



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, November 17, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	3690 21st Street	Case No.:	2010.0712V
Cross Street(s):	Sanchez & Church Streets	Building Permit:	2010.07.02.5866
Block /Lot No.:	3605/022	Applicant/Agent:	Bruce Tomb
Zoning District(s):	RH-1/ 40-X	Telephone:	(415) 970-9210
Area Plan:	Dolores Heights SUD	E-Mail:	bt@brucetomb.com
PROJECT DESCRIPTION			
<p>The project site contains a single-family structure. The project is to enclose and reconfigure existing exterior stairs located at the rear of the dwelling. The project will not increase the height or building footprint of the existing dwelling.</p> <p>PER SECTION 241 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 47.25 feet. The existing single-family structure encroaches approximately 22.5 feet into the required rear yard; therefore, the project requires a variance from the rear yard requirement (Section 241 – Dolores Heights Special Use District) of the Planning Code.</p> <p>PER SECTION 188 OF THE PLANNING CODE a non-complying structure can be altered, providing that there is no new or increased discrepancy at any level between existing conditions on the lot and the required standards of the Planning Code. The rear dwelling constitutes a non-complying structure from the rear yard requirement with an existing rear yard setback of approximately 24.75 feet, where approximately 47.25 feet is required.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Adrian C. Putra Telephone: (415) 575-9079 E-Mail: adrian.putra@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0712V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 10/7/10, the Department issued the required Section 311/312 notification for this project, which expires on 11/6/10.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

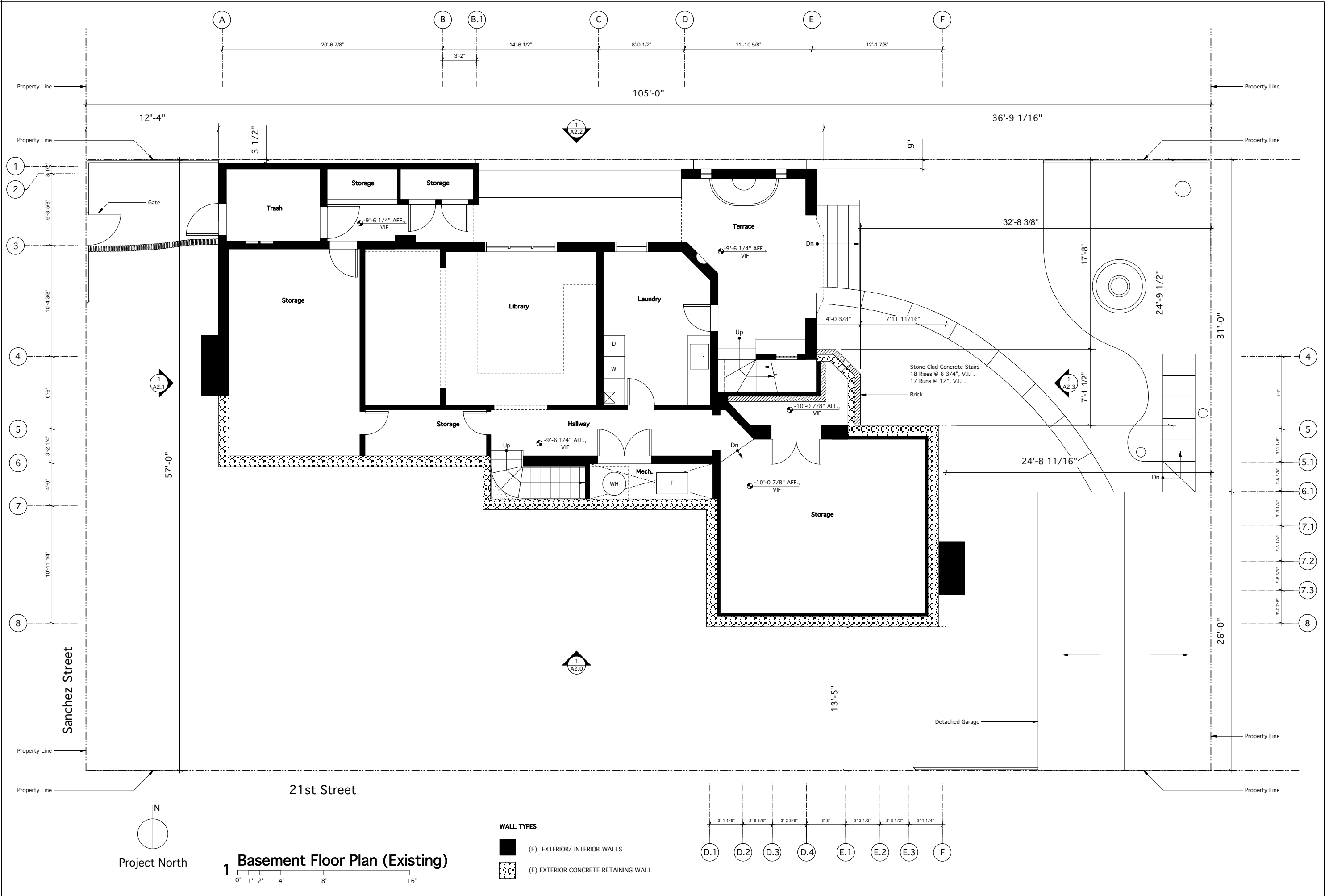
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

A0.1



REVISIONS

B R U C E
TOMB

1240 Valencia Street San Francisco, CA 94110 415.970.9210 fax: 415.970.1492 bt@brucetomb.com

EXISTING
BASEMENT
FLOOR PLAN

VARIANCE SET

Project:

3690 21st St.
San Francisco
CA 94114

Date:

08.19.10

Scale:

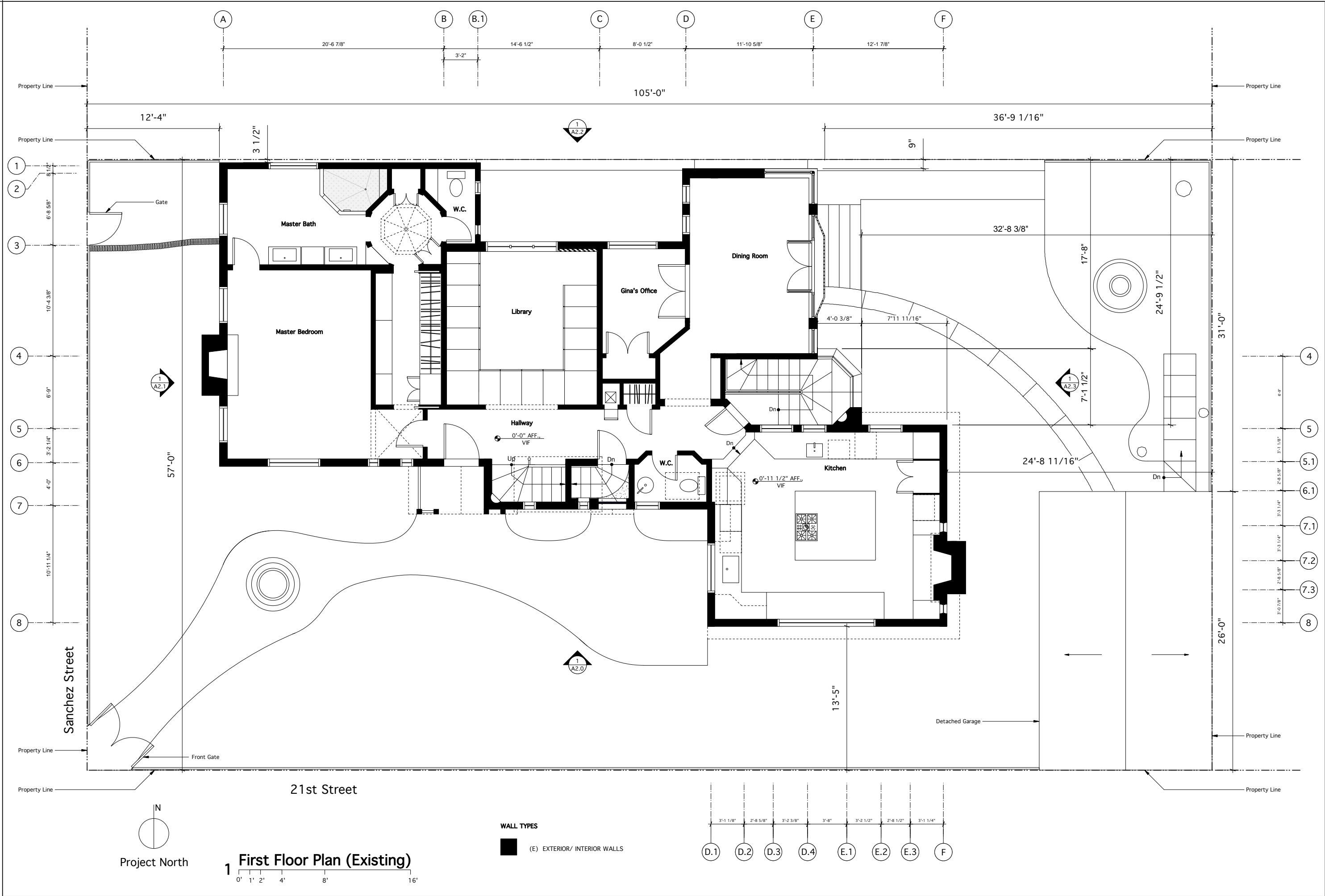
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Drawn:

JC/KC

Sheet:

A1.0



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EXISTING
FIRST FLOOR PLAN

VARIANCE SET

Project:
3690 21st St.
San Francisco
CA 94114

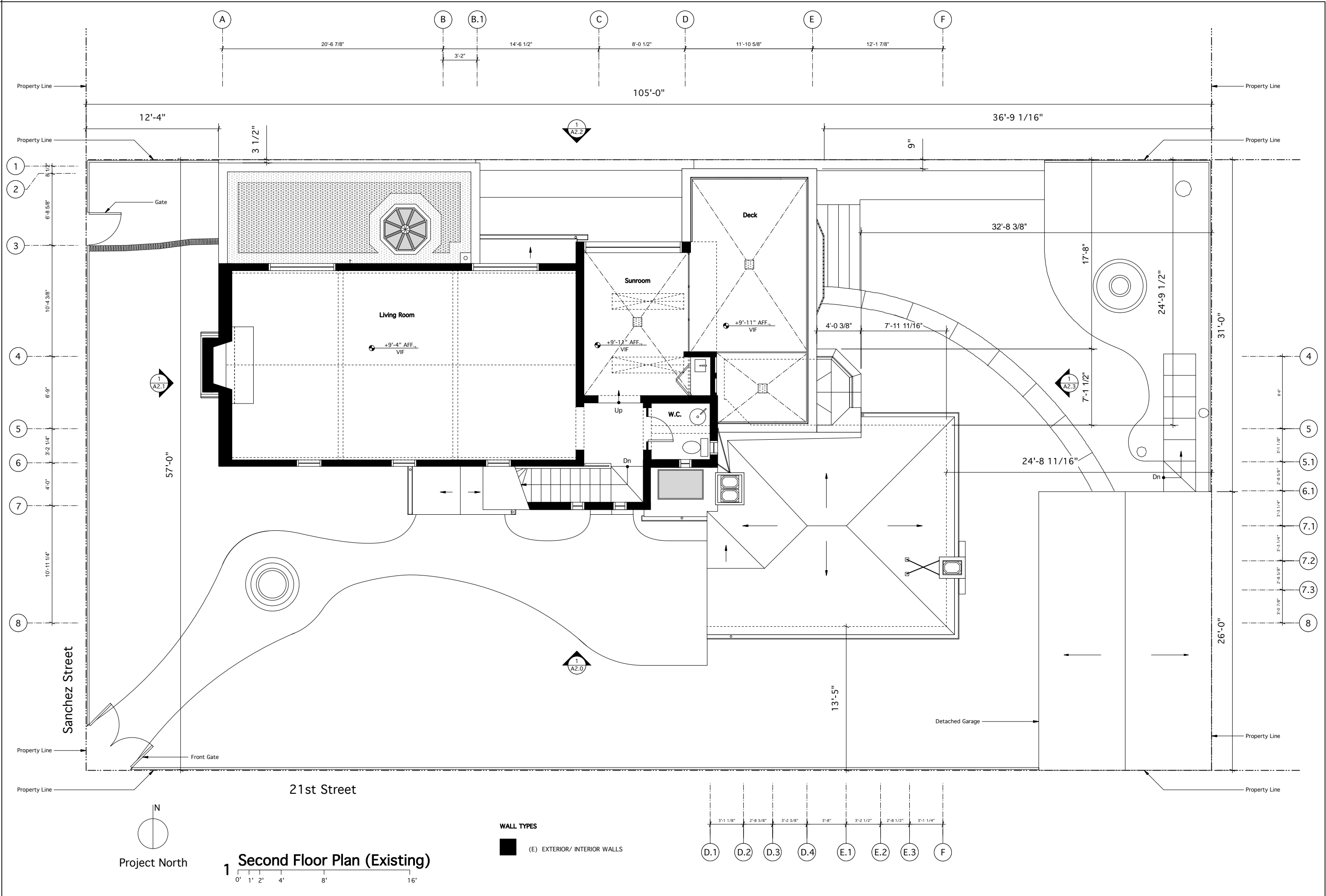
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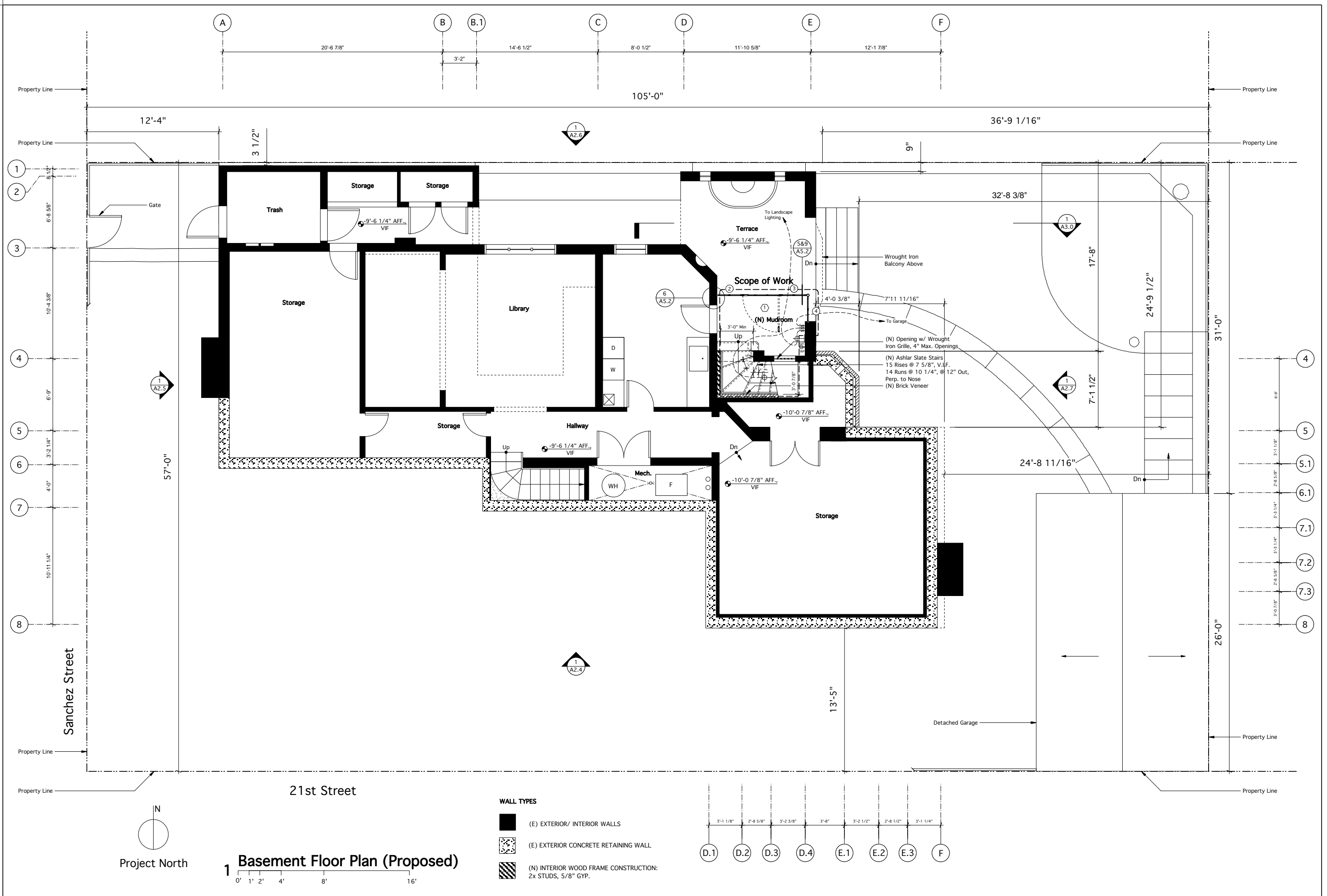
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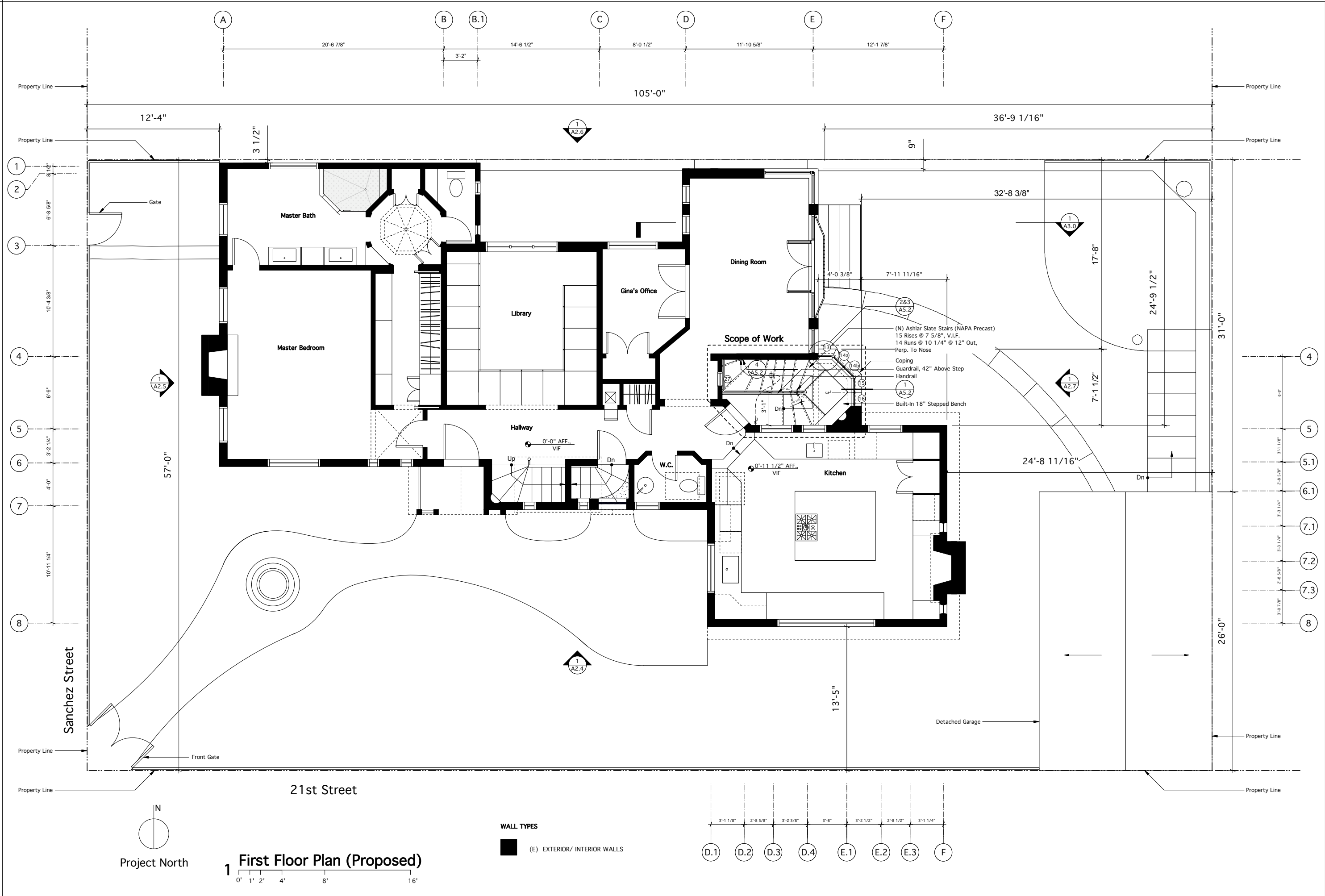
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1240 Valencia Street San Francisco, CA 94110 415.970.9210 fax: 415.970.1492 br@brucetomb.com	
EXISTING SECOND FLOOR PLAN	
VARIANCE SET	
Project: 3690 21st St. San Francisco CA 94114	
Date:	08.19.10
Scale:	1/8"=1'-0"
Drawn:	JC/KC
Sheet:	A1.2

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1240 Valencia Street San Francisco, CA 94110 415.970.9210 fax: 415.970.1492 bt@brucetomb.com

