MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377 NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, September 22, 2010

Time: **Beginning at 9:30 AM**

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408
Case Type: Variance (Rear Yard and Non-Complying Structure)

Hearing Body: Zoning Administrator

PROPERTY INFORMATION APPLICATION INFORMATION Project Address: 2204 Steiner Street Case No.: 2010.0639V Cross Street(s): Class (Screen Street) Publisher Parents

Cross Street(s): Clay / Sacramento Streets | Building Permit: N/A

Block /Lot No.: 0630/020 Applicant/Agent: Stefan Eder, Architect Zoning District(s): RH-2/40-X Telephone: (415) 409-6660

Area Plan: N/A E-Mail: seder@mosaicarchitects.com

PROJECT DESCRIPTION

The proposal is to expand the first floor level of the two-story, single-family house within the required rear yard. The work would infill an approximately 3.5-foot deep by 14-foot wide area beneath the second floor overhang at the rear (east) and add an approximately 19-foot deep by 5.5-foot wide area with a roof deck at the south wall. The work would result in an approximately 15-foot deep rear yard and a 5.5-foot wide setback at the north property line.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 23.5 feet. The building currently extends approximately 5 feet into the rear yard and the proposed addition would extend another 3.5 feet into the yard, resulting in a rear yard of approximately 15 feet.

PER SECTION 188 OF THE PLANNING CODE expansion of a non-complying structure is prohibited. The existing building is considered a legal non-complying structure because portions of it already encroach into the required rear yard. Therefore, the proposed addition would be contrary to Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Shelley Caltagirone Tel: (415) 558-6625 E-Mail: shelley.caltagirone@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0639V.pdf

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

2007 SAN FRANCISCO HOUSING CODE 2007 SAN FRANCISCO AMENDMENTS RH-2 Zoning: R-3 Occupancy:

Construction Type: V-A and V-B **EXISTING EXISTING** Water: 0630-020 Assessor's Parcel #:

area calculations

EXISTING: 1,977 SQFT 164 SQFT ADDITION: TOTAL AFTER REMODEL: 2,141 SQFT

WOODSIDING.

ABOVE ABOVE FINISHED FLOOR

ACCESS PANEL

ACRYLIC PLASTIC

ACOUSTICAL

ADDENDUM

ADJACENT

ADJUSTABLE

AGGREGAT

ALTERNATE

ALB.C. AMERICAN INSTITUTE OF

AIR CONDITIONING

AMERICAN INSTITUTE OF

STEEL CONSTRUCTION

ANAL AMERICAN NATIONAL STANDARDS

ASTML AMERICAN SOCIETY FOR TESTING

ANCHOR, ANCHORAGE

ADA. AMERICANS WITH DISABILITIES

ANCHOR BOLT

APPROXIMATE

AVERAGE

BEAM BEARING BELOW BETWEEN BEVELED

BITUMINOU

BLOCKING

BOARD BOTH SIDES

BOTH WAYS

воттом

BLOCK

ARCHITECT (URA

ANODIZED

APPD APP ARCH

AD AUT AVG

STONE

material symbols

DAMPER DAMP PROOFING

DEPTH, DEEP

DETAIL
DIAGONAL
DIAMETER
DIMENSION
DISHWASHE
DISPOSAL
DIVISION
DOOR
DOUBLE

DOUBLEACTING

DOUBLE HUNG

DOWN

DRAIN TILE DRAWER DRAWING

EACH EACH FACE

EACH WAY

ELEVATOR EMERGENCY

ESTIMATE EXCAVATE EXHAUST

ENCLOSE (URE)

EXISTING EXPANSION BOLT EXPANSION

EXPANSION JOINT EXTERIOR

EXTERIOR INSULATION AND

ELECTRIC (AL)
ELECTRICAL PANELBOARD

ELECTRIC WATER COOLER

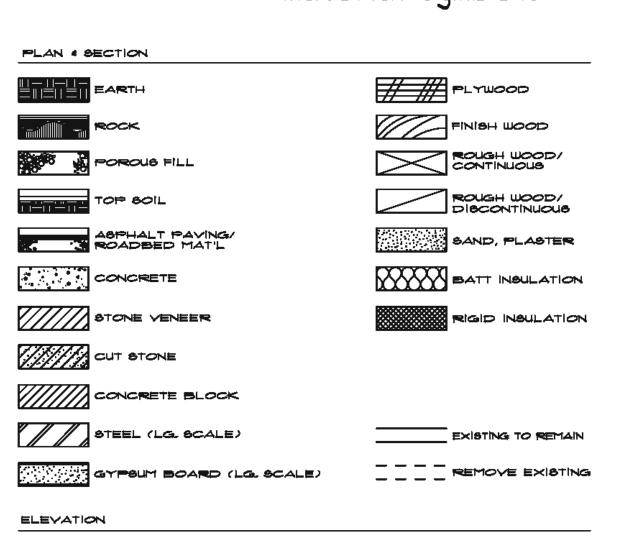
DOVETAIL ANCHOL

DRAINAGE BOARD

DRINKING FOUNTAL

DEAD LOAD
DEGREE
DEMOLISH, DEMOLITION
DEMOUNTABLE

DESIGN REVIEW BOAR



BOTTOM OF STEEL OR

BOTTOM OF SLAB

BOTTOM OF WALL

BUILT UP ROOFING

BUILDING

CABINET CADMIUM CANTILEVER

CARPET (ED)
CASEMENT
CASTINIPLACE

CAST IRON CATCH BASIN

CEDAR CELING CEMENT

CHAM CHR CIR CIRC

CL CLR CLS

CAULK (ING)

CENTIMETER (S)

CERAMIC TILE

CIRCUMFERENCE

CLEAR (ANCE)

COLL COLD WATER
COLL COLUMN
COMB COMBINATION
COMPT COMPARTMENT
COMP COMPOSITION (COMPOSITE)

CONSTRUCTION CONSTRUCTION

CONTRACT (OR) CONTROL JOINT

CORRUGATED

COUNTER COUNTERSINK

COURSE (S)

CROSS GRAIN

COMPRESS (ED), (ION), (IBL

CONCRETE MASONRY UNIT

CONTINUOUS OR CONTINUE

CLEAN OUT

CLOSET CLOSURE COLD WATER

CONCRETE

CERAMIC MOSAIC TILE

BRITISH THERMAL UNIT BRONZE

Gene and Michelle Chung

2204 Steiner Street San Francisco, CA 94115

Contact:
Gene and Michelle Chung PHONE: 415.929.9772

gene.chung@morganstanley.com

emichellechung@yahoo.com

<u> Architect:</u> Contractor: Mosaic Architects CA License #:-Jane Snyder CA Licensed 1290 Sutter Street, Suite #201 San Francisco, CA 94109

Contact: Stefan Eder

PHONE: 415.409.6660

seder@mosaicarchitects.com

isnyder@mosaicarchitects.com

RESIDENTIAL REMODEL

2204 STEINER ST - SAN FRANCISCO, CA 94115

www.MosaicArchitects.com

STEINER STREET

SITE PERMIT SET

DEMOLITION OF INTERIOR WALL

GLB. GLASS BLOCK
GLU-LAM GLUE-LAMINATED TIMBER
G.B. GRAB BAR
GR GRADE, GRADING

GFRC. GLASS FIBER RENFORCED

CONCRETE

GRAVEL GROUND GROUT

GUAGE

GYPSUM

HARDBOARD

HARDWARE HARDWOOD

HEAD Header

HEATING

H.B. HOSE BIB
HUUH, HOT WATER HEATER

INCLUDE (D), (ING)

INSTALLED BY OTHERS

INSULATE (D), (ION)

JANITOR'S CLOSET

INSTALLED BY CONTRACTOR

INFORMATION INSIDE DIAMETER

INTERIOR .

