



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 22, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	2012 Castro Street	Case No.:	2010.0594V
Cross Street(s):	Duncan and 28th streets	Building Permit:	N/A
Block /Lot No.:	6604/063	Applicant/Agent:	Jeremy Paul
Zoning District(s):	RH-2/ 40-X	Telephone:	(415) 552-1888
Area Plan:	N/A	E-Mail:	<u>Jeremy@quickdrawst.com</u>
PROJECT DESCRIPTION			
The proposal for the two-story over garage, single-family dwelling is to remove an existing second floor rear deck and stairway and legalize a partially construct second floor rear deck with a stairway leading to grade. Section 134(c)(1) of the Planning Code requires a minimum rear yard depth of approximately 19 feet, measured from the rear property line, for the subject lot. The proposed second floor deck with a stairway would encroach 8 feet 8 inches into the required rear yard to within 10 feet 4 inches of the rear property line.			
ADDITIONAL INFORMATION			
FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Tom Wang Telephone: (415) 558-6335 E-Mail: <u>thomas.wang@sfgov.org</u>			
ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <u>http://sf-planning.org/ftp/files/notice/2010.0594V.pdf</u>			

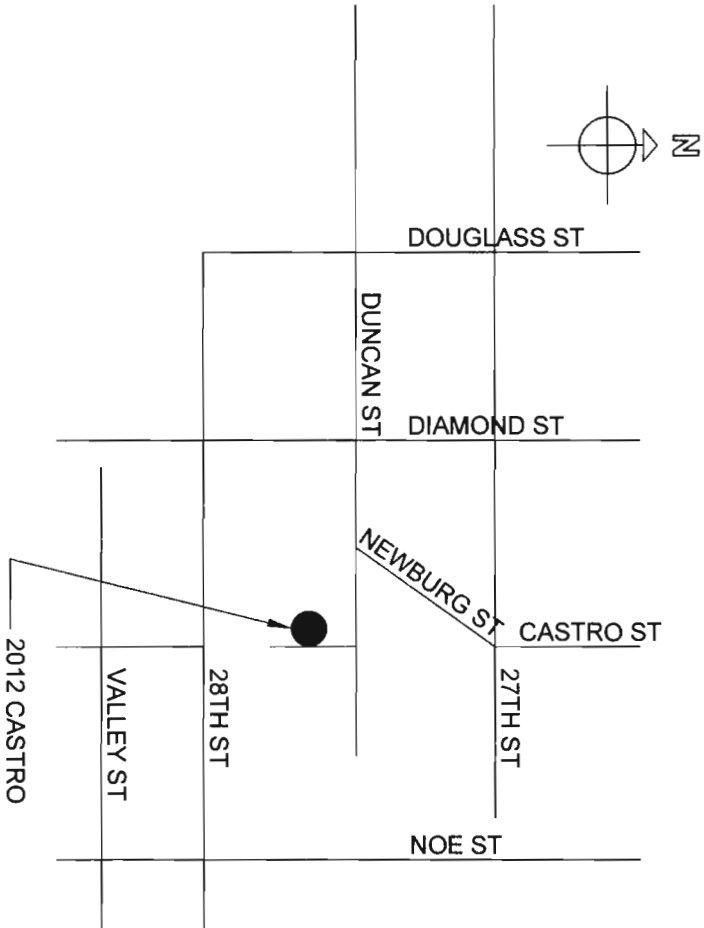
中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

2012 CASTRO STREET HAUCK RESIDENCE DECK

LOCATION MAP

NOT TO SCALE



PROJECT DATA

LOCATION:

2012 CASTRO STREET
SAN FRANCISCO, CA 94131

APN:

6604-063

CONSTRUCTION TYPE:

TYPE VB

OCCUPANCY:

R-3

BUILDING:

3 STORIES

OWNER:

BRIAN HAUCK
2012 CASTRO STREET
SAN FRANCISCO, CA 94131
CELL: 415.990.1867

DESIGNER:

DOYLE MCCULLAR
CELL: 415.601.1122
EMAIL: DOYLE@DOYLEMCCULLAR.COM

SCOPE OF WORK -

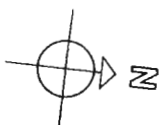
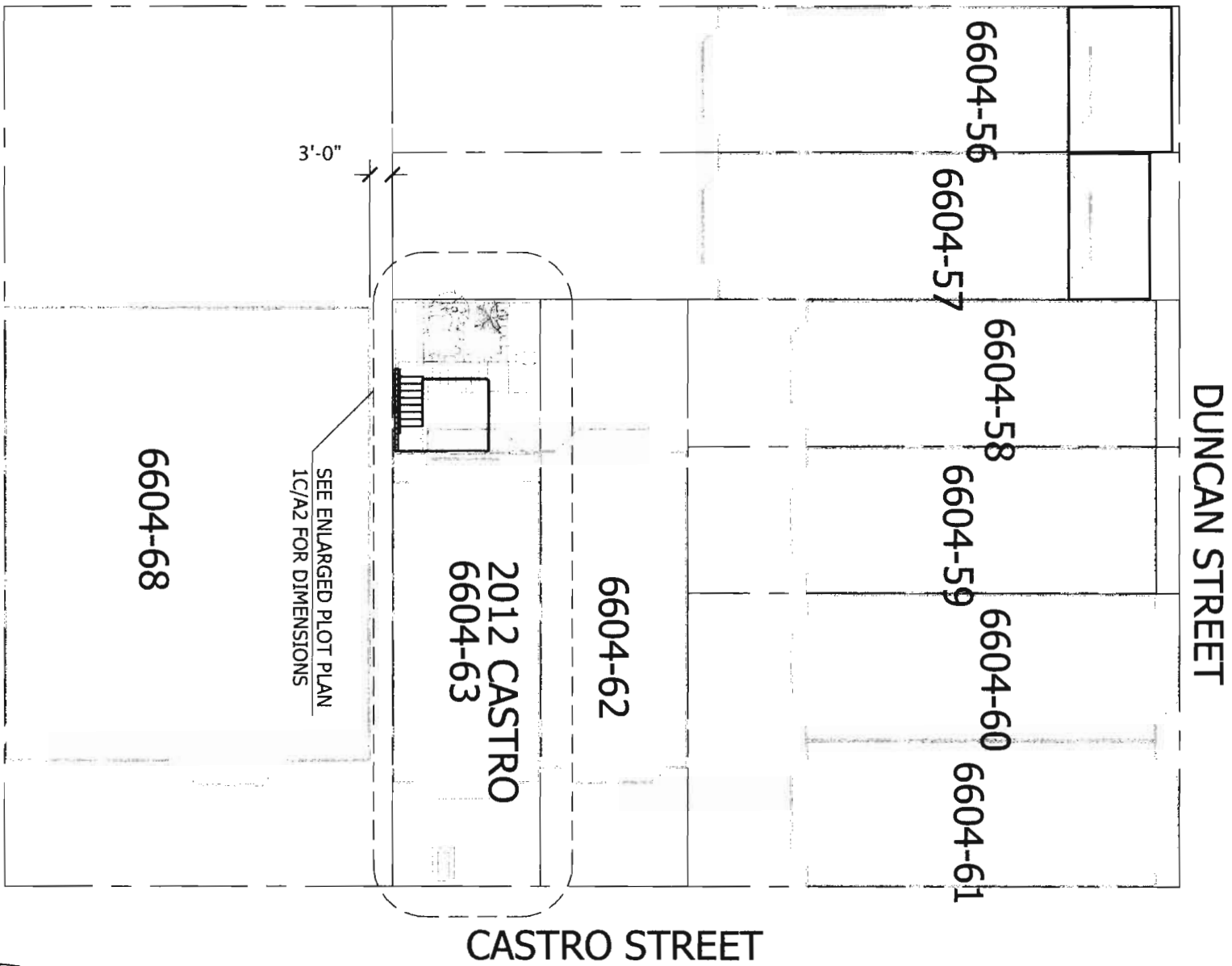
NEW EXTERIOR DECK AS BUILT

1. NEW DECK ADDED TO REAR OF BUILDING.
2. NO CHANGES TO INTERIORS UNDER THIS PERMIT SET.

SHEET INDEX

- A1 LOCATION & PROJECT DATA
- A1.1 ADJACENT PLOT MAPS
- A1.2 ADJACENT PROPERTY PHOTOGRAPHS
- A1.3 DECK PHOTOGRAPHS
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- A3 ENLARGED PLAN OF EXISTING DECK
- A3.1 ENLARGED PLAN OF PROPOSED DECK
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- A5 FRAMING DIAGRAM
- A6 DECK SECTION SOUTH VIEW
- A7 DECK SECTION EAST VIEW
- A8 DECK SECTION AT STAIRS
- A9 DETAILS

NOTE:
REFER TO 1C/A2 PLOT MAP
FOR GRADE/ELEVATION MARKERS



ADJACENT PLOT MAPS

2

1" = 20'



AERIAL VIEW

2

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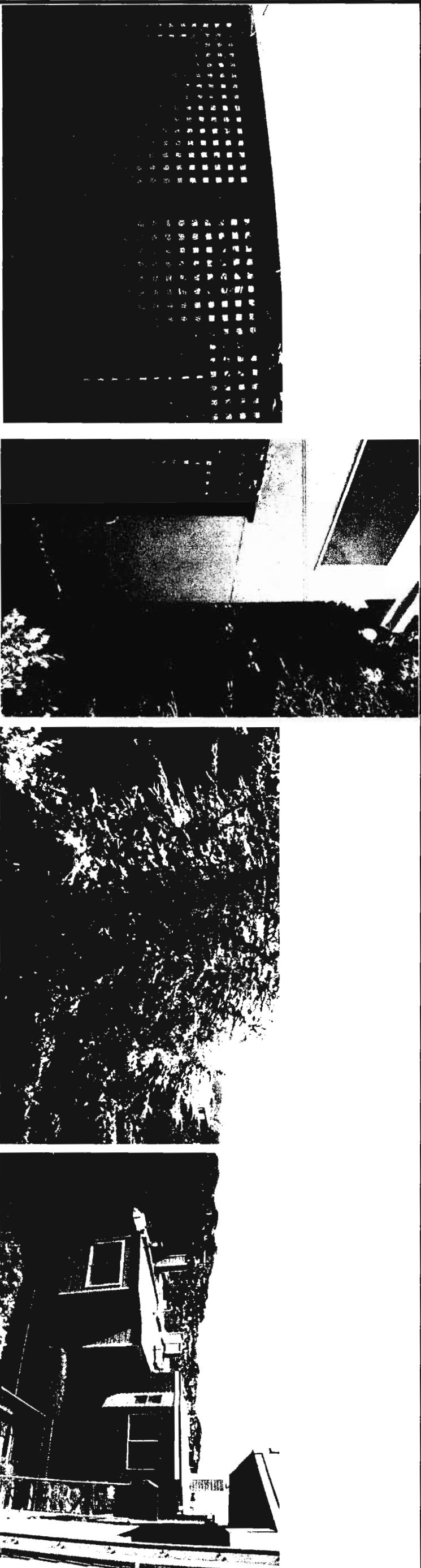
2012 CASTRO STREET
HAUCK RESIDENCE DECK