PROPOSED
FIRST FLOOR PLAN

VARIANCE SET

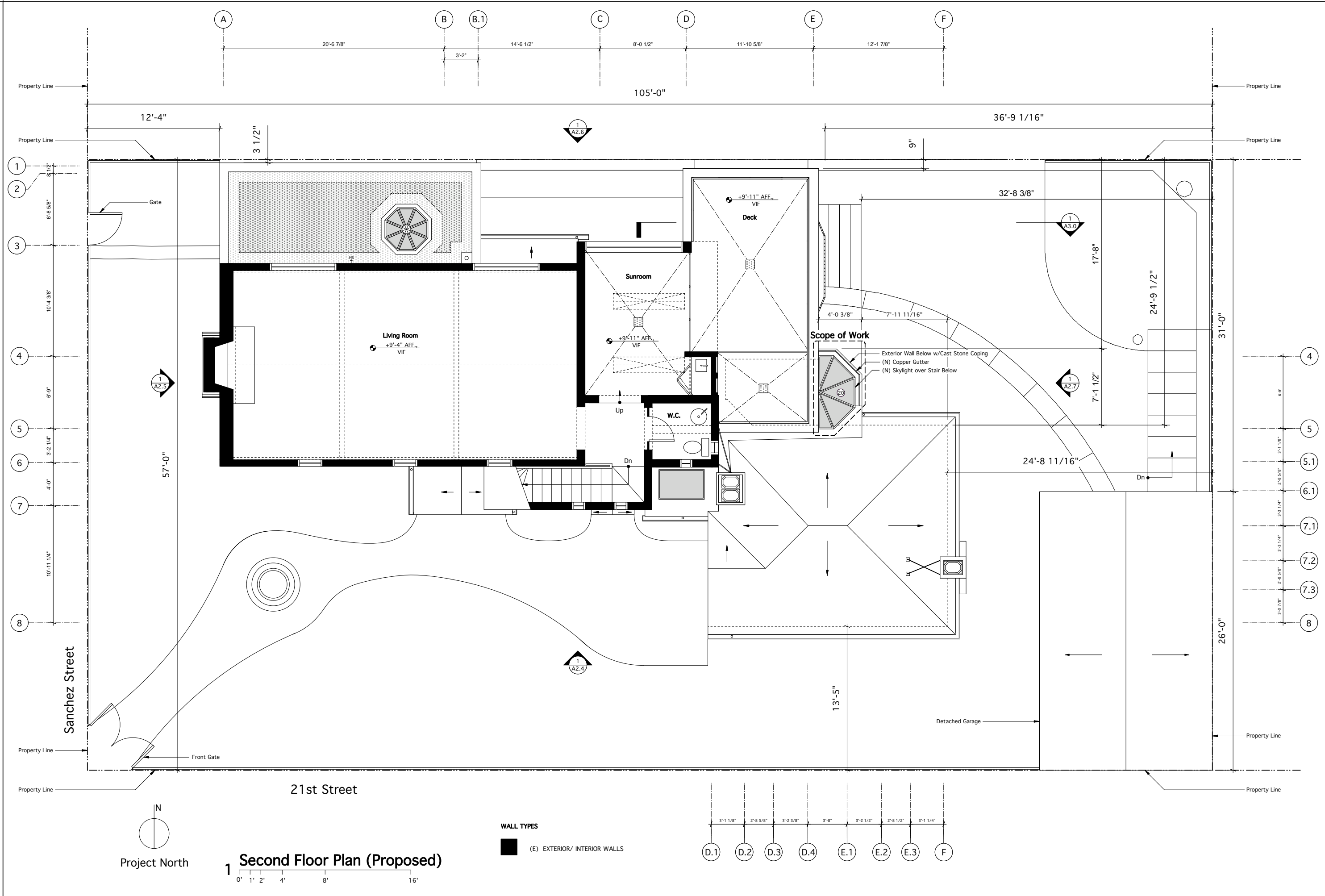
Project:
3690 21st St.
San Francisco
CA 94114

Date: 08.19.10

Scale: 1/8"=1'-0"

Drawn: JC/KC

Sheet:
A1.4



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1240 Valencia Street San Francisco, CA 94110 415.970.9210 fax: 415.970.1492 bt@brucetomb.com

PROPOSED SECOND FLOOR PLAN

VARIANCE SET

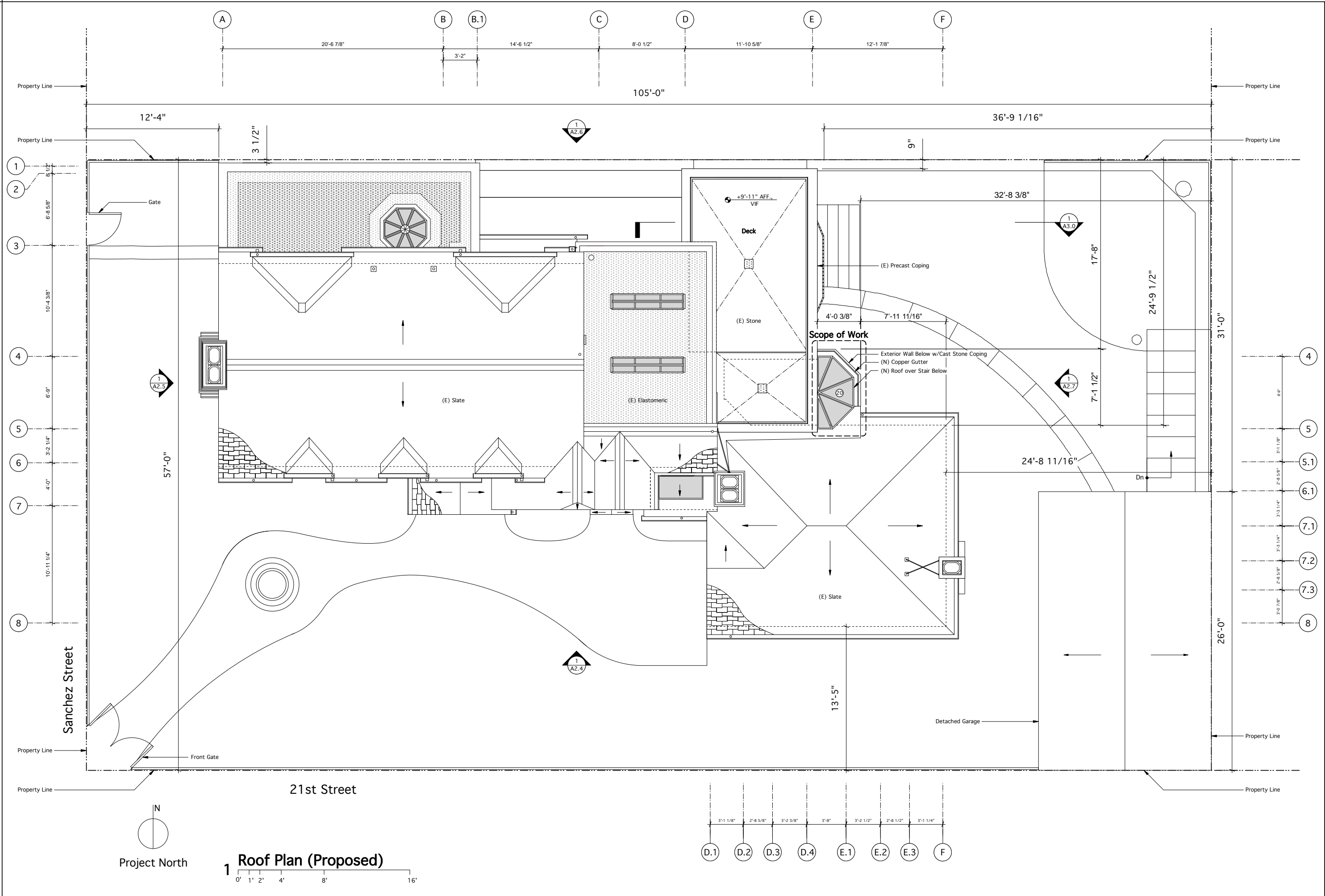
Project:
3690 21st St.
San Francisco
CA 94114

Date: 08.19.10

Scale: 1/8"=1'-0"

