## MEMO

# **Disclaimer for Review of Plans**

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377

# NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, November 17, 2010

Time: **Beginning at 9:30 AM** 

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance (Rear Yard)
Hearing Body: Zoning Administrator

PROPERTY INFORMATION	APPLICATION INFORMATION							
Project Address: 3690 21st Street Cross Street(s): Sanchez & Church Streets Block /Lot No.: 3605/022 Zoning District(s):RH-1/ 40-X Area Plan: Dolores Heights SUD	Case No.: 2010.0712V Building Permit: 2010.07.02.5866 Applicant/Agent: Bruce Tomb Telephone: (415) 970-9210 E-Mail: bt@brucetomb.com							

## PROJECT DESCRIPTION

The project site contains a single-family structure. The project is to enclose and reconfigure existing exterior stairs located at the rear of the dwelling. The project will not increase the height or building footprint of the existing dwelling.

**PER SECTION 241 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 47.25 feet. The existing single-family structure encroaches approximately 22.5 feet into the required rear yard; therefore, the project requires a variance from the rear yard requirement (Section 241 – Dolores Heights Special Use District) of the Planning Code.

**PER SECTION 188 OF THE PLANNING CODE** a non-complying structure can be altered, providing that there is no new or increased discrepancy at any level between existing conditions on the lot and the required standards of the Planning Code. The rear dwelling constitutes a non-complying structure from the rear yard requirement with an existing rear yard setback of approximately 24.75 feet, where approximately 47.25 feet is required.

### ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Adrian C. Putra Telephone: (415) 575-9079 E-Mail: adrian.putra@sfgov.org

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <a href="http://sf-planning.org/ftp/files/notice/2010.0712V.pdf">http://sf-planning.org/ftp/files/notice/2010.0712V.pdf</a>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

### VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

### **BUILDING PERMIT APPLICATION INFORMATION**

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. On 10/7/10, the Department issued the required Section 311/312 notification for this project, which expires on 11/6/10.

### **BOARD OF APPEALS**

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

### **ABOUT THIS NOTICE**

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <a href="http://upn.sfplanning.org">http://upn.sfplanning.org</a> for more information.

中文詢問請電: 415.558.5956

Para información en Español llamar al: 415.558.5952

# 3690 21st Street, Remodel

# Main House Remodel (Rear Stair Enclosure) SITE PERMIT SET

# **GENERAL NOTES**

- 1. All construction shall conform to the California Building Code 2007 Edition.
- 2. Contractor shall verify all dimensions at job site before commencing work and shall report any discrepancies to Bruce Tomb.
- 3. Omissions or conflict between various elements of the drawings, notes, and details shall be brought to the attention of Bruce Tomb and resolved before proceeding with the work.
- 4. Do not use scaled dimension; use written dimensions or where no dimension is provided, consult Bruce Tomb for clarification before proceeding with the work.
- 5. Details shown shall be incorporated into the project at all appropriate locations whether specifically called out or not.
- 6. Holes and openings through walls and floors for ducts, piping and ventilation shall be checked by the contractor, who shall verify sizes and location of such holes or openings with the plumbing, heating, ventilating and electrical drawings and these subcontractors.
- 7. No pipes or ducts shall be placed in slabs or walls unless specifically detailed or approved by Bruce Tomb or the engineer.
- 8. Subcontractor shall be responsible for means and methods of construction including but not limited to shoring and temporary bracing.
- The subcontractor shall undertake all necessary measures to insure safety of all persons and structures at the site and adjacent to the site. Observation visits to the site by Bruce Tomb or the engineer shall not relieve the subcontractor of such responsibility
- Drawings and specifications represent finished surfaces.

## SHEET INDEX

A0.1	COVER SHEET, SITE PLAN, SHEET INDEX,
	PROJECT DATA, PROJECT TEAM, LOCATION MA
A1.0	EXISTING BASEMENT FLOOR PLAN
A1.1	EXISTING FIRST FLOOR PLAN
A1.2	EXISTING SECOND FLOOR PLAN
A1.3	PROPOSED BASEMENT FLOOR PLAN

- PROPOSED FIRST FLOOR PLAN A1.5 PROPOSED SECOND FLOOR PLAN
- PROPOSED ROOF PLAN A1.6 A1.7 DOOR & WINDOW SCHEDULES
- **EXISTING FLEVATIONS** A2.0 **EXISTING ELEVATIONS**
- Δ2 2 EXISTING ELEVATIONS EXISTING ELEVATIONS
- A2.4 PROPOSED ELEVATIONS PROPOSED ELEVATIONS A2.5 PROPOSED ELEVATIONS
- A2.7 PROPOSED ELEVATIONS A3.0 PROPOSED SECTION

# PROJECT DATA

PROJECT ADDRESS:

San Francisco, CA 94114 PROJECT DESCRIPTION:

ASSESSOR'S PARCEL: Block 3605, LOT #22

OCCUPANCY: CONSTRUCTION TYPE: NUMBER OF STORIES:

HEIGHT LIMIT: 40-X (26 Ft. Existing Height)

LOT SIZE: 5,985 Sq.Ft.

OCCUPIED FLOOR AREA: (E) Basement: 1,430 Sq.Ft. (E) First Floor: 1,852 Sq.Ft.

(E) Second Floor: 926 Sq.Ft. Total (E) Occupied Floor Area= 4,208 Sq.Ft

(N) Basement: 1,482 Sq.Ft. (N) First Floor: 1,918 Sq.Ft. (N) Second Floor: 926 Sq.Ft.

Total (N) Occupied Floor Area= 4,326 Sq.Ft.

CONDITIONED FLOOR AREA: (NO CHANGE)

(E) Basement: 1,430 Sq.Ft. (E) First Floor: 1.852 Sa.Ft. (E) Second Floor: 926 Sa.Ft.

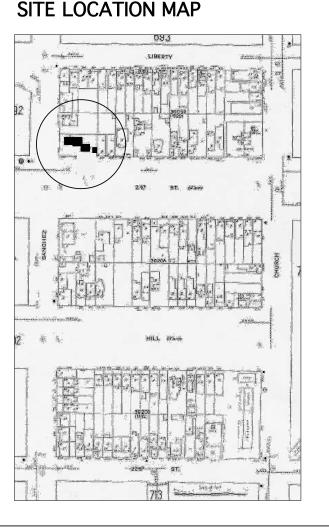
Total (E) Conditioned Floor Area= 4,208 Sq.Ft.

UNCONDITIONED FLOOR AREA: (N) Basement: 52 Sq.Ft.

(N) First Floor: 66 Sq.Ft. (N) Second Floor: O Sq.Ft.

Total (N) Unconditioned Floor Area = 118 Sq.Ft.

# TYPICAL ABBREVIATIONS



# NORTH NEW NOT IN CONTRACT NOMINAL NOT TO SCALE ON CENTER OUTSIDE DIAMETER OPPOSITE OVEN OUNCE PERFORATED PLASTIC PROPERTY LINE PLASTER PLYWOOD PLYWOOD PAIR POINT POLYVINYL CHLORIDE PIPE ROOM ROUGH OPENING SHEET ROCK TOP OF WALL TYPICAL UNLESS OTHERWISE NOTED UNFINISHED GYPSUM HOSE BIB HARDWARE HORIZONTAL WATER CLOSET WOOD WOOD WITH OUT WEIGHT WOVEN WIRE MESH MISCELLANEOUS MOUNTED METAL

PROJECT DIRECTORY

OWNER: Frederick Roeber & Gina Sanfilippo

367 Chenery Street San Francisco, CA 94131 . 415.469.8683 t. 415.425.4462

Bruce Tomb Office DESIGNER Principal: Bruce Toml

Project Team Julie Cloutier Kelley Coelho 1240 Valencia Stree San Francisco, CA 94110 t. 415.970.9210 f. 415.970.1492

STRUCTURAL ENGINEERING Val A. Rabichev, P.E.