INTERMEDIATE

INVERT (ED)

JOINT JOINT FILLER

KICKPLATE KITCHEN

KNOCKOUT

LABEL LABORATORY

LADDER

CONDITIONIII
HID. HEAVY DUTY
HT HBGHT
HC. HOLLOW COR:
HM. HOLLOW METAL
HORD HORDONIAL

H.V.A.C., HEATING/VENTILATING / /

SAN FRANCISCO PLANNING DEPARTMENT

PARTIAL DEMOLITION OF MAIN LEVEL REAR AND SIDE WALL

. SINGLE STORY ADDITION WITH DECK AND BALCONY AT SIDE AND REAR

SF 돌두두

LAVATORY LET HAND LET HAND REVERSE

LIMESTONE LINEAL FEET LINTEL LIVE LOAD

MANUFACTURE (ER)

MASONRY MASONRY OPENING

MEDICINE CABINET

MATERIAL (5)

MAXIMUM MECHANICAL

MEDIUM MEMBER MEMBRANE

METAL METAL FURRING

METER (\$) MEZZANINE MILLIMETER (\$

MODULAR

MOLDING MOUNT (ING)

MOUNTED

NATURAL

NOISE REDUCTION

NOISE REDUCTION

NON-METALLIC

NOT APPLICABLE NOT INCLUDED NOT IN CONTRACT

NO PAINT

MOVABLE

MILLWORK MINIMUM MIRROR MISCELLANEOUS

NATIONAL ELECTRIC CODE

MARBLE

LOUVER

LENGTH
LIGHTWEIGHT
LIGHTWEIGHT CONCRETE

(HORIZONTAL EXTENSION SIDE, HORIZONTAL EXTENSION REAR)

ALTERATIONS TO INTERIOR AND EXTERIOR REAR AND SIDE WALLS

JUNE 8, 2010

INTERIOR REMODEL

FACE BRICK FACE OF

FACE OF CONCRETE

FACE OF FINISH FACE OF MASONRY

FACE OF STUDS

FASTEN, FASTENER

FENCE FIBERGLASS FIELD VERIFY FINISH (ED) FINISHED FLOOR

FIRE ALARM

FIRE EXTINGUISHER
FIRE EXTINGUISHER CABINE

FIRE HOSE CABINET

FIRE VALVE CABINET

FIRE-RESISTANT TREATED

FIRE BRICK

FIREPLACE

FLASHING

FLCO. FLOOR CLEANOUT FLOOR DRAIN

FLOOR LINE

FLOOR PLAT

FOOTING FORGED

GPM GALV GJ. GBB. GSKT

FOUNDATION

FRAME (D), (ING)

FRESH AIR FURNISHED AND INSTALLED

FURNISHED BY OTHERS

GALLONS PER MINUTE

GALVANIZED STEEL SHEET

GENERAL CONTRACT (OR) GLASS, GLAZING

GALVANIZED GALVANIZED IRON

GASKET (ED)

FLEXIBLE FLOOR (ING)

HREPROOF

415.449.6624

Contact:

E-mail:

PHONE:

Contact: PHONE:

scope of work

OBSCURE ON CENTER (S)

OPENING OPEN-WEB JOIST OPPOSITE

OPPOSITE HAND

оит то оит

(P) PR PNL PB. PIR. PAR PBD.

OUTSIDE FACE STUD WAL

OVERALL OVERHANG, OVERHEAD

PAINT (ED) PAIR PANEL PANIC BAR PAPER TOWEL DISPENSER

PAPER TOWEL RECEPTOR

PARTICLE BOARD

PARTICLE BOARD
PTN PARTITION
POTT PAVEMENT
PED PEDESTAL
PEND PENDANT
PERF PERFORATE (D)
PER PERIMETER
PH PHASE
PL6 PLASTIC
PLAM, PLASTIC LAMINATE
PI PIATE

PLATE PLATE GLASS

PLATE LINE

PLYWOOD

POLYVINYL CHLORIDE

POST TENSIONED CONCRET

POUNDS PER LINEAL FOOT

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

POUNDS PER CUBIC FOOT

POSITIVE, POSITION

PRECAST CONCRETE

PRE-STRESSED CONCRETE

PREFAB PREFABRICATE (D)
PROPERTY
PL PROPERTY LINE

POCKET POINT

Energy Compliance: **Bay Area Enery Compliance**

1826 Alfreda Boulevard, San Pablo, CA 94806 Contact: Frank Cuthbert

PHONE: 510.235.2200 E-mail:

Structural Engineer:

CA License #: -

baect24@sbcglobal.net

510,215,6763

project team

Job Site Address: Chung Residence

2204 Steiner Street San Francisco, CA 94115

<u>Contact:</u> Stefan Eder PHONE: 415.409.6660 FAX: 415.449.6624

E-mail: seder@mosaicarchitects.com index to drawings

ARCHITECTURAL DRAWINGS: **COVER SHEET** A 2.0 SITE PLAN A 3.0 FLOOR PLAN - MAIN LEVEL **EXISTING AND PROPOSED** A 3.1 FLOOR PLAN - UPPER LEVEL **DEMOLITION PLAN - MAIN LEVEL** A 5.0 **ELEVATIONS EXISTING AND PROPOSED** A 6.0 SECTIONS

vicinity and area map-



DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES ISETULEEN DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION.

CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY ABOUT ANY CONDITIONS REGUIRING A

- notifications, submittals

NOTIFICATIONS TO ARCHITECT: - COMPLETION OF DEMOLITION

- COMPLETION OF FRAMING LAYOUT MARKED ON FLOOR - COMPLETION OF ELECTRICAL OUTLET BOX INSTALLATION PRIOR TO WIRING
- PRIOR TO COVERING ANY FRAMING, INCLUDING INSULATION - PRIOR TO DRYWALL INSTALLATION
- PRIOR TO ANY FINAL COLOR COATING OR PAINTING

PROVIDE SHOP DRAWINGS AND REQUIRED APPROVALS BY ARCHITECT BEFORE FINALIZING ORDERS FOR THE FOLLOWING WORK: - STRUCTURAL STEEL

- WINDOWS AND SLIDING GLASS DOORS
- GLAZÍNG - INTERIOR AND EXTERIOR DOORS
- CABINETRY

STEEL STONE STORAGE

TRANSOM

TREAD TYPICAL

UNDERCUT

UNDERWRITERS LABORATORIES

QUANTITY QUARRY TILE

RABBET, REBATE

RECEPTACLE

REFRIGERATOR

RESILIENT RETURN RETURN AIR

REVERSE, REVISION

RIGHT OF WAY

ROOF HATCH ROOFING

ROUGH OPENING

ROUGH SAWN

RUBBER BASE RUBBER TILE

SANDSTONE

SCREEN

SECTION

SMACNA SHEET METAL & AIR CONDITIONING CONTRACTOR

SIMILAR SINGLE HUNG

SOLID BLOCKING

SOLID CORE SOUNDPROOF

SKYLIGHT

SLEEVE SLIP JOINT

NATIONAL ASSOCIATION

ROWD

RAILROAD TIE (TIMBER)

REDWOOD REFERENCE, REFER TO

RENFORCE (D), (ING)

REFLECTED CEILING PLAI

REFLECT (ED), (IVE), (OR)

RAINWATER CONDUCTOR

- ALL FIXED FINISHES (FLOORING, TILE, TEXTURED WALL FINISHES, ETC.) - COLOR BRUSHOUTS AND WALL COLOR SWATCHES

UNIFORM BUILDING CODE UNIFORM MECHANICAL CODE UNIFORM PLUMBING CODE SPEC SPECIFICATION (S) SPECIFICATION (S) SQUARE SQUARE FOOT (FEET) UNLESS OTHERWISE NOTED URINAL STACKED STUDS STANDARD STATION VAPOR BARRIER VARNISH VENER VENT THROUGH ROOF VERIFY STORM DRAIN STRUCTURAL VERIFY IN FIELD **VERTICAL SUP JOINT** SUSPENDED SYMMETRY (ICAL) SYNTHETIC VINYL COMPOSITION TILE VINYL FABRIC VINYL TILE TICED TACKBOARD VINYL WALL COVERING TELEVISION TEMPERED, TEMPERATURE TERRA COTTA TERRAZZO THICK (NESS) THRESHOLD WAINSCOT WALL HUNG WALLPAPER TO BE DETERMINED TOILET PAPER HOLDER WALL TO WALL WATERPROOFING TOLERANCE TONGUE AND GROOV WATER REPELLEN WATERSTOP WEIGHT TOP AND BOTTOM TOP OF BEAM TOP OF CONCRETE WELDED WIRE FABRIC WIDTH, WIDE WINDOW TOP OF FOOTING TOP OF FINISHED FLOOR WIRED GLASS WITH WITHOUT WOOD TOP OF PLATE TOP OF PLYWOOD WOOD BASE TOP OF SLAB WORKING POINT WROUGHT IRON TOP OF STEEL TOTAL LOAD TOWEL BAR ANGLE TRACK LIGHTING CENTER LINE CHANNEL PROPERTY LINE ROUND / DIAMETER

