



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, November 17, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	62 Mullen Ave	Case No.:	2010.0615 V
Cross Street(s):	Alabama & Peralta	Building Permit:	2010.08.27.9766
Block /Lot No.:	5527/035	Applicant/Agent:	William Pashalinsky
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 379-3676
Area Plan:	N/A	E-Mail:	billpash@gmail.com
PROJECT DESCRIPTION			
<p>The proposal is to demolish the existing rear deck (approximately 11 feet by 11 feet) and construct a new deck of the exact same size in the exact same footprint at the rear of the existing single-family home.</p> <p>PER SECTION 242(e)(2) OF THE PLANNING CODE, the subject property is required to provide a rear yard equal to at least 35 percent of the lot depth, or approximately 26 feet. The existing building rear yard provided on the subject property is approximately 23 feet, and the existing and replacement deck will fall entirely within the required rear yard, leaving a rear yard of nearly 12 feet. Therefore, the project requires a variance from the rear yard requirement of the Bernal Heights Special Use District in the Planning Code.</p>			
FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:			
Planner: Corey Teague		Telephone: (415) 575-9081	E-Mail: corey.teague@sfgov.org
ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0615V.pdf			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On October 27, the Department issued the required Section 311 notification for this project (expires November 26).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES:

INTENT OF DOCUMENTS:

It is the intent of these Contract Documents to establish a high quality of material and workmanship, but not necessarily to note and call for every last item of work to be done. Any item not specifically covered but deemed necessary for satisfactory completion of the work shall be accomplished by the Contractor in a manner consistent with the quality of the work without additional cost to the Owner. All materials and methods of installation shall be in accordance with industry standards and manufacturers recommendations.

A. All materials and workmanship shall conform to the requirements of the following codes and regulations and any other local and state laws and regulations:

California Building Code 2007 Edition
and the San Francisco Amendments 2007 Edition
California Fire Code 2007 Edition
California Plumbing Code 2007 Edition
California Electrical Code 2007 Edition
California Mechanical Code 2007 Edition

Verify all existing conditions and dimensions at the project site.
Notify the Architect and/or Engineer of any discrepancies before beginning construction.
B. Provide adequate and proper shoring and bracing to maintain safe conditions at all times. The contractor shall be solely responsible for providing adequate shoring and bracing as required for protection of life and property during the construction of the project.
C. At all times the Contractor shall be solely and completely responsible for all conditions at the jobsite, including safety of persons and property, and all necessary independent engineering reviews of these conditions. The Architects jobsite reviews are not intended nor shall they be construed to include a review of the adequacy of the contractors safety measures.
D. Unless otherwise shown or noted, all typical details shall used where applicable.
E. All details shall be constued typical at similar conditions.
F. All Drawing conflicts shall be brought to the attention of the Architect and/or Consulting Engineer for clarification before work proceeds.
G. The Contractor shall supply all labor, materials, equipment and services, including water and power, necessary for the proper execution of the work shown on these drawings. All materials shall be new and workmanship shall be good quality. All workman and subcontractors shall be skilled in their trade. Any inspections, special or otherwise, that are required by the building codes, local builing departments, on these plans shall be done by an independent inspection company.
H. Finishes: Replace patch, repair and refinish all existing surfaces affected by the new work. All new finishes shall match the adjacent surface. all surfaces shall align.
I. The General Contractor shall visit the site and familiarize themselves with the existing site conditions prior to finalizing of any proposal to the owner. The general Contractor shall be responsibe to inform the owner or Architect of potential existing conditions that need to be addressed and or modified inorder to cplete the work as herein described in these Drawings.
J. The General Contractor shall be reponsible for all means and methods of construction including but not limited to leveling, shiming, and blocking. The General Contractor shall make specific note of such items that can not be known prior to the commencement of construction.

