



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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415.558.6377



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1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 22, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard and Non-Complying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	2204 Steiner Street	Case No.:	2010.0639V
Cross Street(s):	Clay / Sacramento Streets	Building Permit:	N/A
Block /Lot No.:	0630/020	Applicant/Agent:	Stefan Eder, Architect
Zoning District(s):	RH-2/40-X	Telephone:	(415) 409-6660
Area Plan:	N/A	E-Mail:	seeder@mosaicarchitects.com
PROJECT DESCRIPTION			
<p>The proposal is to expand the first floor level of the two-story, single-family house within the required rear yard. The work would infill an approximately 3.5-foot deep by 14-foot wide area beneath the second floor overhang at the rear (east) and add an approximately 19-foot deep by 5.5-foot wide area with a roof deck at the south wall. The work would result in an approximately 15-foot deep rear yard and a 5.5-foot wide setback at the north property line.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 23.5 feet. The building currently extends approximately 5 feet into the rear yard and the proposed addition would extend another 3.5 feet into the yard, resulting in a rear yard of approximately 15 feet.</p> <p>PER SECTION 188 OF THE PLANNING CODE expansion of a non-complying structure is prohibited. The existing building is considered a legal non-complying structure because portions of it already encroach into the required rear yard. Therefore, the proposed addition would be contrary to Section 188.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Shelley Caltagirone Tel: (415) 558-6625 E-Mail: shelley.caltagirone@sfgov.org</p> <p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0639V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

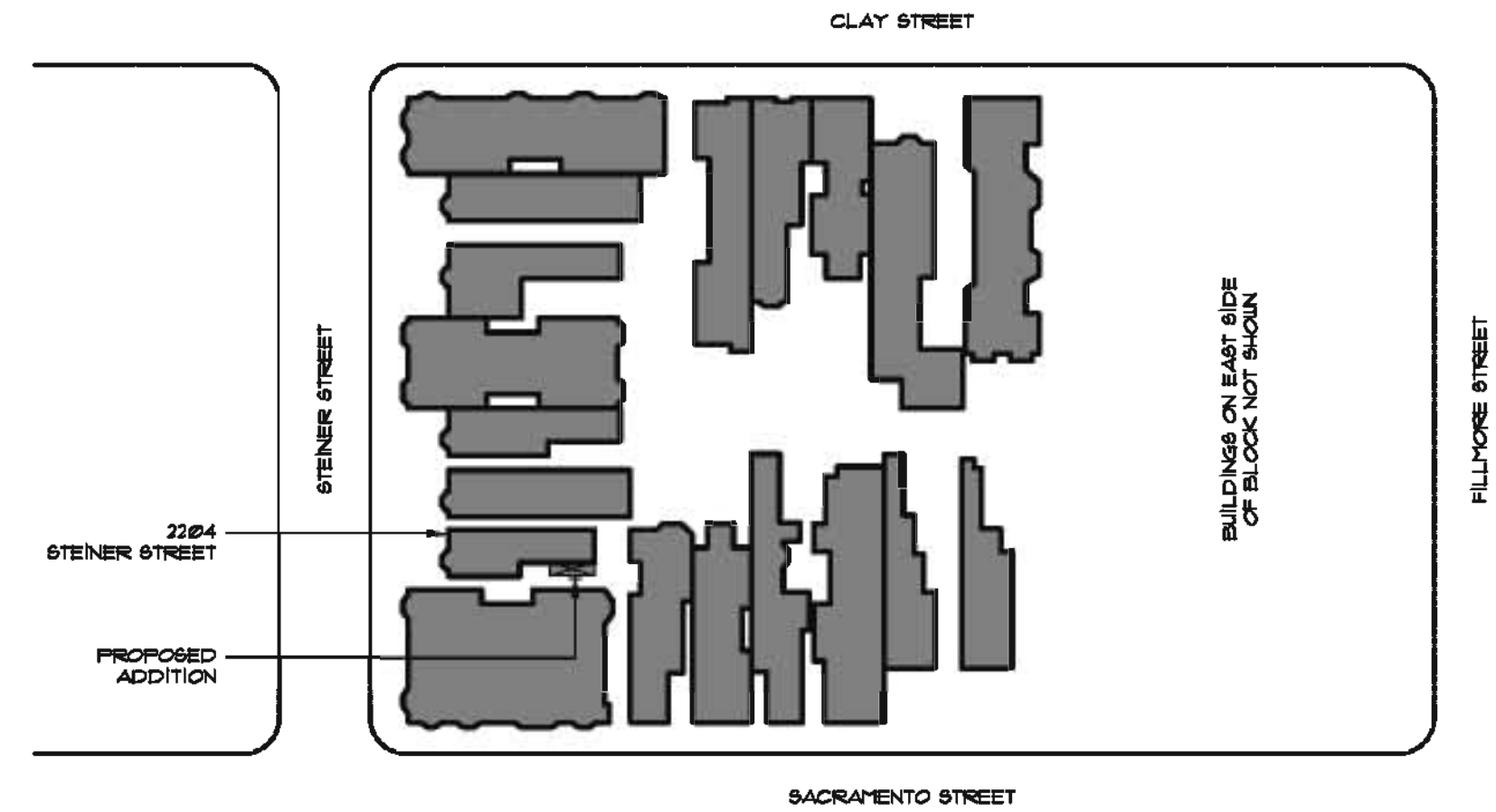
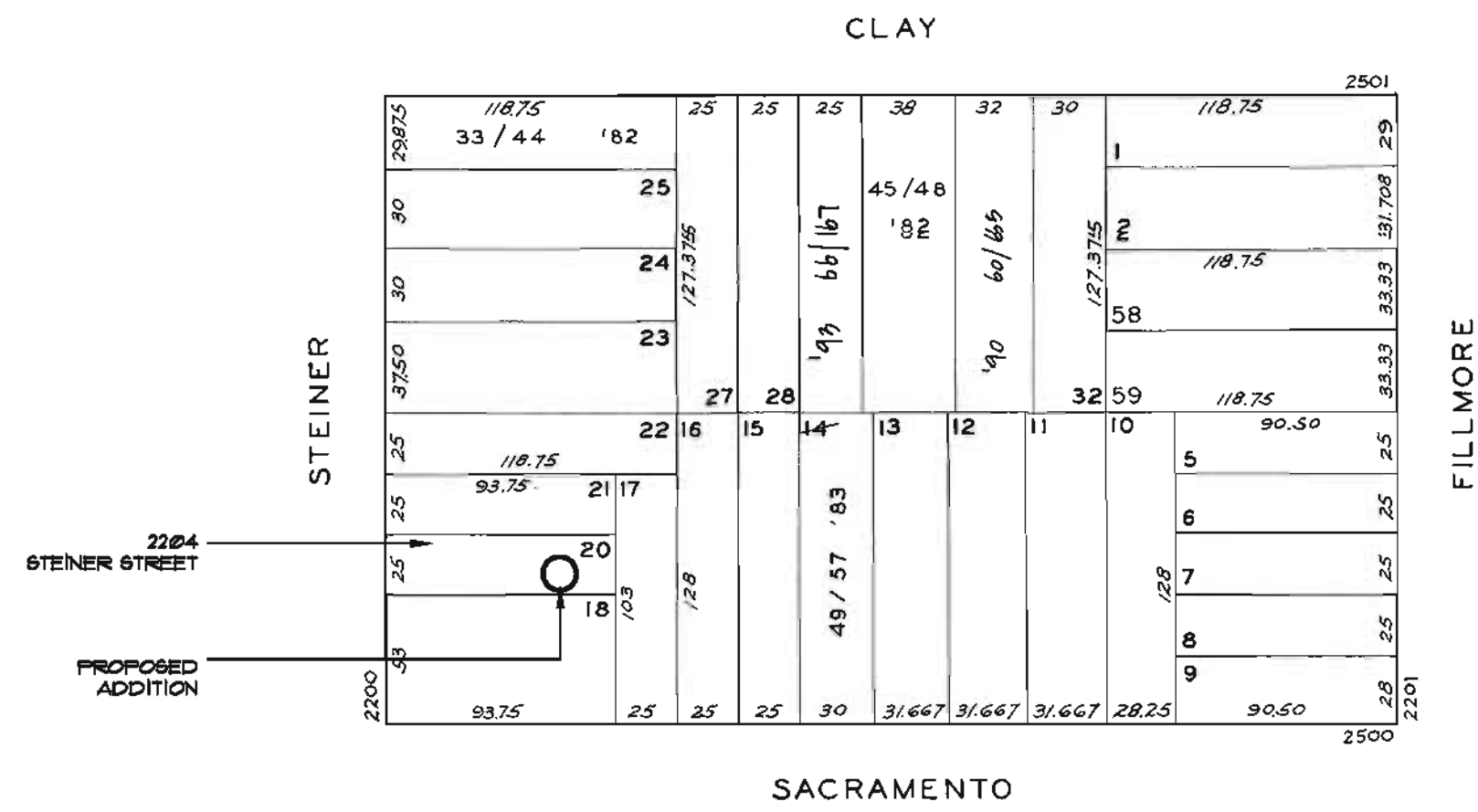
Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