SQUARE

DEGREE

abbreviations -

aeneral notes

- ALL CONSTRUCTION SHALL COMPLY WITH CODES LISTED ON THIS TITLE SHEET INCLUDING AMENDMENTS AND UPDATES NOT LISTED ON THIS SHEET, ALL CONSTRUCTION TO COMPLY WITH CURRENT TRADE STANDARDS AND TRADE PROCEDURES.
- DESIGN IS BASED ON DRAWINGS BY HAMMARBERG AND HERMAN ARCHITECTS (FONTANA WEST ORIGINAL BUILDING PERMIT SET DRAWINGS), PROVIDED BY THE OWNER.
- THE ARCHITECT DOES NOT WARRANT NOR IS HE RESPONSIBLE FOR COMPLIANCE WITH CODE AND LOCAL ORDINANCES OF EXISTING STRUCTURES.
- VERIFY ALL CRITICAL DIMENSIONS WITH ARCHITECT BEFORE WORK IS COMMENCED. IMMEDIATELY INFORM ARCHITECT AND OWNER OF DISCREPANCIES BETWEEN DRAWINGS AND
- ANNOTATIONS DESCRIBE NEW ITEMS UNLESS LABELED (E). (E) = EXISTING, (N) = NEW
- REFER TO STRUCTURAL DRAWINGS AND TO PLUMBING, APPLIANCE, INTERIOR FINISH AND COLOR SCHEDULES TO BE ISSUED FOR MORE INFORMATION AND SPECIFICATIONS.
- CONTRACTOR TO BE RESPONSIBLE FOR INVESTIGATING AND VERIFYING ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS PRIOR TO SUBMITTING BID AND PRIOR TO START OF CONSTRUCTION.
- 8. CONTRACTOR SHALL NOTIFY THE ARCHITECT ABOUT ANY CONDITIONS REQUIRING A MODIFICATION OR CHANGE BEFORE PROCEEDING WITH THE WORK.
- ALL CONSTRUCTION TO PROVIDE A WATERPROOF, WEATHER-TIGHT BUILDING, CONTRACTOR SHALL FLASH AND CAULK AS NECESSARY TO ACHIEVE THIS REQUIREMENT.
- TOILETS SHALL HAVE A MAX OF 16 GALLONS PER FLUGHL SHOWER HEAD FLOW SHALL NOT EXCEED 25 GFM, FAUCET FLOW SHALL NOT EXCEED 22 GFM.
- REFER TO INTERIOR FINISH MANUAL UNDER SEPARATE COVER FOR INFORMATION ABOUT ROOM FINISHES, DETAILS, SPECIFICATIONS, ETC.
- WRITTEN DOCUMENTATION SHALL PREVAIL OVER SCALED DIMENSIONS ON DRAWINGS. IN NO EVENT IS A DIMENSION TO BE SCALED OFF THE DRAWINGS WITHOUT PRIOR APPROVAL FROM

CONTRACTOR AND ITS SUBCONTRACTOR WILL DESIGN AND BUILD ELECTRICAL, MECHANICAL

- PLUMBING SYSTEMS AND INTEGRATE THESE SYSTEMS INTO ARCHITECTURAL AND STRUCTURAL ELEMENTS, ARCHITECT WILL REVIEW AND ASSIST WITH COORDINATION. ARCHITECT WILL NOT BEAR LIABILITY FOR ELECTRICAL, MECHANICAL, PLUMBING DESIGN AND PERFORMANCE.
- 14. THESE DRAWINGS ARE INTENDED FOR USE WITH A NEGOTIATED CONSTRUCTION CONTRACT WITH A GENERAL CONTRACTOR AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIALS AND/OR MANUFACTURERS, CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUT SHEETS AS REQUIRED TO ASSIST OWNER AND ARCHITECT IN MAKING MATERIAL
- NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- IT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION.

remodel note.

MODIFICATION OR CHANGE SEFORE PROCEEDING WITH THE WORK

Revisions:

SITE PERMIT 06-08-10

mosaic

architecture,

planning,

green consulting

interior design

San Francisco Office 1290 Sutter Street #201

San Francisco, CA 94109

p: 415.409.6660 f: 415.449.6624

Boulder Office

1829 Pearl Street Boulder, CO 80302 p: 303.247.1100

f: 303.247.1101

www.mosaicarchitects.com info@mosaicarchitects.com

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and

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ential Steiner

esido 2204

Si

COVER SHEET

Date: JUNE 08, 2010 0711

SME Drawn by:

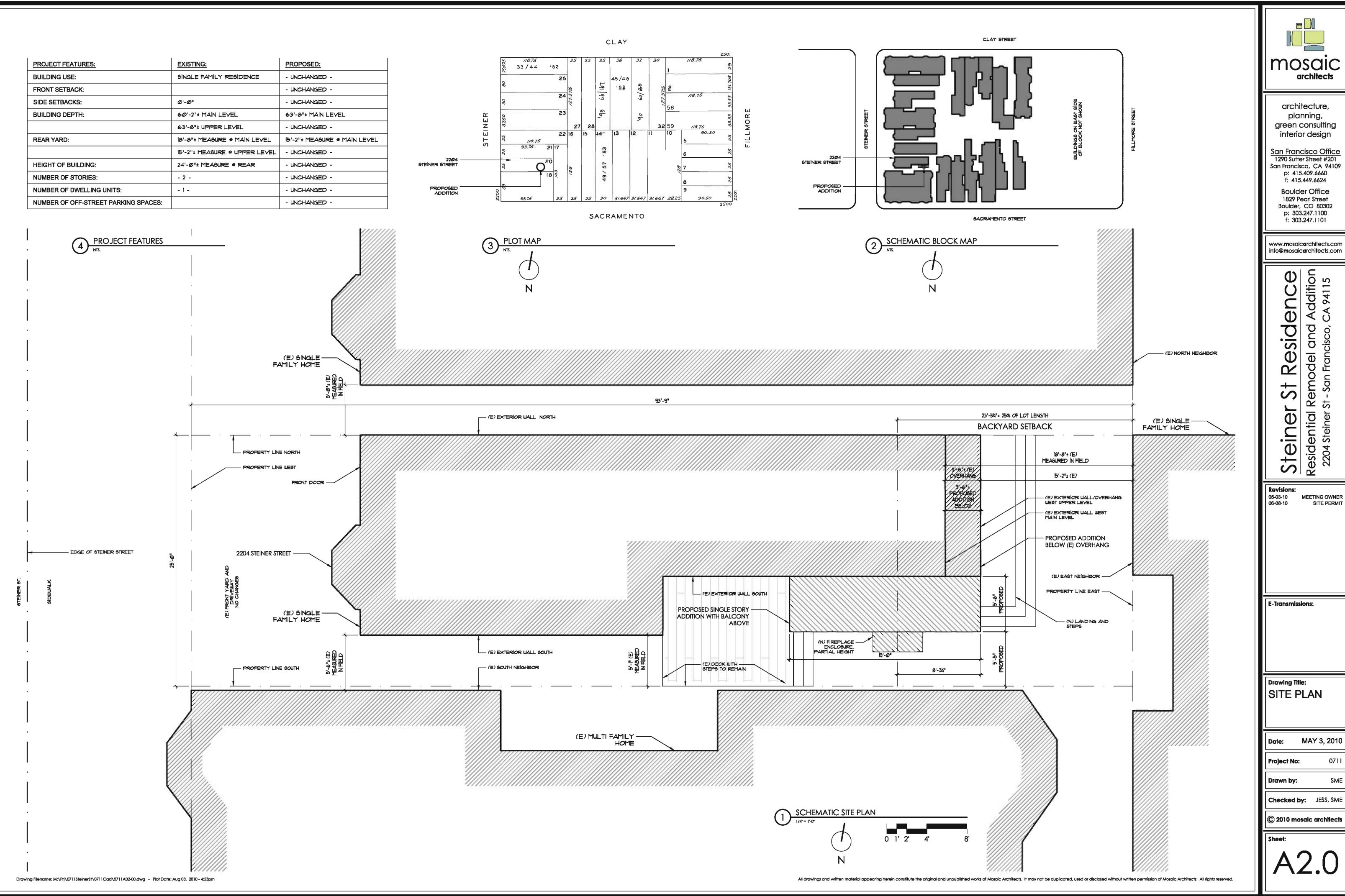
Checked by: JESS, SME

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Sheet:

