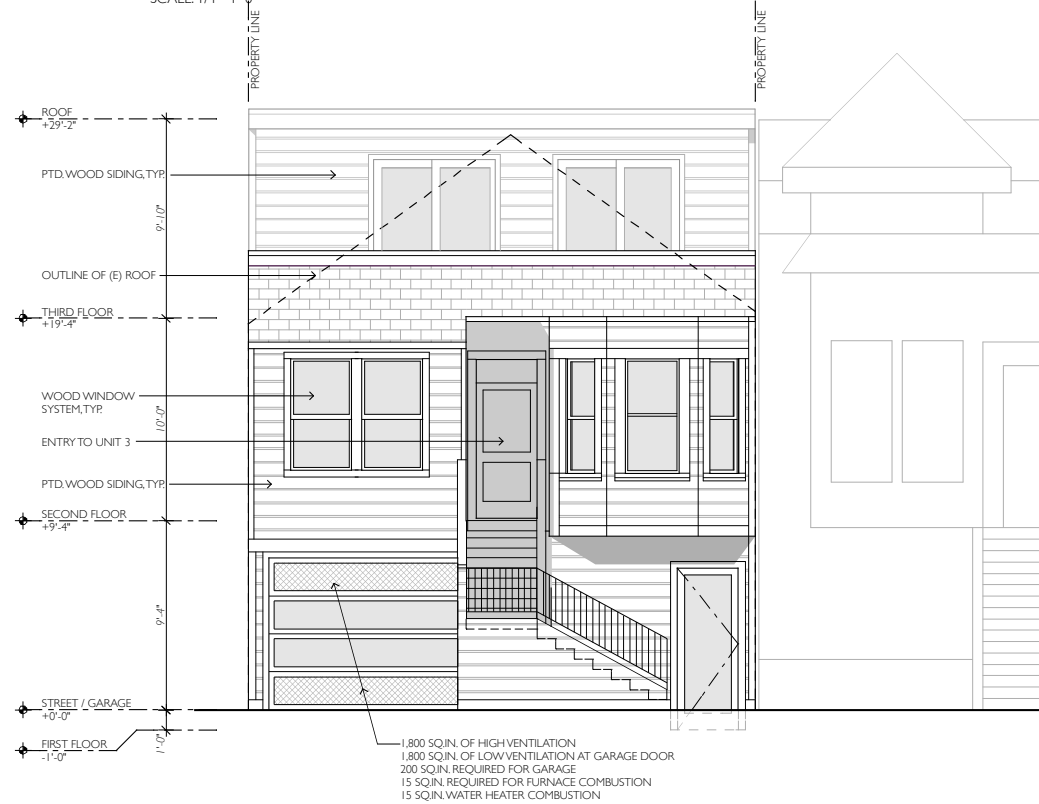
WINDOW MARK	OPENING W X H	TYPE	MANUFACTURER	HEAD HEIGHT	GLAZING	NOTES	MIN. U-FACTOR
A	5'-0" X 5'-0"	SLIDER	MARVIN INTEGRITY VINYL CLAD	8'-0"	DBL GLAZED / LOW E	-	0.30
B	5'-0" X 5'-0"	SLIDER	MARVIN INTEGRITY VINYL CLAD	8'-0"	DBL GLAZED / LOW E	-	0.30
C	2'-8" X 5'-6"	DOUBLE HUNG	MARVIN WOOD WINDOWS	8'-0"	DBL GLAZED / LOW E	MATCH EXISTING	0.30
D	2'-0" X 5'-6"	DOUBLE HUNG	MARVIN WOOD WINDOWS	8'-0"	DBL GLAZED / LOW E	MATCH EXISTING	0.30
E	3'-0" X 5'-0"	CASEMENT	MARVIN INTEGRITY VINYL CLAD	8'-0"	DBL GLAZED / LOW E	-	0.30
F	3'-0" X 2'-0"	AWNING	MARVIN INTEGRITY VINYL CLAD	8'-0"	DBL GLAZED / LOW E	-	0.30
D	3'-0" X 5'-6"	DOUBLE HUNG	MARVIN WOOD WINDOWS	8'-0"	DBL GLAZED / LOW E	MATCH EXISTING	0.30

