



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 22, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	4020 Folsom Street	Case No.:	2010.0560V
Cross Street(s):	Tompkins & Ogden Aves	Building Permit:	
Block /Lot No.:	5726 / 004	Applicant/Agent:	Brent McDonald
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 362-7441
Area Plan:	Bernal Heights SUD		
PROJECT DESCRIPTION			
<p>The proposal is to legalize the existing rear deck that extends 8 feet into the rear yard, leaving a rear yard of 10 feet. The project also includes the addition of 12 foot tall firewalls along the north and south side property lines the extension of the deck by 3 feet to the south side property line, and the replacement of the existing staircase with a spiral staircase.</p> <p>PER SECTION 242 OF THE PLANNING CODE the subject property is required to maintain a rear yard of 35 percent of lot depth for lots 70 feet or less in a Bernal Heights RH-1 District. In this case, 35 percent of lot depth would be 24.5 feet. However, this Code Section also establishes that any part of the front setback exceeding 5 feet may be applied to the amount required for satisfying the rear yard requirements provided that no part of any building be constructed within 25 percent or 15 feet (whichever is greater) of the rear property line. The front yard setback is 19.5 feet, allowing 14.5 feet to be applied to the rear yard. Therefore, the required rear yard is approximately 18.5 feet (25 percent of lot depth). The existing building already intrudes into the required rear yard, leaving a rear yard of 18 feet. The rebuilt rear deck and required firewalls extend into the required rear yard by an additional 8 feet, leaving a rear yard of 10 feet. Therefore, this project requires a rear yard variance.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0560V.pdf</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Erika S. Jackson Telephone: (415) 558-6363 E-Mail: erika.jackson@sfgov.org</p>			

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

ONDA ROSA

Architecture
Engineering
Interior Design

129 JASPER PLACE
SAN FRANCISCO, CA
94133
415-352-7441
ONDA@ONDAOSBOUL.NET

SCHWARTZ DECK

4020 FOLSOM STREET
SAN FRANCISCO
CA, 94110

BLK 5726 LOT 004

DRAWING INDEX

ARCHITECTURAL
A-1 COVER SHEET, VICINITY MAP, SITE PLAN
A-2 FLOOR PLANS AND SECTIONS
A-3 EXTERIOR ELEVATIONS, DTLS

JURISDICTIONAL ENTITIES

CITY AND COUNTY OF SAN FRANCISCO
1660 KIXSON STREET
SAN FRANCISCO, CA 94103-2444
DEPT. OF BUILDING INSPECTION 415-358-6088
PLANNING / ZONING 415-358-4378
PLUMBING INSPECTOR 415-358-6054
ELECTRICAL INSPECTOR 415-358-6030

CONTACT NAME

ARCHITECT:
BRENT McDONALD
129 JASPER PLACE
SF CA 94133
PHONE/FAX(415) 352-7441
E-MAIL: ONDA@OSBOUL.NET

OWNER:
MR & MRS. BILL & KRISTEN SCHWARTZ
4020 FOLSOM STREET
SF, CA 94110
PHONE: KRISTEN (CALL 710-5113)
E-MAIL: KSCHWARTZ@SF.COM & BILLY@OSBOUL.NET

AREA SUMMARY

SITE AREA 1,750 SQ. FT.
FIRST STORY 725 SQ. FT.
SECOND STORY 603 SQ. FT.
TOTAL BLDG. SQ. FT. 1,328 SQ. FT.
PREPARED BY DEC/04

NOTE: SQUARE FOOTAGES ARE PROVIDED FOR PERMITTING PURPOSES ONLY. ALL OTHER USES SHOULD VERIFY IN FIELD PRIOR TO RELYING ON THE GIVEN SQUARE FOOTAGES.