Drawing Filename: M:\Prj\0711Steiner\$t\0711Cad\0711A01-00.dwg - Plat Date: Jun 08, 2010 - 11:30am

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1290 Sutter Street #201 San Francisco, CA 94109

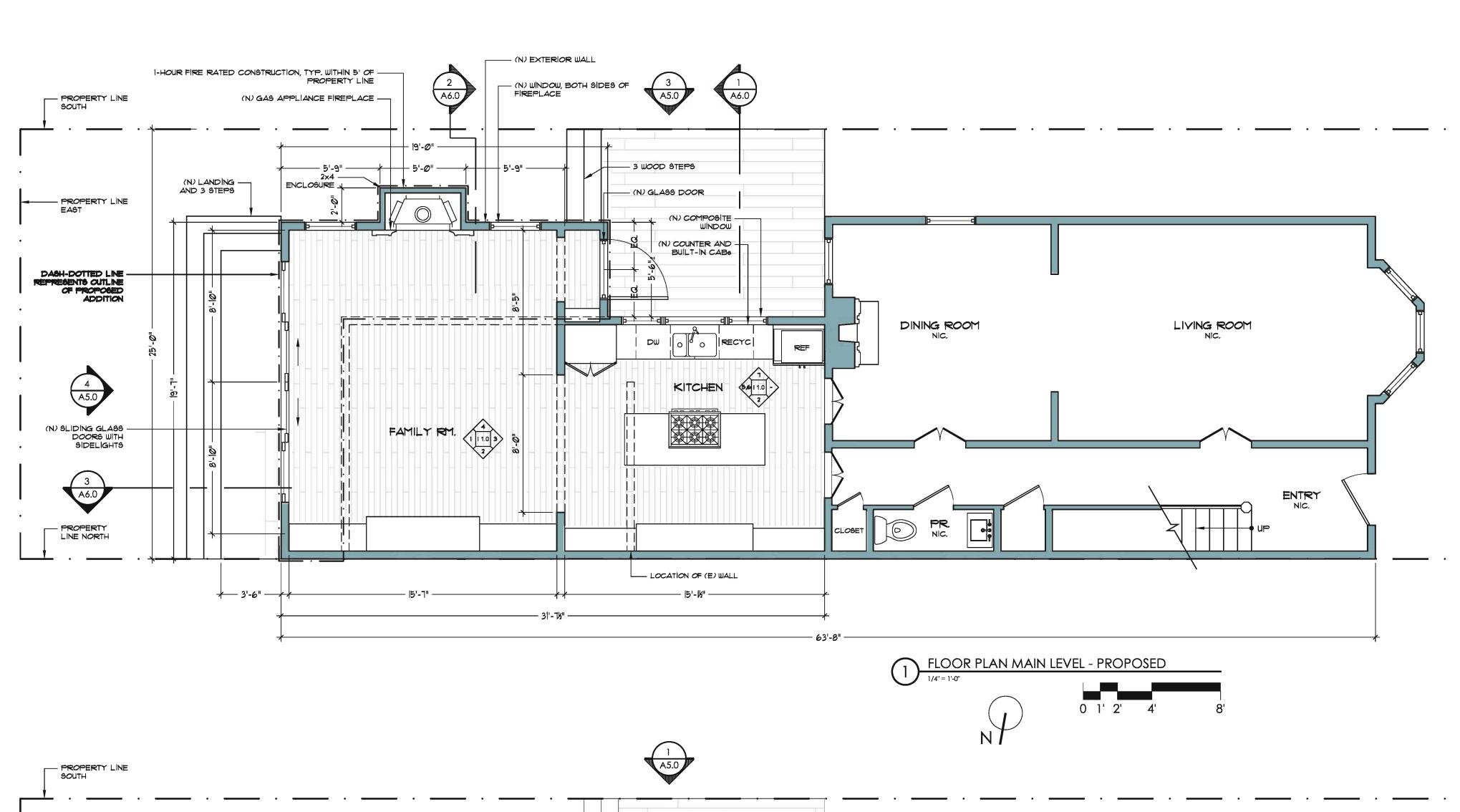
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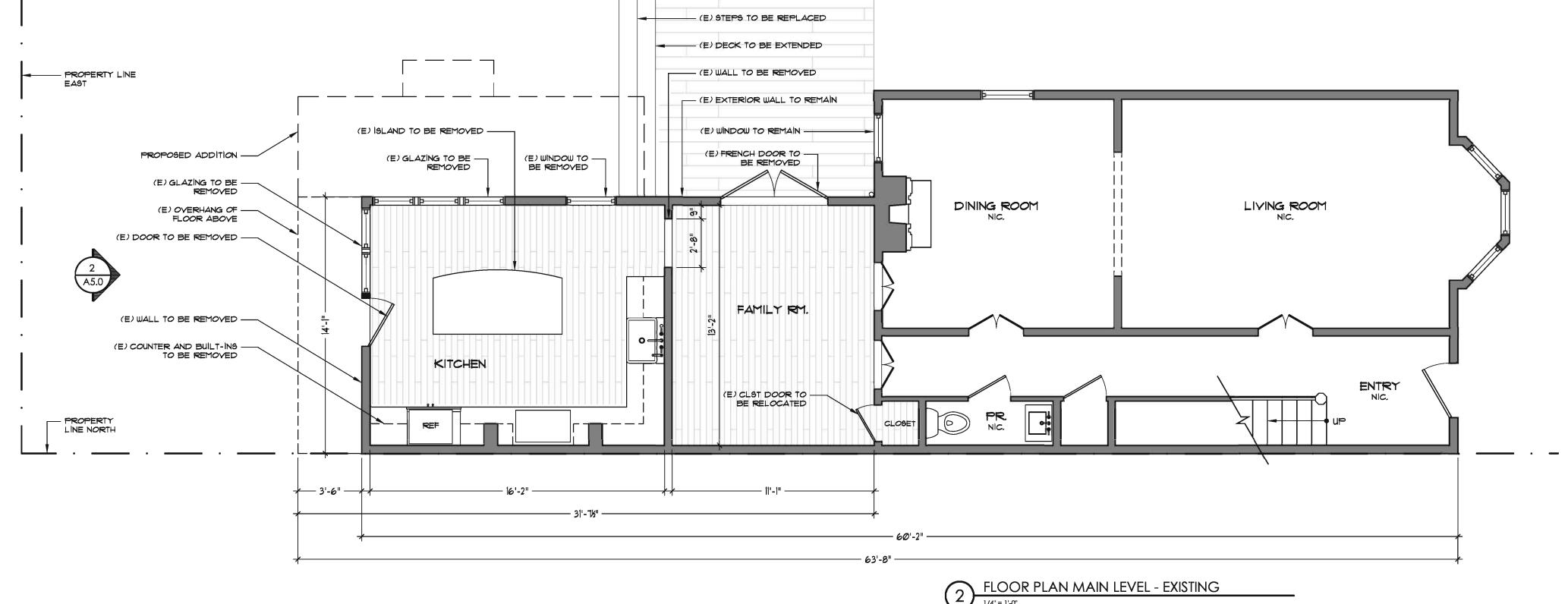
SHEET NOTES, GENERAL:

- 1. DESIGN IS BASED ON DRAWINGS PROVIDED BY THE OWNER.
- 2. MAINTAIN 1-HOUR FIRE RATING ON ALL (N) WALLS WITHIN 5' OF PROPERTY LINE, U.O.N.
- 3. THE ARCHITECT DOES NOT WARRANT NOR IS HE RESPONSIBLE FOR COMPLIANCE WITH CODE AND LOCAL ORDINANCES OF EXISTING STRUCTURES.
- 4. VERIFY ALL CRITICAL DIMENSIONS WITH ARCHITECT BEFORE WORK IS COMMENCED.
 IMMEDIATELY INFORM ARCHITECT OF DISCREPANCIES BETWEEN DRAWINGS AND AS BUILT CONDITIONS.
- 5. ANNOTATIONS DESCRIBE NEW ITEMS UNLESS LABELED (E).
 (E) = EXISTING, (N) = NEW
- 6. REFER TO COVER SHEET FOR GENERAL NOTES AND REQUIREMENTS.
- 1. WALL DIMENSIONS ARE TO FACE OF STUD WALL,
 BUILT-IN DIMENSIONS ARE TO OUTSIDE FACE OF FINISHED CABINETRY BASE CABINET, U.O.N.
- 8. MATCH THICKNESS OF (E) WALLS WHEN ADDING EXTENSIONS AND INFILLS TO (E) WALLS, FINISHED TRANSITION FROM (E) WALL TO (N) WALL TO BE UNNOTICEABLE TO THE EYE.