WINDOW TYPE



2 - PROPOSED REAR (WEST) ELEVATION

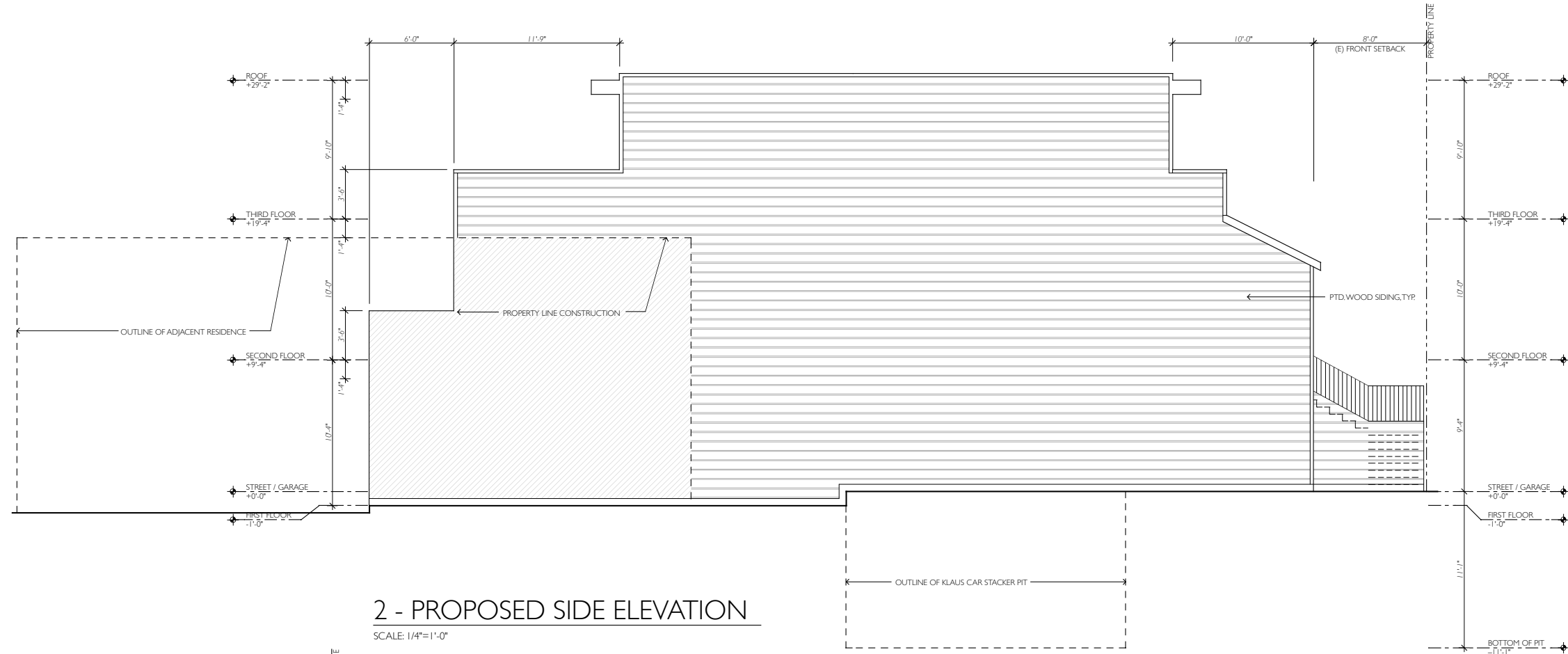
SCALE: 1/4"=1'-0"