ADJACENT
PLOT MAPS

Scale: AS NOTED
Date: 06.21.10
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A

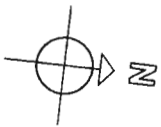
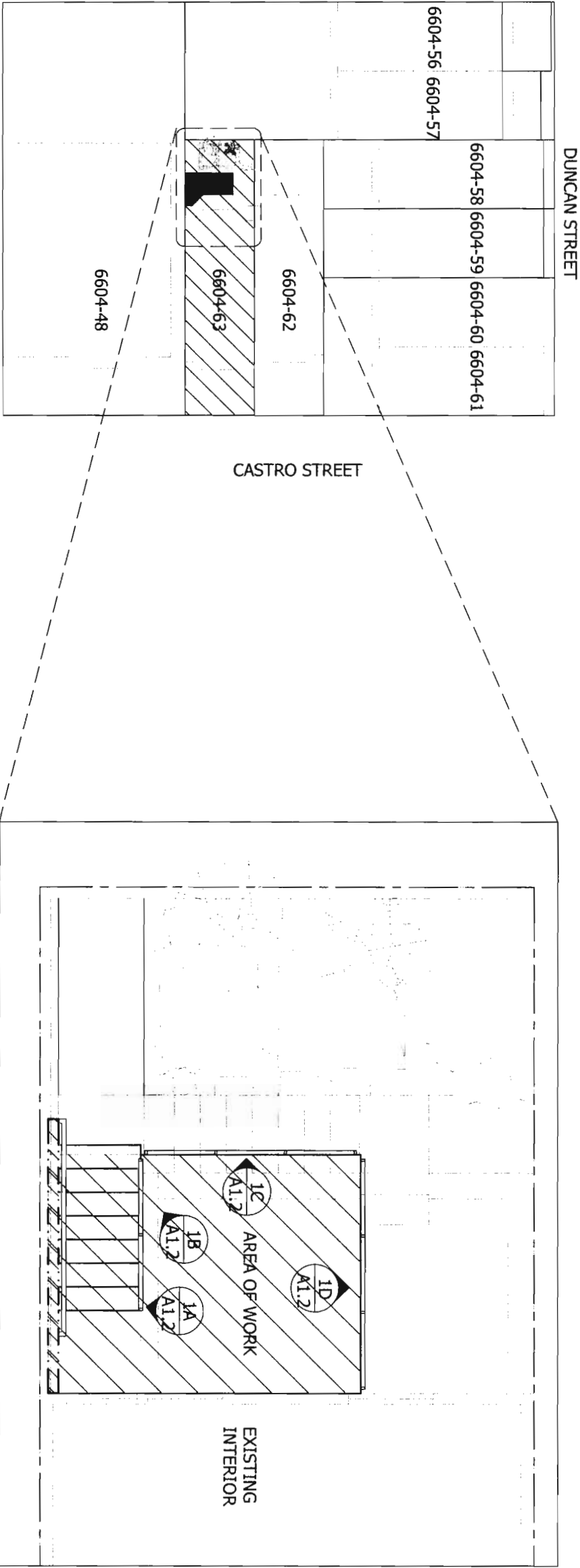
B

C

D

1

PHOTOGRAPHS OF ADJACENT BUILDINGS (SEE LEGEND BELOW)



2

LEGEND (FOR PHOTOGRAPH REFERENCE ONLY NOT TO SCALE)

