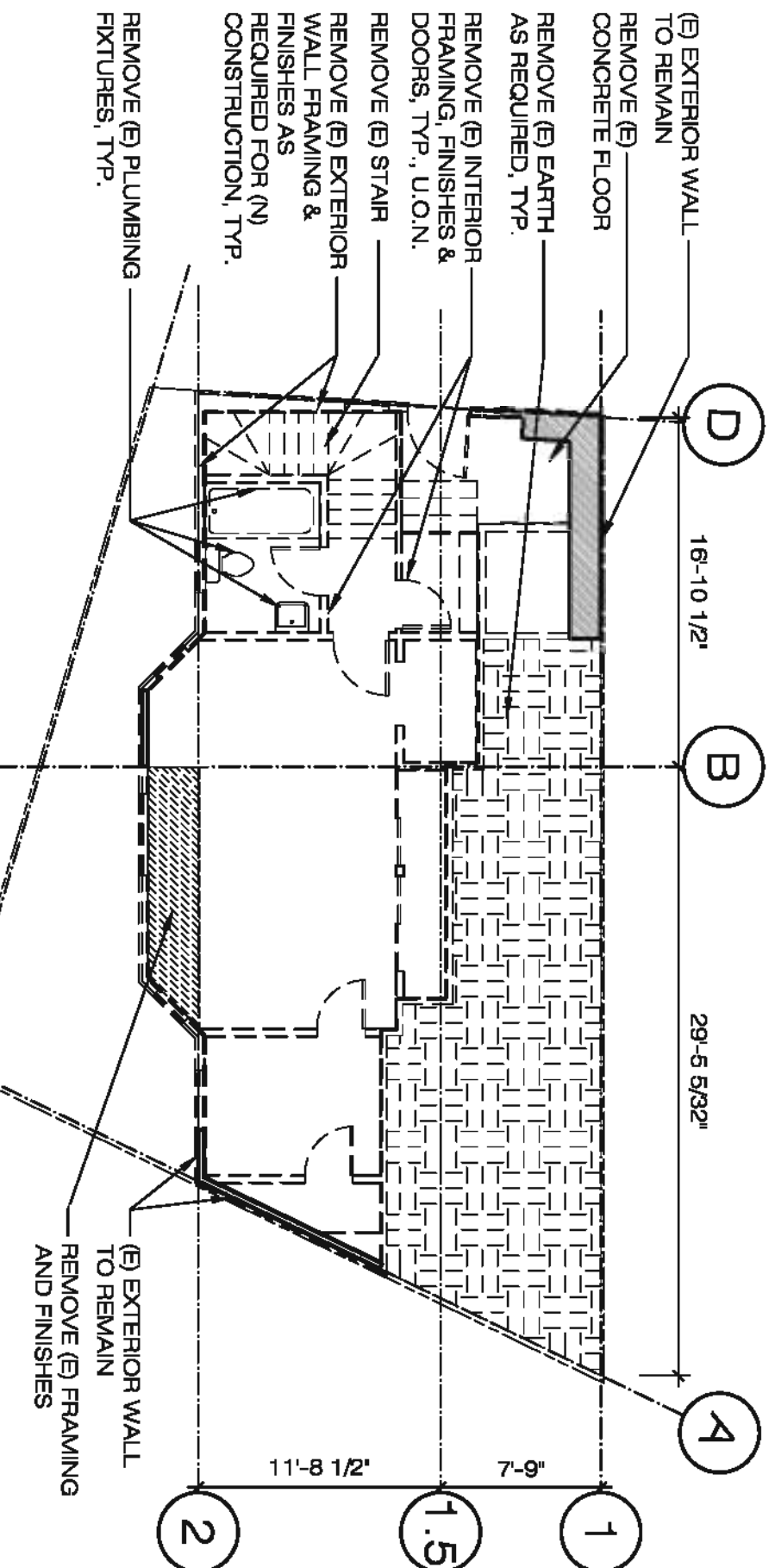
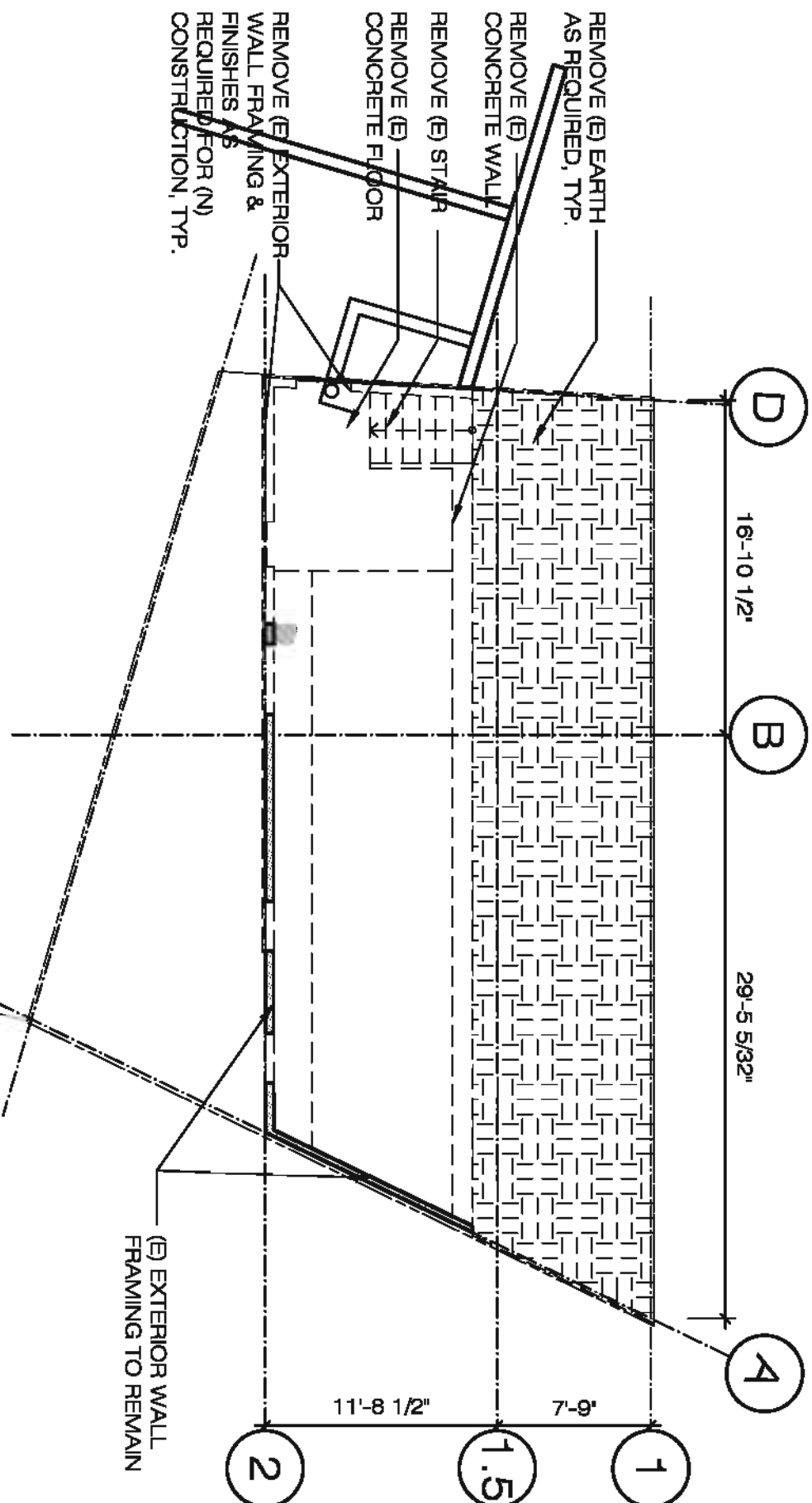


