



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

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NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 25, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	2841 Divisadero Street	Case No.:	2010.0602V
Cross Street(s):	Green and Union Streets	Building Permit:	N/A
Block /Lot No.:	0951/004	Applicant/Agent:	Federico Engel
Zoning District(s):	RH-1/40-X	Telephone:	(415) 674-5554
Area Plan:	N/A	E-Mail:	engel@butlerarmsden.com
PROJECT DESCRIPTION			
<p>The proposal is to construct a deck within the rear yard of the three-story, single-family house. The deck would measure 10 feet deep by 18.5 feet wide with a 48-inch tall glass guardrail and would be cantilevered from the second story approximately 20 feet above grade.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 25 feet. The proposed rear deck would be located entirely within the required rear yard, resulting in a rear yard of approximately 15 feet.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Shelley Caltagirone Tel: (415) 558-6625 E-Mail: shelley.caltagirone@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0602V.pdf</p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ABBREVIATIONS

[illegible]

SYMBOLS

	DRAWING/DETAIL REFERENCE NUMBER DRAWING OR DETAIL SHEET WHERE DRAWING/DETAIL OCCURS
	SECTION REFERENCE NUMBER BUILDING SECTION SHEET WHERE SECTION OCCURS
	INTERIOR ELEVATION REFERENCE NUMBER INTERIOR ELEVATION SHEET WHERE INTERIOR ELEVATION OCCURS
	ALIGN
	HIDDEN LINE
	STUD WALL (UNLESS NOTED OTHERWISE)
	CONCRETE STRUCTURE, S.S.D
	INSULATION IN SECTION (BATT)
	INSULATION IN SECTION (RIGID)
	LATH AND PLASTER IN SECTION
	GYPNUM BOARD IN SECTION
	PLYWOOD IN SECTION
	FINISH WOOD IN SECTION
	GLASS IN SECTION
	DOOR SYMBOL
	WINDOW SYMBOL
	PLUMBING FIXTURE SYMBOL
	PLUMBING FITTING SYMBOL
	APPLIANCE SYMBOL
	EQUIPMENT SYMBOL
	REVISION
	MATCH-LINE
	WORKPOINT OR DATUM

GENERAL NOTES

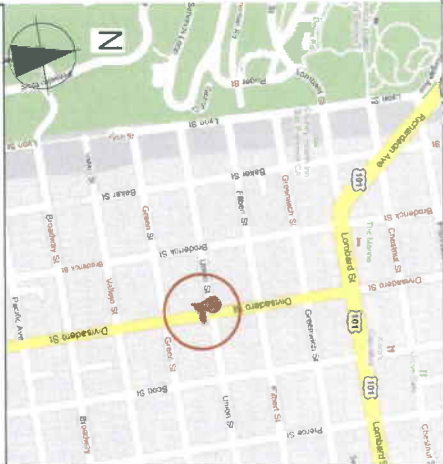
- 1 ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING
- 2 CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS
- 3 APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS AND SITE SO AS TO
- 4 BE COMPLETED PRIOR TO THE COMMENCEMENT OF THE PROJECT. CONTRACTOR
- 5 SHALL COMPLY WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO
- 6 THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO
- 7 THE SUBMISSION OF BID. NO ALLOWANCES WILL BE SUBSEQUENTLY BE MADE ON
- 8 BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO
- 9 INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS,
- 10 WHETHER THE SAME BE OMISSIONS OR NOT. CONTRACTOR SHALL BE RESPONSIBLE
- 11 FOR THE PROPER MANAGEMENT OF REQUIRED TO ATTAIN THE COMPLETED
- 12 CONDITIONS PROPOSED IN THE DRAWINGS.
- 13 ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE
- 14 SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND
- 15 SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO
- 16 COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE VARIOUS TRADES AND
- 17 SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR
- 18 ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY
- 19 EMPLOYED BY THEM.
- 20 CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS
- 21 INVOLVING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE
- 22 PROJECT.
- 23 CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND
- 24 GUIDELINES.
- 25 CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO OPENING OF
- 26 ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.
- 27 ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND
- 28 INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- 29 IN THE EVENT OF OMISSIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR
- 30 THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH
- 31 THE WORK.
- 32 DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR
- 33 SHOULD ANTICIPATE BASED ON EXPERIENCE A REASONABLE NUMBER OF
- 34 ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND
- 35 WHEN SPECIFICATIONS ARE NOT CLEARLY DEFINED, THE CONTRACTOR SHALL
- 36 BE RESPONSIBLE FOR OBTAINING THE NECESSARY INFORMATION. THE CONTRACTOR
- 37 SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- 38 ALL DIMENSIONS TO BE TAKEN FROM NAMED DESIGNATIONS. ONLY
- 39 THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE
- 40 SPECIFIC REQUIREMENTS ARE SPECIFICALLY NOTED AND FORBIDDEN. CONTRACTOR
- 41 SHALL BE RESPONSIBLE FOR THE IDENTIFICATION AND GENERAL NOTES IN THE
- 42 SECTIONS OF THESE DRAWINGS.
- 43 ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.
- 44 WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS
- 45 PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND
- 46 WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED INCLUDING
- 47 THE THRESHOLD OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO
- 48 PREVENT AIR INFILTRATION.
- 49 WINDOWS TO BE OPERABLE AND CLEANED U.O.N.
- 50 ALL WALL FINISHING SHALL BE 2-4" & 1/8" MINIMUM U.O.N.
- 51 ALL GYPSUM BOARD SHALL BE 5/8" THICK TYPE "X" U.O.N.
- 52 ALL GYPSUM BOARD PLASTERED WITH 1/2" THICK TYPE "X" U.O.N.
- 53 STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D"
- 54 BUILDING PAPER.
- 55 STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE TO BE PRESSURE
- 56 TREATED DOUGLAS FIR.

