



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 23, 2011**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard and Exposure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 185 Chilton Avenue Cross Street(s): Bosworth Street Block /Lot No.: 6758/015 Zoning District(s): RH-1/ 40-X Area Plan: N/A	Case No.: 2010.0587V Building Permit: 2010.04.20.0636 Applicant/Agent: Carl Scheidenhelm Telephone: (415) 585-2440 E-Mail: carl@sf-arc.com

PROJECT DESCRIPTION

The subject property contains a one-story, single-family dwelling that is setback approximately 46.5 feet from the front property line, and a detached garage structure located at the front of the lot. Additionally, the dwelling exists on a grade that is approximately 8 feet lower than street level. The project is to construct a one-story horizontal extension at the front of the dwelling. The project also proposes to demolish and rebuild the detached garage structure at the front of the lot.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 25 feet. The existing single-family dwelling encroaches approximately 19 feet into the required rear yard. Currently, the property provides a court yard of approximately 25 feet in lot depth which satisfies the intent of the rear yard requirement. The project proposes to construct a one-story horizontal extension within this court yard, and therefore requires a rear yard variance; therefore, the project requires a variance from the rear yard requirement.

PER SECTION 140 OF THE PLANNING CODE the subject property is required to have at least one required window of at least one room of at least 120-square-foot that faces directly on an open area that is either a public street at least 25 feet in width or rear yard meeting the requirements of this Code. The proposal builds within a court yard area that currently provides exposure to the existing dwelling unit. Therefore, constructing a horizontal extension within the court yard requires an exposure variance.

PER SECTION 188 OF THE PLANNING CODE a non-complying structure can be altered, providing that there is no new or increased discrepancy at any level between existing conditions on the lot and the required standards of the Planning Code. The subject dwelling constitutes a non-complying structure that encroaches approximately 19 feet into the required rear yard, where approximately 25 feet is required. The subject non-complying dwelling is expanding into a court yard which met the intent of the rear yard requirement; therefore the proposal requires a non-complying structure variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Adrian C. Putra** Telephone: **(415) 575-9079** E-Mail: **adrian.putra@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0587V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 3/01/11, the Department issued the required Section 311/312 notification for this project, which expires on 3/31/11.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

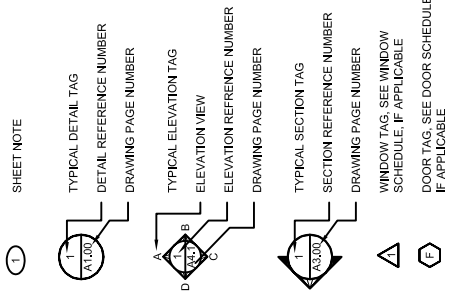
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES (ARCHITECTURAL):

- EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE TO WHICH HE MAY BE DUE BECAUSE OF FAILURE OR NEGLECT ON HIS PART TO MAKE SUCH EXAMINATIONS. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY BY THE CONTRACTOR.
- THE CONTRACTOR SHALL EXAMINE THE EXISTING SUB-STRUCTURE AND IN-GROUND CONDITIONS AND SHALL MAKE HIMSELF AWARE OF ALL IN-GROUND SERVICES AND SUPPLY LINES BEFORE THE COMMENCEMENT OF THE WORK. CONSTRUCTION AND EXCAVATION MUST BE PERFORMED WITH PRECAUTIONS MAKE AGAINST THE DISTURBANCE OF NEIGHBORING SERVICES OR SUPPLY LINES.
- WHEN REFERENCED IN NOTES, ARCHITECT SHALL BE SF-ARCHITECTURE.
- CONTRACTOR SHALL PROVIDE ARCHITECT AND OWNER WITH A COMPLETE, COST BREAKDOWN AND SCHEDULE OF WORK.
- CONTRACTOR SHALL PROTECT PROPERTY AND ADJACENT PROPERTIES AND STRUCTURES AS REQUIRED. NEW DEMOLITION, DUST, WATER, ETC. AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC. AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT, SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH ARCHITECT AND/OR OWNER PRIOR TO COMMENCEMENT OF WORK.
- a. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHORING OR TEMPORARY RETAINING STRUCTURES AS REQUIRED IN THE CAREFUL AND SAFE PERFORMANCE OF WORK. SUCH SUPPORT STRUCTURES SHALL BE CONSTRUCTED SUCH AS TO GUARANTEE THE STRUCTURAL INTEGRITY OF THE BUILDING AND SURROUNDING GROUNDS DURING ANY EXCAVATION AND OR RECONSTRUCTION OF EXISTING RETAINING WALLS OR FOUNDATION.
- ALL ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE UNIFORM BUILDING CODE AND THE LATEST EDITION OF ALL GOVERNING CODES AND REGULATIONS AS ADOPTED BY THE CITY OF SAN FRANCISCO. ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.
- ALL DIMENSIONS ON CONSTRUCTION DRAWINGS ARE TO FACE OF FINISH AS DEFINED BY THE ACCOMPANYING DETAILS AND CLEARANCES BETWEEN CONSTRUCTION SHALL BE CLEAR (FINISH TO FINISH UNLESS NOTED AS FACE OR STUD (F.O.S.) OR FACE OF CONCRETE (F.O.C.) OR TO THE CENTER LINE OF MILLION PARTITION OR MILLION C.C. DIMENSIONS ARE TO TOP OF FINISHED FLOOR IN SECTION ON ELEVATION UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER PRIOR TO THE START OF ANY WORK.
- ANY WORK NOT LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURES REQUIREMENTS, WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC. NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED, AND BE OF A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.
- CONTRACTOR SHALL PROVIDE IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH ITEM SHALL BE FINISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRE, EXCEPT AS NOTED.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS WITH THE LETTER OF THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING IN ANY WAY, FINISHED AREAS IN OR OUTSIDE OF THE JOB SITE.
- THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIAL AND WORKMANSHIP THROUGHOUT.
- CONSTRUCTION ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE PROVINCIAL FIRE MARSHALL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCE. NOTHING ON THESE DRAWING IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. ANY QUESTIONS REGARDING INSTALLATIONS SHALL BE BROUGHT TO THE ARCHITECT IMMEDIATELY BY THE CONTRACTOR.
- THE CONTRACTOR IS CAUTIONED THAT HIS WORK INCLUDES ALTERATIONS TO EXISTING FACILITIES, WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED IN ORDER TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE LIMITS AND SCOPE OF THE WORK BUT WHICH MAY NOT BE SPECIFICALLY INCLUDED OR DESCRIBED IN THE PLANS. SHALL BE PERFORMED BY THE CONTRACTOR AND INCLUDE IN HIS BID.
- THE CONTRACTOR IS ENCOURAGED TO REUSE ALL MATERIALS WHICH ARE IN GOOD CONDITION WHERE FEASIBLE, AND ECONOMICALLY, AND WHERE IN CONFORMANCE WITH CODE REQUIREMENTS, REPLACE THOSE WHICH ARE DAMAGED AND OR NOT IN CONFORMANCE WITH CODE REQUIREMENTS WHERE REUSE IS INDICATED OR IMPLIED.
- THE CONTRACTOR SHALL EMPLOY THE SERVICES OF A DESIGN BUILD CONTRACTOR FOR THE DESIGN AND INSTALLATION OF ALL THE ELECTRICAL SYSTEMS AND PHOTOVOLTAC TECHNOLOGIES THROUGHOUT THE IMPROVEMENT AREA. DRAWINGS IF REQUIRED BY THE BUILDING DEPARTMENT SHALL DEFICT BUT NOT BE LIMITED TO ALL CIRCUITING, SWITCHING, SERVICES, PANELS ETC. AS REQUIRED OF THIS PROJECT. ALL WORK SHALL MEET THE REQUIREMENTS OF STATE AND LOCAL LAWS AND ORDINANCES. NATIONAL AND REGIONAL SPECIFICATIONS AND ANY OTHER REQUIREMENTS SHALL BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE PREPARED BY THE CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR CRITERIA AND SCOPE OF WORK.