PROJECT INFORMATION:

BLOCK: 5527
LOT: 035

OCCUPANCY: R-3
BUILDING TYPE 5-B
1 RESIDENTIAL UNIT
ZONING: RH-1
BERNAL HEIGHTS
2 STOREYS

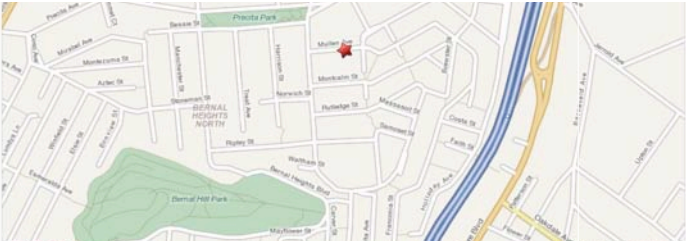
SCOPE OF WORK:
REPLACE EXISTING 1 STORY DECK
AND STAIRS IN KIND

DRAWING INDEX:

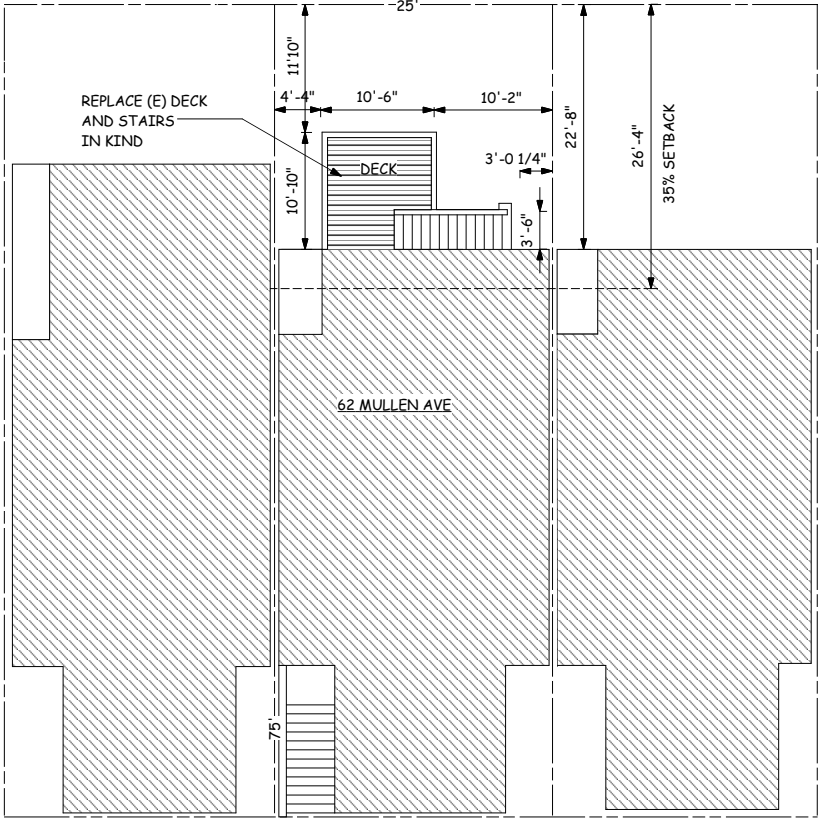
A 1.01 GENERAL NOTES, DRAWING INDEX
AND SITE PLAN

A 2.01 EXISTING FLOOR PLANS
AND EXISTING EXTERIOR ELEVATIONS

A 2.02 NEW FLOOR PLANS AND
NEW EXTERIOR ELEVATIONS



VICINITY MAP



MULLEN AVE.

SITE PLAN
1/8"=1'-0"