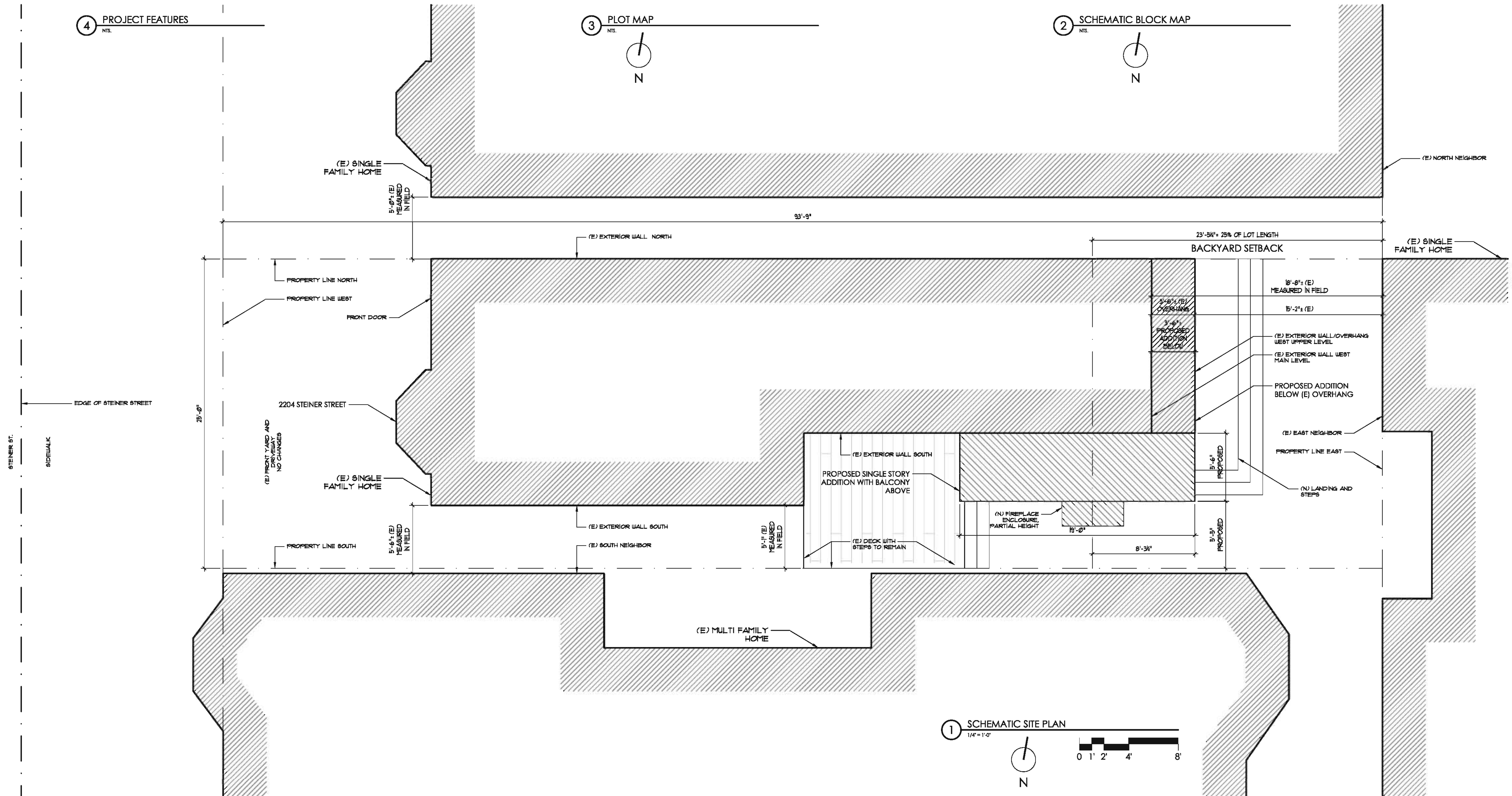
PROJECT FEATURES:	EXISTING:	PROPOSED:
BUILDING USE:	SINGLE FAMILY RESIDENCE	- UNCHANGED -
FRONT SETBACK:		- UNCHANGED -
SIDE SETBACKS:	0'-0"	- UNCHANGED -
BUILDING DEPTH:	60'-2" ± MAIN LEVEL	63'-8" ± MAIN LEVEL
	63'-8" ± UPPER LEVEL	- UNCHANGED -
REAR YARD:	18'-8" ± MEASURE • MAIN LEVEL	15'-2" ± MEASURE • MAIN LEVEL
	15'-2" ± MEASURE • UPPER LEVEL	- UNCHANGED -
HEIGHT OF BUILDING:	24'-0" ± MEASURE • REAR	- UNCHANGED -
NUMBER OF STORIES:	- 2 -	- UNCHANGED -
NUMBER OF DWELLING UNITS:	- 1 -	- UNCHANGED -
NUMBER OF OFF-STREET PARKING SPACES:		- UNCHANGED -