- THE CONTRACTOR SHALL EMPLOY THE SERVICES OF A DESIGN BUILD CONTRACTOR FOR THE DESIGN AND INSTALLATION OF ALL MECHANICAL SYSTEMS INCLUDING RADIANT HEATING AND STORM WATER COLLECTION AND DISTRIBUTION SYSTEMS. WORK THROUGHOUT THE RENOVATION AREA. ALL WORK SHALL MEET THE REQUIREMENTS OF STATE AND LOCAL LAWS AND ORDINANCES AND ANY APPLICABLE CODES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK. IT IS NECESSARY, ANY CALCULATION NEEDED TO BE SUBMITTED FOR PERMIT ISSUE SHALL BE PREPARED BY THIS CONTRACTOR. REFER TO MECHANICAL DRAWINGS FOR CRITERIA AND SCOPE OF WORK. ALL DRAWINGS AND CALCULATIONS SHALL BE PREPARED IN CONFORMANCE TO CITY REQUIREMENTS.
- THE CONTRACTOR SHALL COORDINATE THE SERVICES OF THE OWNERS' FORCES FOR THE DESIGN BUILD PORTION OF THE EXCAVATION AND CONSTRUCTION OF SUB GRADE BEAMS AND ANY RELATED GROUND WORK. DRAWINGS AS REQUIRED BY THE CITY OF SAN FRANCISCO SHALL NOT BE LIMITED TO ALL SWITCHINGS, SERVICES, PANELS ETC. AS REQUIRED OF THIS PROJECT. ALL WORK SHALL MEET THE REQUIREMENTS OF STATE AND LOCAL LAWS AND ORDINANCES. NATIONAL AND REGIONAL SPECIFICATIONS AND ANY OTHER REQUIREMENTS SHALL BE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE PREPARED BY THE CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR CRITERIA AND SCOPE OF WORK.
- THE CONTRACTOR SHALL PROTECT ALL EXPOSED SURFACES FROM WEATHERING DURING CONSTRUCTION TO ENSURE THAT BUILDING ENVELOPE INTEGRITY IS MAINTAINED THROUGHOUT THE PERFORMANCE OF THE WORK.
 - ROOFS AND DECKS WHERE IN ANY WAY AFFECTED BY THE WORK SHALL BE PROTECTED FROM WATER IMPREGNATION AND ALL PRECAUTIONS SHALL BE TAKEN TO ENSURE AGAINST WATER INFILTRATION AT THE ROOF DECKS AND DECKS.
 - WINDOW SIZES AND DOOR HEIGHTS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES, WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED ON THE WALL OR PLACED FLUSH WITH ADJACENT WALL AS INDICATED ON THE DRAWINGS.
 - PROVIDE WOOD BACKING FOR ALL TOWEL BARS, AND BLOCKING FOR ANCHORING MISCELLANEOUS STEEL COMPONENTS WHERE NECESSARY, ETC.
 - ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A PERIOD OF TWO YEARS.
 - SHOP-DRAWINGS: ANY WORK THAT IS TO BE CARRIED OUT OUTSIDE THE SCOPE OF THE CONTRACTORS DIRECT SUPERVISION ON SITE SHALL BE PROCEEDED BY A COMPLETE SET OF SHOP DRAWINGS TO BE CARRIED OUT BY THE SUBTRADE RESPONSIBLE FOR THE WORK. THESE SHOW DRAWINGS SHALL BE COORDINATED BY THE CONTRACTOR AND SUBMITTED PROMPTLY TO THE ARCHITECT FOR REVIEW AND APPROVAL. SHOP DRAWINGS ONCE APPROVED SHALL BE CONSIDERED PART OF THE CONTRACTED WORK OF THE PROJECT AND THE PROCESS OF REVIEW SHALL BE REPEATED FOR ALL SUBSEQUENT SHOP DRAWINGS.
 - SAMPLE SUBMISSIONS: ALL MATERIALS AND FINISHES SPECIFIED OR NOTED BY DETAIL REFERENCE IN THESE PLANS SHALL BE SUBMITTED BY THE CONTRACTOR AS A SAMPLE TO THE ARCHITECT FOR APPROVAL OR INSPECTION PRIOR TO ITS INSTALLATION.
- SITE MOCK-UP: ALL SPECIAL ASSEMBLIES AND OR WORK REQUIRING SPECIFIC ON SITE HANDLING OR WORKMANSHIP SHALL BE MOCKED UP AT FULL SCALE ON SITE FOR APPROVAL BY THE ARCHITECT FOR CONFORMANCE TO THE PLANS AND SPECIFICATIONS IN CONSISTENCY WITH THE INTENDED QUALITY AND PROJECT CLOSE-OUT:
 - CONTRACTOR SHALL REVIEW PROJECT WITH ARCHITECT AND OR OWNER TO ENSURE THAT ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS HAVE BEEN FOLLOWED.
 - CONTRACTOR SHALL OBTAIN ALL REQUIRED CERTIFICATES AND NOTICES.
 - ALL WORK PERFORMED SHALL BE CLEAN AND READY FOR USE.
 - ANY CORRECTIONS OR OMISSIONS, OR DEFECTS REQUESTED, COMPILE A PUNCH LIST NOTING UNLESS SPECIFICALLY DETERMINED OTHERWISE BY OWNER.
- ALL MATERIALS FOR USE OF A PROJECT SHALL BE STORED WITHIN THE PROJECT SITE.
- CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTORS BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.
- ALL WORK SHALL BE COMPLETED EITHER DURING BIDDING PHASE OR DURING CONSTRUCTION SHALL BE DIRECTED TO SF-ARCHITECTURE AT 415.585.2440.