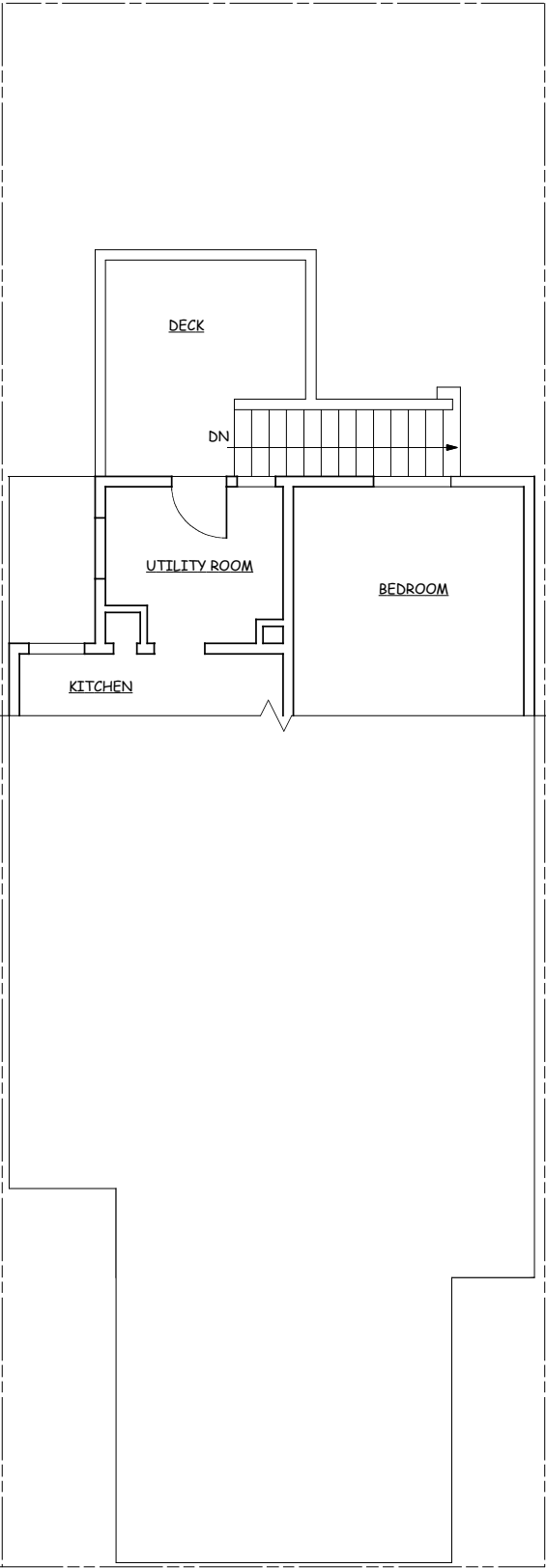
WILLIAM PASHELINSKY
ARCHITECT
1937 HAYES STREET
SAN FRANCISCO, CA.94117
415.379.3676

REPLACEMENT DECK
62 MULLEN AVENUE
SAN FRANCISCO, CA.

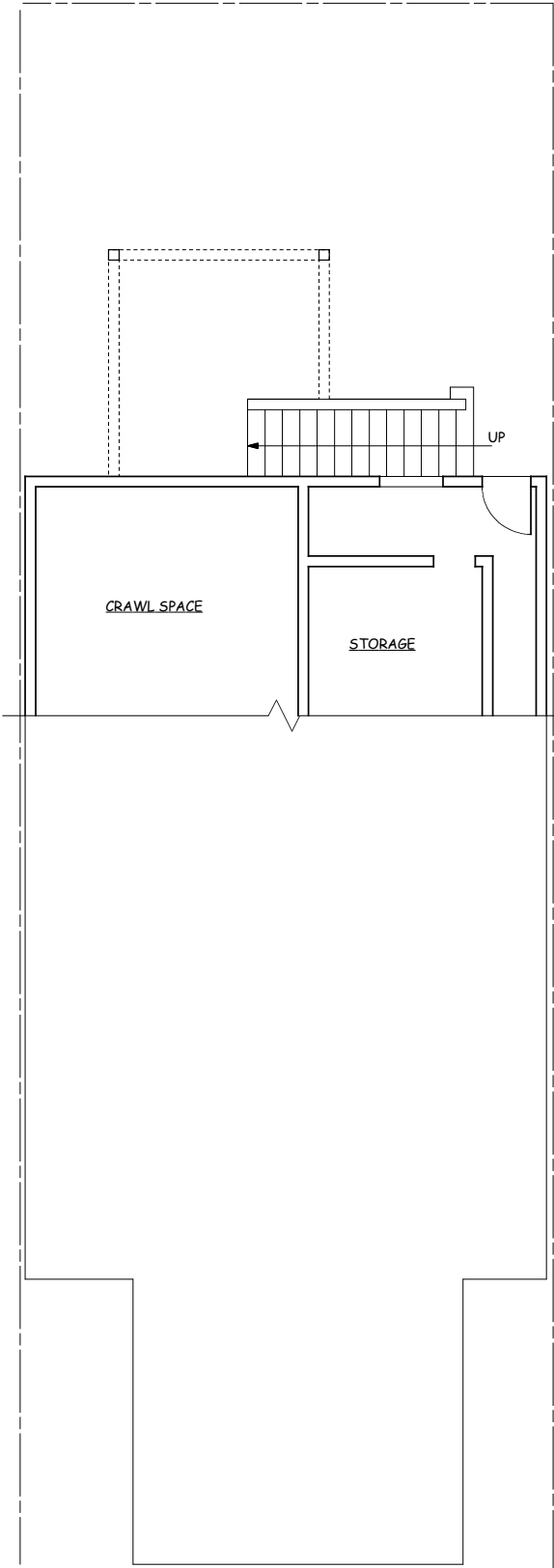
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NO.	DATE	DESCRIPTION