75 MARS ST.

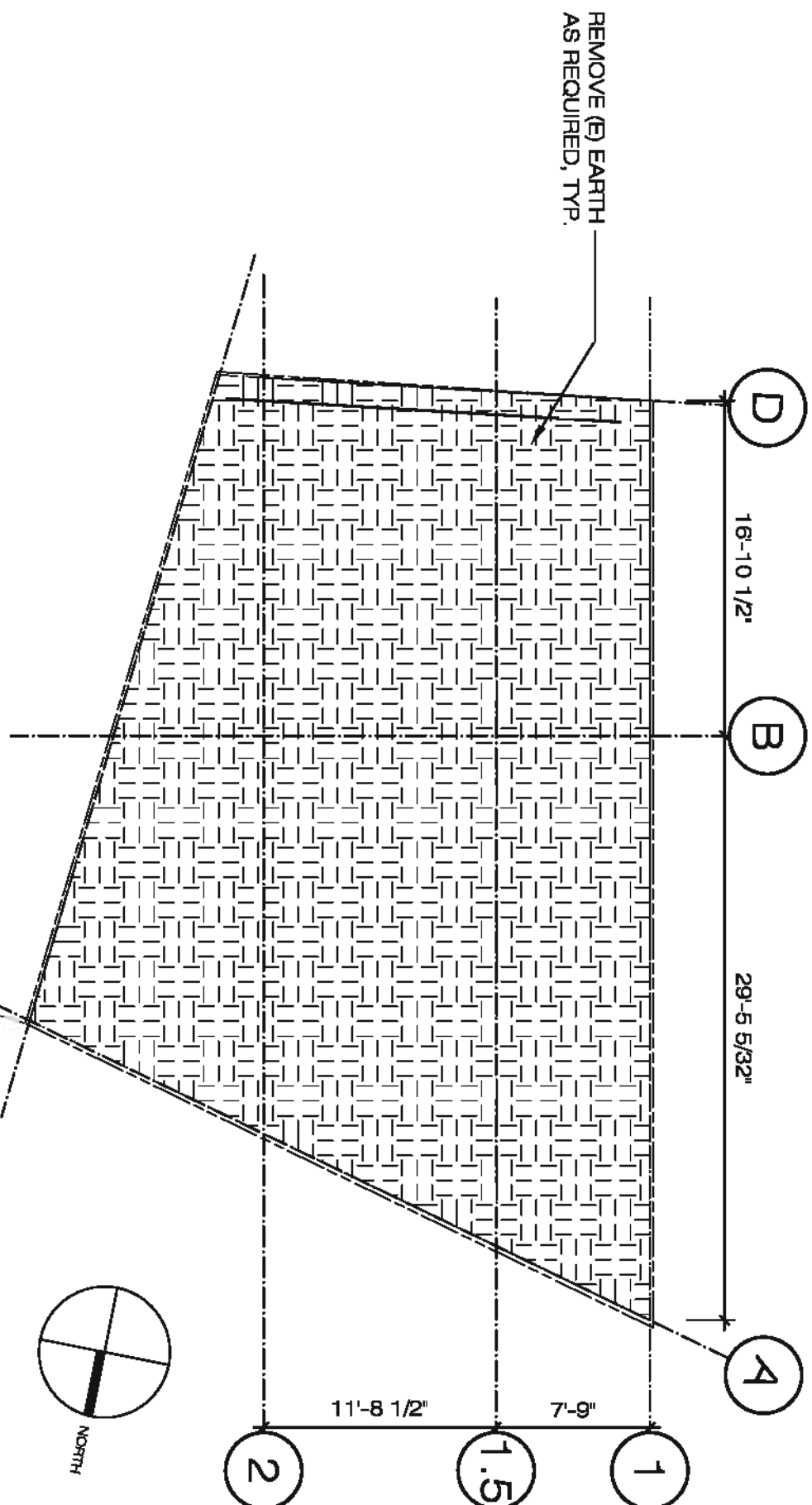
SAN FRANCISCO, CALIFORNIA
BLOCK / LOT : 2653/ 016



EXISTING & DEMO FLOOR PLAN - LEVEL 3



EXISTING & DEMO FLOOR PLAN - LEVEL 2



EXISTING & DEMO FLOOR PLAN - LEVEL 1

BATH	ROOM NAME	ROOM NUMBER	REVISION #
222	FLOOR FINISH REVENUE #	111	WINDOW TYPE (SEE SCHEDULE)
111	PARTITION TYPE (SEE SCHEDULE)	222	DOOR TYPE (SEE SCHEDULE)
6-10.6	B.O. FRAMING ELEVATION ABV FINISH FLOOR AT CEILING		

NOTES & ABBREVIATIONS

CALCULATION PER SF PLANNING CODE SECTION 317.6(D)(2)(B)			
DEMOLITION OF RESIDENTIAL BUILDING WHEN THE REMOVAL OF MORE THAN 60% OF THE FRONT & REAR FACADE MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL			
2. REMOVAL OF MORE THAN 60% OF THE SUM OF ALL EXTERIOR WALLS MEASURED IN LINEAR FEET AT THE FOUNDATION LEVEL.			
WALLS-EXTERIOR			
WEST:	EXISTING	REMOVED	PERCENTAGE REMOVED
SOUTH:	19,461 SF	9,291 LF	47.2%
EAST:	38,21 LF	16,12 LF	42.2%
NORTH:	21.6 LF	0 LF	0%
TOTAL:	120.79 LF	35.99 LF	29.8%
FRONT & REAR ELEVATIONS			
FRONT:	EXISTING	REMOVED	PERCENTAGE REMOVED
EAST:	SEE ABOVE	25.5%	
WEST:	SEE ABOVE	42.2%	
TOTAL:	79.67 LF	26.7 LF	33.5%

CALCULATION PER SF PLANNING CODE SECTION 317.6(D)(2)(C)			
DEMOLITION OF RESIDENTIAL BUILDING WHEN THE REMOVAL OF MORE THAN 60% OF THE VERTICAL ENVELOPE ELEMENTS IN SQUARE FEET OF ACTUAL SURFACE AREA			
2. REMOVAL OF MORE THAN 60% OF THE HORIZONTAL ELEMENTS IN SQUARE FEET OF ACTUAL SURFACE AREA			
HORIZONTAL ELEMENTS-INTERIOR			
LEVEL 1:	EXISTING	REMOVED	PERCENTAGE
LEVEL 2:	0 SF	0 SF	
LEVEL 3:	474 SF	28 SF	
LEVEL 4:	724 SF	62 SF	
LEVEL 5 (POOP):	762 SF	163 SF	
LEVEL 6:	136 SF	0 SF	
TOTAL:	1690 SF	253 SF	12.5%
VERTICAL ENVELOPE ELEMENTS			
WEST:	EXISTING	REMOVED	PERCENTAGE
SOUTH:	407 SF	77 SF	
EAST:	624 SF	728 SF	
NORTH:	563 SF	1079 SF	
TOTAL:	2332 SF	1079 SF	46.3%
WALLS-INTERIOR			
LEVEL 1:	EXISTING	REMOVED	PERCENTAGE REMOVED
LEVEL 2:	NA SF	NA SF	100%
LEVEL 3:	NA SF	NA SF	100%
LEVEL 4:	NA SF	NA SF	100%
LEVEL 5 (POOP):	NA SF	NA SF	100%
LEVEL 6:	0 SF	0 SF	
TOTAL:	NA SF	NA SF	100%

DEMOLITION CALCULATIONS

75 MARS ST.

SAN FRANCISCO, CALIFORNIA
BLOCK / LOT : 2653/ 016

Stamp & Signature

All drawings and specifications appearing herein constitute the original contract documents. Any drawings or specifications not so indicated, used or modified without the written permission of this office.

Consultants

Survey:

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Geotechnical:

HERZOG GEOTECHNICAL
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Mill Valley, CA 94941
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Revisions & Submittals