GENERAL LEGEND:

(TYPICAL OF ALL ARCHITECTURAL DRAWINGS)



ABBREVIATIONS:

NOTE: PLEASE SEE LEGEND(S) FOR ADDITIONAL ABBREVIATIONS NOT SHOWN HERE.

+	APPROXIMATELY	MAS	MASONRY
@	INTER LINE	M.D.	METAL
Ø	DIAMETER	Ø	Ø
#	POUND / NUMBER	(N)	NEW
BLDG	BUILDING	(N/A)	NOT APPLICABLE
BP	BUILDING PAPER	NEG	NECESSARY
CLKG	CALCULATING	NEG	NEGATIVE
C.D.	CIVIL DRAWINGS	NO	NO CONTRACT
CLR	CLEAR	PARA	PARALLEL
CNR	CORNER	PERM	PERMETER
DBL	DOUBLE	PERP	PERPENDICULAR
DEMO	DEMOLITION	PLY	PLYWOOD
DWG	DRAWING	R	RISER
DG	DECOMPOSED GRANITE	RAD	RADIUS
E	EAST	RELOC	RELOCATED(D)
(E)	EXISTING	REMO	REMOVED
E.D.	ELEVATION	REQD	REQUIRED
ENT	ENTRANCE	S	SCHEDULE
EQ	EQUIPMENT	S.C.D.	SEE CIVIL DRAWINGS
EQUIP	EQUIPMENT	S.E.D.	SEE ELECTRICAL DRAWINGS
FE	FIRE EXTINGUISHER	S.M.D.	SEE MECHANICAL DRAWINGS
F.F.	FIRE FLOOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FH	FIRE HOSE	SOL	SINGLE
FDTN	FOUNDATION	SHT	SHEET
FKT	FEATURE	SP	SPACE(S) / STANDPIPE
FV	FIELD VERIFY	SPRKL	SPRINKLER
GA	GAUGE	STD	STANDARD
GAL	GALVANIZED	STD	STRUCTURAL DRAWINGS
GI	GLASS	S.D.	SURFACE
GL	GROUND	SWR	SEWER
GRD	GRADE	SYM	SYMBOL / SYMMETRICAL
GRD BM	GRADE BEAM	T.O.F.F.	TOP OF FINISH(ED) FLOOR
GRVL	GRAVEL	T/STD	TREAD
GUT	GUTTER	T&B	TOP AND BOTTOM
H	HIGH	VERT	VERTICAL
INT	INTERIOR / INTERSECTION	WI	WITH
JNT	JOINT	WO	WITHOUT
JST	JOIST	WT	WEIGHT
LB	POUND		
LF	LINEAR FEET		
LFG	LIGHTING		
LVL	LEVEL		

PROJECT INFORMATION

Site Address: 185 Chilton St.
Block: 6758 Lot: 015
Height: 40x
Lot Size: 2500 sq. ft.
Zoning: RH-1
Year Built: 1915
Construction Type: VB
Current Use: Residential
Proposed Use: Residential
CHANGE OF FLOOR AREA
NO CHANGE OF USE
NO CHANGE IN PARKING.

PROJECT DESCRIPTION

This project will remodel an existing single level residence to include the following: rebuild and slightly enlarge existing garage. Single level front yard addition composed of (n) roof deck over (n) master bedroom & (n) master bath, (n) electrical & (n) plumbing as required.

CODES

2007 CBC with San Francisco amendments
2007 Title 24 CBC (for accessibility and energy requirements)
2007 California Plumbing Code
2007 California Electric Code
2007 California Mechanical Code

SHEET INDEX

A0.0 PROJECT INFORMATION & SITE PLAN
A1.0 EXISTING AND PROPOSED FLOOR PLANS
A2.0 EXISTING AND PROPOED ELEVATIONS
A3.0 PROPOSED SITE SECTIONS