NOT TO SCALE



A



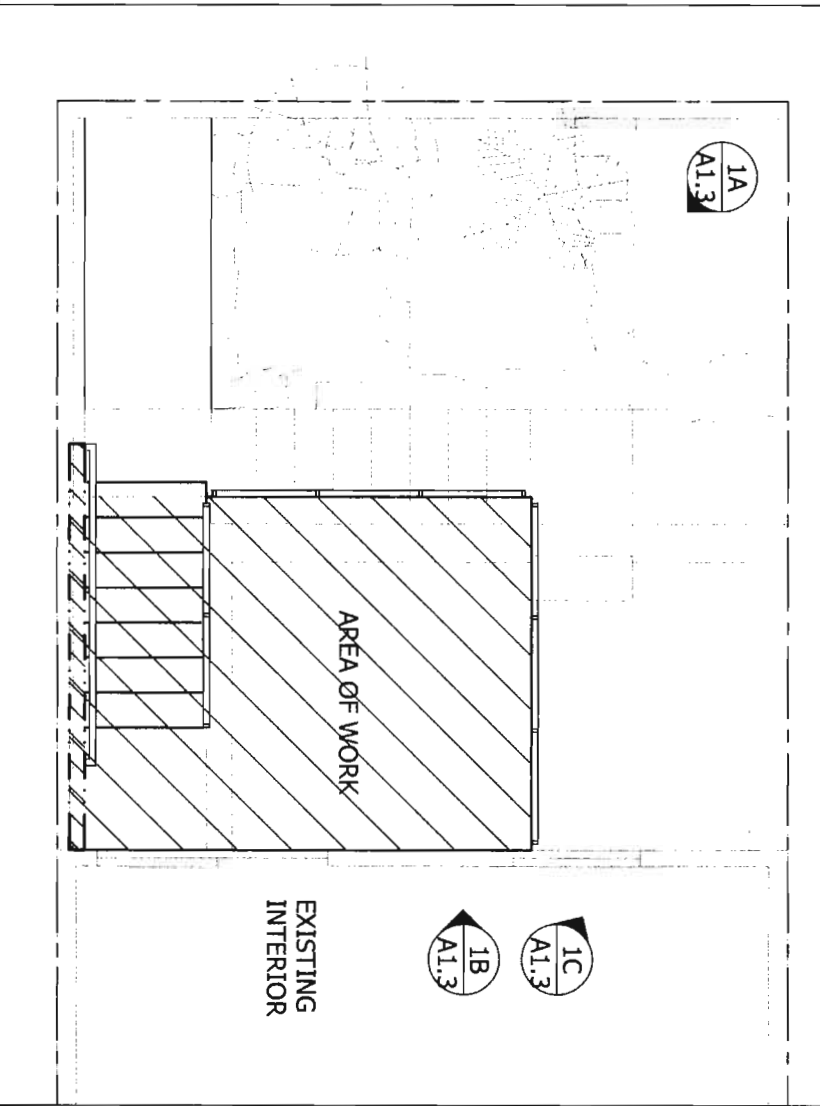
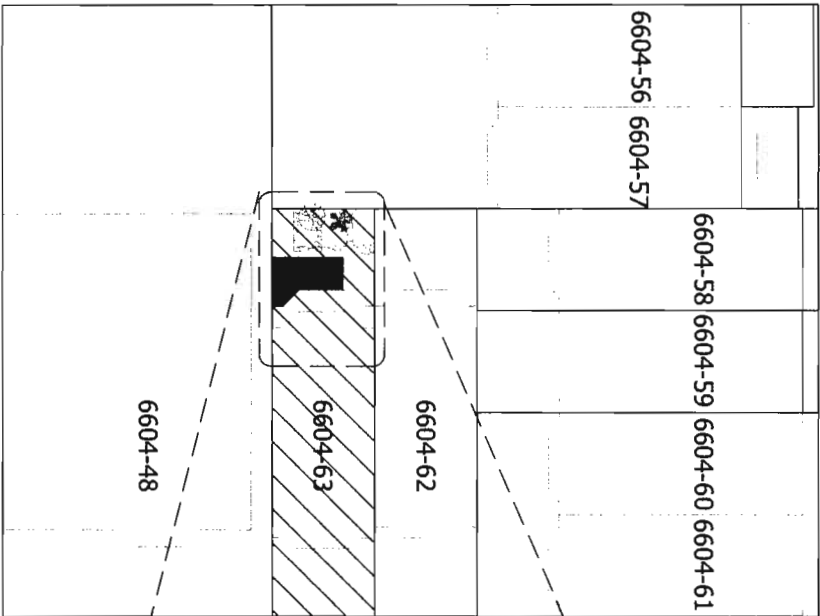
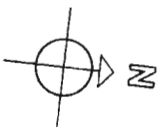
B VIEW FROM ABOVE



C VIEW FROM ABOVE

1

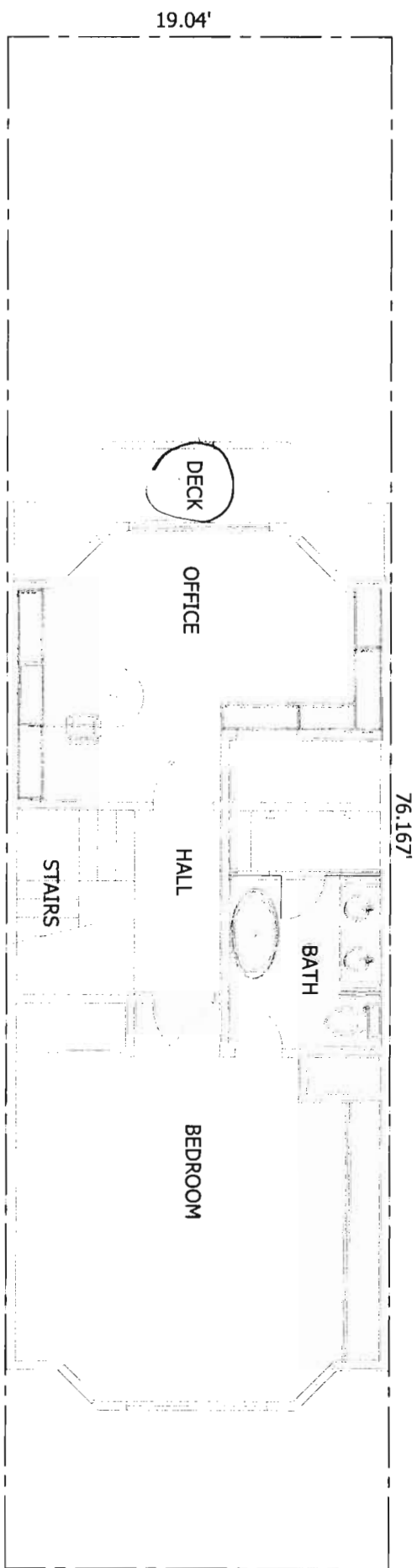
PHOTOGRAPHS OF DECK (SEE LEGEND BELOW)