SITE PERMIT SUBMITTAL 08/09/10

SITE PERMIT REVISION  08/30/10

VARIANCE SUBMITTAL 08/30/10

Drawn By Checked By
BS

Scale Project Number
0804

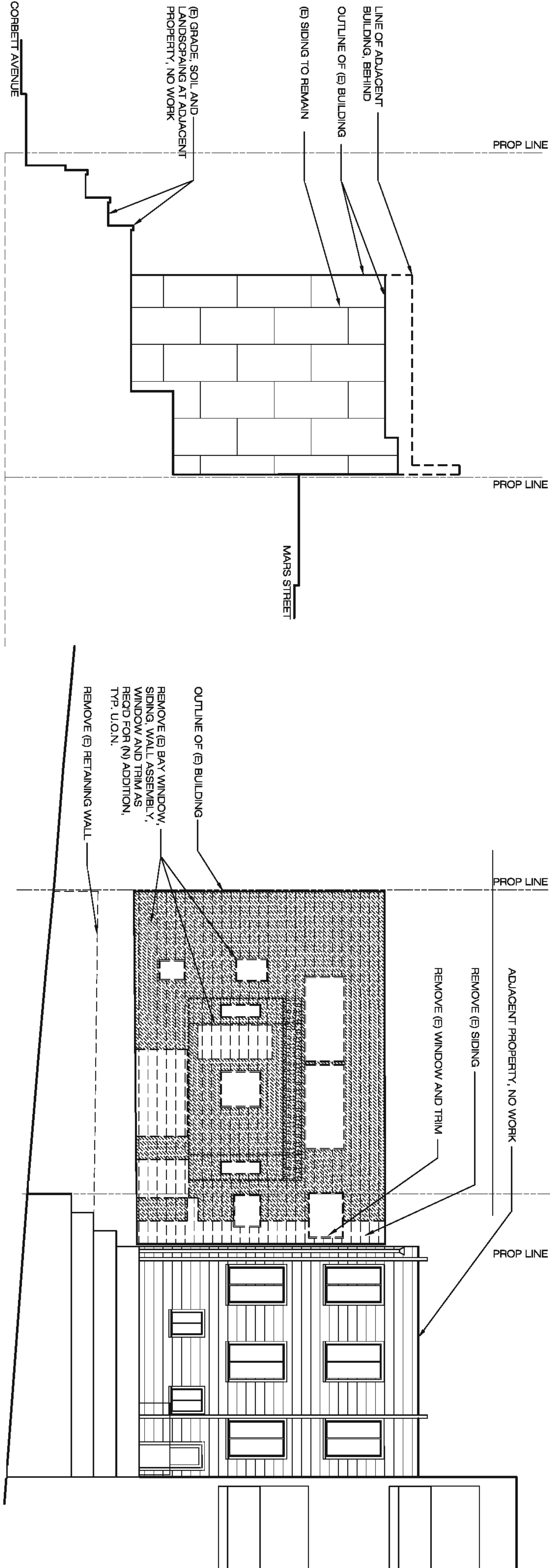
Date
30 AUGUST 2010

EXISTING & DEMO -
ELEVATIONS

Sheet

AO.11

Preliminary
Not for Construction



EXISTING & DEMO ELEVATION - NORTH (BLIND WALL)

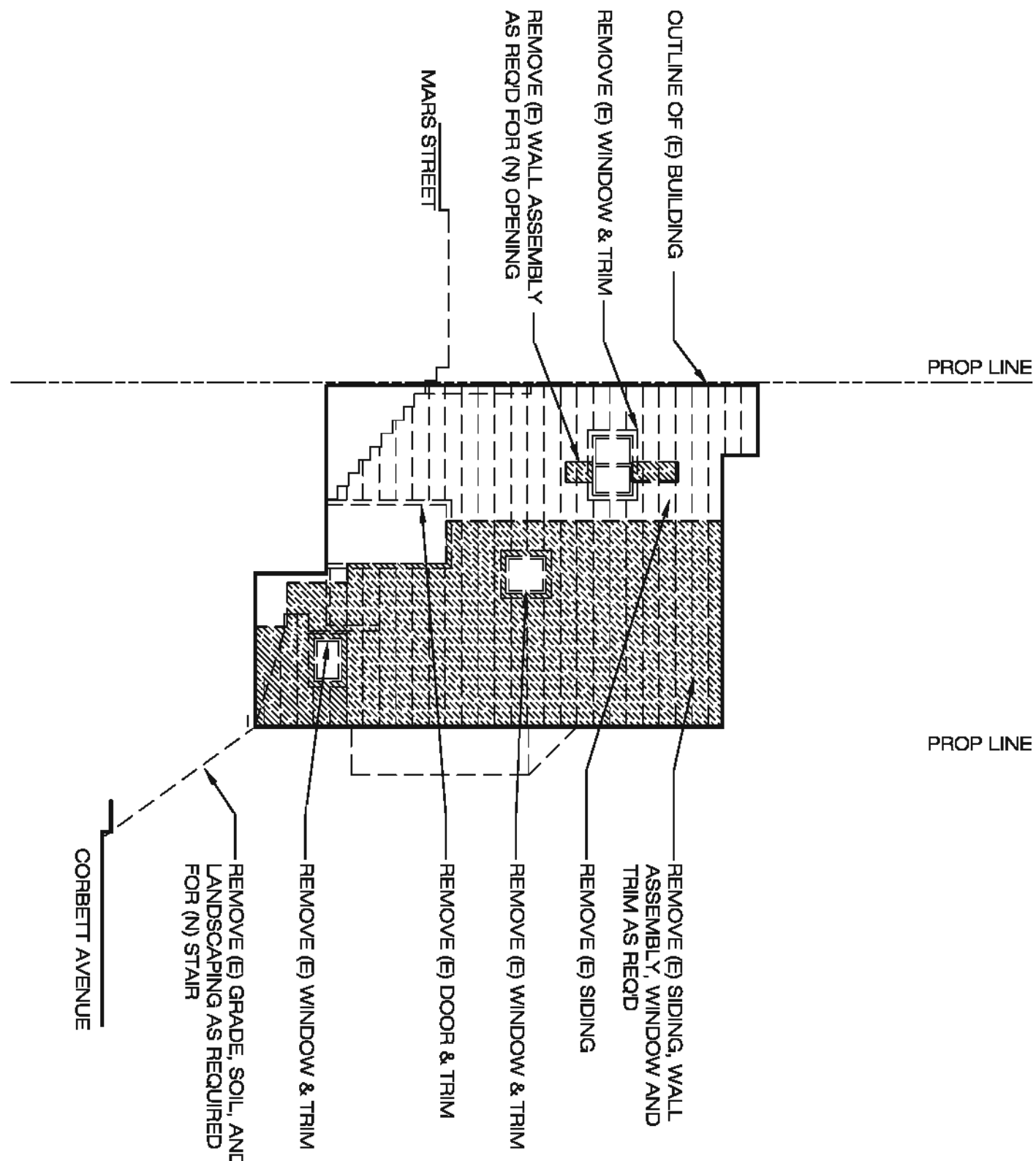
EXISTING & DEMO ELEVATION - EAST (CORBETT AVENUE)

1. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK TO BE DESIGN-BUILD CONTRACTS UNDER SEPARATE PERMITS. INFORMATION SHOWN HERE IS DIAGRAMATIC IN NATURE AND INTENDED FOR COORDINATION & SCOPE DEFINITION PURPOSES ONLY.
2. CONTRACTOR SHALL EXECUTE ALL WORK IN CONFORMANCE WITH APPLICABLE CODES AND SHALL BE RESPONSIBLE FOR FIELD INSPECTIONS, SPECIAL INSPECTIONS AND PROCUREMENT OF ALL PERMITS FOR AND REVISIONS TO DESIGN-BUILD CONTRACTS.
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5. PROVIDE AN ESCAPE WINDOW AT ALL BEDROOMS (6.7 SQ. FT. OF MIN. CLEAR OPENING AREA WITH 20" WIDE AND 24" HIGH MIN. CLR. AND 44" MAX. STILL HEIGHT)
6. PROVIDE 4% NATURAL VENTILATION AND 8% NATURAL LIGHT AT ALL HABITABLE ROOMS
7. EXHAUST VENT TO BE MIN. 3'-0" FROM OPENINGS INTO THE BUILDING
8. FOR DEMOLISHING CALCULATIONS SEE 404.10

- (N) STUD WALL
- (E) STUD WALL
- 1-HR SEPARATION
- CONCRETE WALL
- (E) STUD WALL TO BE REMOVED
- (E) AREA TO BE REMOVED INCLUDING FINISHES AND FRAMING
- F.O. FRAMING TO F.O. FRAMING
- F.O. FINISH TO F.O. FINISH

BATH	ROOM NAME	REVISION #
222	ROOM NUMBER	1
1.1.1	FLOOR FINISH (REVNOTE #)	111
A1	PARTITION TYPE (SEE SCHEDULE)	222
6-10.6	B.O. FRAMING ELEVATION ABV FINISH FLOOR AT CEILING	

NOTES & ABBREVIATIONS



EXISTING & DEMO ELEVATION - SOUTH (R.O.W.)

EXISTING & DEMO ELEVATION - WEST (MARS STREET)