PROJECT TEAM

ARCHITECT:
Burdick-Armstrong Architects
2849 California Street
San Francisco, CA 94115
PH 415 674 3554
Fax 415 674 5556

SURVEYOR:
True North Surveying, Inc
1084 Shorewell Street
San Francisco, CA 94110
PH 415 401 7333
Fax 415 401 7353

VICINITY MAP



PROJECT DATA

BLOCK: 0951		ZONED: RH-1	
LOT: 004		HEIGHT LIMIT: 40-X	
LOT SIZE: 3500 SF		OCCUPANCY: R3	
CONDITIONED SPACE:		Existing	Proposed
GARAGE		sqft	-
BASEMENT FLOOR		777 sqft	-
STREET FLOOR		224 sqft	-
SECOND FLOOR		250 sqft	-
THIRD FLOOR		1587 sqft	sqft
UN-CONDITIONED:	Existing		Proposed
GARAGE	509 sqft		sqft
BASEMENT FLOOR	610 sqft		sqft
STREET FLOOR	sqft		sqft
SECOND FLOOR	sqft		sqft
THIRD FLOOR	sqft		sqft
TOTAL:	8,339 sqft		8,339 sqft

CONSTRUCTION CLASSIFICATION:

Tube VB-Sprinkler

Variance application for rear yard exterior deck (185 sqft) located within rear yard setback

SHEET INDEX

A0	TITLE SHEET
A1	SITE PLAN/ROOF PLAN & SITE PHOTOS
A2	PROPOSED PLAN - SECOND FLOOR
A3	EXTERIOR ELEVATION - WEST ELEVATION
A4	BUILDING SECTION

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2841 DIVISADERO, SAN FRANCISCO, CA 94115