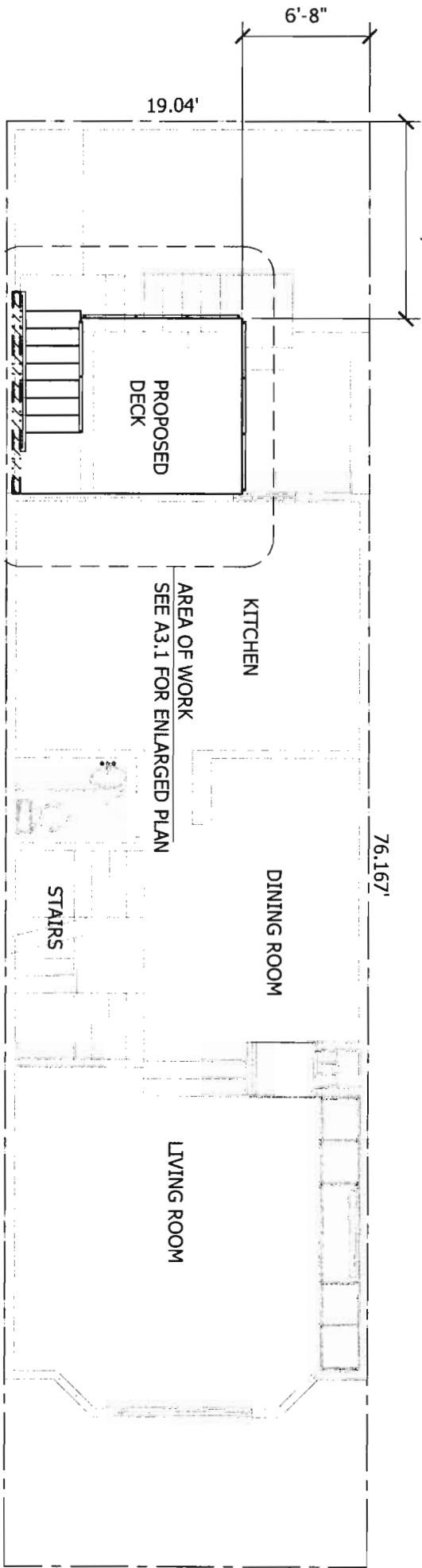
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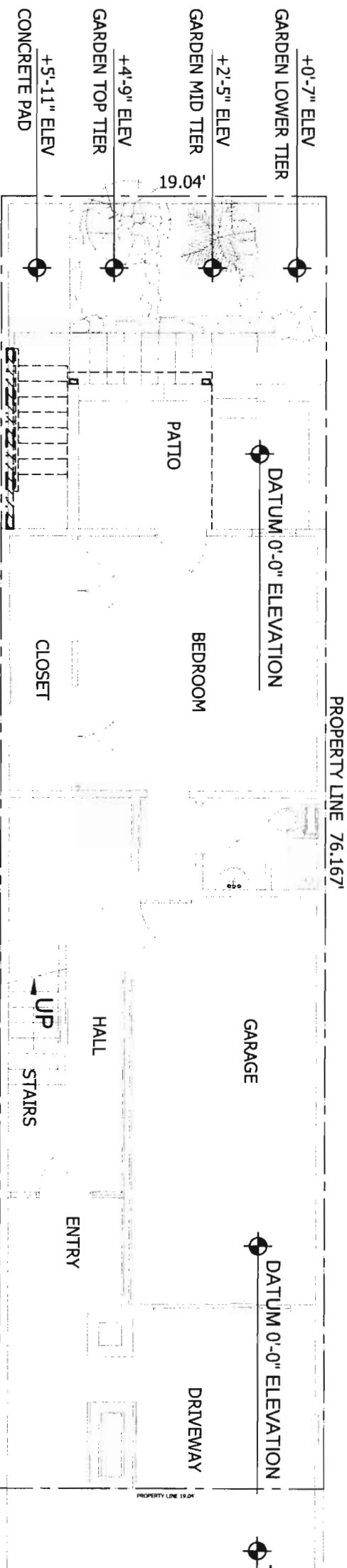
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A SHOWN FOR REFERENCE SECOND FLOOR

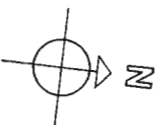
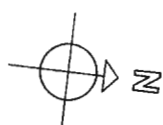