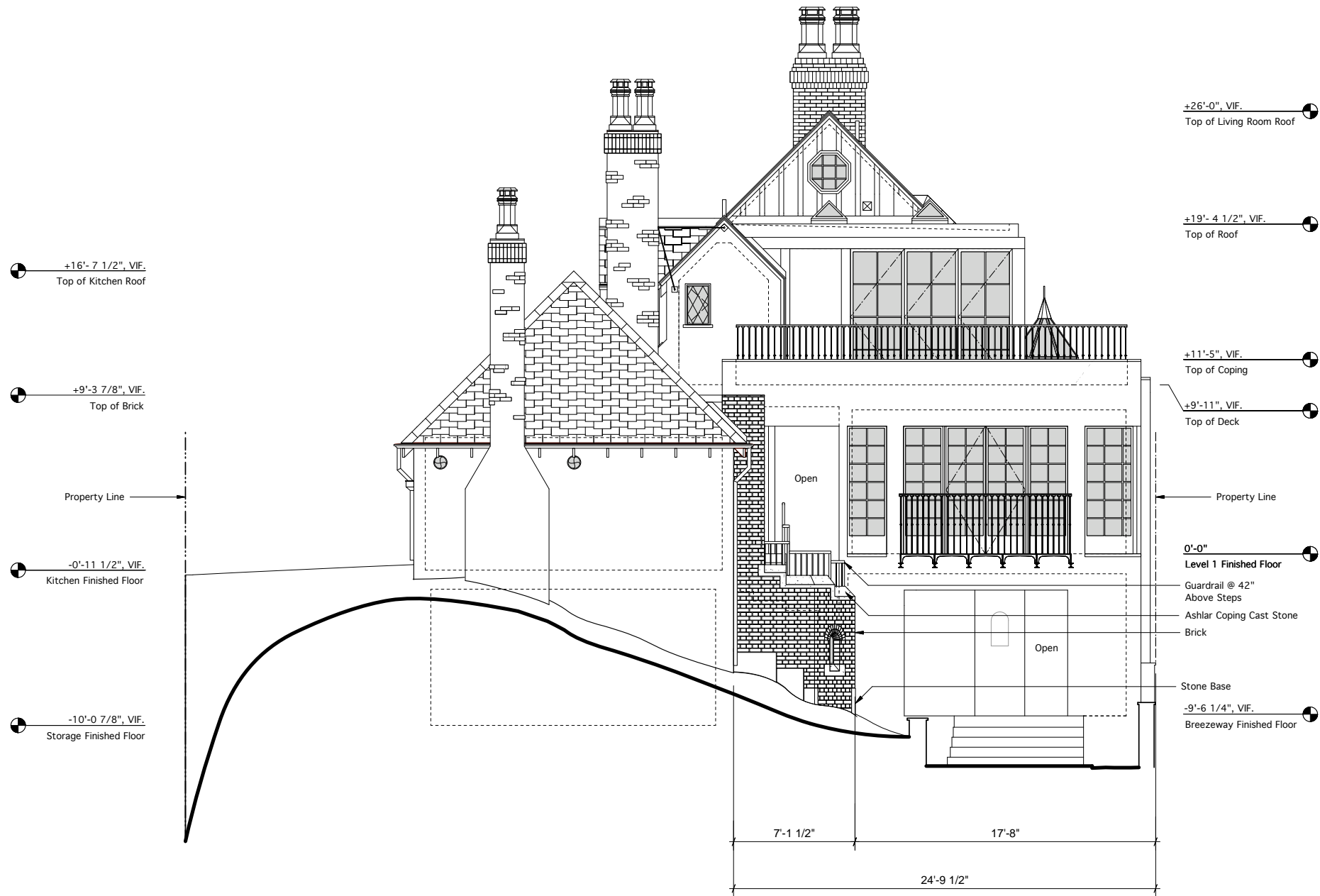
Drawn: JC/KC

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REVISIONS	
B R U C E TOMB	
1240 Valencia Street San Francisco, CA 94110 415.970.9210 fax: 415.970.1492 bt@bruceatomb.com	
PROPOSED ROOF PLAN	
VARIANCE SET	
Project: 3690 21st St. San Francisco CA 94114	
Date: 08.19.10	
Scale: 1/8"=1'-0"	
Drawn: JC/KC	
Sheet: A1.6	

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<div> <div>B R U C E</div> <div>TOMB</div> </div> <div>1240 Valencia Street San Francisco, CA 94110 415.970.9210 fax: 415.970.1492 bt@brucetomb.com</div>
EXISTING ELEVATIONS
VARIANCE SET
<div>Project:</div> <div>3690 21st St. San Francisco CA 94114</div>
Date: 08.19.10
Scale: 1/8"=1'-0"
Drawn: JC/KC
Sheet:
A2.3



1 East Elevation (Existing)



1 South Elevation (Proposed/No Change)

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PROPOSED ELEVATIONS

VARIANCE SET

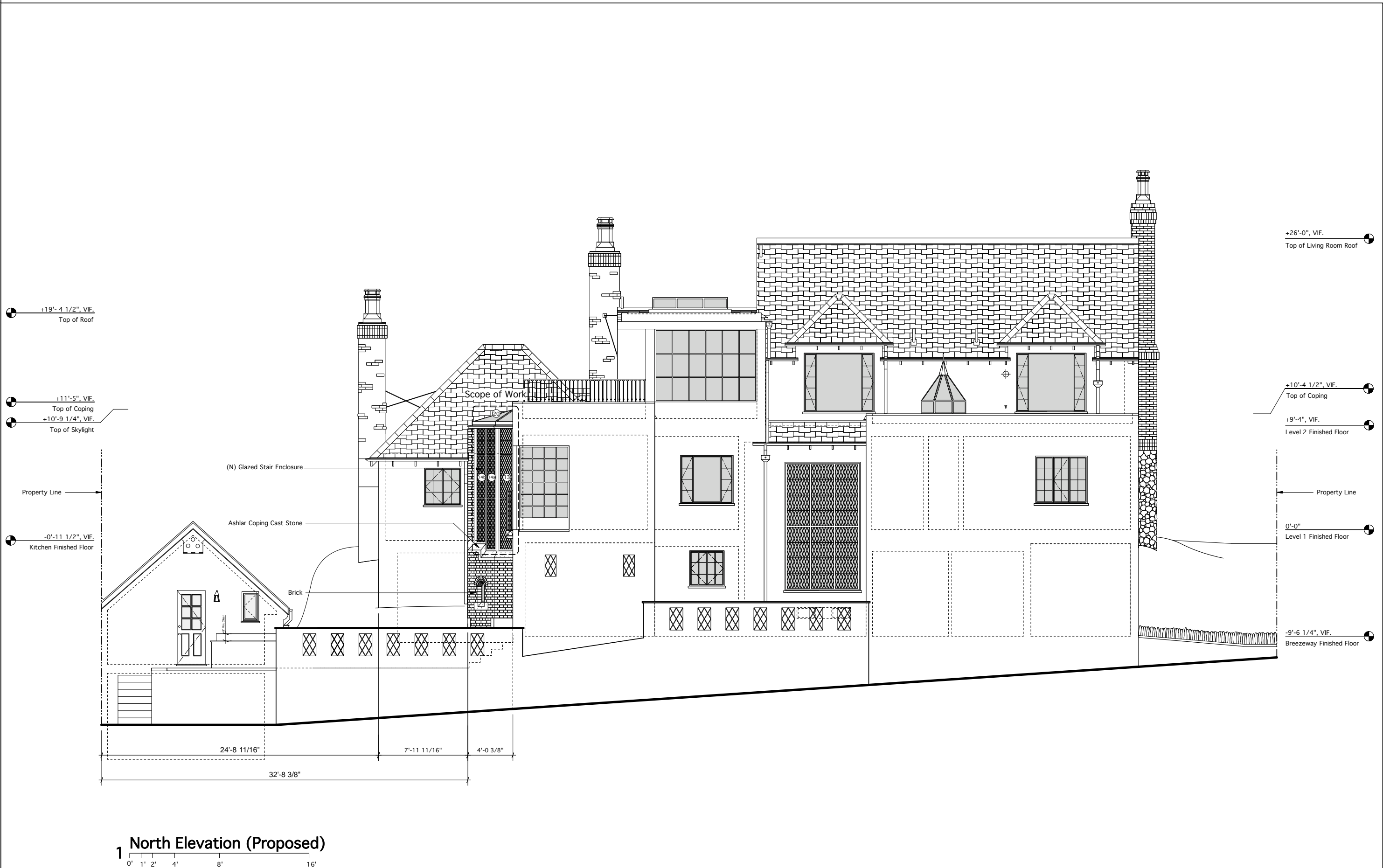
690 21st St.
San Francisco
CA 94114

ate: 08.19.10

Scale: 1/8"=1'-0"