4 PROJECT FEATURES
N.T.S.

3 PLOT MAP
N.T.S.

2 SCHEMATIC BLOCK MAP
N.T.S.



1 SCHEMATIC SITE PLAN
1/4" = 1'-0"



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Steiner St Residence
Residential Remodel and Addition
2204 Steiner St - San Francisco, CA 94115

Revisions:
05-03-10 MEETING OWNER
06-08-10 SITE PERMIT

E-Transmissions:

Drawing Title:
SITE PLAN

Date: MAY 3, 2010

Project No: 0711

Drawn by: SME

Checked by: JESS, SME

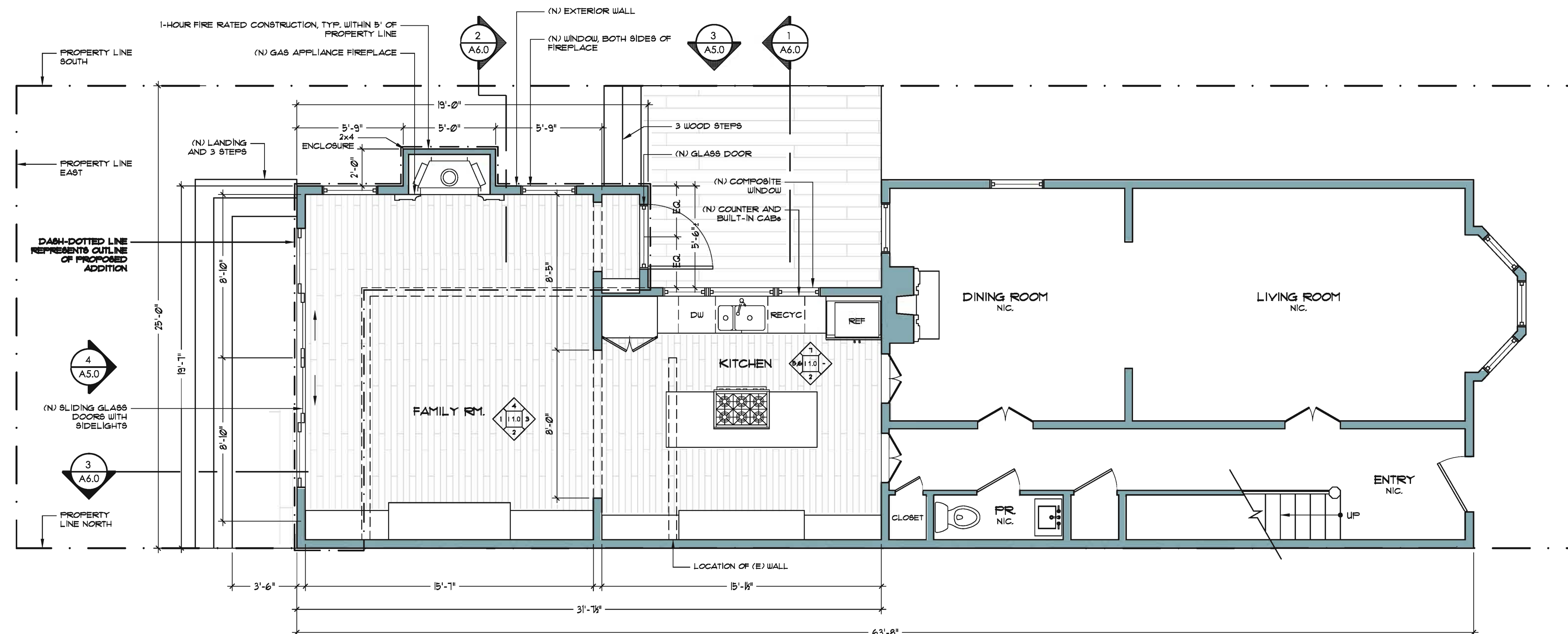
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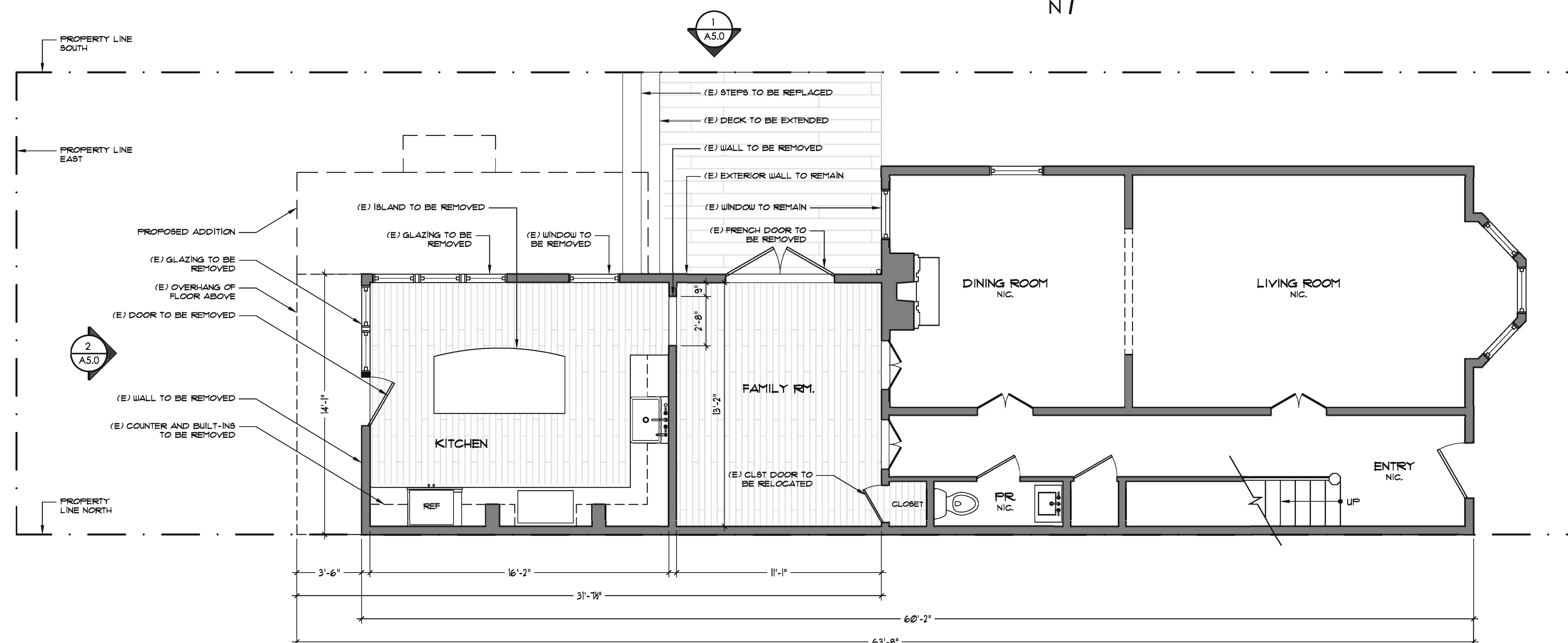
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1. DESIGN IS BASED ON DRAWINGS PROVIDED BY THE OWNER.
2. MAINTAIN 1-HOUR FIRE RATING ON ALL (N) WALLS WITHIN 5' OF PROPERTY LINE, U.O.N.
3. THE ARCHITECT DOES NOT WARRANT NOR IS HE RESPONSIBLE FOR COMPLIANCE WITH CODE AND LOCAL ORDINANCES OF EXISTING STRUCTURES.
4. VERIFY ALL CRITICAL DIMENSIONS WITH ARCHITECT BEFORE WORK IS COMMENCED. IMMEDIATELY INFORM ARCHITECT OF DISCREPANCIES BETWEEN DRAWINGS AND AS BUILT CONDITIONS.
5. ANNOTATIONS DESCRIBE NEW ITEMS UNLESS LABELED (E).
(E) = EXISTING, (N) = NEW
6. REFER TO COVER SHEET FOR GENERAL NOTES AND REQUIREMENTS.
7. WALL DIMENSIONS ARE TO FACE OF STUD WALL,
BUILT-IN DIMENSIONS ARE TO OUTSIDE FACE OF FINISHED CABINETS, U.O.N.
8. MATCH THICKNESS OF (E) WALLS WHEN ADDING EXTENSIONS AND INFILLS TO (E) WALLS. FINISHED TRANSITION FROM (E) WALL TO (N) WALL TO BE UNNOTICEABLE TO THE EYE.