APPLICABLE CODES
1. BUILDING CODE - 2007 CALIFORNIA BUILDING CODE V/ SAN FRANCISCO AMENDMENTS
2. ELECTRICAL CODE - 2007 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS
3. MECHANICAL CODE - 2007 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
4. PLUMBING CODE - 2007 CALIFORNIA PLUMBING CODE V/ SAN FRANCISCO AMENDMENTS
5. ENERGY CODE - 2007 CALIFORNIA ENERGY CODE, CALIFORNIA TITLE 24, PART 6, CLIMATE ZONE 3, WITH NO LOCAL AMENDMENTS

1) THE GENERAL CONTRACTOR SHALL VERIFY THAT SMOKE DETECTORS COMPLY WITH CBC SECTION 310.8.1
2) THE PLACEMENT OF ANY SMOKE DETECTOR ON A CEILING SHALL BE OFF A WALL 6" MIN. DETECTORS SHALL BE LOCATED IN EACH BEDROOM, IN CORRIDORS OR AREAS GIVING ACCESS TO SLEEPING ROOMS, ON EACH SLEEPING FLOOR, IN EACH BATH, IN EACH KITCHEN, IN EACH BREAKFAST ROOM, IN EACH DINING ROOM, IN EACH LIVING ROOM, IN EACH PORCH, AND IN EACH GARAGE. DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS OF THE UNIT.
3) THESE DRAWINGS ARE INTENDED FOR BUILDING PERMIT ONLY. MECHANICAL, AND ELECTRICAL PERMITS AND DRAWINGS ARE BY OTHERS.

GENERAL NOTES:

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DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

Exhibit No. 1
(Required Form)
SPECIAL INSPECTION AND STRUCTURAL
OBSERVATION

SPECIAL INSPECTION REQUIREMENTS

Please note the Special Inspections shown on the approved plans and detailed on the special inspection form issued with the permit are required for this project. The completion of special inspections is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.
These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of special inspection shall be furnished to district building inspector prior to start of work for which special inspection is required.
For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6133. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6096.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Plan Review Services. To avoid delays in this process, the project owner should request final compliance reports from the engineer or engineer of record and/or special inspection agency soon after the completion of work requiring special inspection. The permit will not be finalized without compliance with the special inspection requirements.

Structural Observation Requirements
Structural observation shall be provided as required per Section 1709. The building permit will not be finalized without the completion of the structural observation requirements.

SUBJECT PROPERTY



SCOPE OF WORK UNDER THIS PERMIT

FILE PERMIT TO LEGALIZE (E) DECK CONSTRUCTED W/O/UT PERMIT IN RESPONSE TO COMPLAINT #201061567. DECK WILL REQUIRE A VARIANCE AND EXTEND 8'2" FROM THE EXTERIOR WEST BUILDING FACE AND BE 24'-10" IN WIDTH, (NORTH, SOUTH)

CONTACT THE DISTRICT BUILDING INSPECTOR AT THE START OF WORK AT 558-6096, FOR PLUMBING INSPECTION SCHEDULING CALL AT 558-6054. THIS APPLICATION IS APPROVED WITH THE UNDERSTANDING THAT THE DISTRICT BUILDING INSPECTION, DETAILED PLUMBING OR ELECTRICAL PLAN REVIEW AND DOES NOT CONSTITUTE AN APPROVAL OF THE BUILDING. WORK AUTHORIZED MUST BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES. ANY PLUMBING WORK SHALL REQUIRE APPROPRIATE SEPARATE PERMITS.

PAINT DISTURBING WORK

YOUR PROJECT MAY INVOLVE DISTURBING/REMOVING PAINT ON:
a) THE EXTERIOR OF A PRE-1979 BUILDING.
b) THE INTERIOR OF A RESIDENTIAL, PRE-1979 BUILDING.
c) THE INTERIOR OF A COMMERCIAL, PRE-1979 BUILDING.
d) THE INTERIOR OF A RESIDENTIAL, PRE-1979 BUILDING.
e) THE INTERIOR OF A COMMERCIAL, PRE-1979 BUILDING.
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x) THE INTERIOR OF A RESIDENTIAL, PRE-1979 BUILDING.
y) THE INTERIOR OF A COMMERCIAL, PRE-1979 BUILDING.
z) THE INTERIOR OF A RESIDENTIAL, PRE-1979 BUILDING.