Drawn: JC/KC

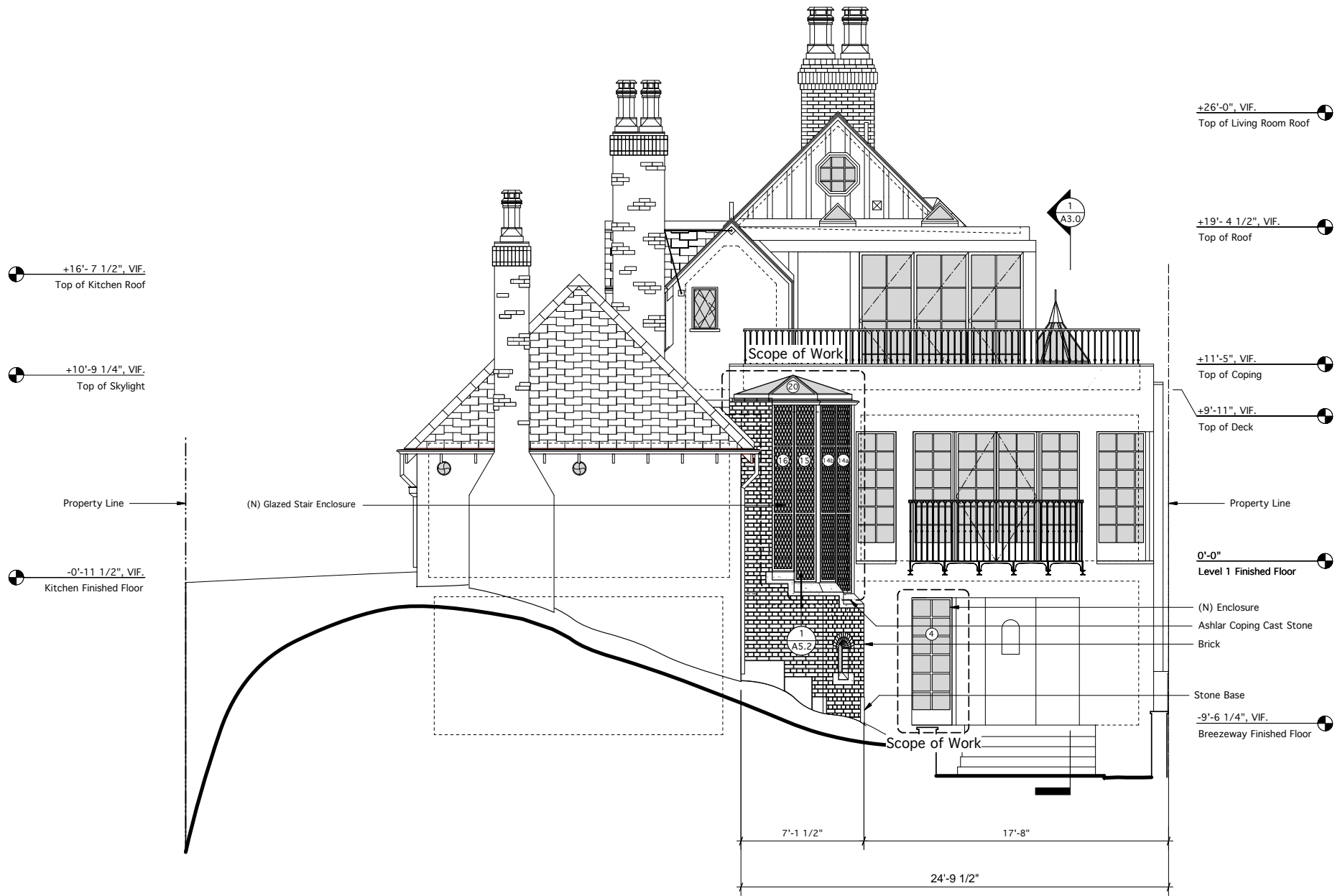
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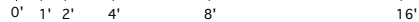
1 North Elevation (Proposed)

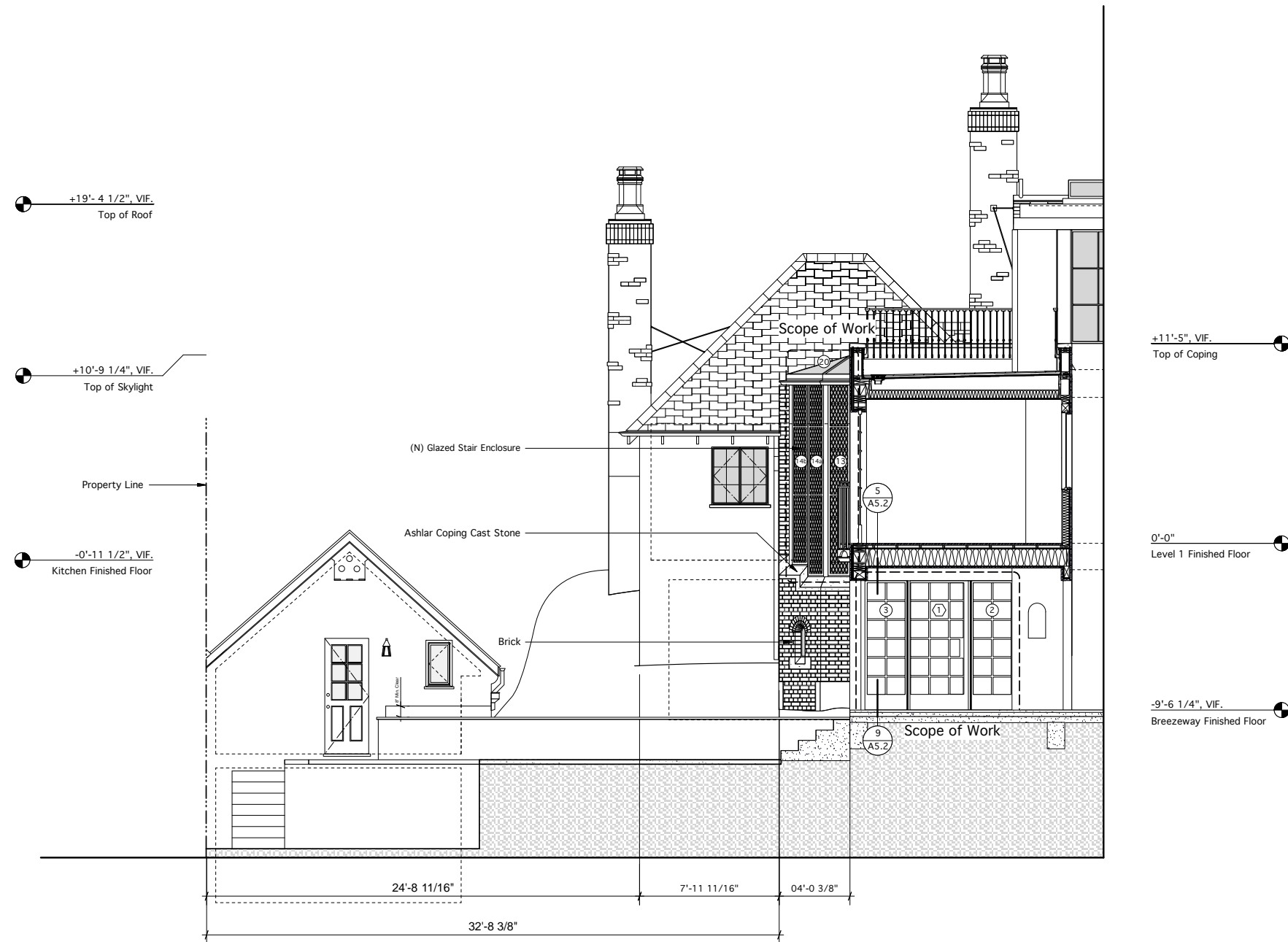
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1240 Valencia Street San Francisco, CA 94110 415.970.9210 fax: 415.970.1492 bt@brucetomb.com	
PROPOSED ELEVATIONS	
VARIANCE SET	
Project: 3690 21st St. San Francisco CA 94114	
Date:	08.19.10
Scale:	1/8"=1'-0"
Drawn:	JC/KC
Sheet:	A2.6