SHEET NOTES, FLOOR PLAN:

- I. (N) EXTERIOR WALLS TO BE PAINTED WOOD SIDING ON 2 LAYERS GRADE "D" PAPER, ON ½" CDX PLYWOOD ON 2×6 WOOD STUD AT 16" O.C., MIN., WITH R-13 MIN., INSULATION., INTERIOR FACE OF EXTERIOR WALLS TO BE ½" THICK GYP., BOARD, U.O.N.
- 2. (N) INTERIOR WALLS TO BE 2x6 WOOD STUD WITH 5/8" THICK GYP. BOARD ON BOTH SIDES, U.O.N.
- 3. DOORS, WINDOWS AND OPENINGS TO BE CENTERED IN FINISHED WALL, U.O.N., SINKS, TOILETS, SHOWER HEADS AND SHOWER DRAINS TO BE CENTERED IN FINISHED WALL, U.O.N.
- 4. WINDOWS, DOORS AND SINKS ARE DIMENSIONED TO CENTERLINE, U.O.N.
- 5. COORDINATE ALL ELECTRICAL, MECHANICAL AND PLUMBING WITH ARCHITECT AND CLIENT PRIOR TO INSTALLATION.
- 6. ARCHITECT BEARS NO RESPONSIBILITY FOR DESIGN AND PERFORMANCE OF ELECTRICAL, MECHANICAL AND PLUMBING SYSTEMS.
- 1. FLOOR MATERIAL IN CLOSETS TO MATCH ADJOINING ROOM, U.O.N.
- 8. CHANGE FLOOR MATERIAL UNDER CENTERLINE OF CLOSED DOOR, U.O.N.
- 9. WINDOW AREA FOR NATURAL LIGHT MUST BE 8% OF FLOOR AREA OR MORE (EXEPT WHERE LESS IS ALLOWED BY CODE AND/OR FOR ARTIFICIALLY LIGHTED ROOMS).
- 10. <u>EGRESS NOTE:</u> ONE WINDOW IN EACH SLEEPING ROOM MUST HAVE A NET CLEAR OPENING OF 5.7 SQFT WITH A NET CLEAR HEIGHT OF 24", A NET CLEAR WIDTH OF 20" AND THE SILL MUST BE WITHIN 44" OF THE FINISHED FLOOR.
- 11. STAIRWAYS SHALL HAVE HEADROOM CLEARANCE OF NO LESS THAN 6'-8" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. MINIMUM HEADROOM CLEARANCE IS REQUIRED FOR THE FULL WIDTH OF THE STAIRWAY AND CONTINUES TO ONE TREAD DEPTH BEYOND THE BOTTOM RISER. SPIRAL STAIRWAYS ARE PERMITTED A 6'-6" HEADROOM.
- 12. THE RISER HEIGHT OF STEPS IN A STAIRWAY SHALL NOT BE LESS THAN 4" OR GREATER THAN 13/4" AND THE TREAD DEPTH SHALL NOT BE LESS THAN 10".
- 13. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12' BETWEEN FLOOR LEVELS OR LANDINGS.
- 14. A FLOOR OR LANDING IS REQUIRED AT THE TOP AND BOTTOM OF EACH STAIRWAY, BOTH LANDING WIDTH AND DEPTH MEASURED IN DIRECTION OF TRAVEL SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY BUT NEED NOT EXCEED 48",
- 15. HANDRAILS TO HAVE 1½"-2" GRASPABLE CROSS SECTION, NO SHARP CORNERS, AT 34"-38"
 ABOVE NOSING, EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER AND TERMINATE AT NEWEL
 POSTS OR RETURN INTO WALLS.
- 16. HANDRAIL MAY PROJECT 4½" MAX. INTO REQUIRED WIDTH OF STAIR AND SHALL PROVIDE 1½" MIN. SPACE BETWEEN WALL AND HANDRAIL.
- 17. GUARDRAILS ARE REQUIRED AT THE OPEN SIDES OF DECKS, WALKING SURFACES, STAIRWAYS, RAMPS AND LANDINGS WHICH ARE MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW.
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- 20. GUARDRAILS ON WALKING SURFACES, LANDINGS, DECKS AND SIMILAR PLATFORMS SHALL HAVE VERTICAL OR HORIZONTAL RAILS OR AN ORNAMENTAL PATTERN SPACED SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH.
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- 22. WEATHER-EXPOSED LANDINGS, BALCONIES AND ROOF DECKS, WHICH ARE SEALED UNDERNEATH TO HAVE 1/4" PER FOOT MINIMUM SLOPE.
- 23. ATTIC ACCESS: AN OPENING NOT LESS THAN 20"x30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30". A 30" MIN, CLEAR HEADROOM IS REQUIRED AT OR ABOVE THE ACCESS OPENING.
- 24. SHOWER AND TUB/SHOWER WALLS TO HAVE SMOOTH, HARD, NON-ABSORBENT SURFACES OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF TO" ABOVE THE DRAIN INLET.
- 25. REFER TO DOOR AND WINDOW SCHEDULES FOR SIZES AND ADDITIONAL INFORMATION.





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- Residence

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Revisions:

04-01-10
04-06-10
04-06-10
04-15-10
MEETING OWNER
MEETING OWNER
MEETING OWNER

05-05-10 SF PLANNING REVIEW

05-03-10

06-08-10

E-Transmissions:

Drawing Title: PLANS

Date: APRIL 1, 2010

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Drawn by:

Checked by: JESS, SME

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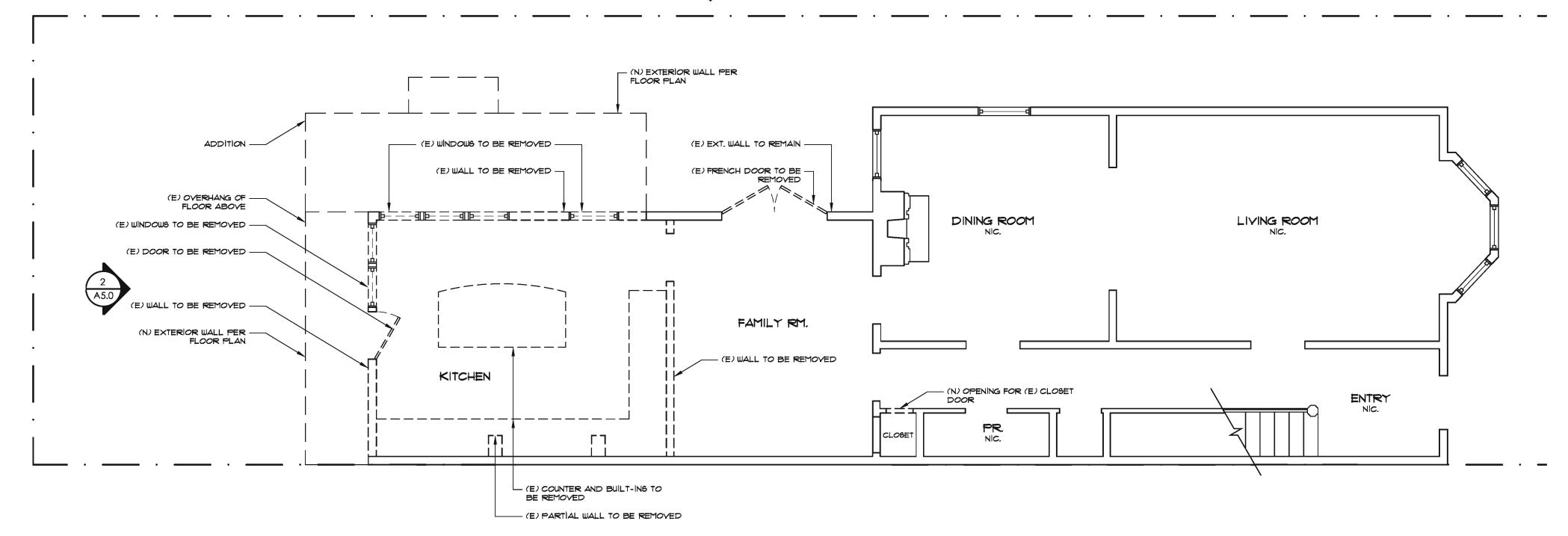
SHEET NOTES, GENERAL:

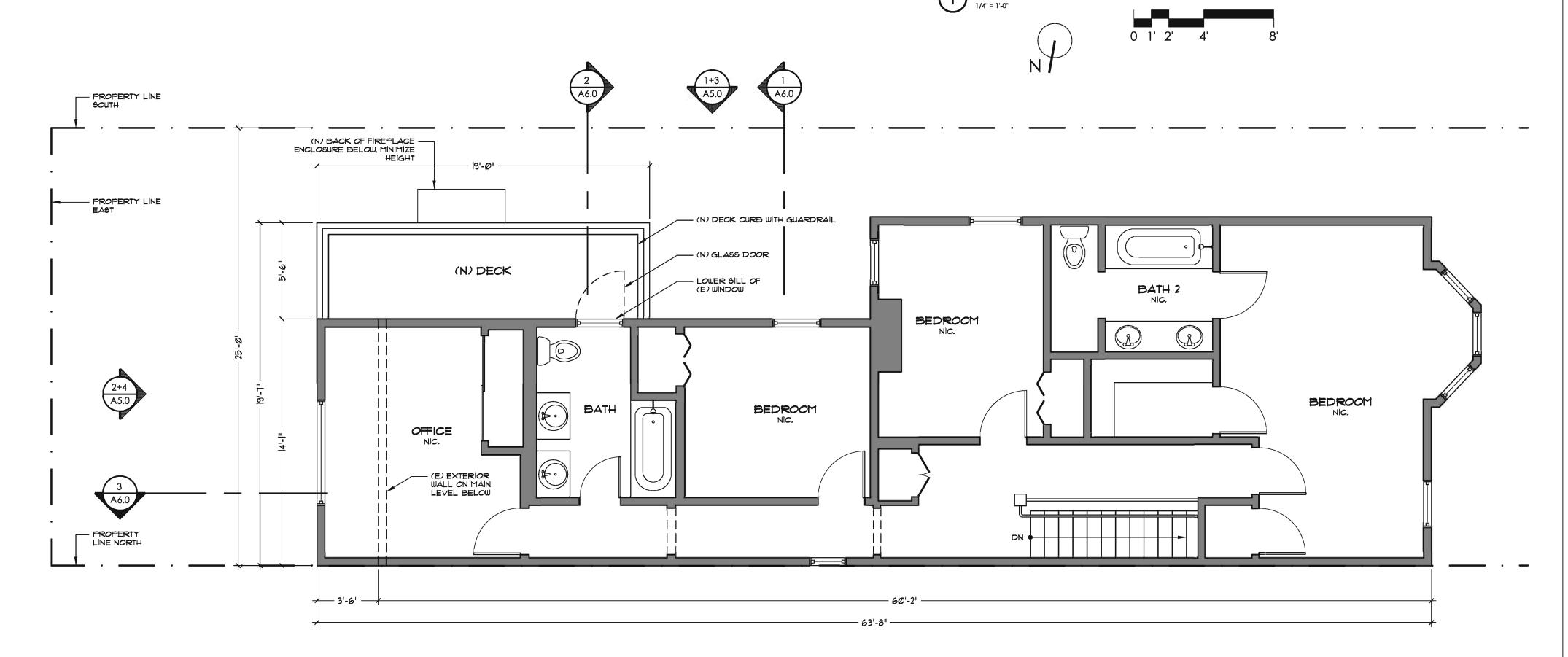
- 1. DESIGN IS BASED ON DRAWINGS PROVIDED BY THE OWNER.
- 2. MAINTAIN 1-HOUR FIRE RATING ON ALL (N) WALLS WITHIN 5' OF PROPERTY LINE, U.O.N.
- 3. THE ARCHITECT DOES NOT WARRANT NOR IS HE RESPONSIBLE FOR COMPLIANCE WITH CODE AND LOCAL ORDINANCES OF EXISTING STRUCTURES.
- 4. VERIFY ALL CRITICAL DIMENSIONS WITH ARCHITECT BEFORE WORK IS COMMENCED.
 IMMEDIATELY INFORM ARCHITECT OF DISCREPANCIES BETWEEN DRAWINGS AND AS BUILT CONDITIONS.
- 5. ANNOTATIONS DESCRIBE NEW ITEMS UNLESS LABELED (E).
 (E) = EXISTING, (N) = NEW
- 6. REFER TO COVER SHEET FOR GENERAL NOTES AND REQUIREMENTS.
- 1. WALL DIMENSIONS ARE TO FACE OF STUD WALL, BUILT-IN DIMENSIONS ARE TO OUTSIDE FACE OF FINISHED CABINETRY BASE CABINET, U.O.N.
- 8. MATCH THICKNESS OF (E) WALLS WHEN ADDING EXTENSIONS AND INFILLS TO (E) WALLS, FINISHED TRANSITION FROM (E) WALL TO (N) WALL TO BE UNNOTICEABLE TO THE EYE.

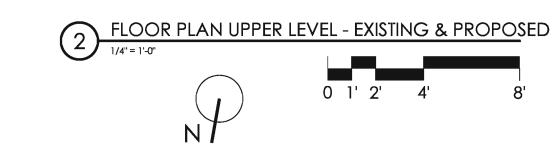
SHEET NOTES, FLOOR PLAN:

- I. (N) EXTERIOR WALLS TO BE PAINTED WOOD SIDING ON 2 LAYERS GRADE "D" PAPER, ON ½" CDX PLYWOOD ON 2x6 WOOD STUD AT 16" O.C. MIN. WITH R-13 MIN. INSULATION. INTERIOR FACE OF EXTERIOR WALLS TO BE ½" THICK GYP. BOARD, U.O.N.
- 2. (N) INTERIOR WALLS TO BE 2x6 WOOD STUD WITH 5/8" THICK GYP. BOARD ON BOTH SIDES, U.O.N.
- 3. DOORS, WINDOWS AND OPENINGS TO BE CENTERED IN FINISHED WALL, U.O.N. SINKS, TOILETS, SHOWER HEADS AND SHOWER DRAINS TO BE CENTERED IN FINISHED WALL, U.O.N.
- 4. WINDOWS, DOORS AND SINKS ARE DIMENSIONED TO CENTERLINE, U.O.N.
- 5. COORDINATE ALL ELECTRICAL, MECHANICAL AND PLUMBING WITH ARCHITECT AND CLIENT PRIOR TO INSTALLATION.
- 6. ARCHITECT BEARS NO RESPONSIBILITY FOR DESIGN AND PERFORMANCE OF ELECTRICAL, MECHANICAL AND PLUMBING SYSTEMS.
- 1. FLOOR MATERIAL IN CLOSETS TO MATCH ADJOINING ROOM, U.O.N.
- 8. CHANGE FLOOR MATERIAL UNDER CENTERLINE OF CLOSED DOOR, U.O.N.
- 9. WINDOW AREA FOR NATURAL LIGHT MUST BE 8% OF FLOOR AREA OR MORE (EXEPT WHERE LESS IS ALLOWED BY CODE AND/OR FOR ARTIFICIALLY LIGHTED ROOMS).
- 10. <u>EGRESS NOTE:</u> ONE WINDOW IN EACH SLEEPING ROOM MUST HAVE A NET CLEAR OPENING OF 5.7 SQFT WITH A NET CLEAR HEIGHT OF 24", A NET CLEAR WIDTH OF 20" AND THE SILL MUST BE WITHIN 44" OF THE FINISHED FLOOR.
- II. STAIRWAYS SHALL HAVE HEADROOM CLEARANCE OF NO LESS THAN 6'-8" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. MINIMUM HEADROOM CLEARANCE IS REQUIRED FOR THE FULL WIDTH OF THE STAIRWAY AND CONTINUES TO ONE TREAD DEPTH BEYOND THE BOTTOM RISER. SPIRAL STAIRWAYS ARE PERMITTED A 6'-6" HEADROOM.
- 12. THE RISER HEIGHT OF STEPS IN A STAIRWAY SHALL NOT BE LESS THAN 4" OR GREATER THAN 13/4" AND THE TREAD DEPTH SHALL NOT BE LESS THAN 10/4.
- 13. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12' BETWEEN FLOOR LEVELS OR LANDINGS.
- 14. A FLOOR OR LANDING IS REQUIRED AT THE TOP AND BOTTOM OF EACH STAIRWAY, BOTH LANDING WIDTH AND DEPTH MEASURED IN DIRECTION OF TRAVEL SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY BUT NEED NOT EXCEED 48",
- 15. HANDRAILS TO HAVE 1½"-2" GRASPABLE CROSS SECTION, NO SHARP CORNERS, AT 34"-38"
 ABOVE NOSING, EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISER AND TERMINATE AT NEWEL
 POSTS OR RETURN INTO WALLS.
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DEMOLITION PLAN - MAIN LEVEL