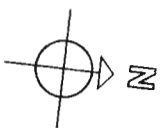
B SHOWN FOR REFERENCE FIRST FLOOR



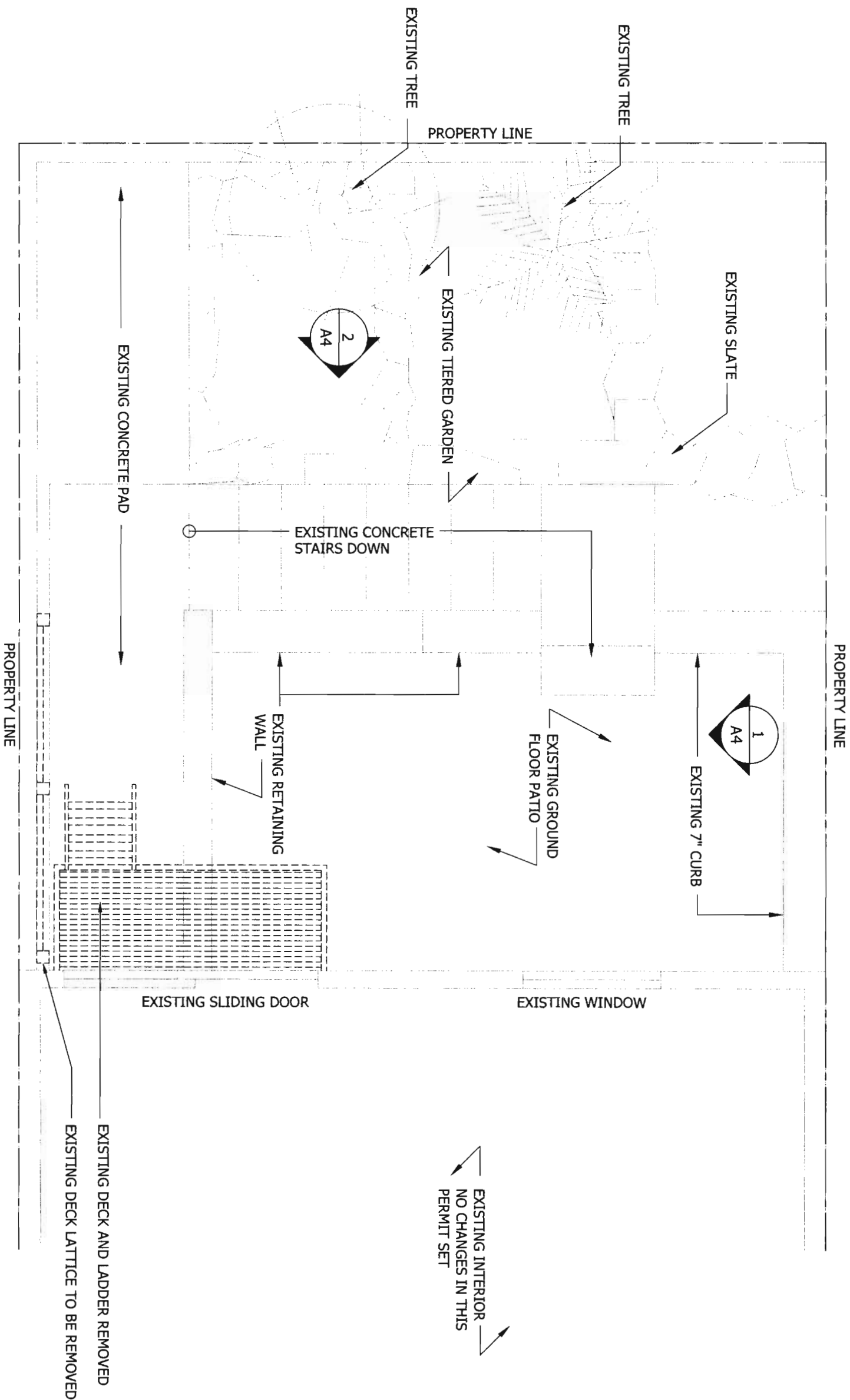
C SHOWN FOR REFERENCE GARAGE LEVEL

1 PROPOSED SITE PLAN AND EXISTING INTERIOR FLOOR PLAN





NOTE:
REFER TO 1C/A2 PLOT MAP
FOR GRADE/ELEVATION MARKERS



2012 CASTRO STREET HAUCK RESIDENCE DECK