1. (N) EXTERIOR WALLS TO BE PAINTED WOOD SIDING ON 2 LAYERS GRADE "D" PAPER ON 1/2" CDX PLYWOOD ON 2x6 WOOD STUD AT 16" O.C. MIN. WITH R-13 MIN. INSULATION. INTERIOR FACE OF EXTERIOR WALLS TO BE 3/8" THICK GYP. BOARD, U.O.N.
2. (N) INTERIOR WALLS TO BE 2x6 WOOD STUD WITH 3/8" THICK GYP. BOARD ON BOTH SIDES, U.O.N.
3. DOORS, WINDOWS AND OPENINGS TO BE CENTERED IN FINISHED WALL, U.O.N. SINKS, TOILETS, SHOWER HEADS AND SHOWER DRAINS TO BE CENTERED IN FINISHED WALL, U.O.N.
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8. CHANGE FLOOR MATERIAL UNDER CENTERLINE OF CLOSED DOOR, U.O.N.
9. WINDOW AREA FOR NATURAL LIGHT MUST BE 8% OF FLOOR AREA OR MORE (EXCEPT WHERE LESS IS ALLOWED BY CODE AND/OR FOR ARTIFICIALLY LIGHTED ROOMS).
10. **EGRESS NOTE:** ONE WINDOW IN EACH SLEEPING ROOM MUST HAVE A NET CLEAR OPENING OF 5.7 SQFT WITH A NET CLEAR HEIGHT OF 24", A NET CLEAR WIDTH OF 20" AND THE SILL MUST BE WITHIN 44" OF THE FINISHED FLOOR.
11. STAIRWAYS SHALL HAVE HEADROOM CLEARANCE OF NO LESS THAN 6'-8" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. MINIMUM HEADROOM CLEARANCE IS REQUIRED FOR THE FULL WIDTH OF THE STAIRWAY AND CONTINUES TO ONE TREAD DEPTH BEYOND THE BOTTOM RISER. SPIRAL STAIRWAYS ARE PERMITTED A 6'-6" HEADROOM.
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14. A FLOOR OR LANDING IS REQUIRED AT THE TOP AND BOTTOM OF EACH STAIRWAY. BOTH LANDING WIDTH AND DEPTH MEASURED IN DIRECTION OF TRAVEL SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY BUT NEED NOT EXCEED 48".
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17. GUARDRAILS ARE REQUIRED AT THE OPEN SIDES OF DECKS, WALKING SURFACES, STAIRWAYS, RAMPS AND LANDINGS WHICH ARE MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW.
18. GUARDRAILS SHALL NOT BE LESS THAN 42" IN HEIGHT.
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1 FLOOR PLAN MAIN LEVEL - PROPOSED
1/4" = 1'-0"



2 FLOOR PLAN MAIN LEVEL - EXISTING
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4-01-10	MEETING OWNER
4-06-10	PDF OWNER
4-15-10	MEETING OWNER
5-03-10	MEETING OWNER
5-05-10	SF PLANNING REVIEW
6-08-10	SITE PERMIT

-Transmissions:

Drawing Title:

PLANS

ate: APRIL 1, 2010

Project No: 0711

Drawn by: SME

checked by: JESS, SME

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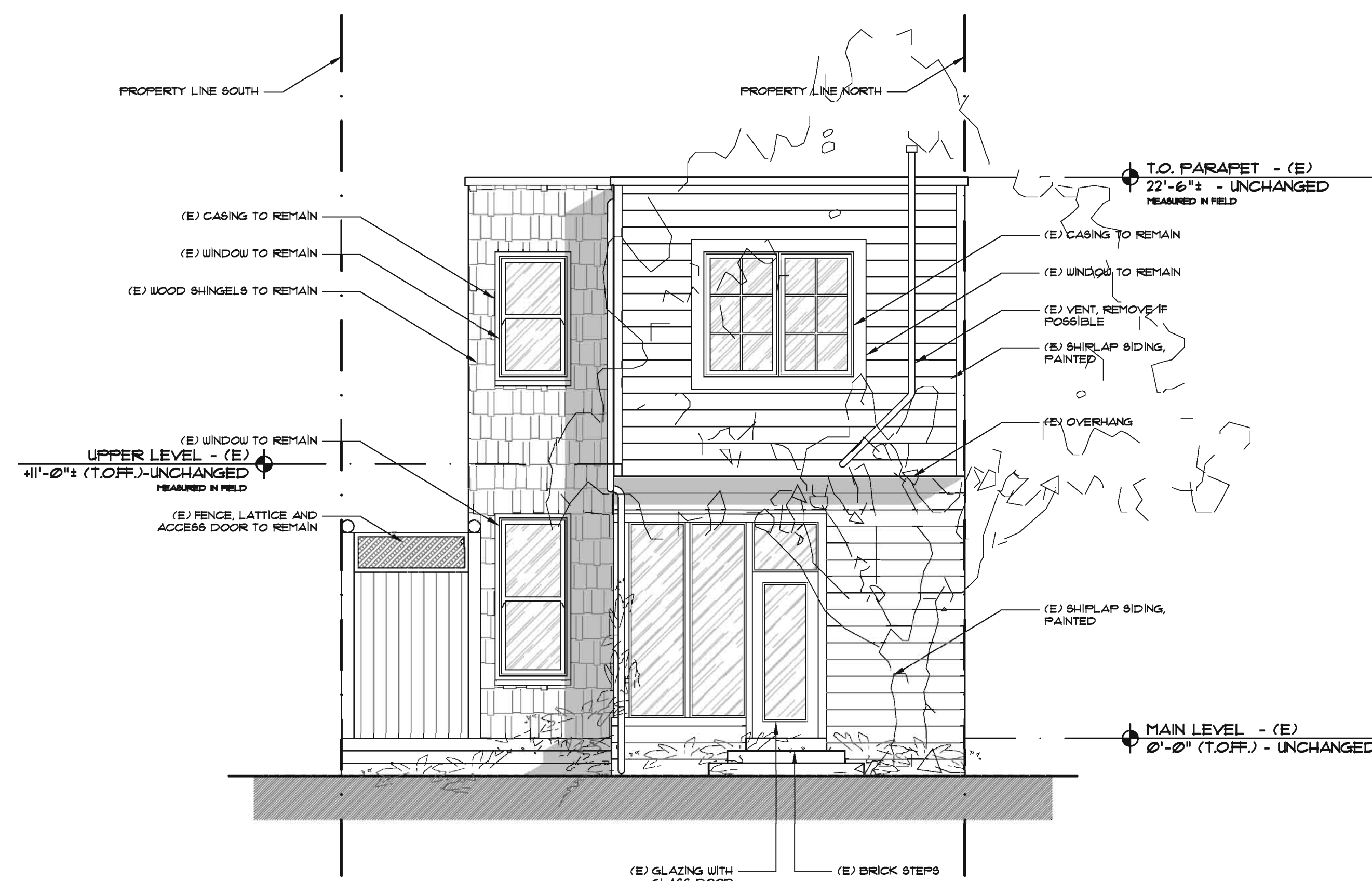
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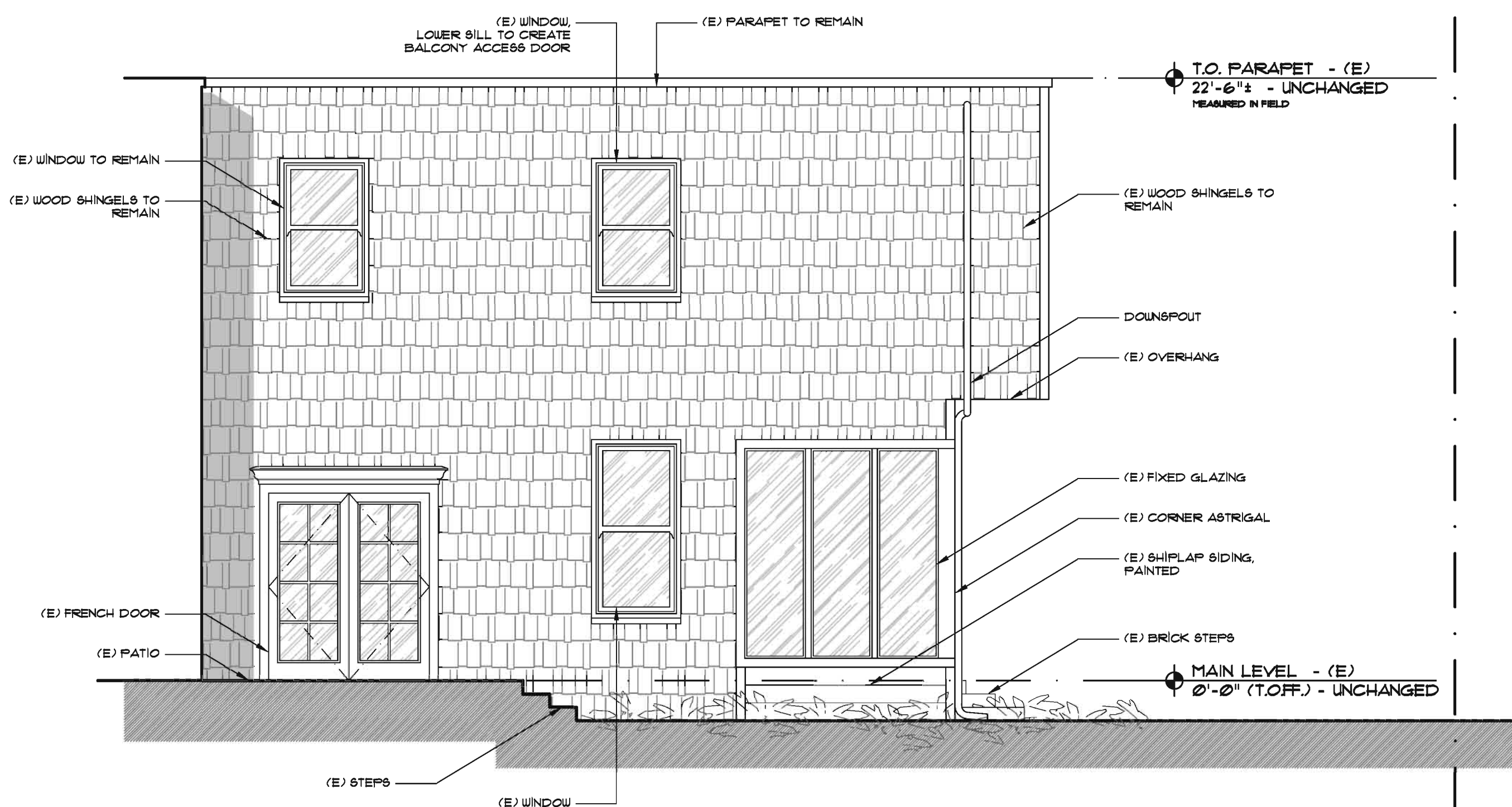
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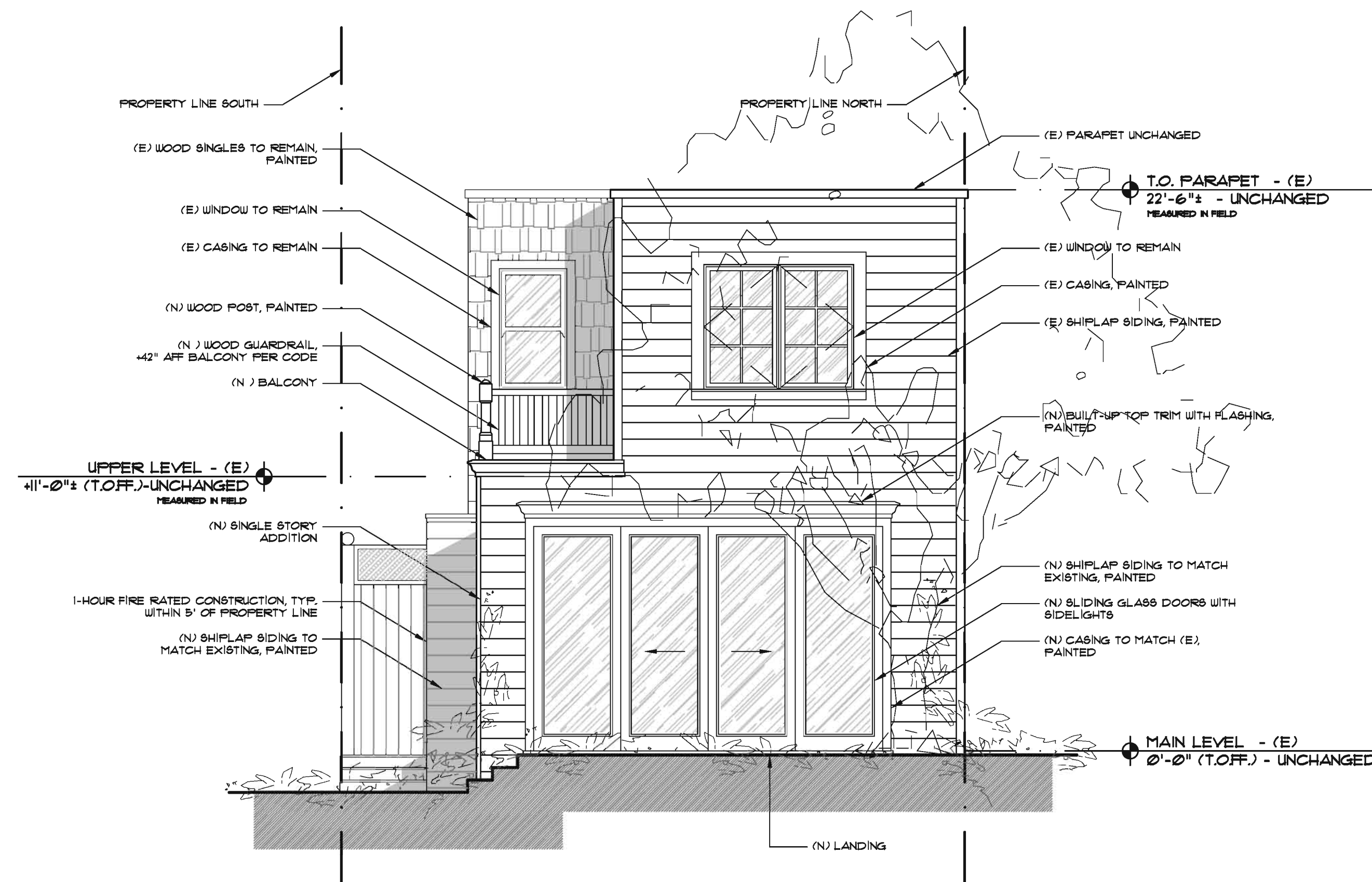