VARIANCE APPLICATION

fg	suoisau

TITLE SHEET

AO

2841 DIVISADRO STREET RESIDENCE
2841 DIVISADERO, SAN FRANCISCO, CA 94115

VARIANCE APPLICATION

REVISIONS	by

job #:	1011
date:	JULY 20, 2010
drawn:	
checked:	
scale:	AS NOTED

SITE/ROOF PLAN
& SITE PHOTOS



PHOTO B: LOOKING NORTH AT REAR ELEVATION AT LOT 003



PHOTO A: LOOKING AT REAR ELEVATION OF SUBJECT PROPERTY AT LOCATION OF PROPOSED DECK



PHOTO C: LOOKING NORTH AT REAR ELEVATION AT LOT 003

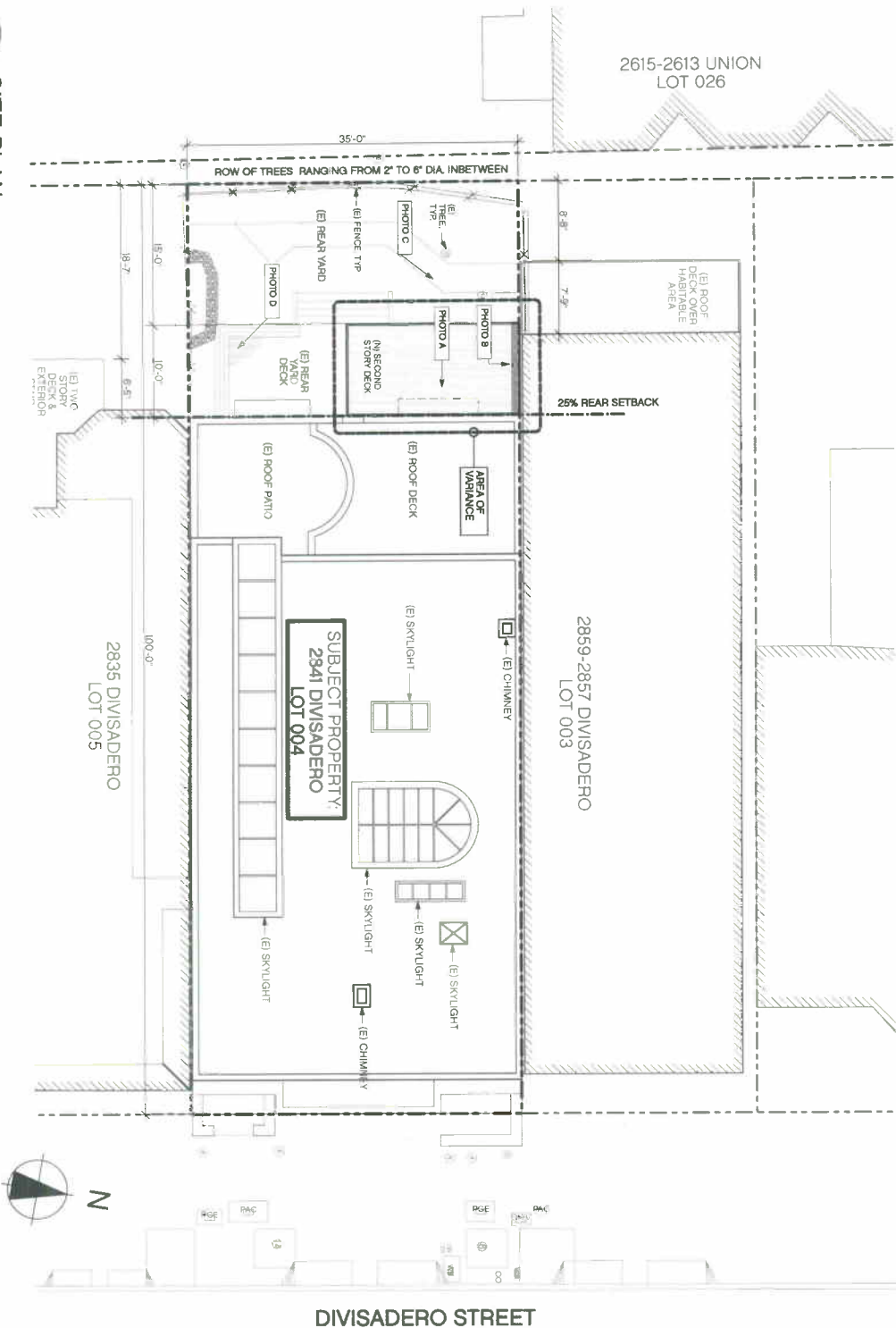


PHOTO D: LOOKING SOUTH AT REAR ELEVATION AT LOT 005



PHOTO E: NORTH EAST FROM SECOND FLOOR DINING ROOM

1 SITE PLAN
SCALE 1/8" = 1'-0"



Juliet Armsten

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SCALE 1/4" = 1'-0"



revisions by:

by: revisionsby: revisions

PROPOSED
SECOND FLOOR
PLAN

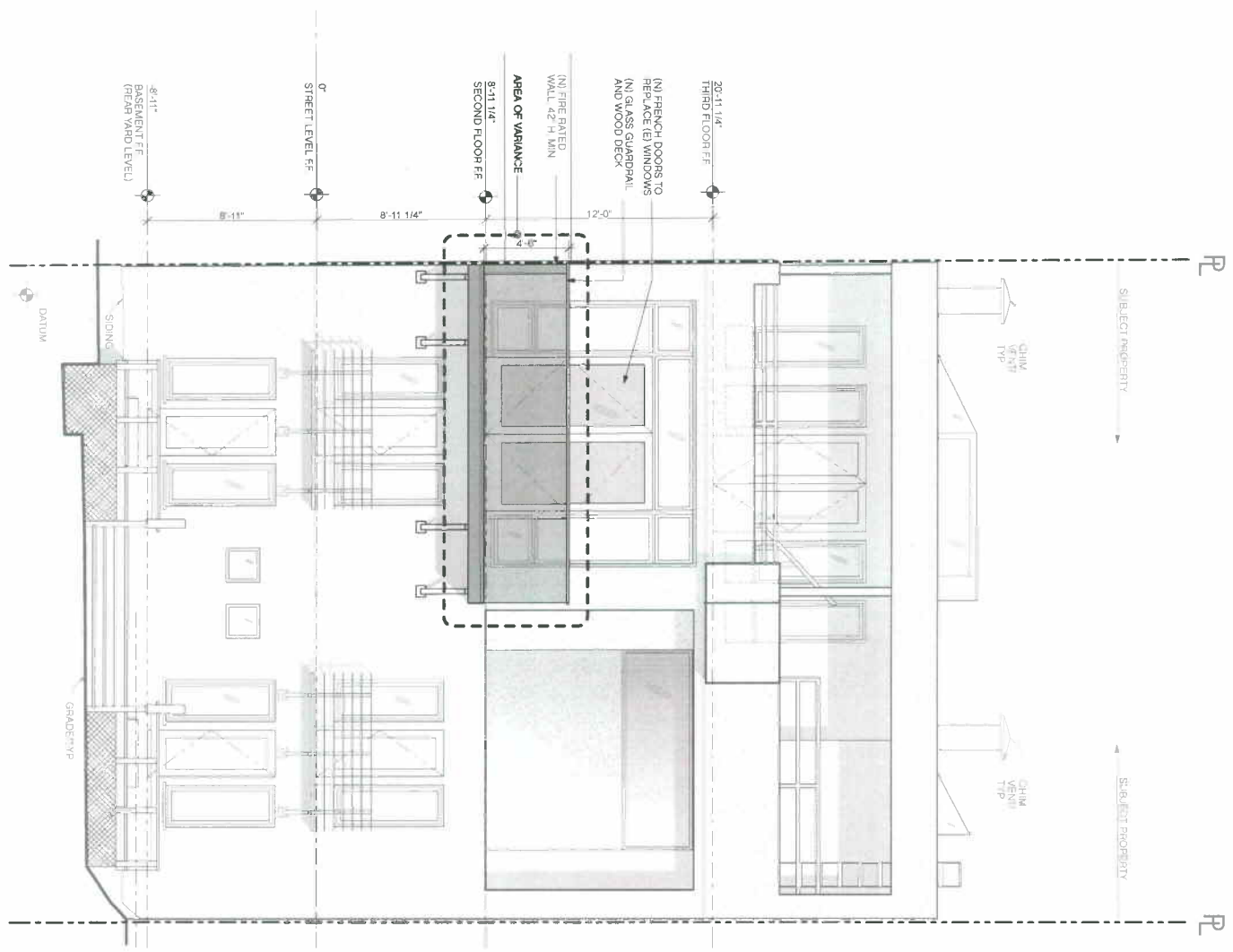
A2

2841 DIVISADRO STREET RESIDENCE
2841 DIVISADERO, SAN FRANCISCO, CA 94115

VARIANCE APPLICATION

revisions	by:

job #	101
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drawn	
checked	
scale	AS NOTED



1 PROPOSED WEST ELEVATION
SCALE 1/4\"/>

PROPOSED
WEST ELEVATION

WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL

GENERAL NOTES

- FOR DOORS AND WINDOWS SEE DOOR AND WINDOW SCHEDULE, SHEET
- FOR PLUMBING FITTINGS AND FIXTURES SEE SCHEDULES SHEET AX2
- FOR FINISHES SEE FINISH SCHEDULE SHEET AX3