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Revisions & Submittals

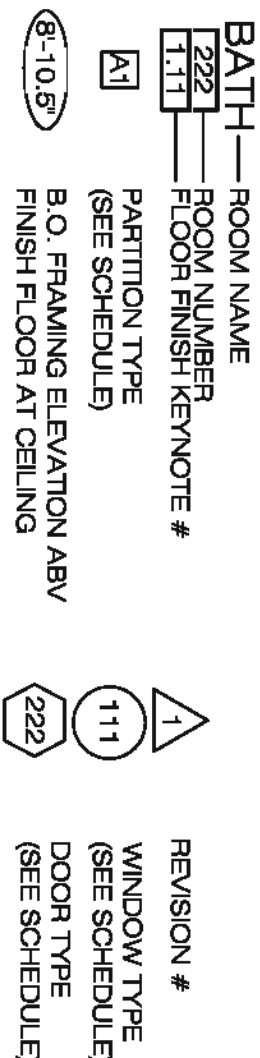
SITE PERMIT REVISION **1** 08/30/10

FLOOR PLANS

Sheet

A1.1

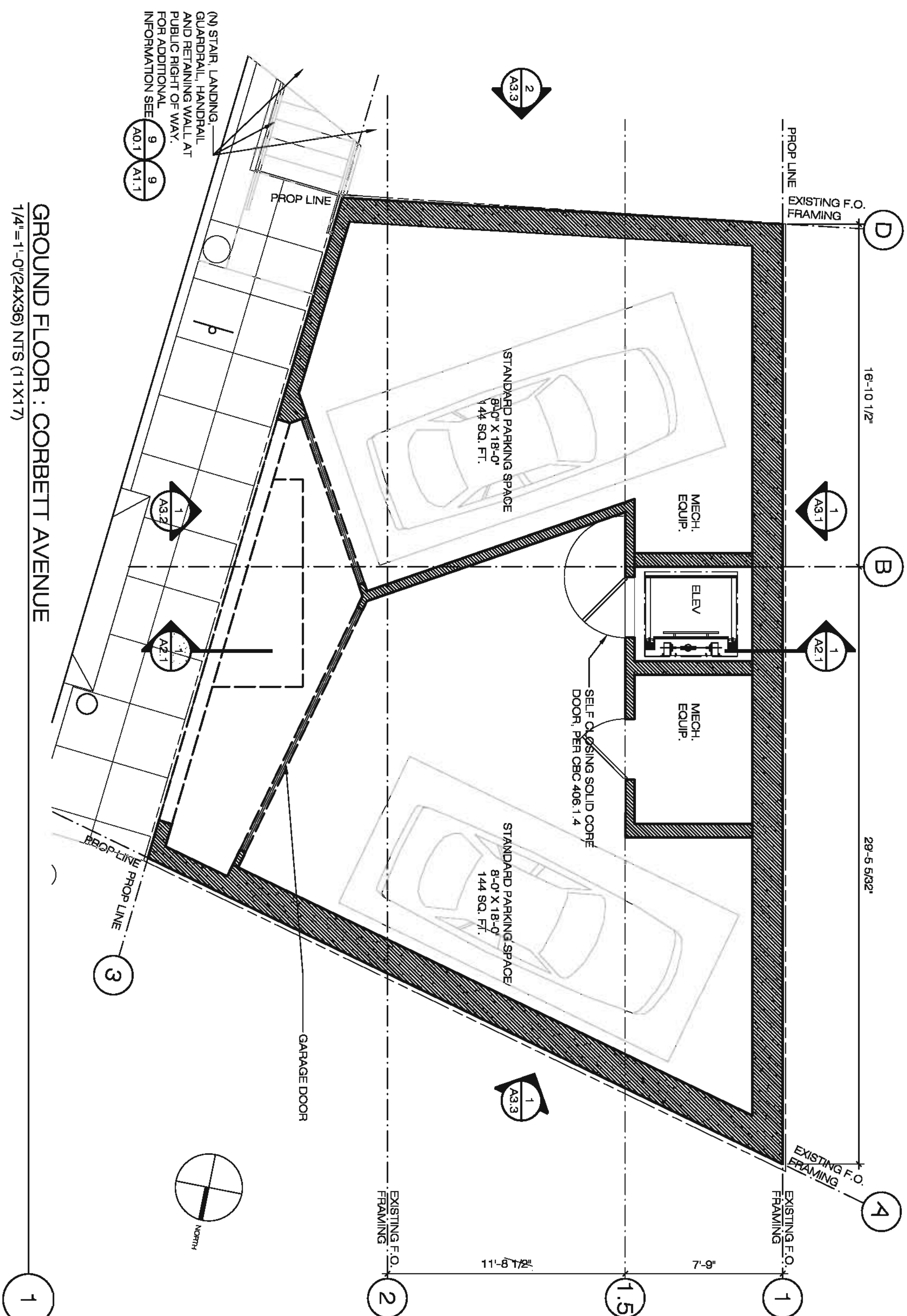
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NOTES & ABBREVIATIONS

N.T.S.

12



75 MARS ST.

SAN FRANCISCO, CALIFORNIA
BLOCK / LOT : 2653/ 016

Stamp & Signature

All drawings and
specifications
constitute the original
of every
drawing and
specification
of this office.

Consultants

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fx: 415 388 9255

Revisions & Submittals

SITE PERMIT SUBMITTAL 08/09/10

SITE PERMIT REVISION **A1** 08/30/10

VARIANCE SUBMITTAL 08/30/10

Drawn By	BS	Checked By	
Scale		Project Number	0804
Date	30 AUGUST 2010		
Title	FLOOR PLANS		

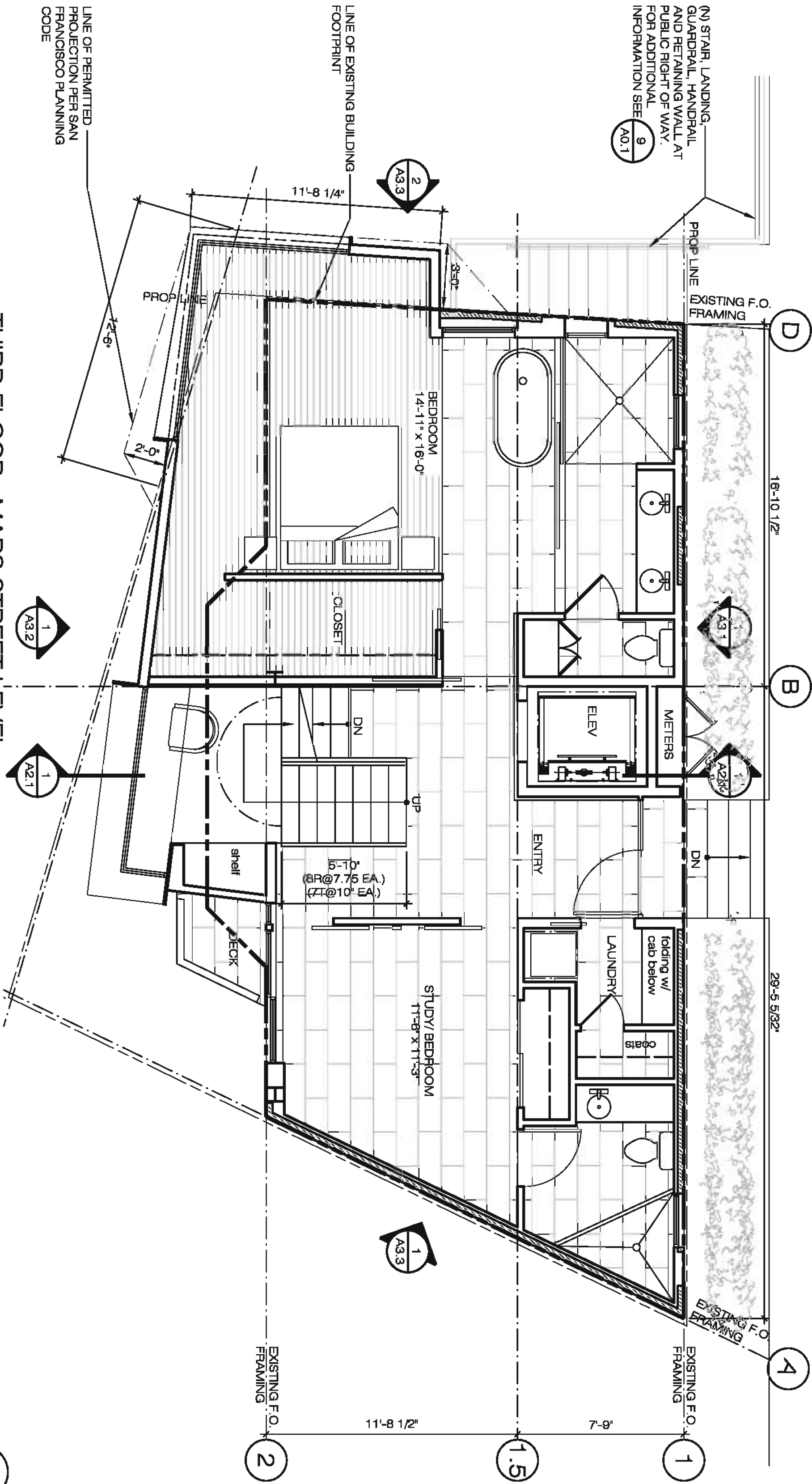
Sheet

A1.2

Preliminary
Not for Construction

THIRD FLOOR : MARS STREET LEVEL

1/4"=1'-0"(24X36) NTS(11X17)



NOTES & ABBREVIATIONS

N.T.S.