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Revisions:

04-01-10 MEETING OWNER

04-06-10 PDF OWNER

04-15-10 MEETING OWNER

05-03-10 MEETING OWNER

05-05-10 SF PLANNING REVIEW

06-08-10

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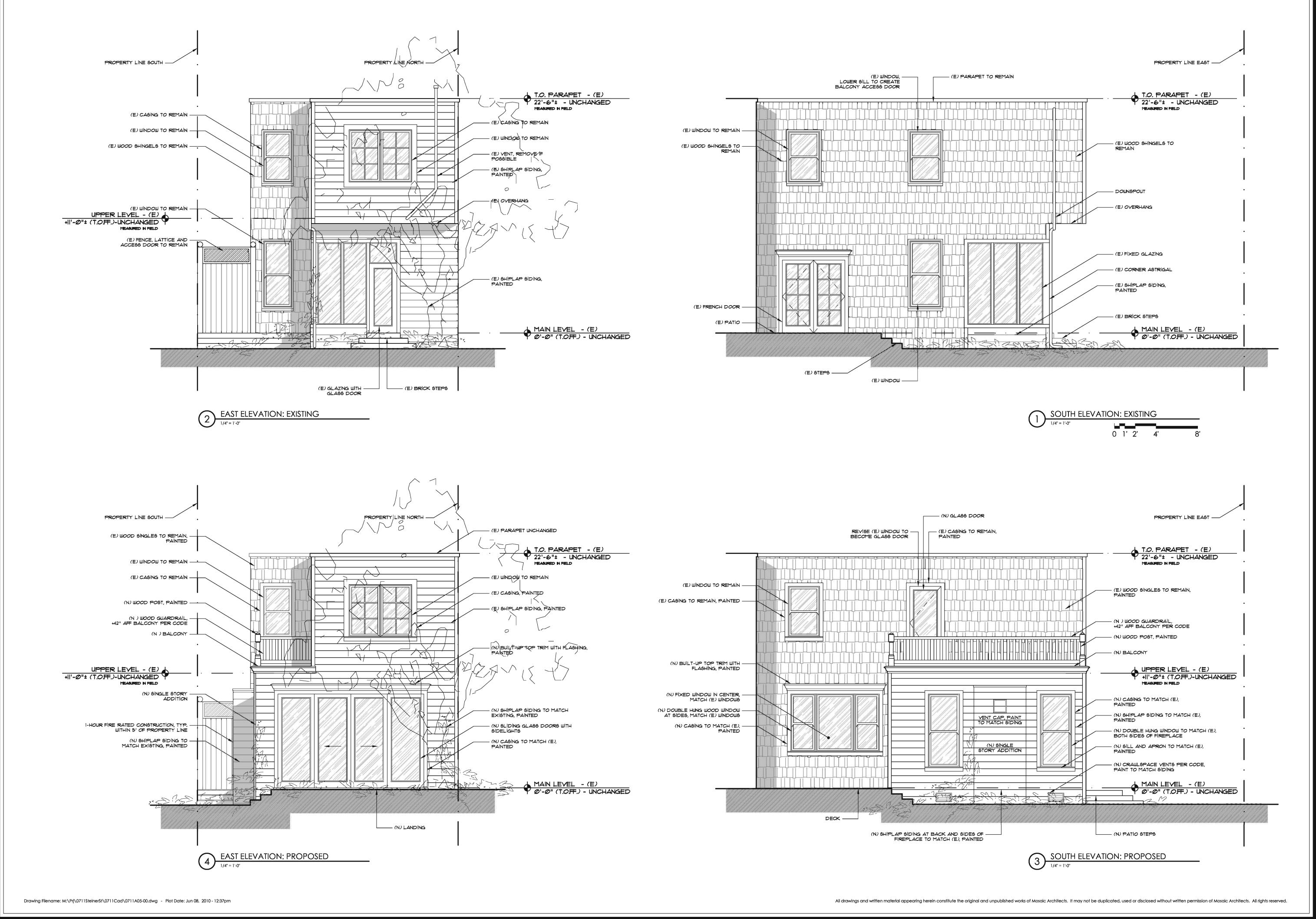
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Revisions: 04-27-10 05-03-10 MEETING OWNER 06-08-10 SITE PERMIT