Butler Armadon
ARCHITECTS

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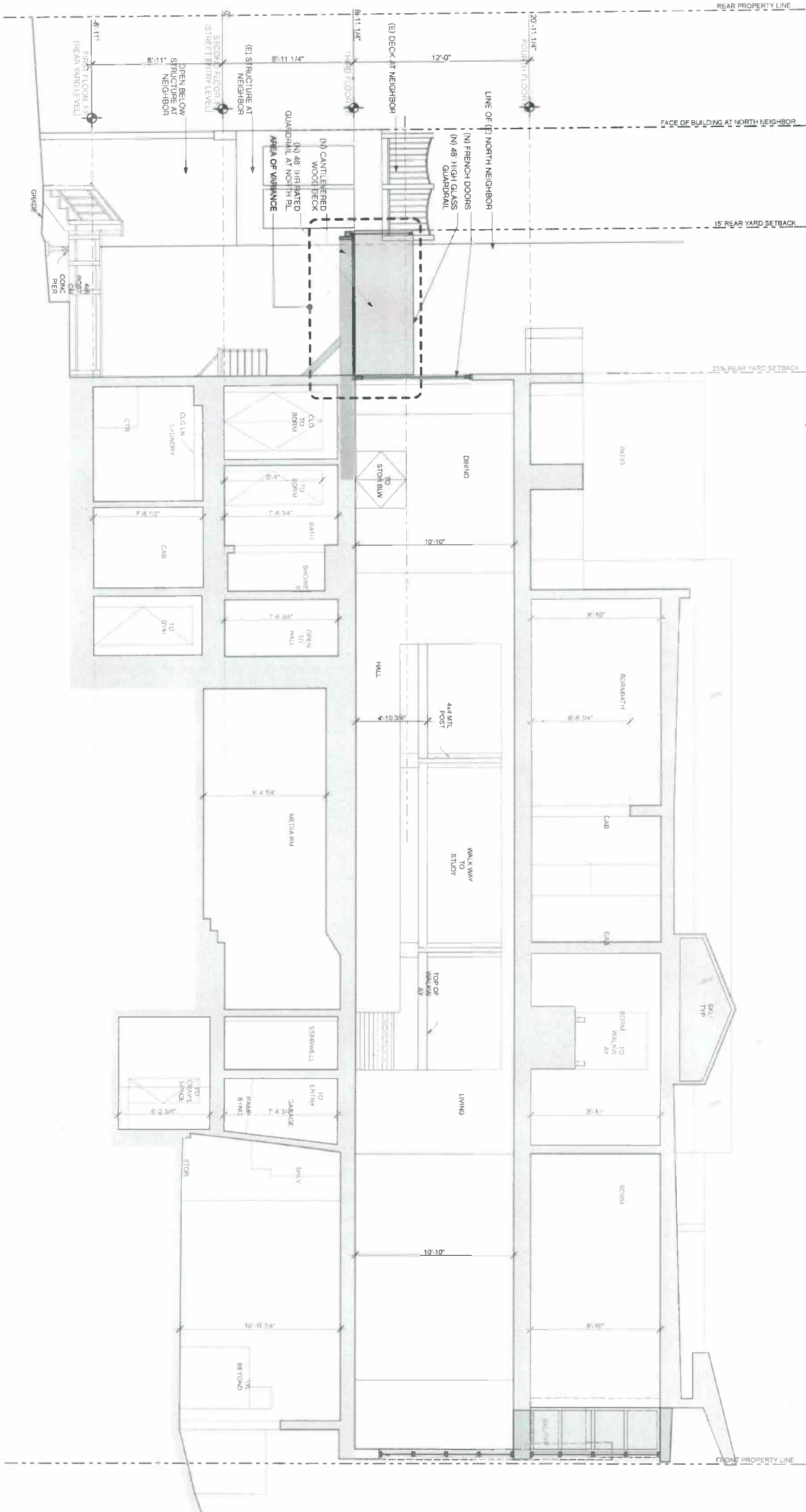
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VARIANCE APPLICATION

REVISIONS

by:

JOB #:	1011
DATE:	JULY 20, 2010
DRAWN:	
CHECKED:	
SCALE:	AS NOTED



PROPOSED BUILDING SECTION

1

SCALE 1/4" = 1'-0"

PROPOSED BUILDING SECTION

A4