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<div> <div>BRUCE</div> <div>TOMB</div> </div> <div>1240 Valencia Street San Francisco, CA 94110 415.970.9210 fax: 415.970.1492 bt@brucetomb.com</div>
<div>PROPOSED ELEVATIONS</div>
<div>VARIANCE SET</div>
<div>Project:</div> <div>3690 21st St.</div> <div>San Francisco</div> <div>CA 94114</div>
<div>Date: 08.19.10</div>
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<div>Sheet:</div> <div>A2.7</div>

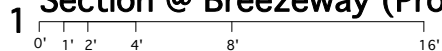


1 East Elevation (Proposed)





Mudroom Elevation/
Section @ Breezeway (Proposed)



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PROPOSED
ELEVATION
AND
SECTION

VARIANCE SET

Project:
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San Francisco
CA 94114

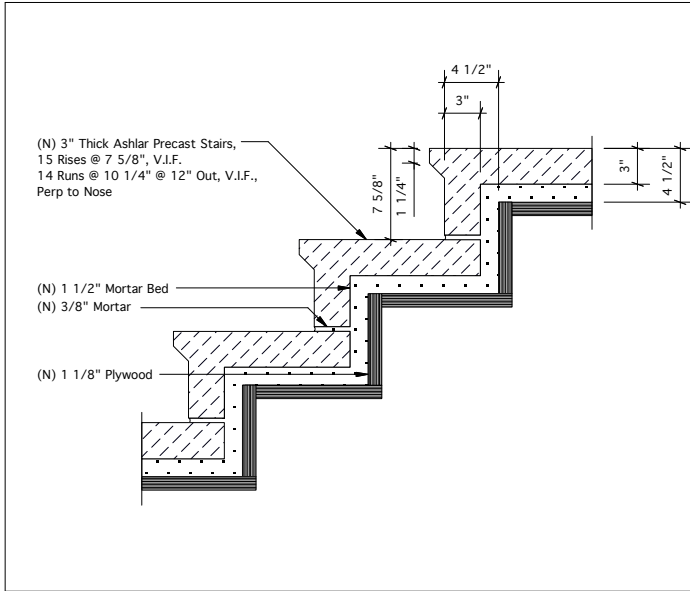
Date: 08.19.10

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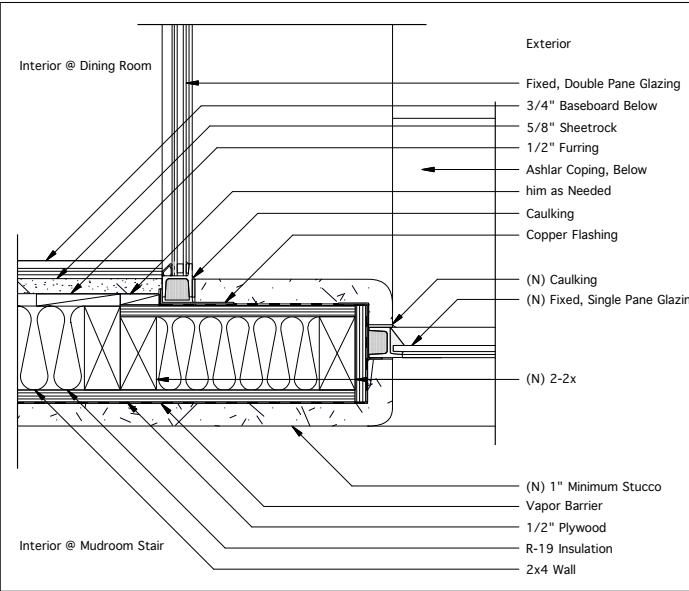
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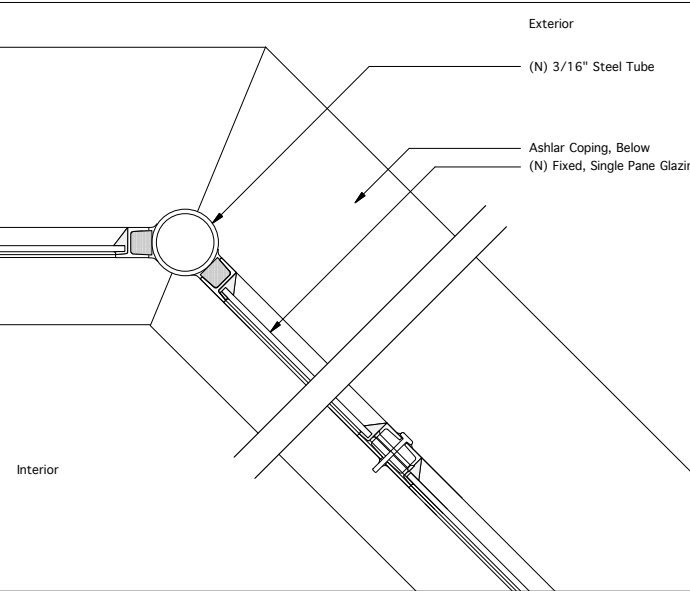
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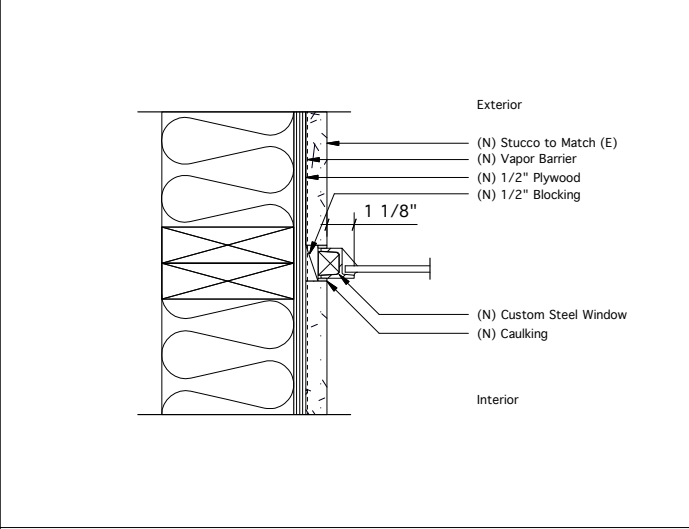
4 **Stairs @ Mudroom**
Scale: 3/4"=1'-0"



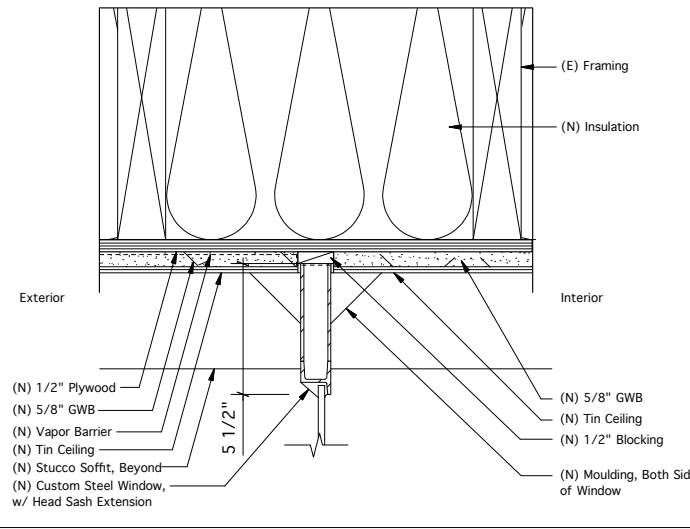
3 **Jamb Detail @ Stair Window, Typ.**
Scale: 1 1/2"=1'-0"