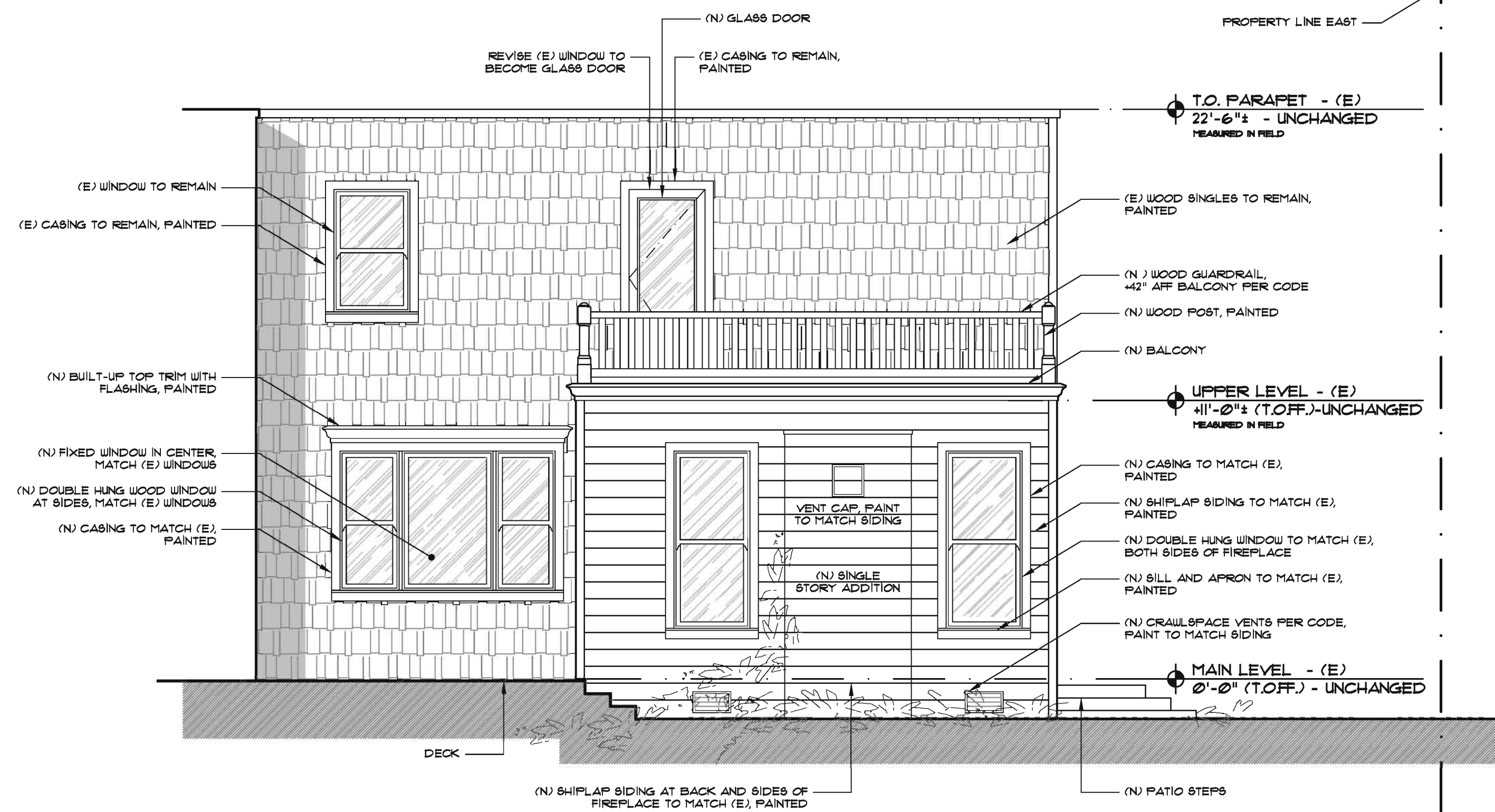
2 EAST ELEVATION: EXISTING
1/4" = 1'-0"