CODE SUMMARY

ALL HARDWARE SHALL BE PROTECTED FROM THE CORROSIVE EFFECTS OF WOOD PRESERVATIVES. PLACE CONSTRUCTION PAPER BETWEEN HANGERS OR PLATE STEEL AND TREATED WOOD. IN GENERAL, HOT DIPPED GALVANIZED OR STAINLESS STEEL FASTENERS ARE RECOMMENDED FOR USE WITH TREATED WOOD. ALUMINUM IS NOT RECOMMENDED. ELECTROPLATED GALVANIZED FASTENERS ARE ALSO NOT RECOMMENDED. IF HOT DIPPED GALVANIZED FASTENERS AND CONNECTORS ARE TO BE USED, CURRENT RECOMMENDATIONS ARE THAT HEAVIER THAN BEFORE GALVANIZATION IS REQUIRED FOR FASTENERS AND CONNECTORS IN CONTACT WITH THE NEW TREATMENTS. G80 GALVANIZED FASTENERS AND CONNECTORS ARE USED WITH THE G80 GALVANIZED WOOD. FOR ADO STANDARD, HOT-DIPPED GALVANIZED CONNECTORS TO BE USED WITH ADO OR CA TREATED WOOD SHOULD HAVE A G185 DESIGNATION AS PER ASTM A863.

WOOD TREATED WITH AMMONIUM COPPER QUAT (ACQ), COPPER AZOLTE (CA) AND AMMONIUM COPPER ZINC ASBESTATE (ACZA) IS NOT SUITABLE FOR USE WITH STAINLESS STEEL OR HOT DIPPED GALVANIZED FASTENERS. USE THE CORPUS STEEL FASTENERS. GALVANIZED FASTENERS BORATE-TREATED LUMBER IS NOT ALLOWED FOR EXTERIOR USES.

Exhibit No. 1 (continued)
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS: 4020 FOLSOM ST. SF CA 94110 APPLICATION NO. ADDRESS NO.

OWNER NAME: MS. CYRINA TORREY SIMONS OWNER PHONE NO. 415-384-5724

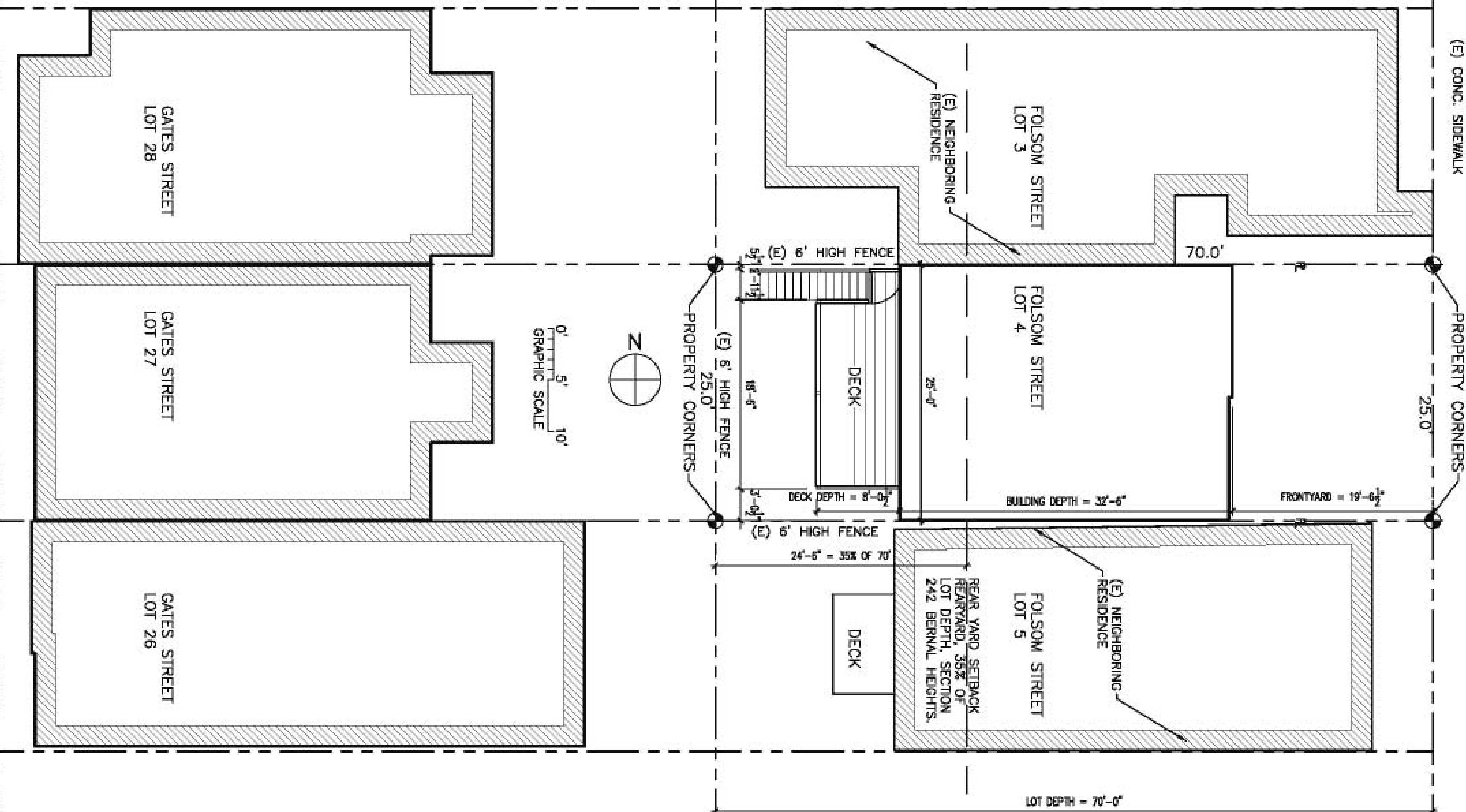
Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspection shall be one of those as prescribed in Sec. 1704. Name of special inspection shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1709. A documentation compliance is recommended for owner/builder or design/builder projects, complete and bid/price projects, and for projects utilizing new processes or materials.