BATH — ROOM NAME	ROOM NUMBER	REVISION #
1.1	1.1	1
1.2	1.2	1
1.3	1.3	1
1.4	1.4	1
1.5	1.5	1
1.6	1.6	1
1.7	1.7	1
1.8	1.8	1
1.9	1.9	1
1.10	1.10	1
1.11	1.11	1
1.12	1.12	1
1.13	1.13	1
1.14	1.14	1
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1.21	1.21	1
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1.28	1.28	1
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1.31	1.31	1
1.32	1.32	1
1.33	1.33	1
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1.36	1.36	1
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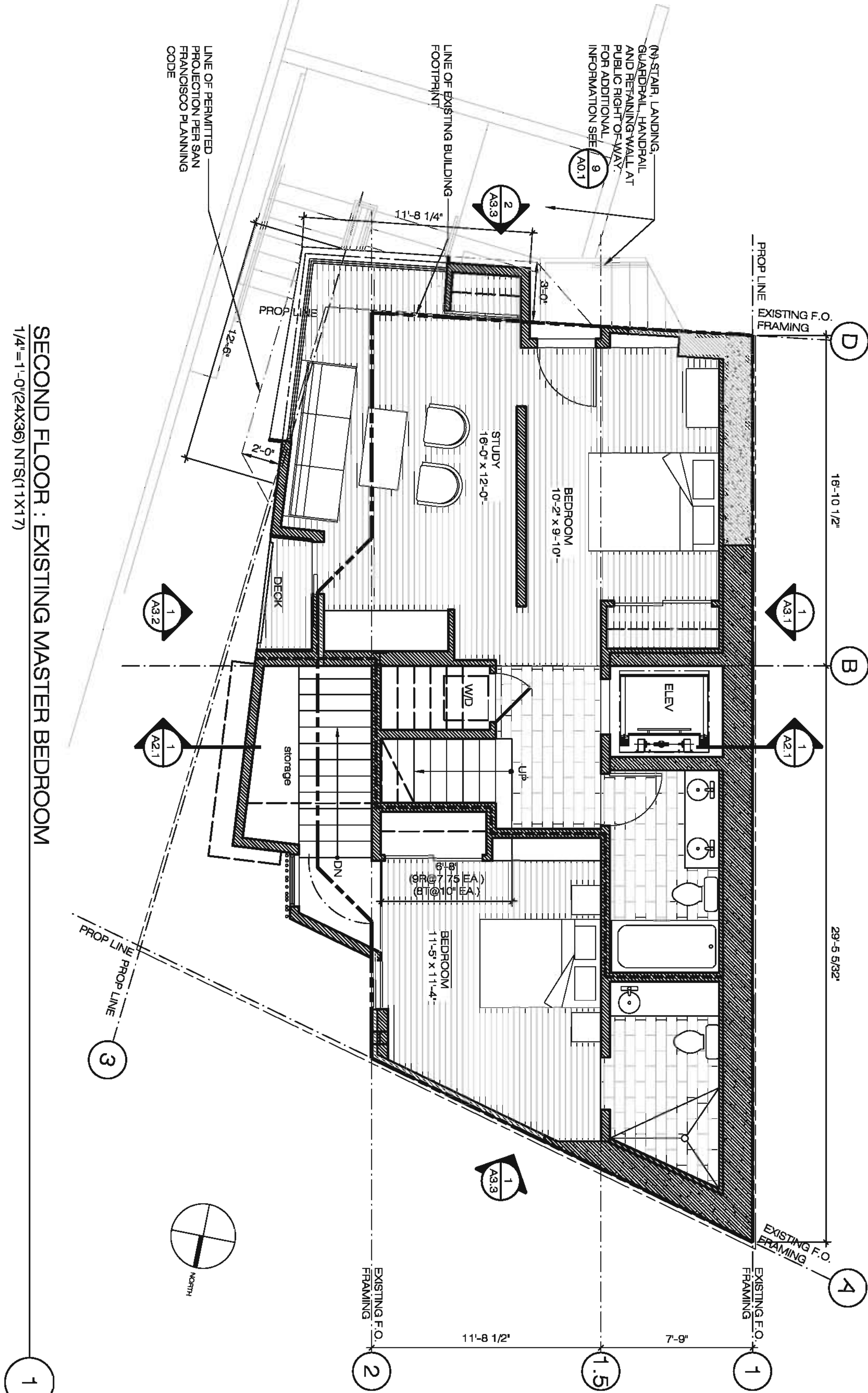
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8. FOR DEMOLISHING CALCULATIONS SEE 400.10

	(N) STUD WALL
	(E) STUD WALL
	1-HR SEPARATION
	CONCRETE WALL
	(E) STUD WALL TO BE REMOVED
	(E) AREA TO BE REMOVED INCLUDING FINISHES AND FRAMING
	F.O. FRAMING TO F.O. FRAMING
	F.O. FINISH TO F.O. FINISH

12

SECOND FLOOR : EXISTING MASTER BEDROOM

1/4"=1'-0"(24X36) NTS(11X17)



75 MARS ST.

Stamp & Signature

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Consultants

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fx: 415 921 7655

Geotechnical:
HERZOG GEOTECHNICAL
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Mill Valley, CA 94941
v: 415 388 8355
fx: 415 388 9266

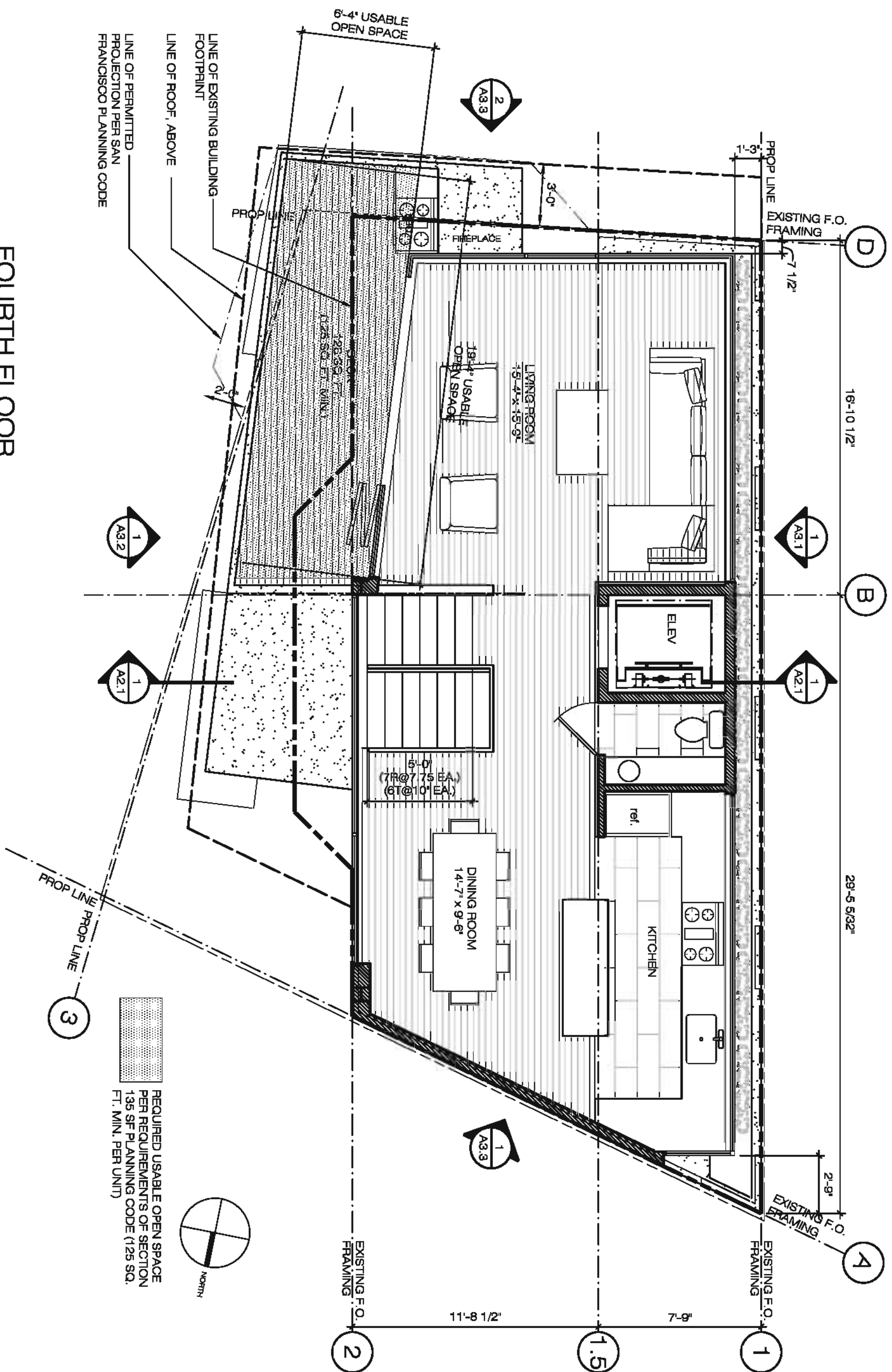
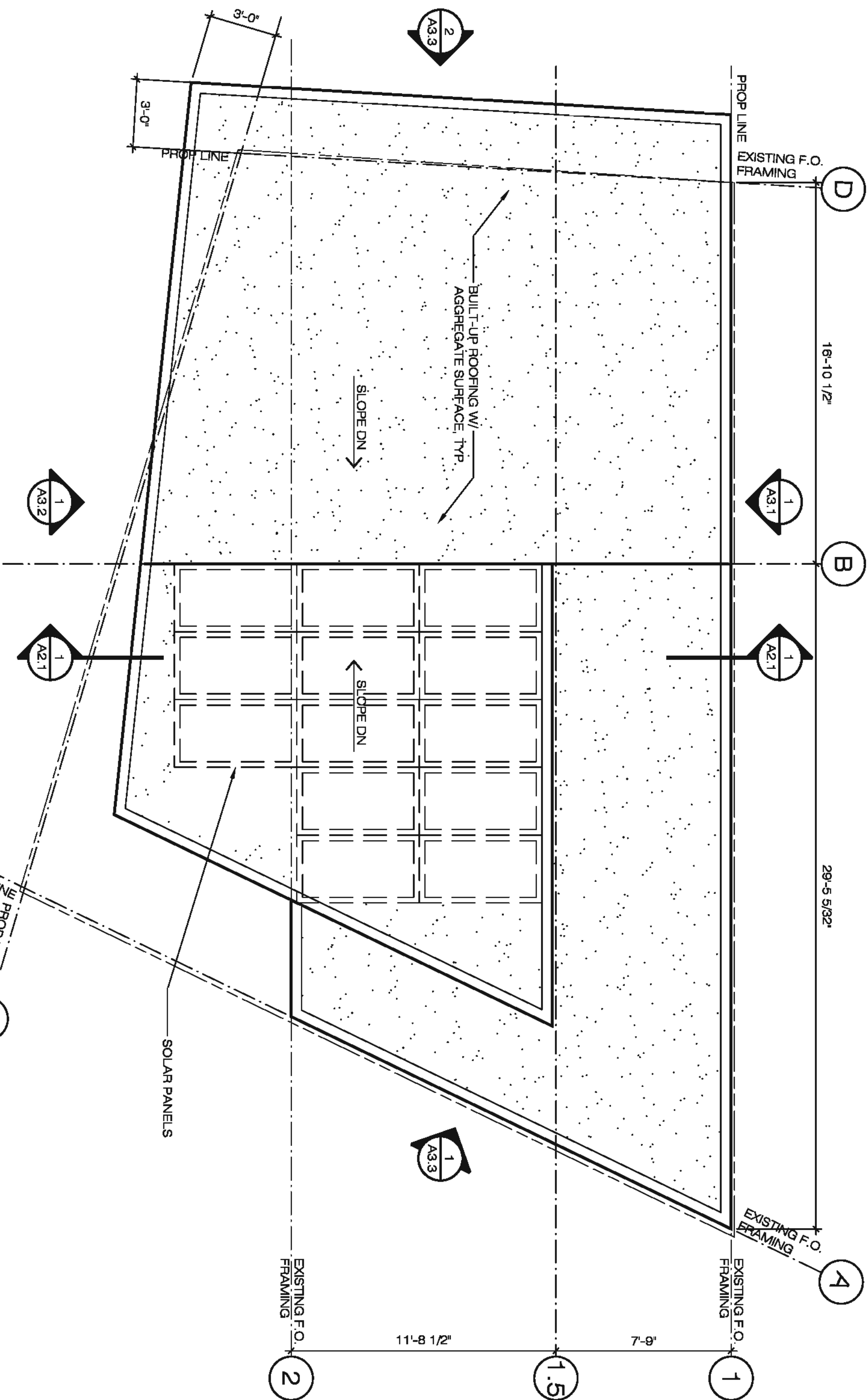
NOTES & ABBREVIATIONS