1700 Rush Street Suite 1A San Francisco, CA 94109 . 415.441.0809

TIMBER FRAMING CONSULTANT: Jennifer Anthony, P.E., S.E. 201 S. 4th Street, W. #2

t 406 721 7833

TITLE 24 CONSULTANT Energy West 4050 Harlan Street Emeryville, CA 94608 t. 510.652.4433

GENERAL CONTRACTOR

1535 Grand Avenue Piedmont, CA 94611 t 415 652 4723

SAN FRANCISCO COUNTY San Francisco Planning Department

t. 415.558.6377 t. 415.558.6133

(E) Site Plot/Roof Plan

Provide Smoke Alarms Per SFBC Sec. 907.2.10.1.2

## Scope of Work

Exterior Work shall Include Enclosing (E) Stair and Mudroom with Glazing, to be Unconditioned Space, with (N) Reconfigured Stair.

# **Permits Issued on Property**

Permit #1169704 for Detached Garage Issued on 10.20.08

Permit #1174322 for Detached Garage Issued on 12.15.08

Permit #1181067 for Basement Foundation Issued on 03.23.09

Permit #1184869 for Detached Garage Re-Stucco Issued on 05.06.09

Permit #1184870 for Basement Expansion Issued on 05.06.09

Permit #1191482 for Re-Roofing of Main House Issued on 08.05.09

Permit #1195398 1 for Main House Issued on 09.25.09

Permit #1206788 2 for Main House

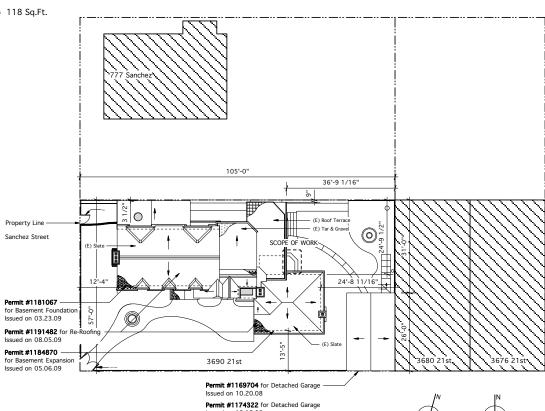
Issued on 03.11.10

Permit #1213272 for Replacing of (E) Retaining Wall

True North

Project North

Issued on 06.02.10



Permit #1184869 for Detached Garage Re-Stucco

OMB 415.970.92

REVISIONS

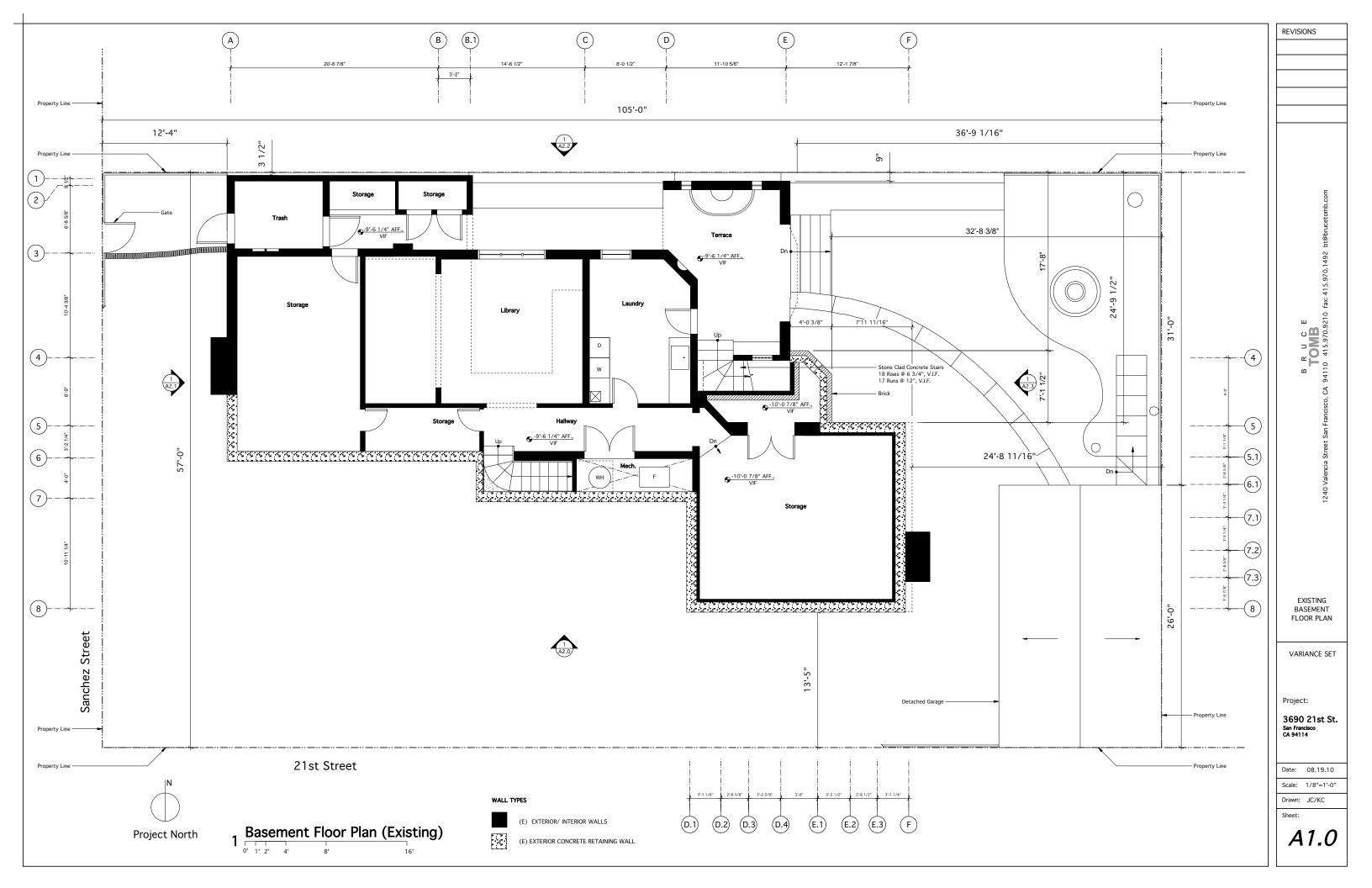
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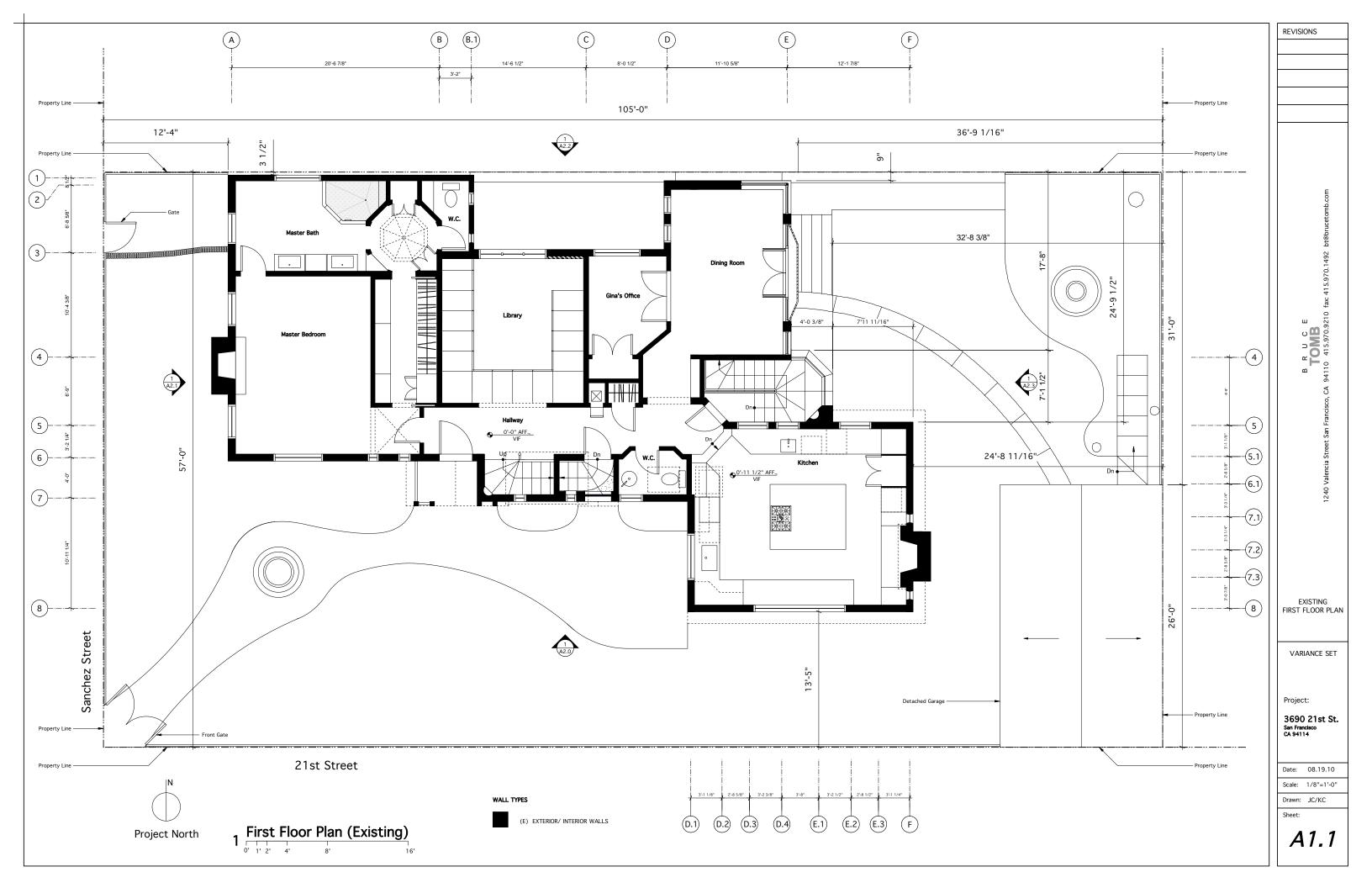
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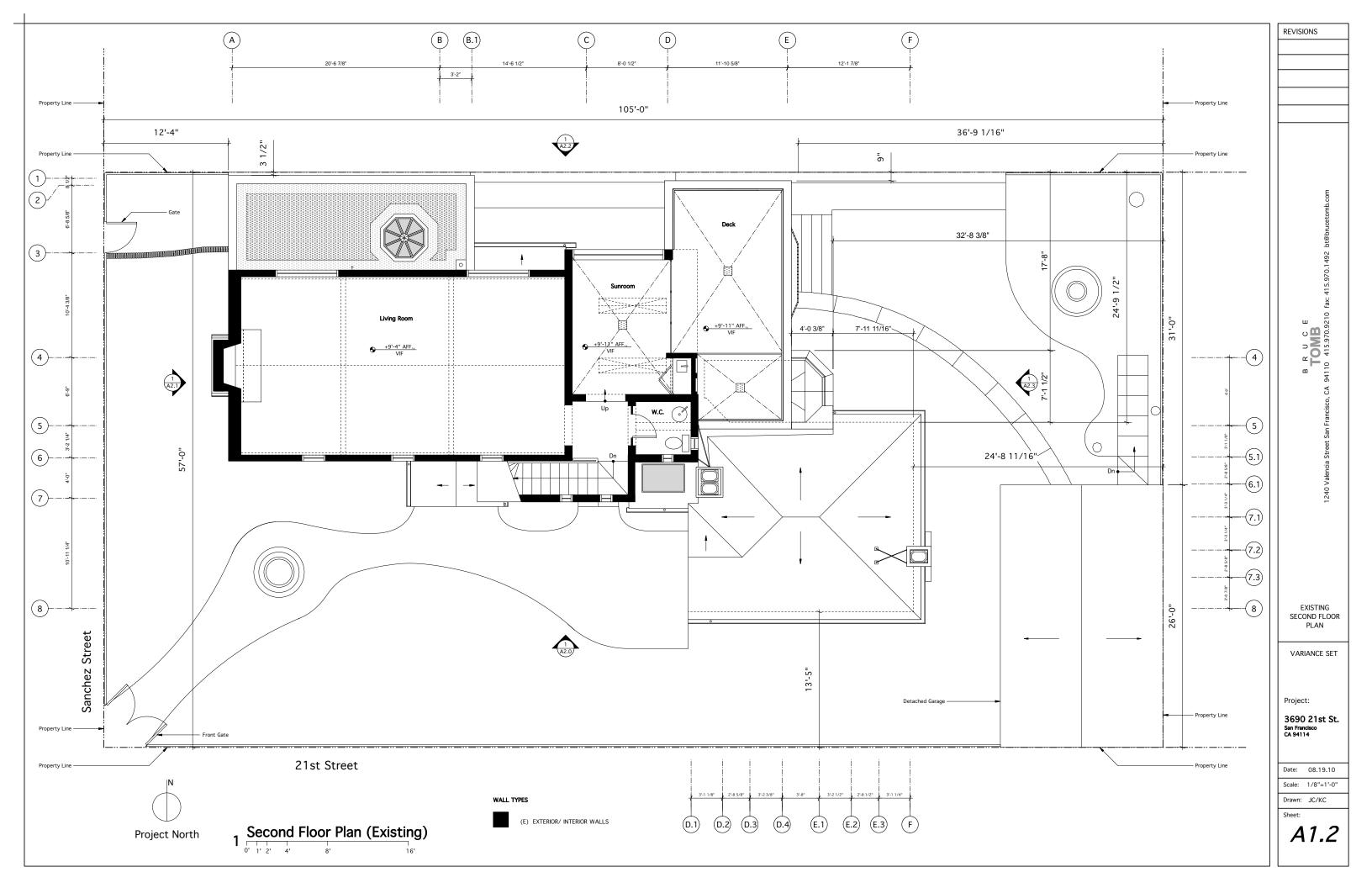
3690 21st St.