1 SOUTH ELEVATION: EXISTING
1/4" = 1'-0"
0 1' 2' 4' 8'



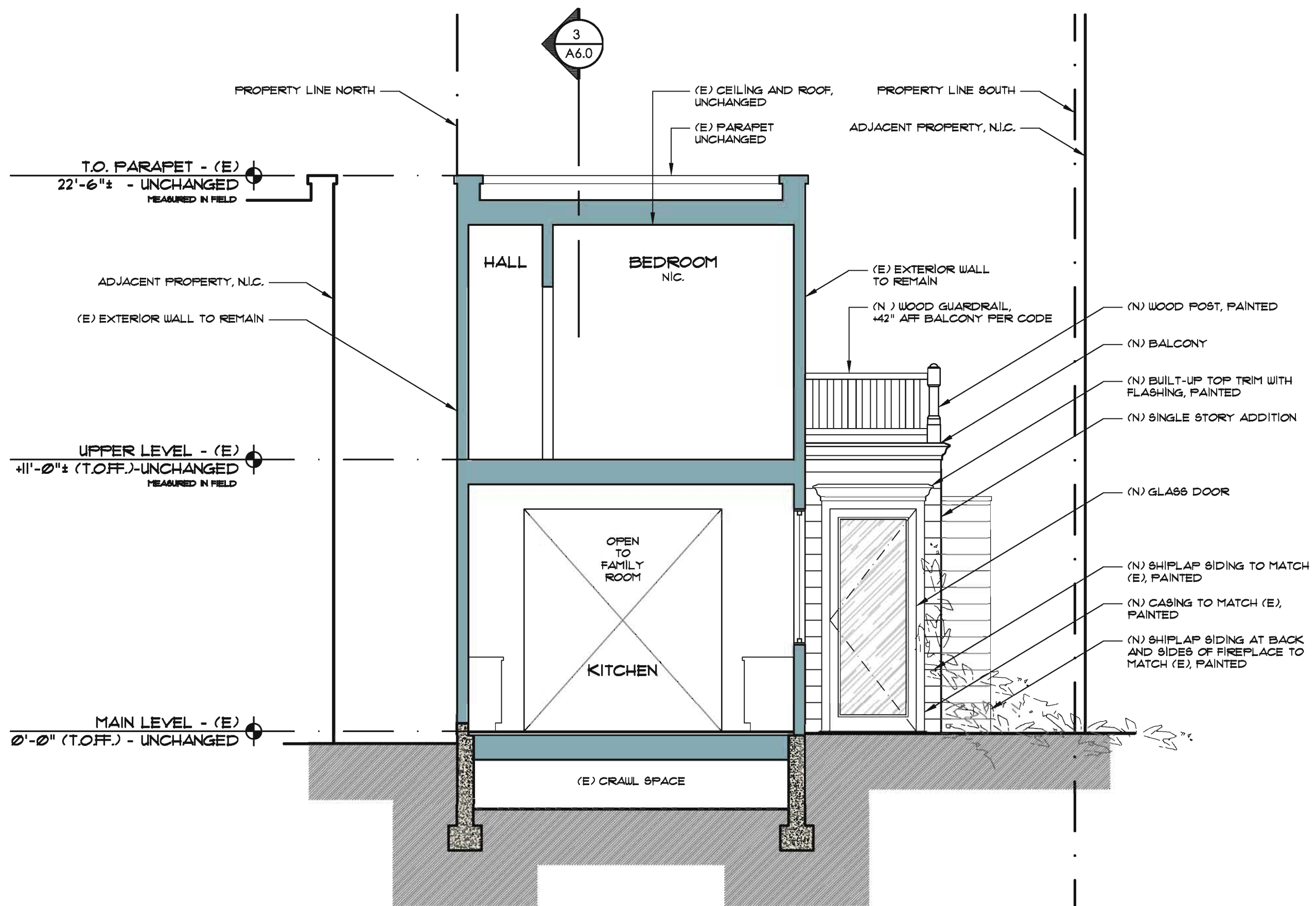
4 EAST ELEVATION: PROPOSED
1/4" = 1'-0"