12

BATH	ROOM NAME	1	REVISION #
222	ROOM NUMBER	111	WINDOW TYPE (SEE SCHEDULE)
111	FLOOR FINISH KEYNOTE #	222	DOOR TYPE (SEE SCHEDULE)
A1	PARTITION TYPE (SEE SCHEDULE)	222	
B-10.5	B.O. FRAMING ELEVATION ABV FINISH FLOOR AT CEILING		

ROOF PLAN
1/4"=1'-0" (24X36) NTS (11X17)

(c)



FOURTH FLOOR
1/4"=1'-0" (24X36) NTS (11X17)

(—)

75 MARS ST.

SAN FRANCISCO, CALIFORNIA
BLOCK / LOT : 2653/ 016

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Revisions & Submittals

SITE PERMIT SUBMITTAL 08/09/10

SITE PERMIT REVISION  08/30/10

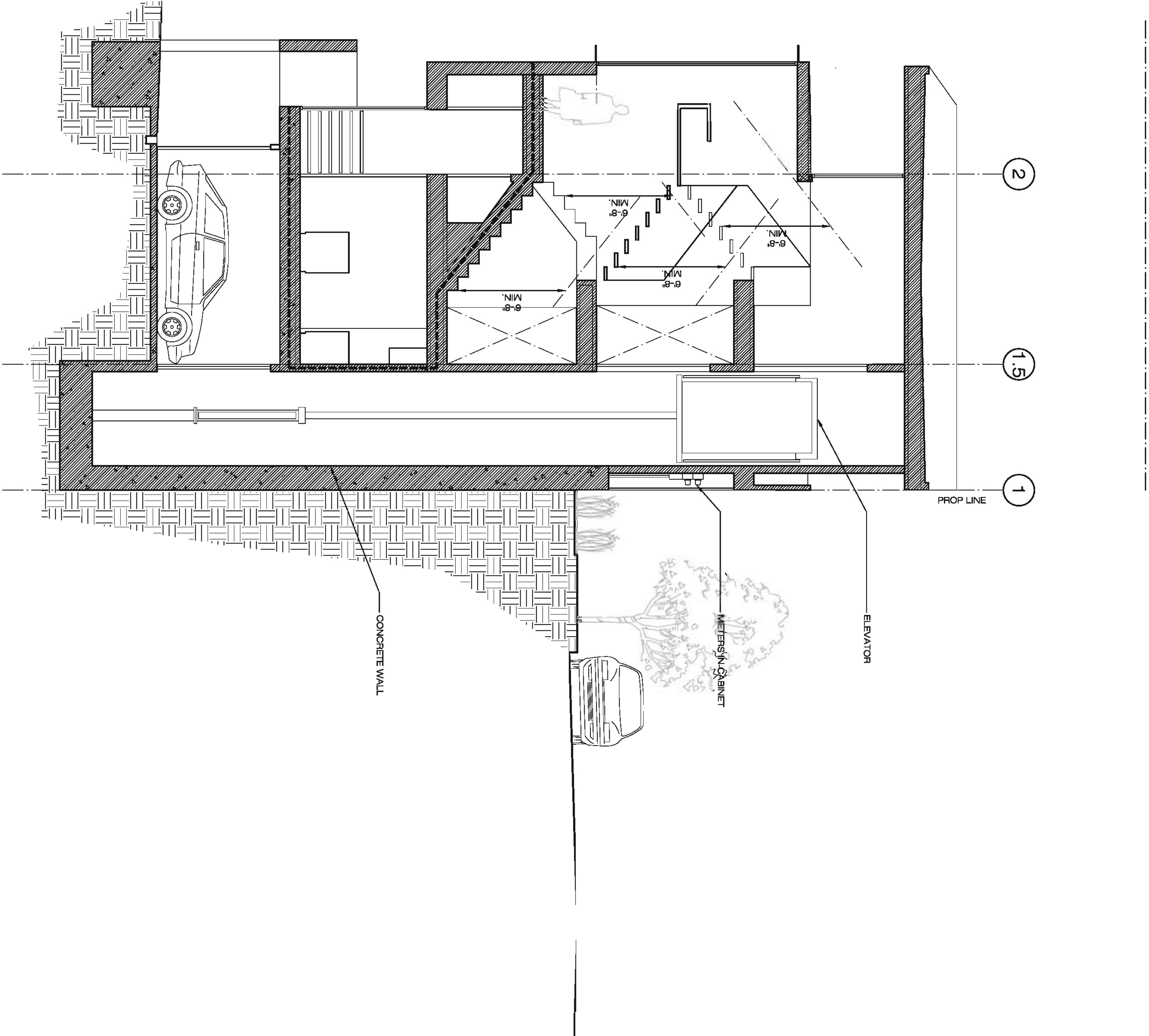
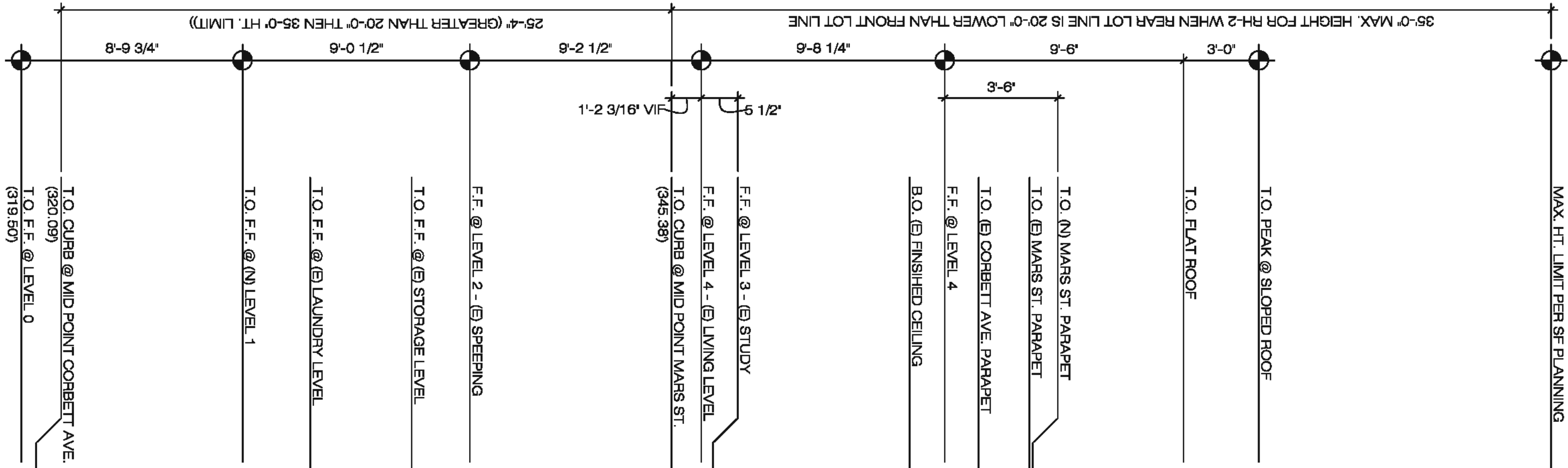
VARIANCE SUBMITTAL 08/30/10