ENLARGED
PLAN OF
EXISTING
DECK

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Scale: 3/8" = 1'-0"
Date: 06.21.10
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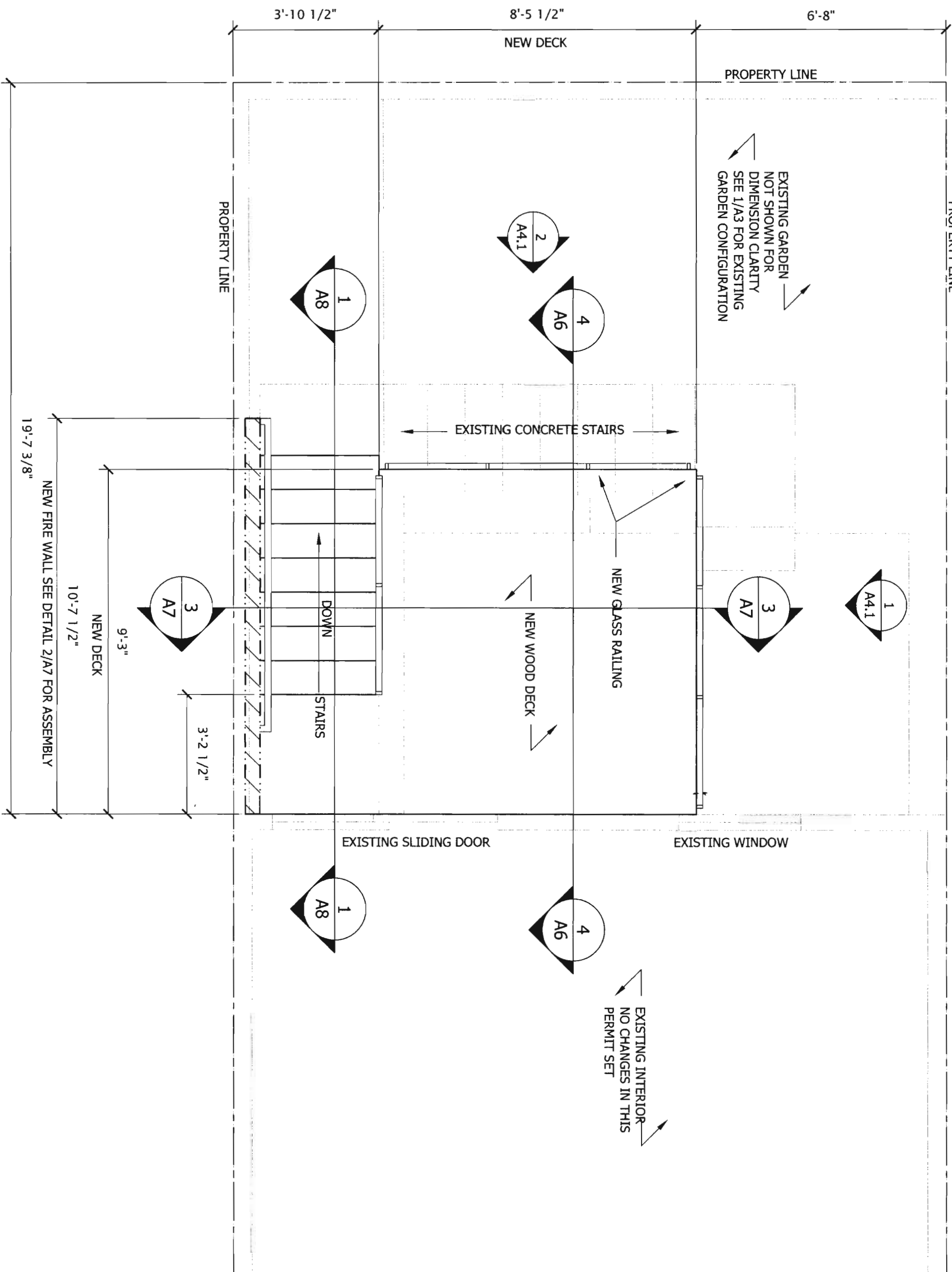
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ENLARGED PLAN OF EXISTING DECK

Scale: 3/8" = 1'-0"