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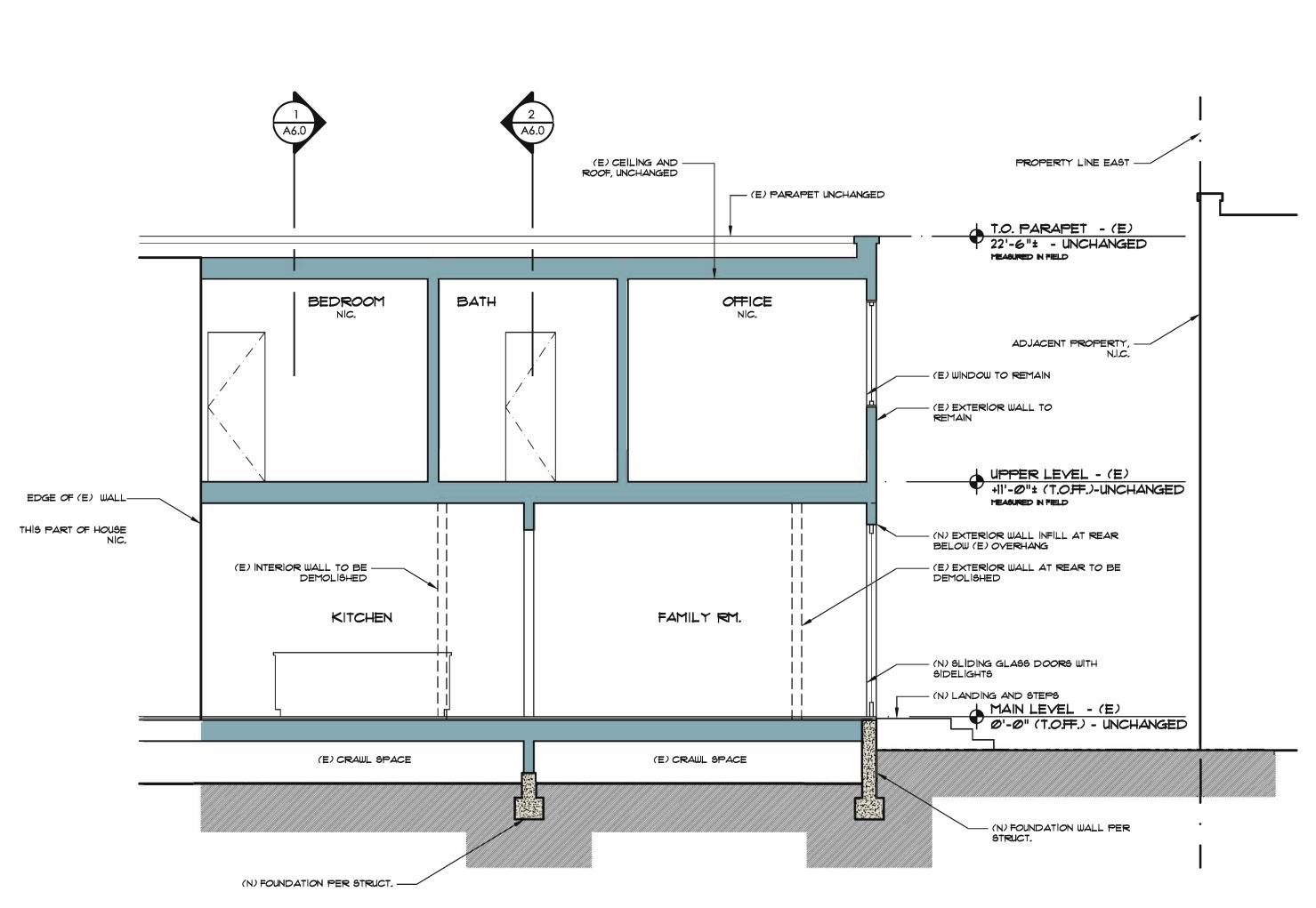
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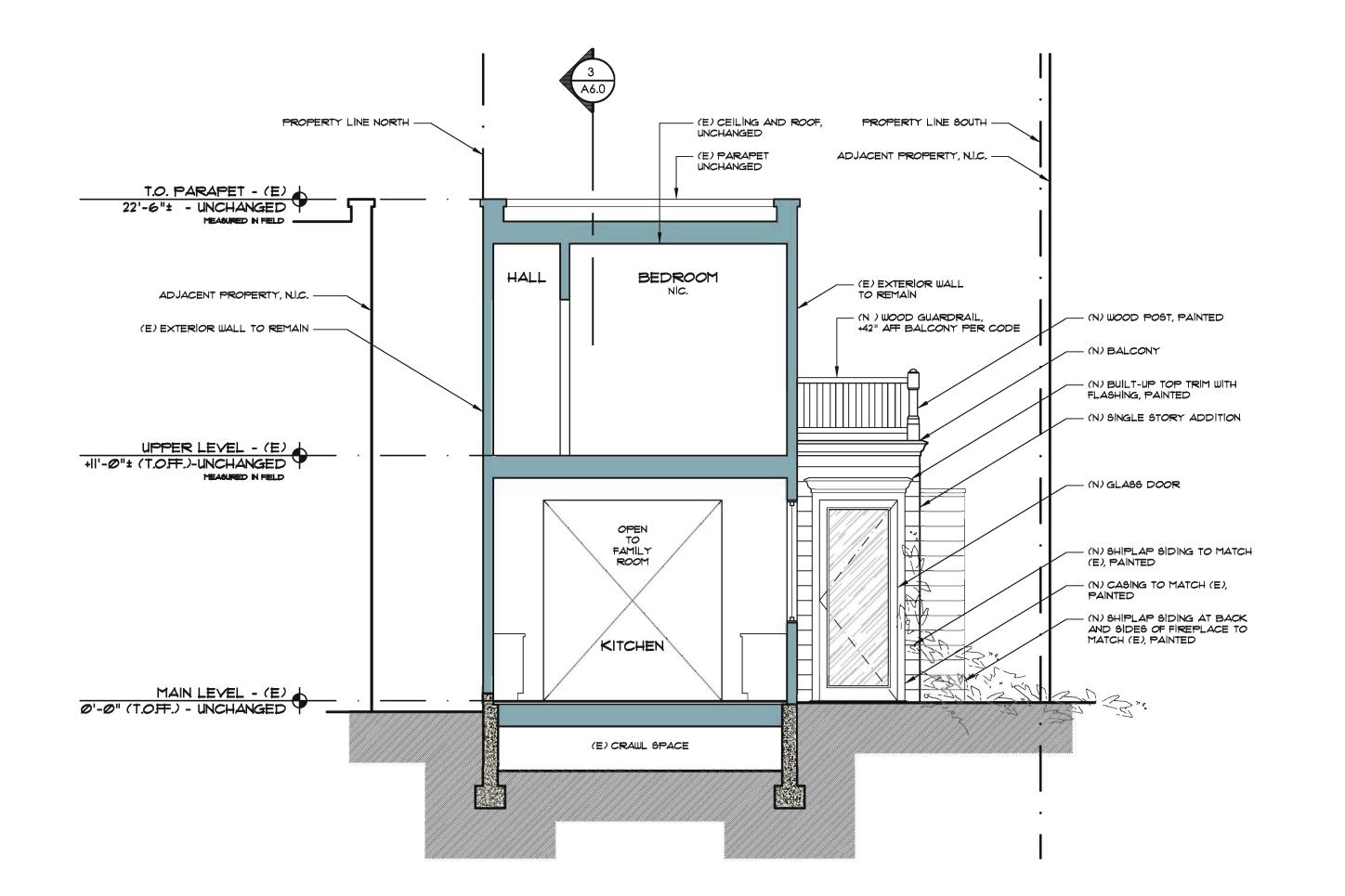
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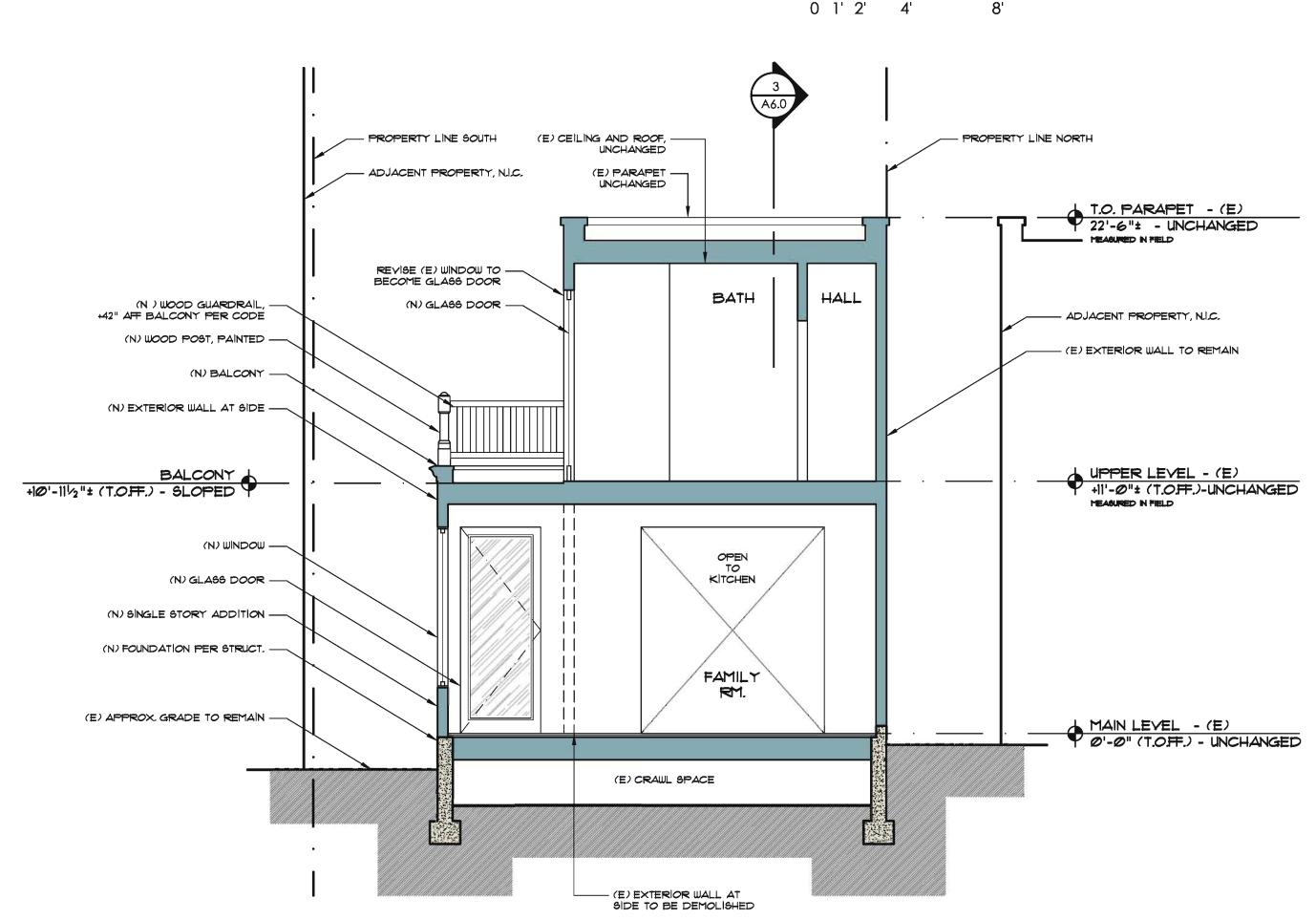
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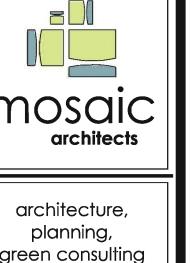
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06-08-10

E-Transmissions:

Drawing Title: BUILDING SECTIONS

Date: JUNE 08, 2010

SME Drawn by: Checked by: JESS, SME

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BUILDING SECTION - PROPOSED

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