Drawn By	BS	Checked By	
Scale		Project Number	0804
Date	30 AUGUST 2010		
Title	SECTION		

Sheet

A2.1

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Not for Construction



- (N) STUD WALL
- (E) STUD WALL
- 1-HR SEPARATION
- CONCRETE WALL
- (E) STUD WALL TO BE REMOVED
- (E) AREA TO BE REMOVED INCLUDING FINISHES AND FRAMING
- F.O. FRAMING TO F.O. FRAMING
- F.O. FINISH TO F.O. FINISH
- 1'
- 1'

- BATH — ROOM NAME
- 222 ROOM NUMBER
- 1.1.1 FLOOR FINISH KEYNOTE #
- A1 PARTITION TYPE (SEE SCHEDULE)
- B.O. FRAMING ELEVATION ABV FINISH FLOOR AT CEILING
- 6'-10.6

- REVISION #
- 111 WINDOW TYPE (SEE SCHEDULE)
- DOOR TYPE
- 222 (SEE SCHEDULE)

NOTES & ABBREVIATIONS

12

N.T.S.

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6. PROVIDE 4% NATURAL VENTILATION AND 8% NATURAL LIGHT AT ALL HABITABLE ROOMS

7. EXHAUST VENT TO BE MIN. 3'-0" FROM OPENINGS INTO THE BUILDING

8. FOR DEMOLISHING CALCULATIONS SEE 404.10

SECTION

1/4"=1'-0"(24X36) NTS(11X17)

1

75 MARS ST.
SAN FRANCISCO, CALIFORNIA
BLOCK / LOT : 2653/ 016

Stamp & Signature

All drawings and
specifications shall
correlate the original
of Kenney &
Associates, Inc. or
its duly authorized
representative, and
shall not be altered,
modified, or
otherwise changed
without the written
consent of the
original author or
of this office.

Consultants

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Permits & Submittals

SITE PERMIT SUBMITTAL 08/09/10

SITE PERMIT REVISION  08/30/10

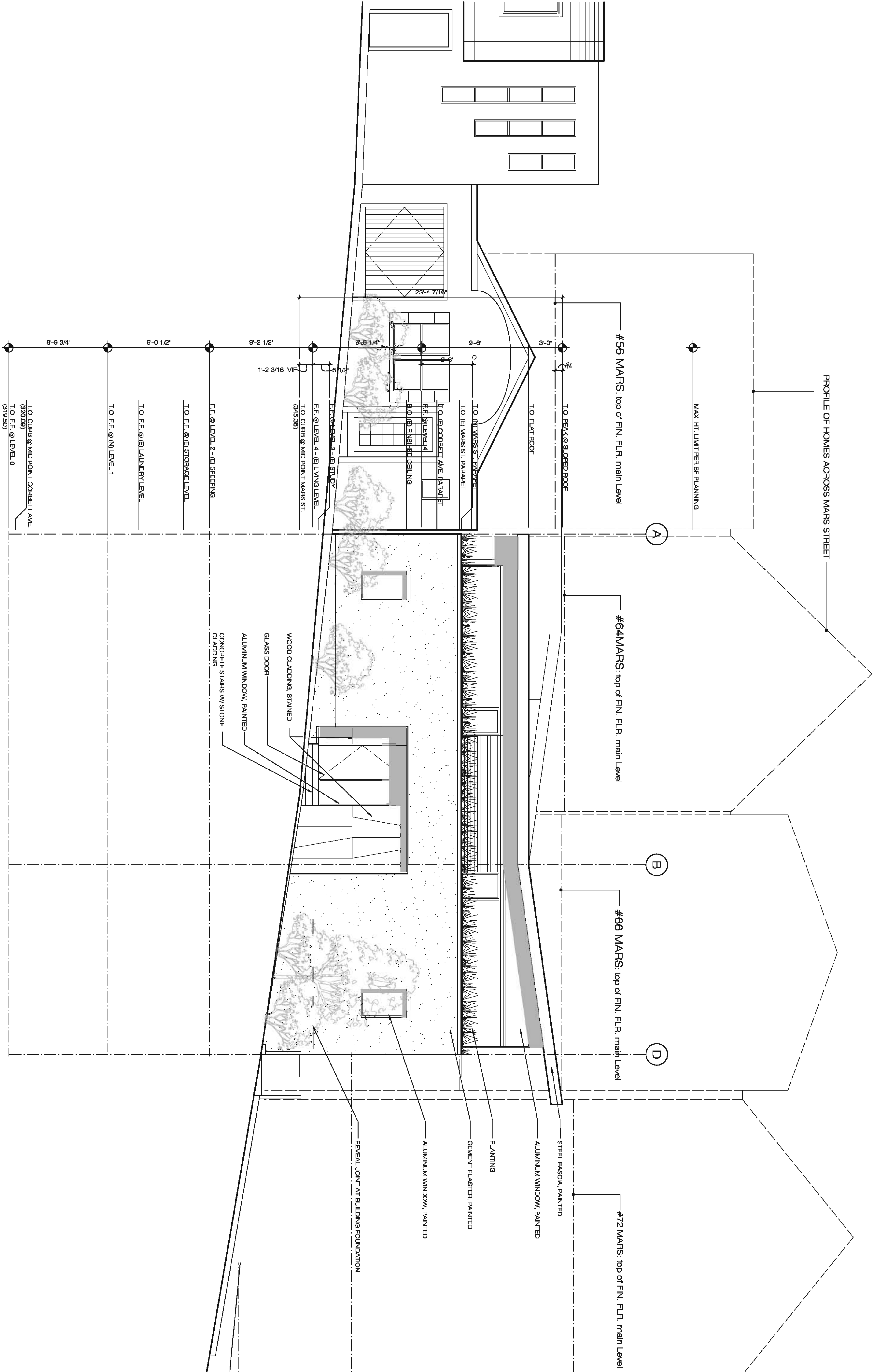
VARIANCE SUBMITTAL 08/30/10

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Scale		Project Number	0804
Date	30 AUGUST 2010		
Title	ELEVATION		

Sheet

A3.1

Preliminary
Not for Construction



WEST ELEVATION (MARS STREET)
1/4"=1'-0" (24x36) NTS (11x17)

1

75 MARS ST.
SAN FRANCISCO, CALIFORNIA
BLOCK / LOT : 2653/ 016

Stamp & Signature
All drawings and
specifications shall
be prepared by
personnel duly
licensed by the
State of California
and shall be
signed and sealed
by the architect
or architect-in-charge
of the office.