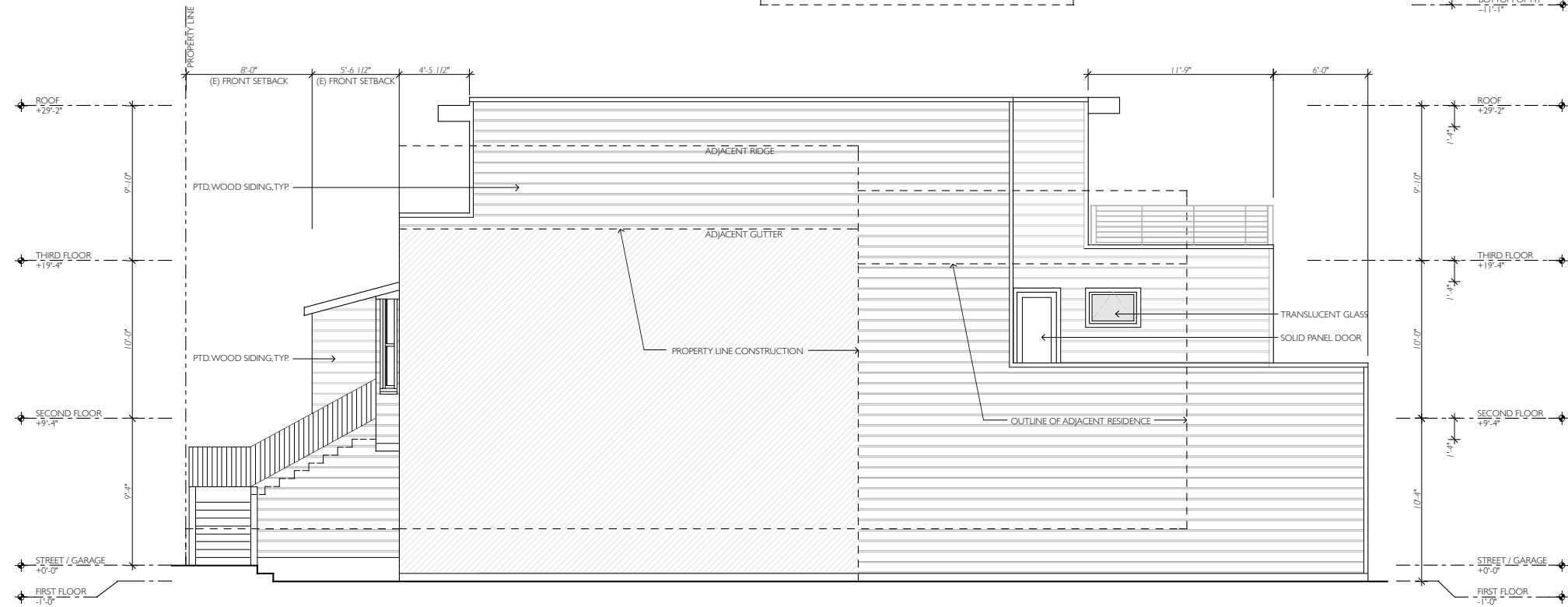
I - PROPOSED FRONT (EAST) ELEVATION

SCALE: 1/4"=1'-0"

<p>REMODEL AND HORIZONTAL ADDITION CONVERSION OF SINGLE-FAMILY TO (3) UNITS</p> <p>BLOCK / LOT: 4211 / 009 PERMIT APP.# 2007.05.21.1784</p> <p>1140 POTRERO AVENUE, SAN FRANCISCO, CA 94110</p>		<p>PROPOSED EAST AND WEST ELEVATIONS / SCHEDULES</p>	<p>SANTOS & URRUTIA STRUCTURAL INC ENGINEERS 2451 HARRISON STREET SAN FRANCISCO, CA 94110 TELEPHONE (415) 642 - 7722 FAX (415) 642 - 7590</p>						
<p>Date: 06.01.09</p> <p>Scale: AS NOTED</p> <p>Drawn By: R.S.</p> <p>Job No: ----</p>		<p>Sheet</p> <p>A3.1</p>							



2 - PROPOSED SIDE ELEVATION
SCALE: 1/4"=1'-0"



1 - PROPOSED SIDE ELEVATION
SCALE: 1/4"=1'-0"

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PROPOSED NORTH
AND SOUTH
ELEVATIONS

REMODEL AND HORIZONTAL ADDITION
CONVERSION OF SINGLE-FAMILY TO (3) UNITS
BLOCK / LOT: 4211 / 009
PERMIT APP# 2007.05.21.1784
1140 POTRERO AVENUE, SAN FRANCISCO, CA 94110

Date: 06.01.09

Scale: AS NOTED

Drawn By: R.S.

Job No: ---

Sheet
A3.2