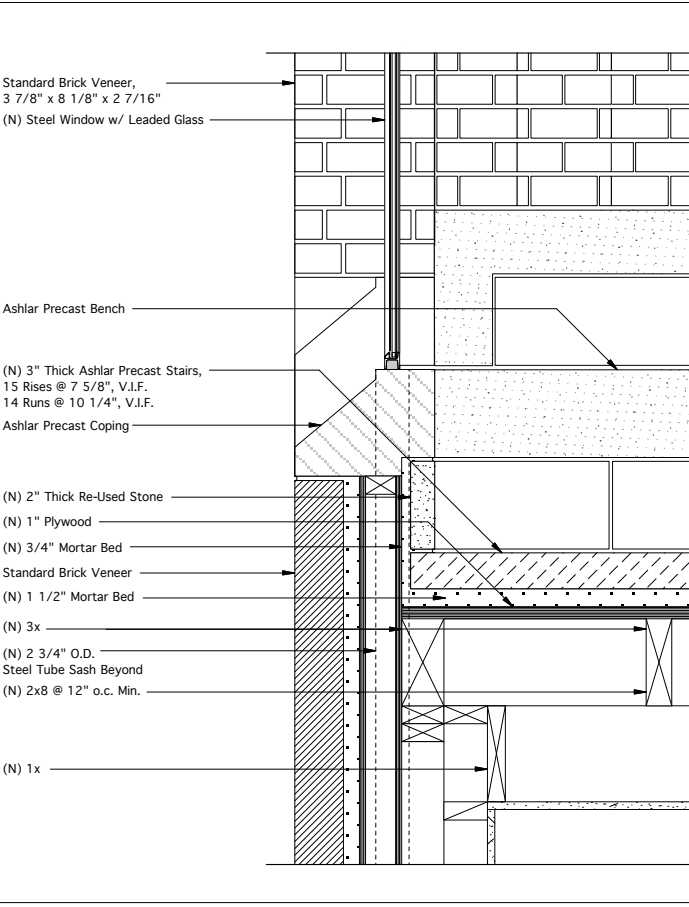
2 **Jamb Detail @ Stair Window, Typ.**
Scale: 1 1/2"=1'-0"



6 **Jamb Detail @ Mudroom Window**
Scale: 3"=1'-0"

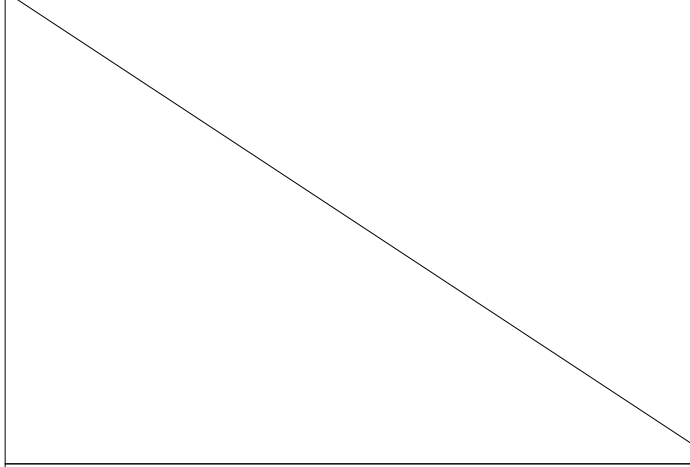


5 **Head Detail @ Mudroom Window**
Scale: 1 1/2"=1'-0"

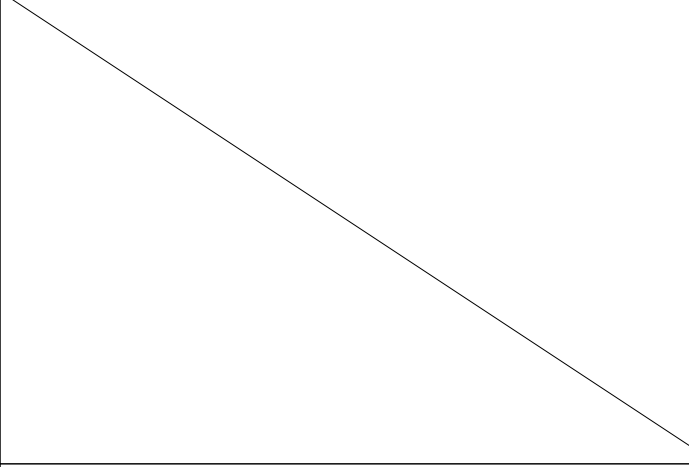


1 **Sill Detail @ Window, Typ.**
Scale: 3/4"=1'-0"

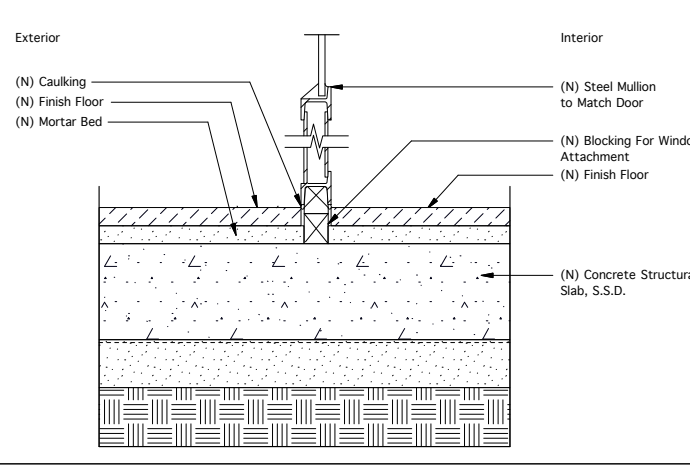
7 **Not Used**



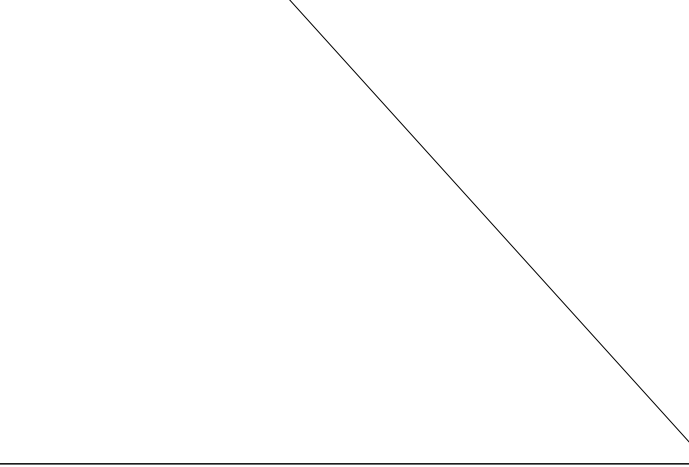
11 **Not Used**



10 **Not Used**



9 **Sill Detail @ Mudroom Window**
Scale: 1 1/2"=1'-0"



8 **Not Used**

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DETAILS

VARIANCE SET

Project:
3690 21st St.
San Francisco
CA 94114

Date: 08.19.10

Scale: As Noted

Drawn: JC/KC

Sheet:

A5.2