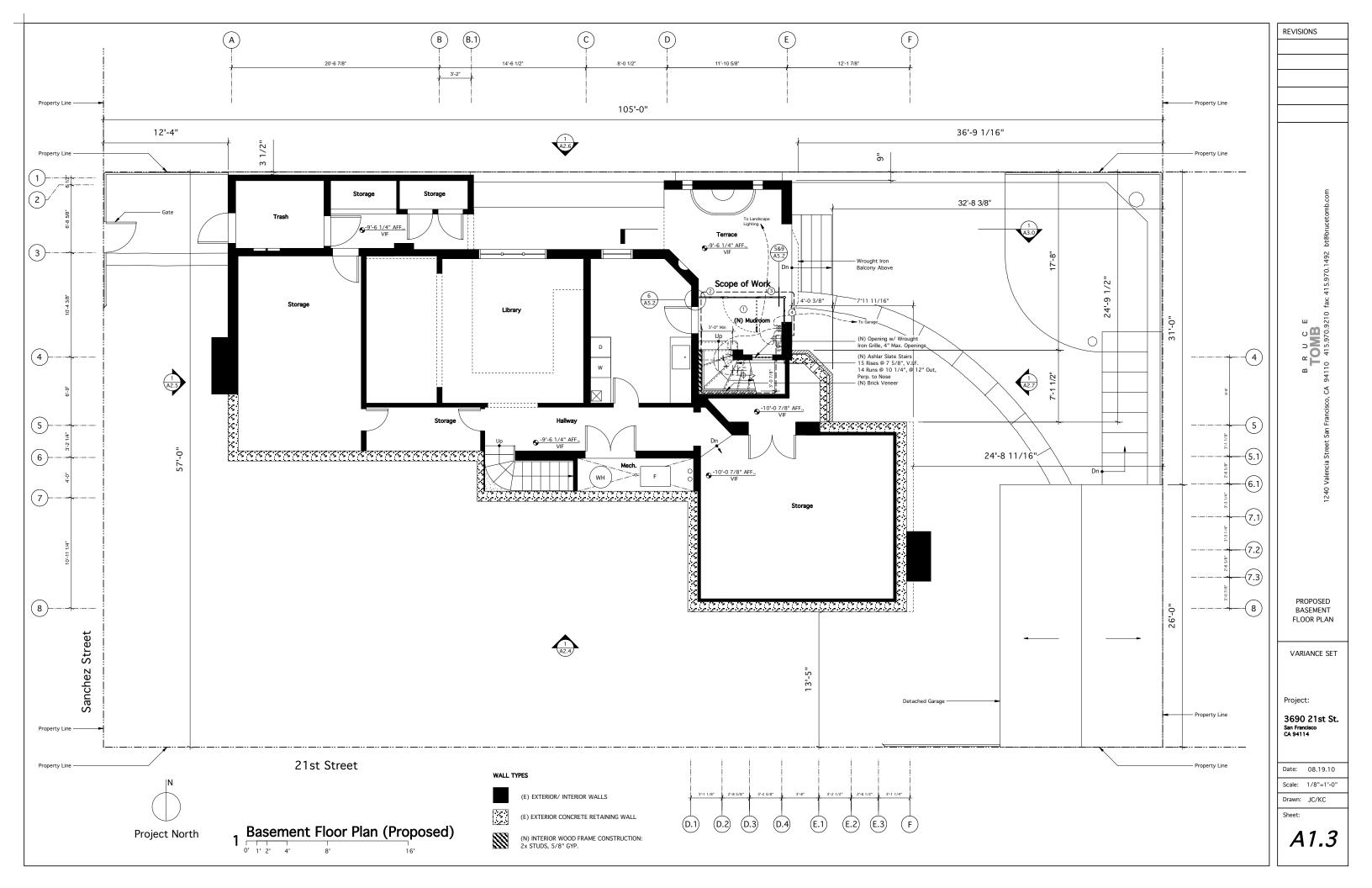
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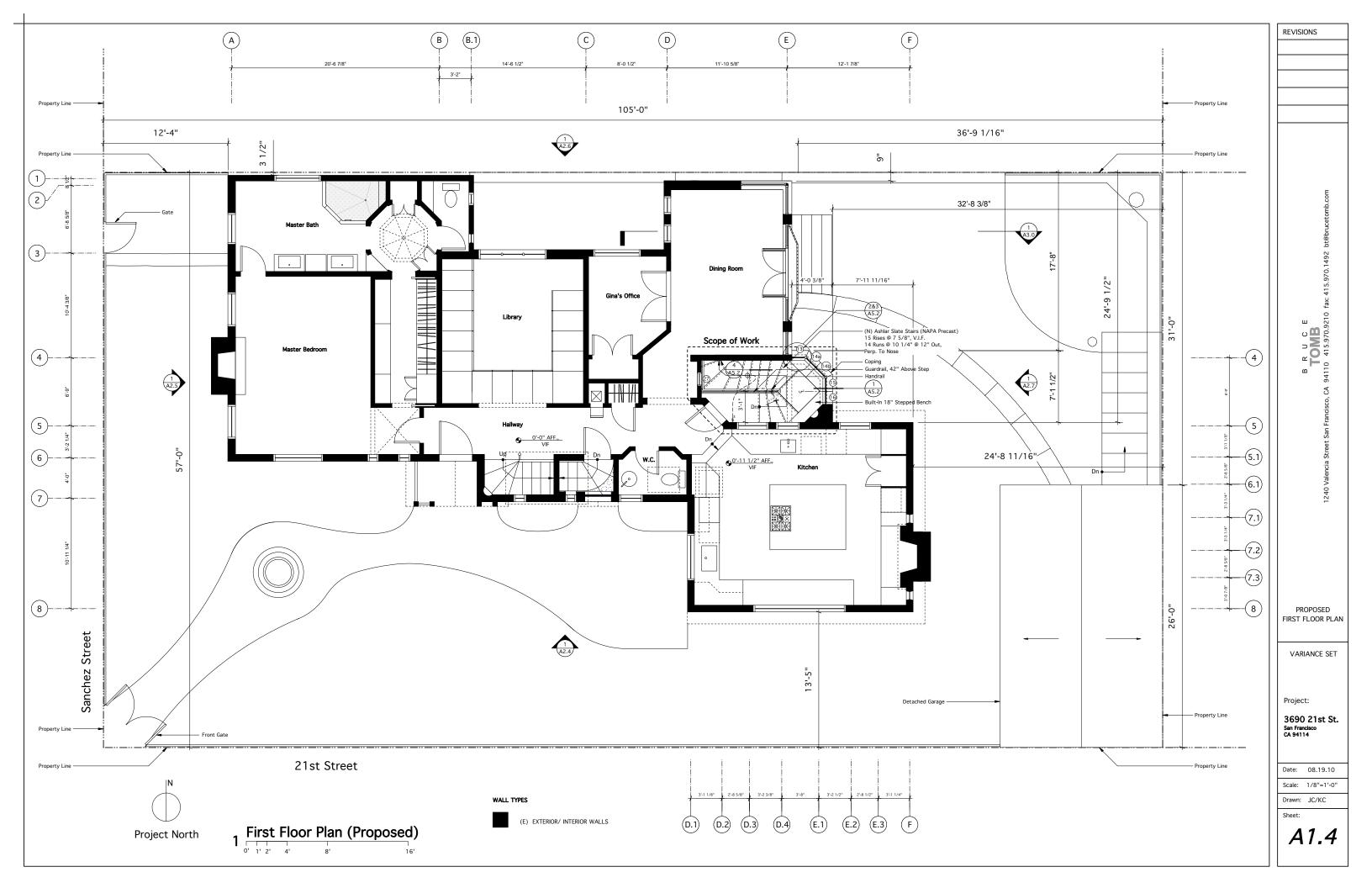
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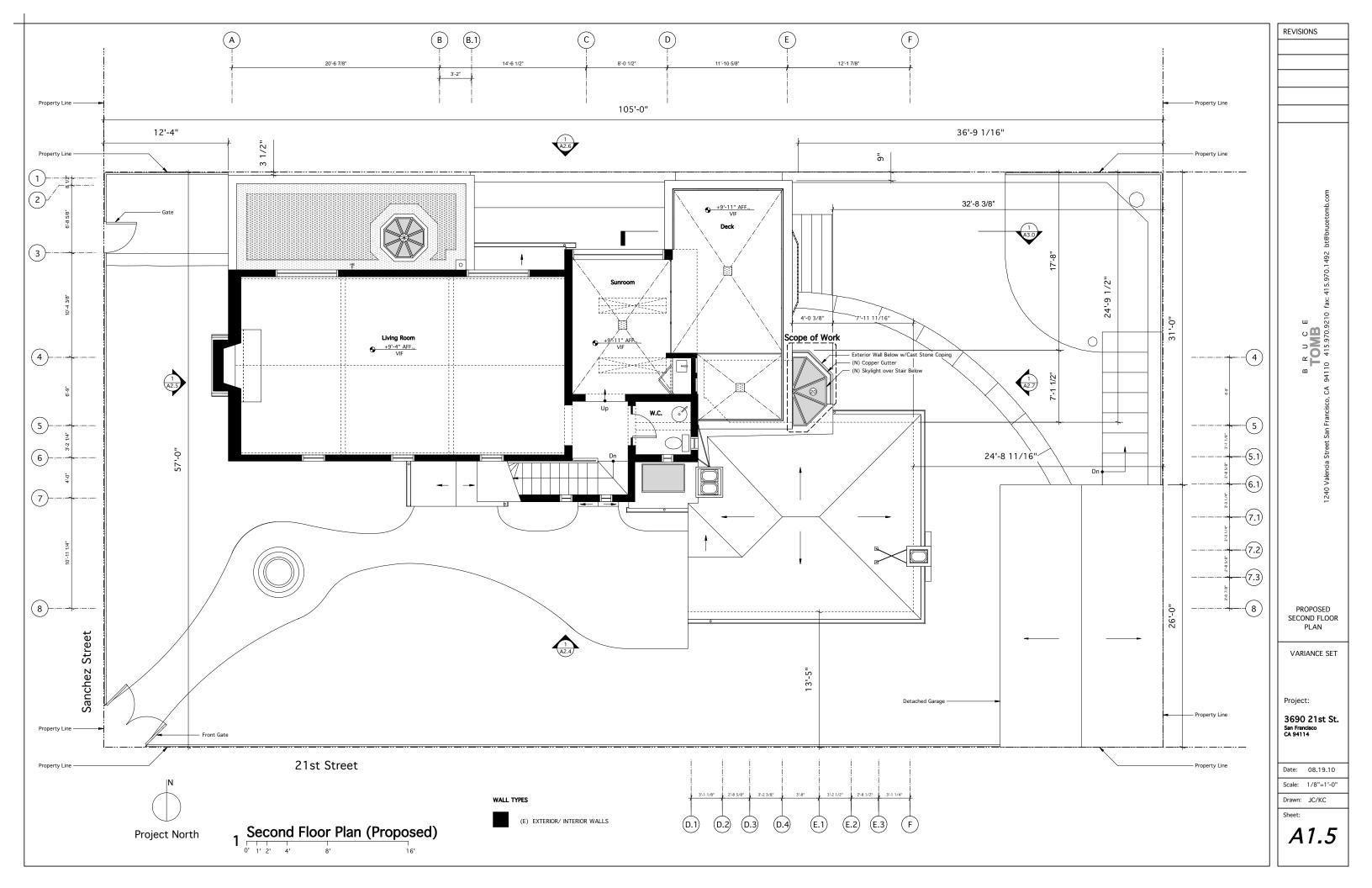