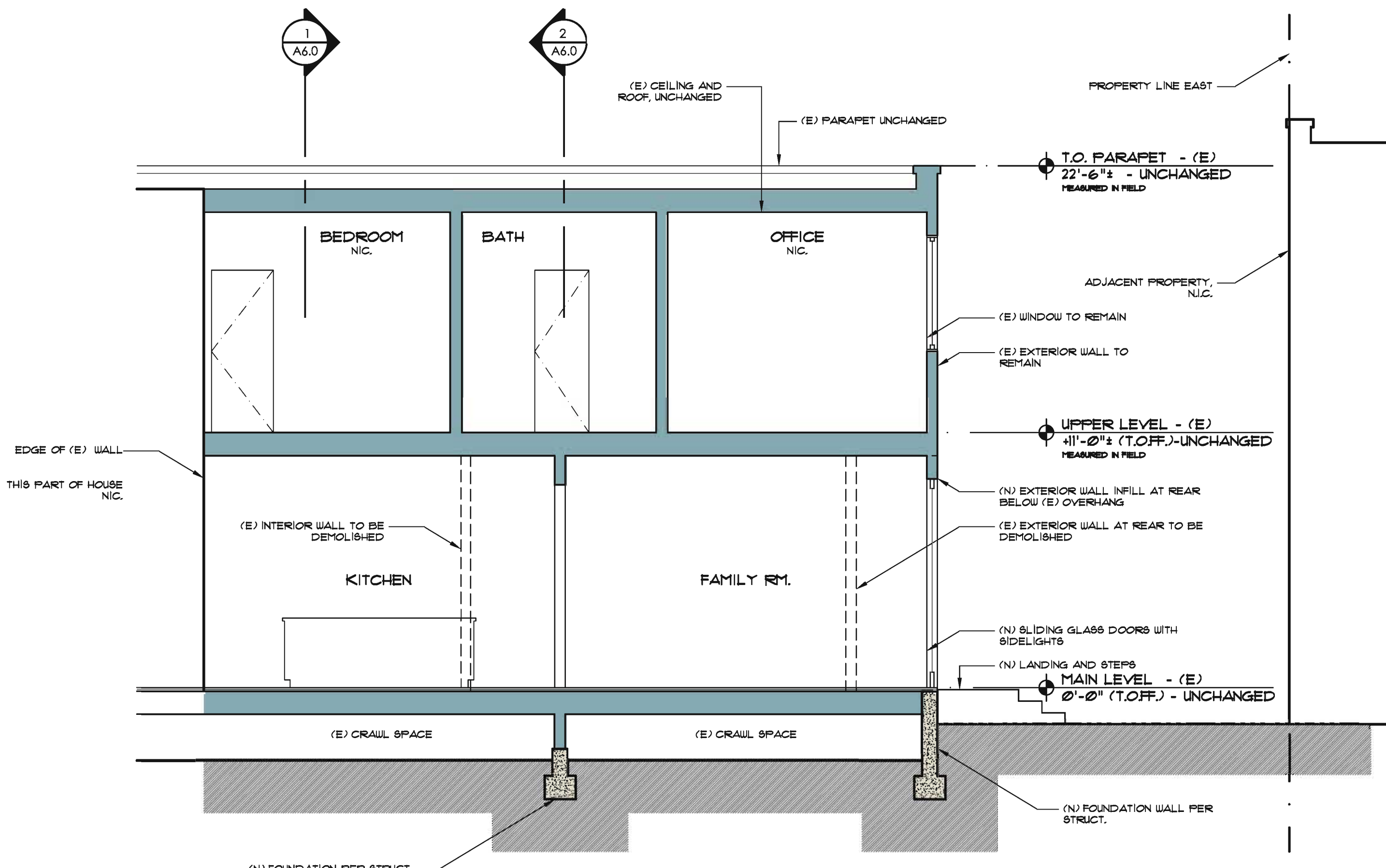
3 SOUTH ELEVATION: PROPOSED
1/4" = 1'-0"

SHEET NOTES, GENERAL:

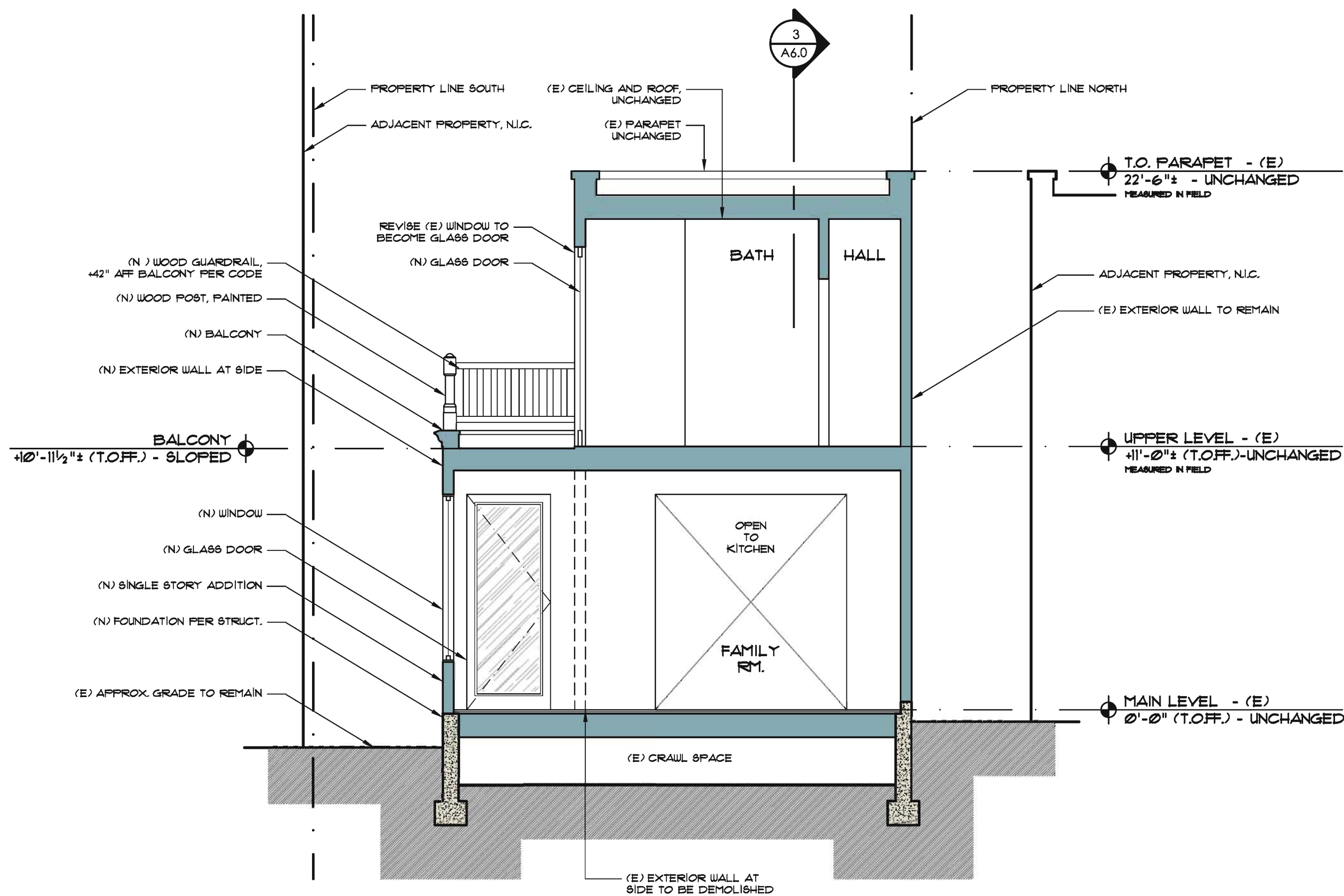
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1 BUILDING SECTION - PROPOSED
1/4" = 1'-0"
0 1' 2' 4' 8'



3 BUILDING SECTION - PROPOSED
1/4" = 1'-0"



2 BUILDING SECTION - PROPOSED
1/4" = 1'-0"



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Revisions:
06-08-10 SITE PERMIT

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Drawing Title:
**BUILDING
SECTIONS**

Date: JUNE 08, 2010

Project No: 0711

Drawn by: SME

Checked by: JESS, SME

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