Consultants

Survey:

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P: 415 588 5555
F: 415 588 9285

Revisions & Submittals

SITE PERMIT SUBMITTAL 08/09/10

SITE PERMIT REVISION  08/30/10

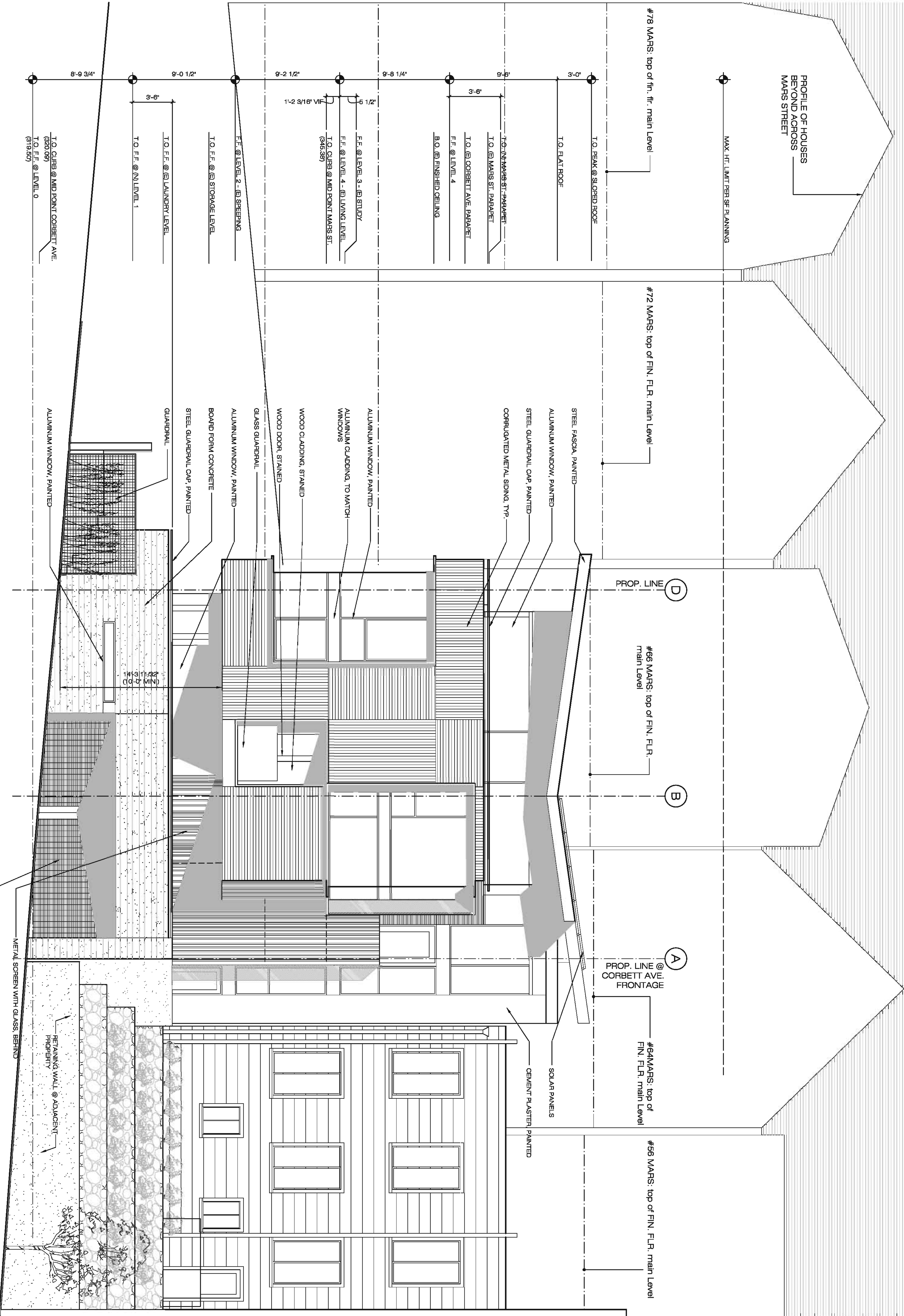
VARIANCE SUBMITTAL 08/30/10

Drawn By BS Checked By
Scale Project Number 0804
Date 30 AUGUST 2010
Title
ELEVATION

Sheet

A3.2

Preliminary
Not for Construction



EAST ELEVATION (CORBETT AVENUE)

1/4"=1'-0"(24x36) NTS(11x17)

75 MARS ST.

SAN FRANCISCO, CALIFORNIA
BLOCK / LOT : 2653/ 016

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Consultants

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fx: 415 388 9266

Revisions & Submittals

SITE PERMIT SUBMITTAL	06/09/10
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SITE PERMIT REVISION 08/30/10

VARIANCE SUBMITTAL	08/30/10
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Drawn By	Checked By
BC	

Scale	Project Number
0804	

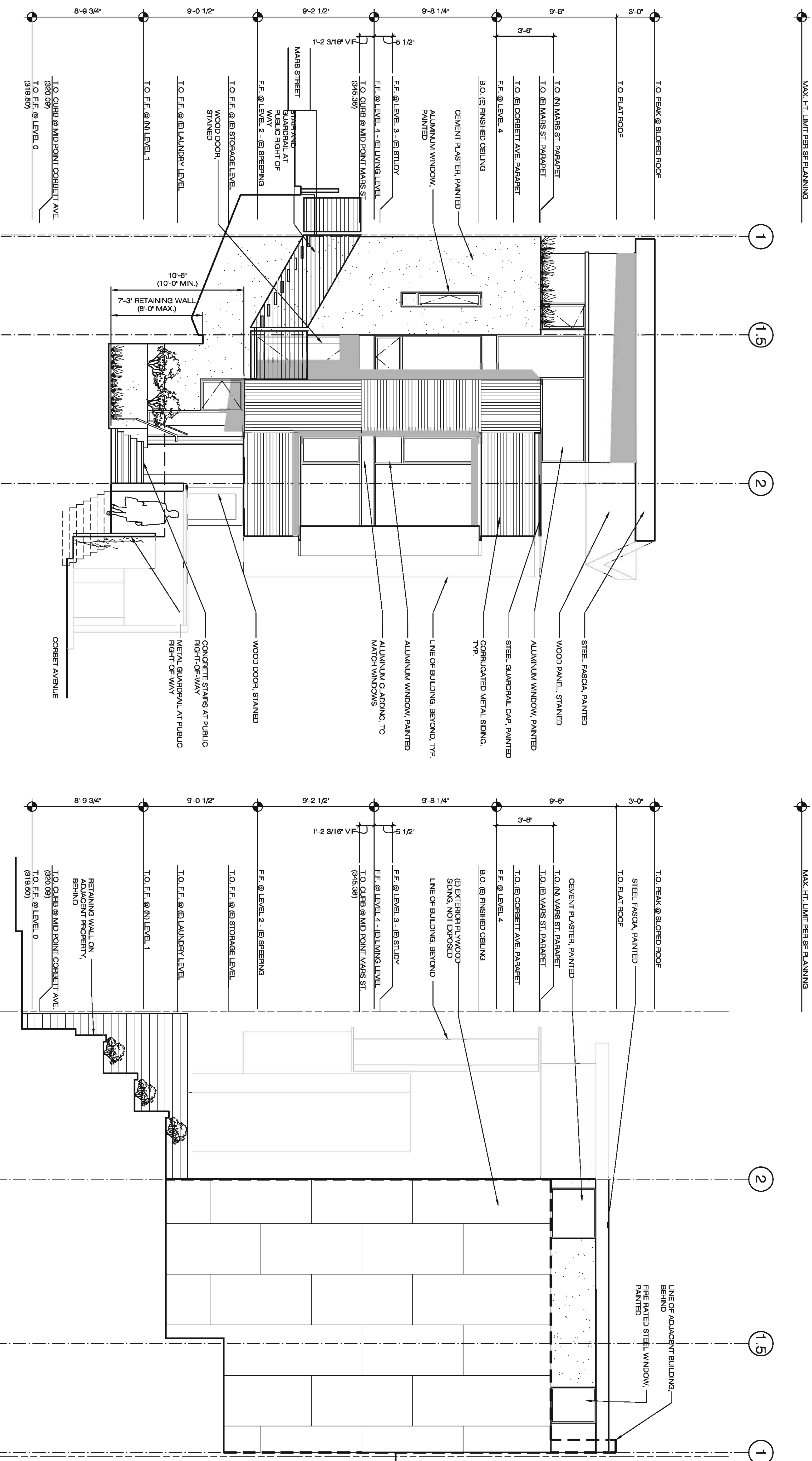
Date
30 AUGUST 2010

The ELEVATION

Sheet

A3.3

**Preliminary:
Not for Construction**



SOUTH ELEVATION (PUBLIC RIGHT-OF-WAY)

NORTH ELEVATION (BLIND WALL)