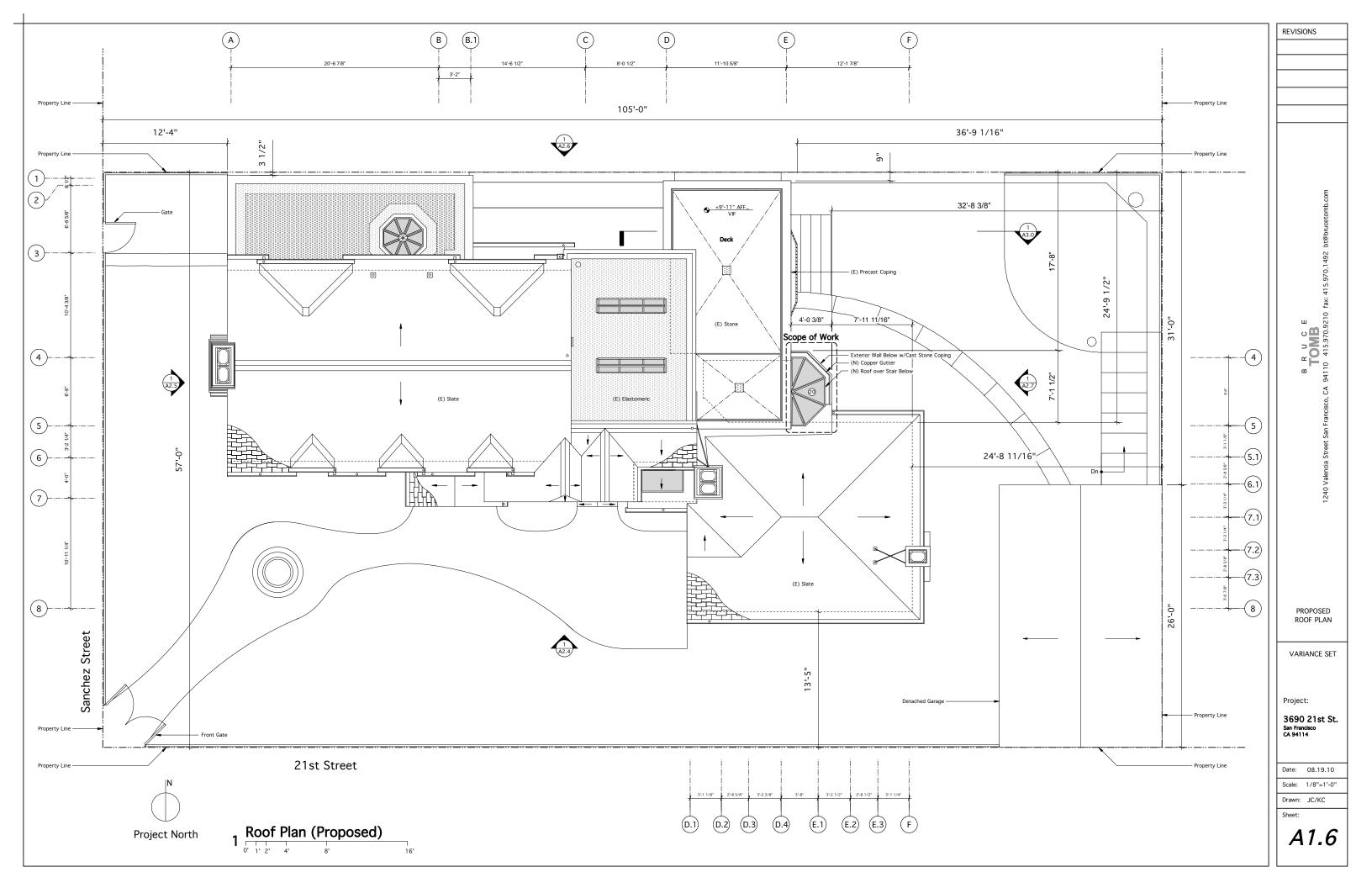












_																				
DOOR SCHEDULE																				
DOOK JOHEDOLL																				
														HARDWARE			DETAILS			
No.	HEIGHT	WIDTH	HEIGHT R.O.	WIDTH R.O.	THICKNESS	MODEL	OPERATION/TYPE	PANELS	GLAZING	FINISH	FRAME	VENEER	MANUFACTURER	KNOB	HINGE	BACKSET	HEAD	JAMB	SILL	NOTE
Bas	Basement Floor																			
1	NA	NA	7'9 5/8"	3'8"					Laminated Single Pane w/ Divided Lites		Steel			NA						
D00	R NOTES:																			
1. V	erify All Di	mensions In Field.																		
2. A	2. All Steel Door Finishes to be Electro Galvanized, Bond and Prime																			

WII	NDOW SCH	HEDULE											
										DETAILS			NOTE
No.	HEIGHT	WIDTH	ROOM	MODEL	OPERATION	GLAZING	FRAME	HARDWARE	MANUFACTURER	HEAD	JAMB	SILL	
Bas	ement Floor												
2	8'1 3/8"	2'4 1/2"	Mudroom	100	Fixed	Laminated Single Pane w/ Divided Lites	Steel	NA					See Note 5
3	8'1 3/8"	2'4 1/2"	Mudroom	100	Fixed	Laminated Single Pane w/ Divided Lites	Steel	NA					See Note 5
4	7'9 5/8"	2'4 1/2"	Mudroom	100	Fixed	Laminated Single Pane w/ Divided Lites	Steel	NA					See Note 5
Firs	t Floor												
13	11'-0"	1'-3"	Stair	100	Fixed	Single Pane w/ Divided Lites	Steel	NA					Leaded Glass *, See Note 5
14a	11'-0"	1'-3"	Stair	100	Fixed	Single Pane w/ Divided Lites	Steel	NA					Leaded Glass *, See Note 5
14b	10'-4 5/16"	1'-3"	Stair	100	Fixed	Single Pane w/ Divided Lites	Steel	NA					Leaded Glass *, See Note 5
15	10'-4 5/16"	1'-3"	Stair	100	Fixed	Single Pane w/ Divided Lites	Steel	NA					Leaded Glass *, See Note 5
16	9'-8 3/4"	1'-3"	Stair	100	Fixed	Single Pane w/ Divided Lites	Steel	NA					Leaded Glass *, See Note 5
20	7'6"	3'9"	Stair	100	Skylight (Half Octagon)	Single Pane, Low-E	Steel	NA					Leaded Glass, See Note 5
27	4'0"	1'4"	Servery	100	Fixed	Double Pane, Low-E	Steel	NA					Leaded Glass, See Note 5, 18" A.F.F.
14/11/15	OW NOTES												
	OW NOTES:	<u> </u>	+										
	rify All Dimensions		. 01 : 15		<u> </u>								
_	Steel Window Fini	ISNES TO DE EIG	ectro Gaivanized, E	sona ana i	rimea						+	-	
4													
5. Dir	nensions are to ro	ugh opening.											
		<u> </u>									1		
* Lea	ded Glass Panes -	Maximum Dim	ension Will Not Al	low a 3"	Sphere to Pass.								