A3

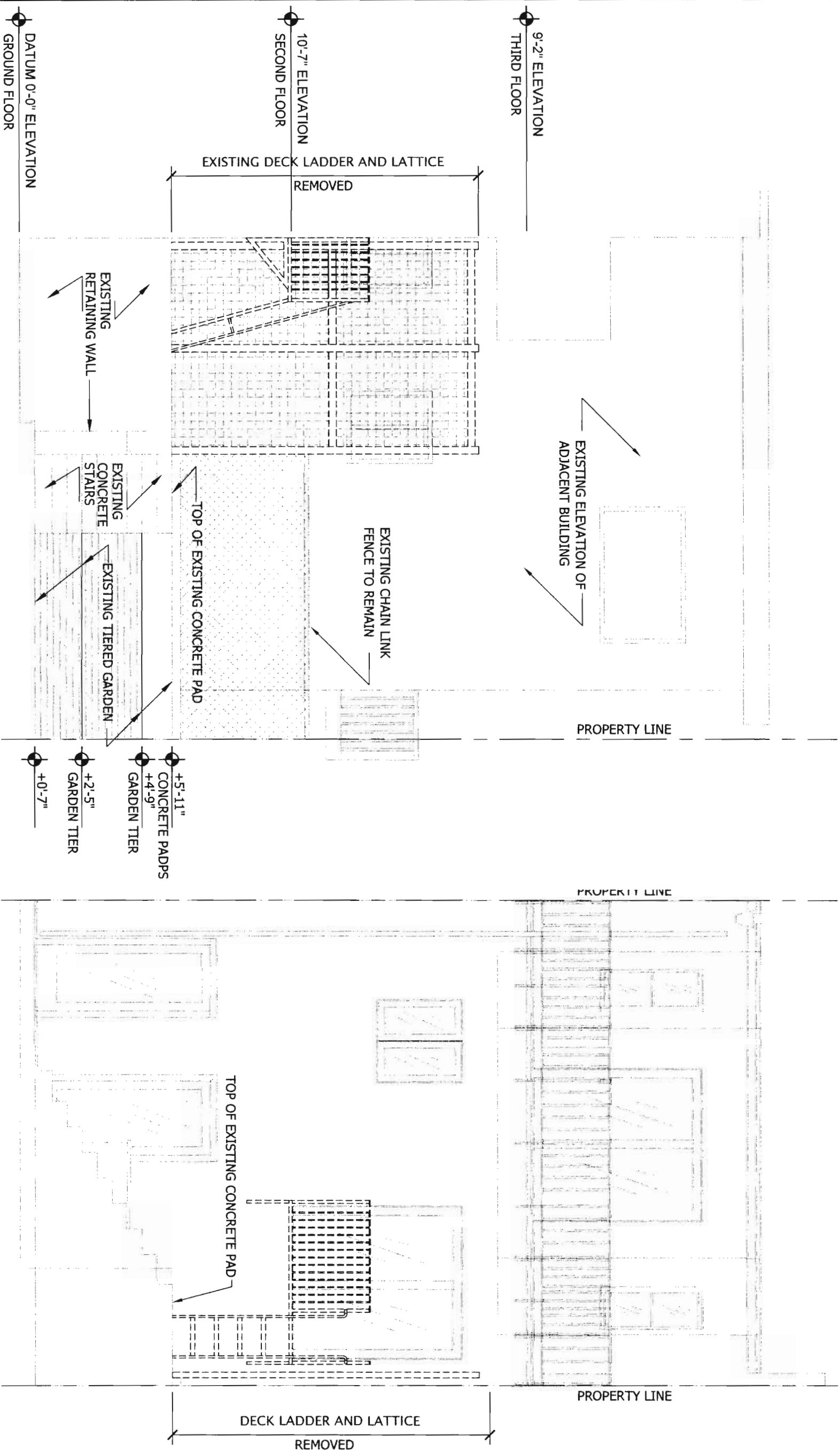
PROPERTY LINE



1

ENLARGED PLAN OF PROPOSED DECK AT SECOND FLOOR

Scale: 3/8" = 1'-0"



1

EXISTING SOUTH ELEVATION

Scale: 1/4" = 1'-0"

2

EXISTING EAST ELEVATION

Scale: 1/4" = 1'-0"

ELEVATIONS
OF EXISTING
DECK

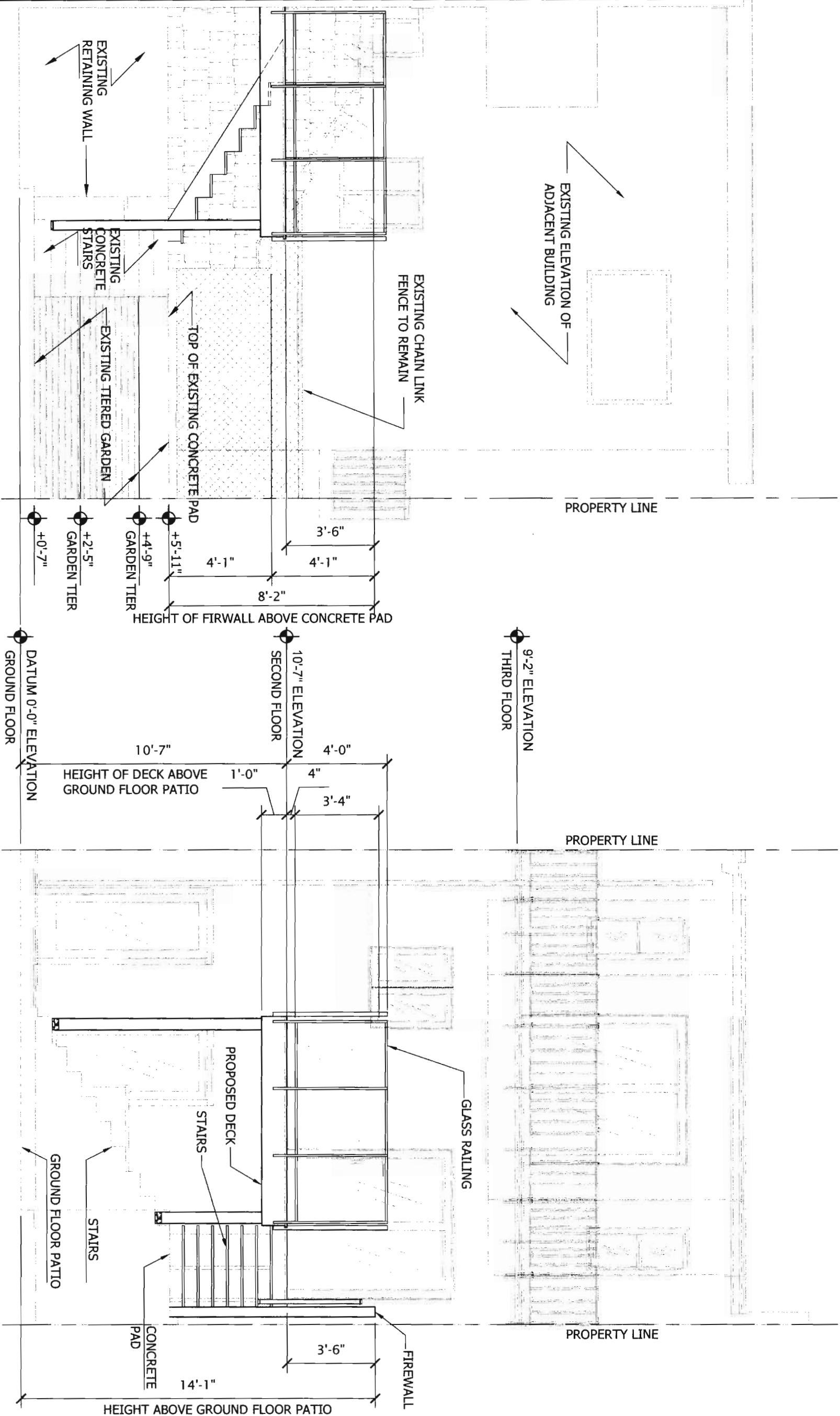
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2012 CASTRO STREET
HAUCK RESIDENCE DECK

PROPOSED
DECK
ELEVATIONS

Scale: 1/4" = 1'-0"

Date: 06.21.10

Revision:

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