PROJECT NO. 2010.34
SHEET



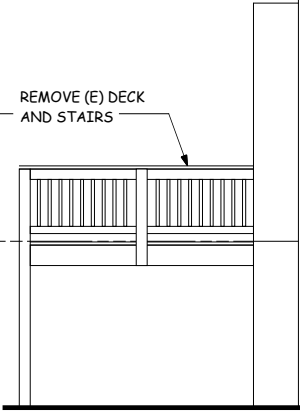
1ST FLOOR PLAN (E)
1/4"=1'-0"



2ND FLOOR PLAN (E)
1/4"=1'-0"



ELEVATION SOUTH (E)
1/4"=1'-0"



ELEVATION EAST (E)
1/4"=1'-0"

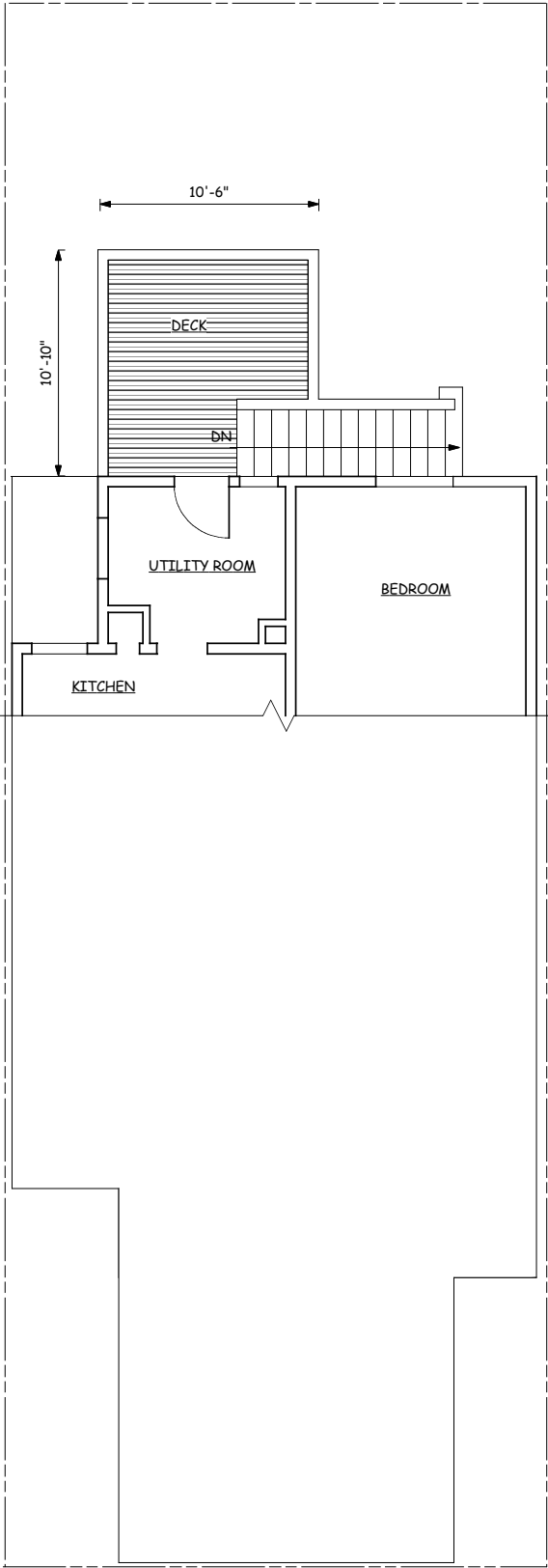
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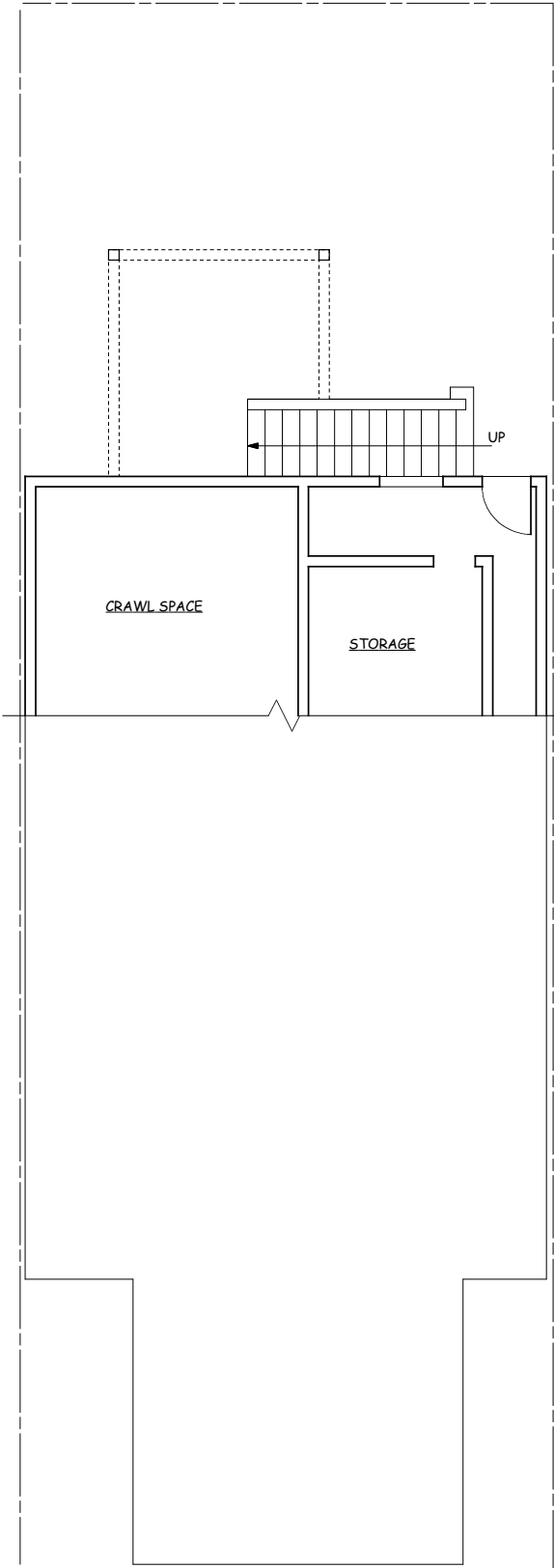
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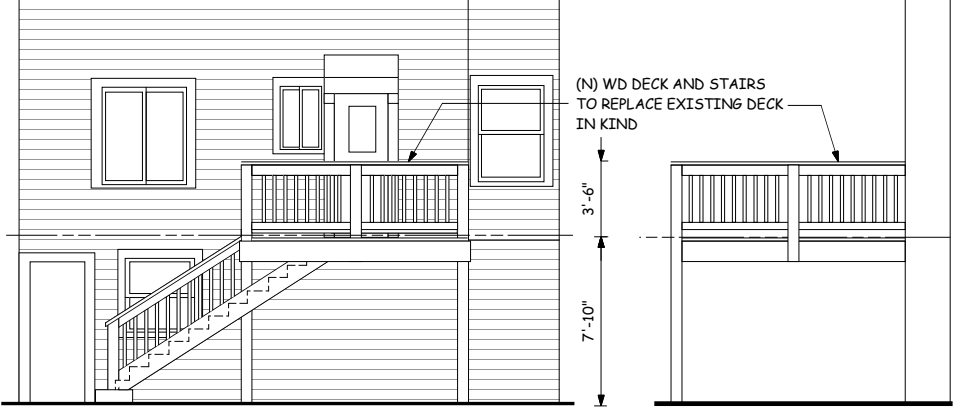
PROJECT NO. 2010.34
SHEET



1ST FLOOR PLAN (N)
1/4"=1'-0"



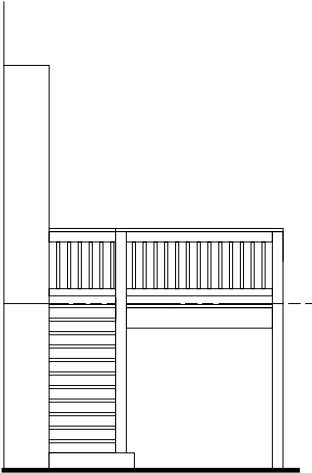
2ND FLOOR PLAN (N)
1/4"=1'-0"



ELEVATION SOUTH (N)
1/4"=1'-0"

ELEVATION EAST (N)
1/4"=1'-0"

WHERE REQUIRED
BUILDING CODE REQUIREMENTS
SHALL BE PROVIDED



ELEVATION WEST (N)
1/4"=1'-0"

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ARCHITECT**
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415 379 3676

REPLACEMENT DECK
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