REVISIONS

TOMB

DOOR & WINDOW SCHEDULES

VARIANCE SET

Project:

3690 21st St. San Francisco CA 94114

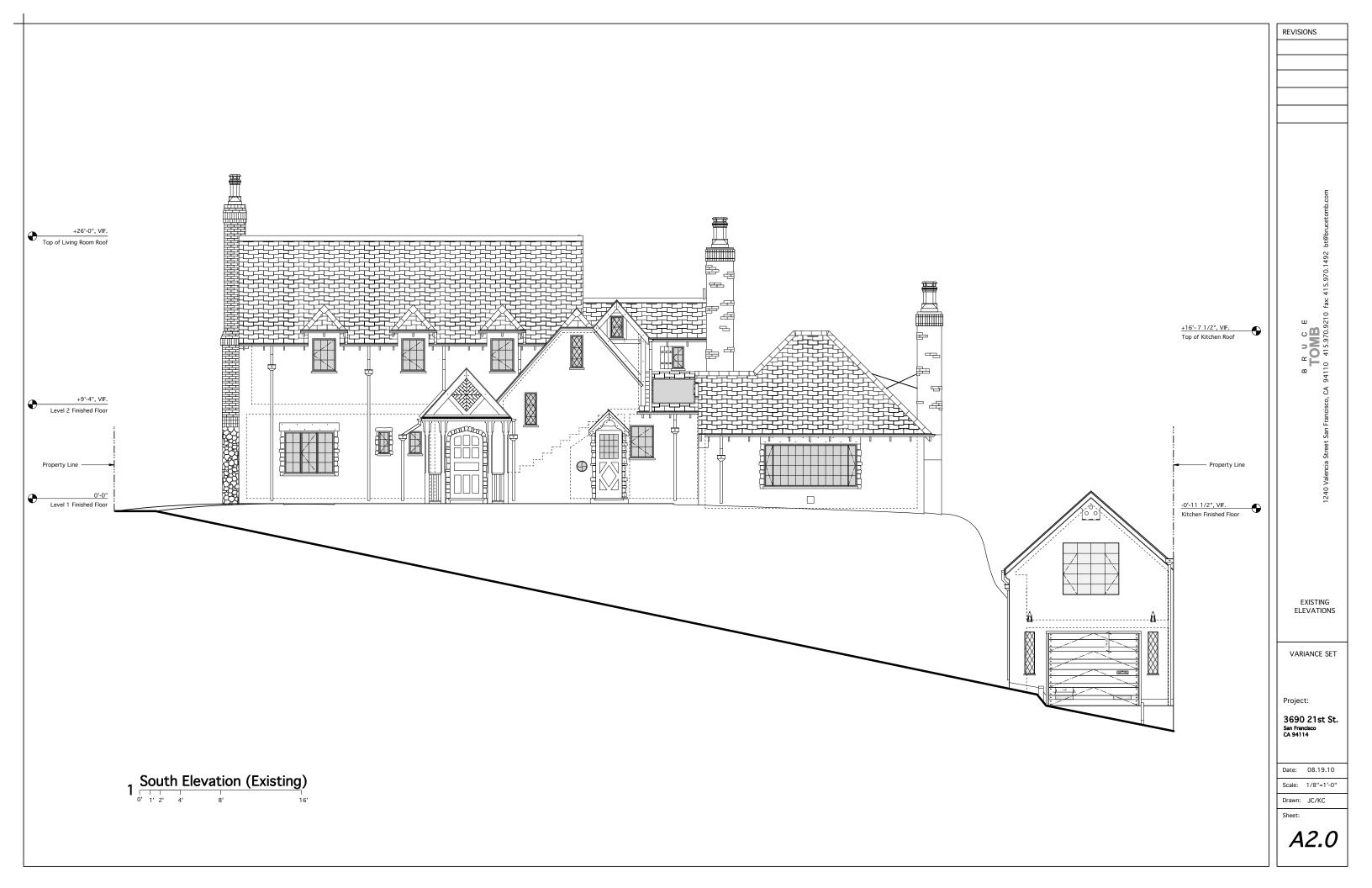
Date: 08.19.10

Scale:

Drawn: JC/KC

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A1.7





1 West Elevation (Existing)

REVISIONS

B R U C E **TOMB** n Francisco, CA 94110 415.970.1492 bt@brucet

EXISTING ELEVATIONS

VARIANCE SET

Project:

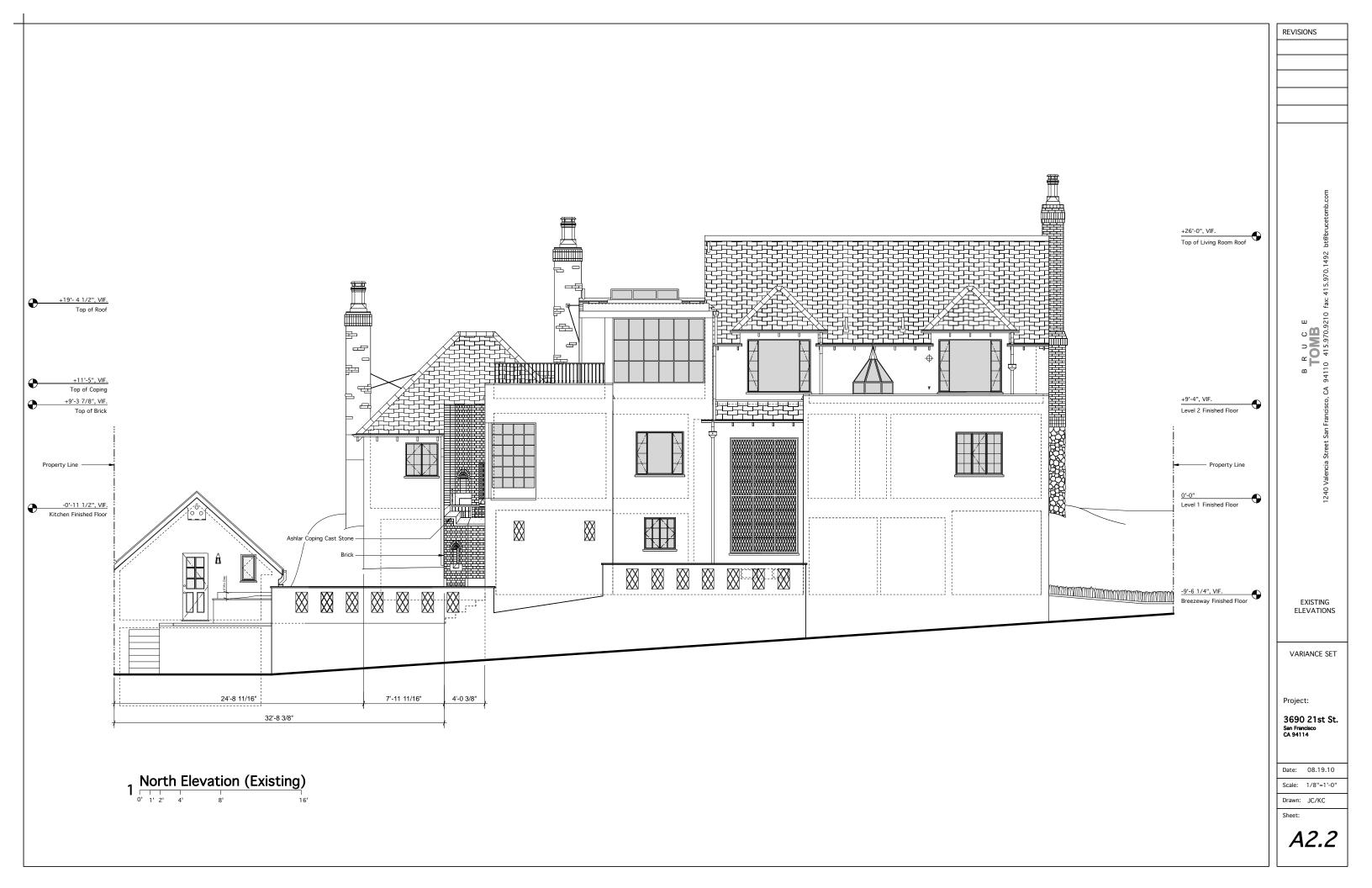
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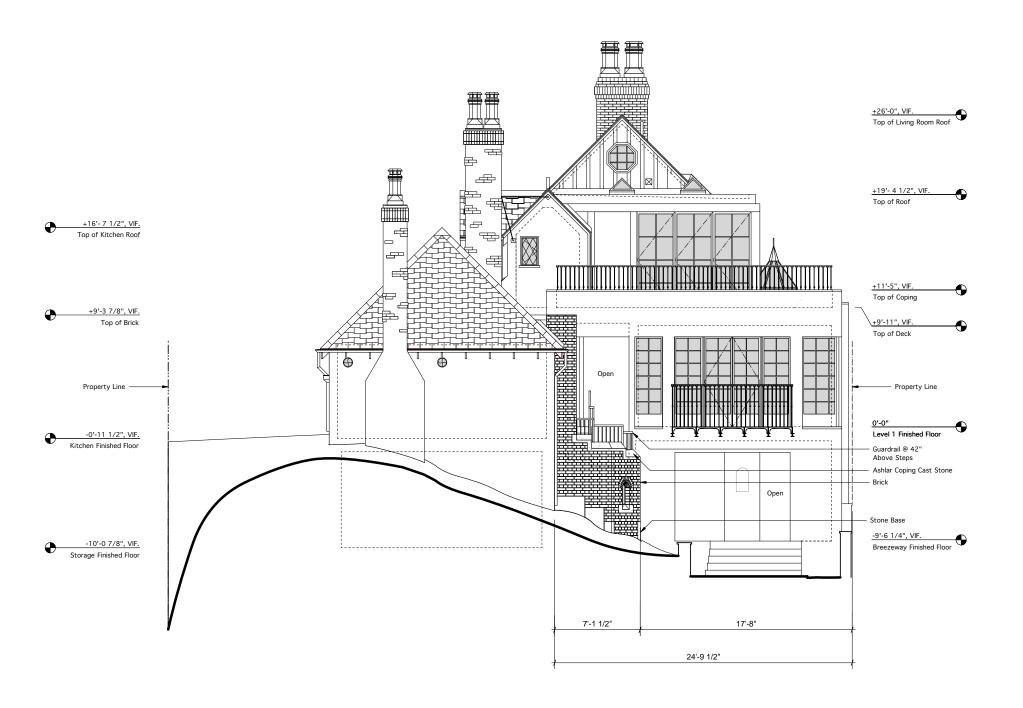
Date: 08.19.10