PROJECT TEAM

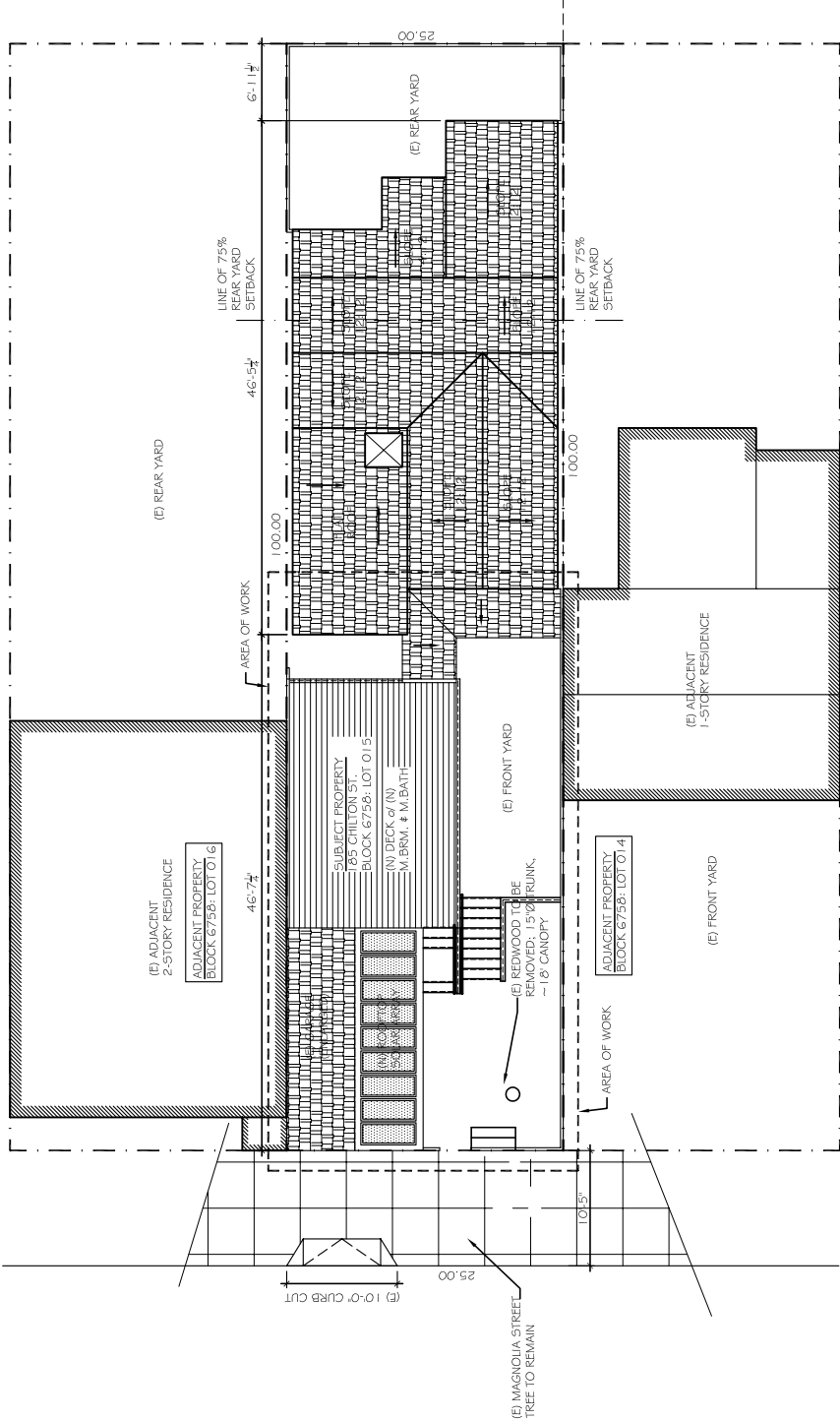
ARCHITECT
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732a Chenery St
San Francisco, CA 94131
415.585.2440
STRUCTURAL ENGINEER
SEMCO Engineering
360 Langton St.
San Francisco, CA 94103
415.553.8810
BUILDING OWNER
Paul Riley & Maureen McKenna
185 Chilton St.
San Francisco, CA 94131

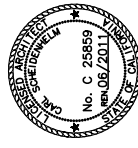
RILEY/McKENNA RESIDENCE REMODEL
185 CHILTON ST. SAN FRANCISCO, CA

Revisions
Date: -
Mark: -
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Date: -
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Issue Date:
16 APRIL 2010
Sheet #:

PROPOSED SITE PLAN
1/8" = 1'-0"





EXISTING AND PROPOSED
ELEVATIONS

RILEY/McKENNA RESIDENCE REMODEL
185 CHILTON ST. SAN FRANCISCO, CA

Revisions	
Date:	-
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