Scale: 1/8"=1'-0"

Drawn: JC/KC

Sheet:





1 East Elevation (Existing)

BRUCE
TOMB
Valencia Street San Francisco, CA 94110 415.970.9210 fax: 415.970.1492 bt@brucetomb.com

REVISIONS

EXISTING ELEVATIONS

VARIANCE SET

Project:

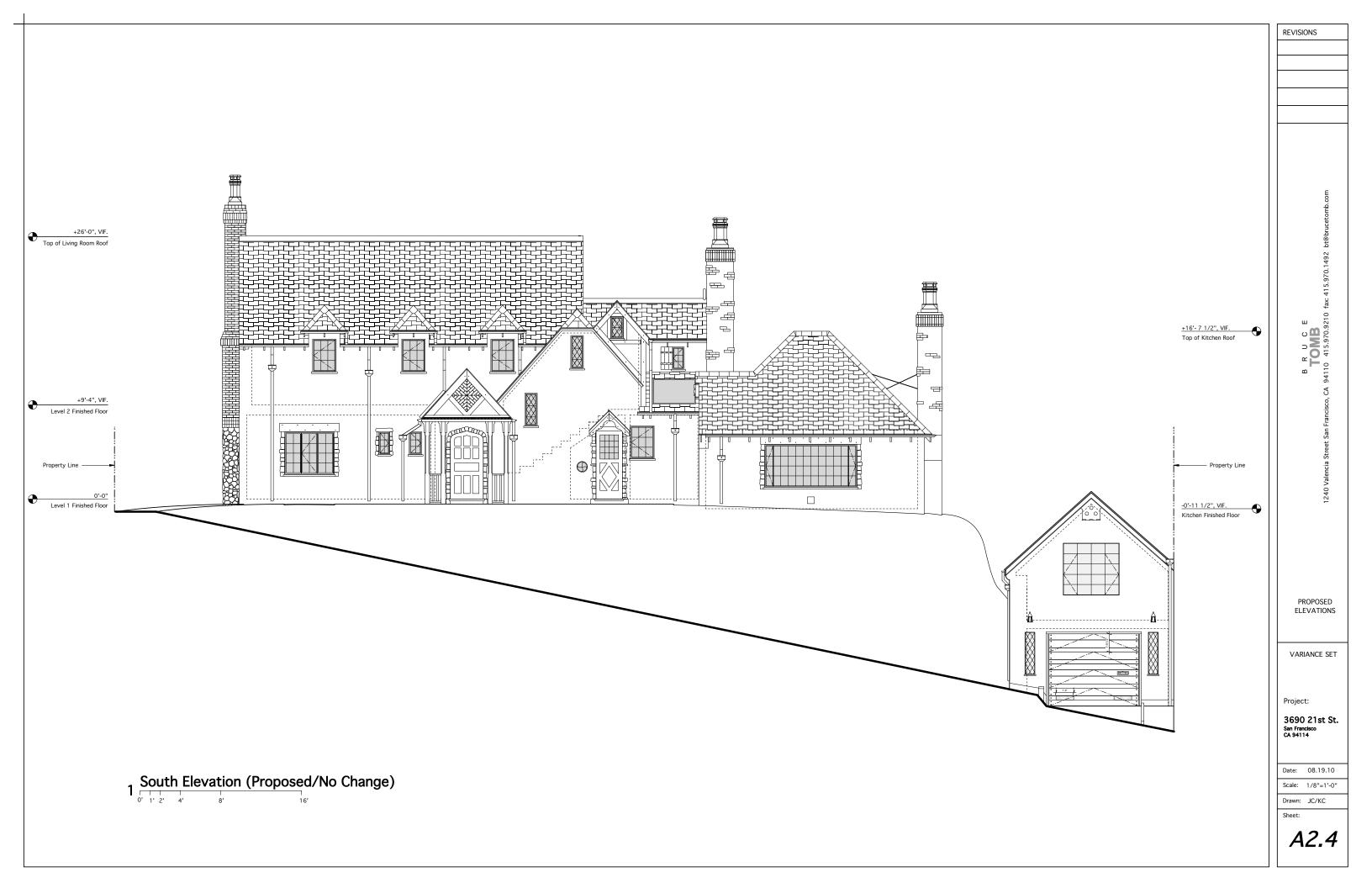
3690 21st St. San Francisco CA 94114

Date: 08.19.10

Scale: 1/8"=1'-0"

Drawn: JC/KC

Sheet:





1 West Elevation (Proposed/No Change)

REVISIONS

B R U C E **TOMB** 94110 415.970.9210 fax: 415.970.1492 bt@brucetor

1240 Vale

PROPOSED ELEVATIONS

VARIANCE SET

Project:

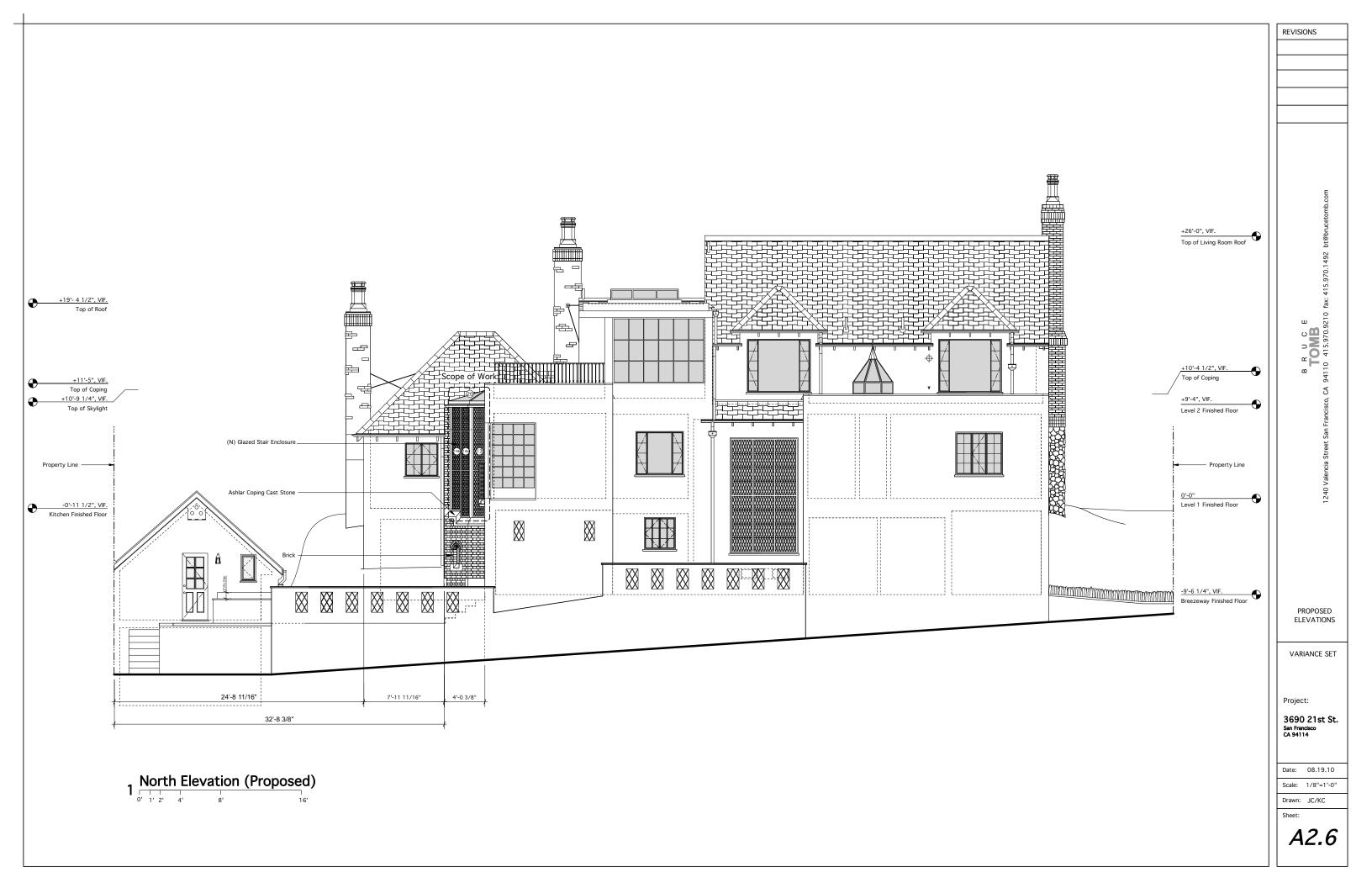
3690 21st St. San Francisco CA 94114

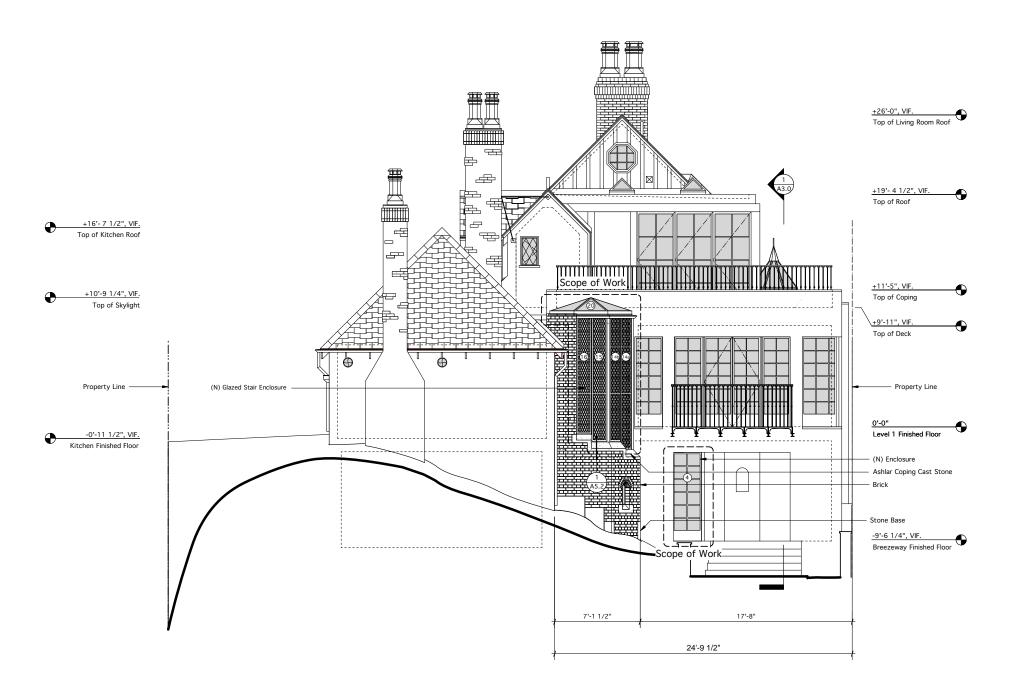
Date: 08.19.10

Scale: 1/8"=1'-0"

Drawn: JC/KC

Sheet:





1 East Elevation (Proposed)

1 O' 1' 2' 4' 8' 16'

REVISIONS

B R U C E **TOMB** , CA 94110 415.970.3210 fax. 415.970.1492 bt@bb

PROPOSED ELEVATIONS

VARIANCE SET

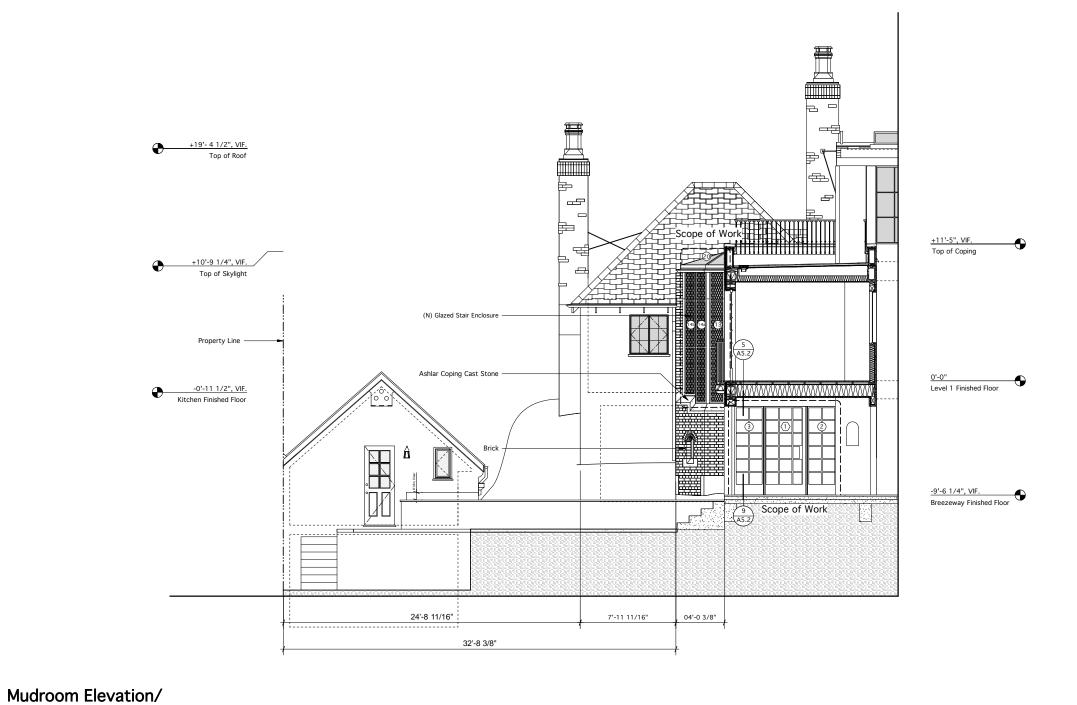
Project:

3690 21st St. San Francisco CA 94114

Date: 08.19.10

Scale: 1/8"=1'-0"

Drawn: JC/KC Sheet:



1 Section @ Breezeway (Proposed)

B R U C E **TOMB**Valencia Street San Francisco, CA 94110 415,970.9210 fax: 415,970.1492 bt@brucetomb.com

REVISIONS

PROPOSED ELEVATION AND SECTION

VARIANCE SET

Project:

3690 21st St. San Francisco CA 94114

Date: 08.19.10

Scale: 1/8"=

Drawn: JC/KC

A3.0