In accordance with Sec. 1704, 1707, 1708 (2007 SBPC), Special Inspection and/or testing is required for the following work:

- | | | |
|--|--|--|
| 1. <input type="checkbox"/> Concrete (Placement & sampling) | 6. <input type="checkbox"/> High-strength bolting | 18. <input type="checkbox"/> Bolts installed in existing concrete or masonry |
| 2. <input type="checkbox"/> Tools standard to concrete | 7. <input type="checkbox"/> Structural masonry | |
| 3. <input type="checkbox"/> Special concrete | 8. <input type="checkbox"/> Mortar concrete | |
| 4. <input type="checkbox"/> Reinforcing steel and precast/prestressing sections 10. | 9. <input type="checkbox"/> Structural steel | |
| 5. <input type="checkbox"/> Reinforcing steel and precast/prestressing sections 10. | 10. <input type="checkbox"/> Structural steel | |
| 6. <input type="checkbox"/> Reinforcing steel and precast/prestressing sections 10. | 11. <input type="checkbox"/> Piling, drilled piers and cast-in-place | |
| 7. <input type="checkbox"/> Reinforcing steel and precast/prestressing sections 10. | 12. <input type="checkbox"/> Structures | |
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| 93. <input type="checkbox"/> Reinforcing steel and precast/prestressing sections 10. | 98. <input type="checkbox"/> Foundations | |
| 94. <input type="checkbox"/> Reinforcing steel and precast/prestressing sections 10. | 99. <input type="checkbox"/> Foundations | |
| 95. <input type="checkbox"/> Reinforcing steel and precast/prestressing sections 10. | 100. <input type="checkbox"/> Foundations | |

2 SITE PLAN

SCALE: 1/8"=1'-0"



GATES STREET

A - 1

COVERSHEET
SITE PLAN

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Drawn by: [Name]
Scale: AS NOTED
Project Number: 2010.06
Date: 10/1/2008

Date: 10/1/2008

Date: 10/1/2008

Date: 10/1/2008

Date: 10/1/2008

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Date: 10/1/2008

SCHWARTZ DECK

4020 FOLSOM STREET
SAN FRANCISCO
CA, 94110

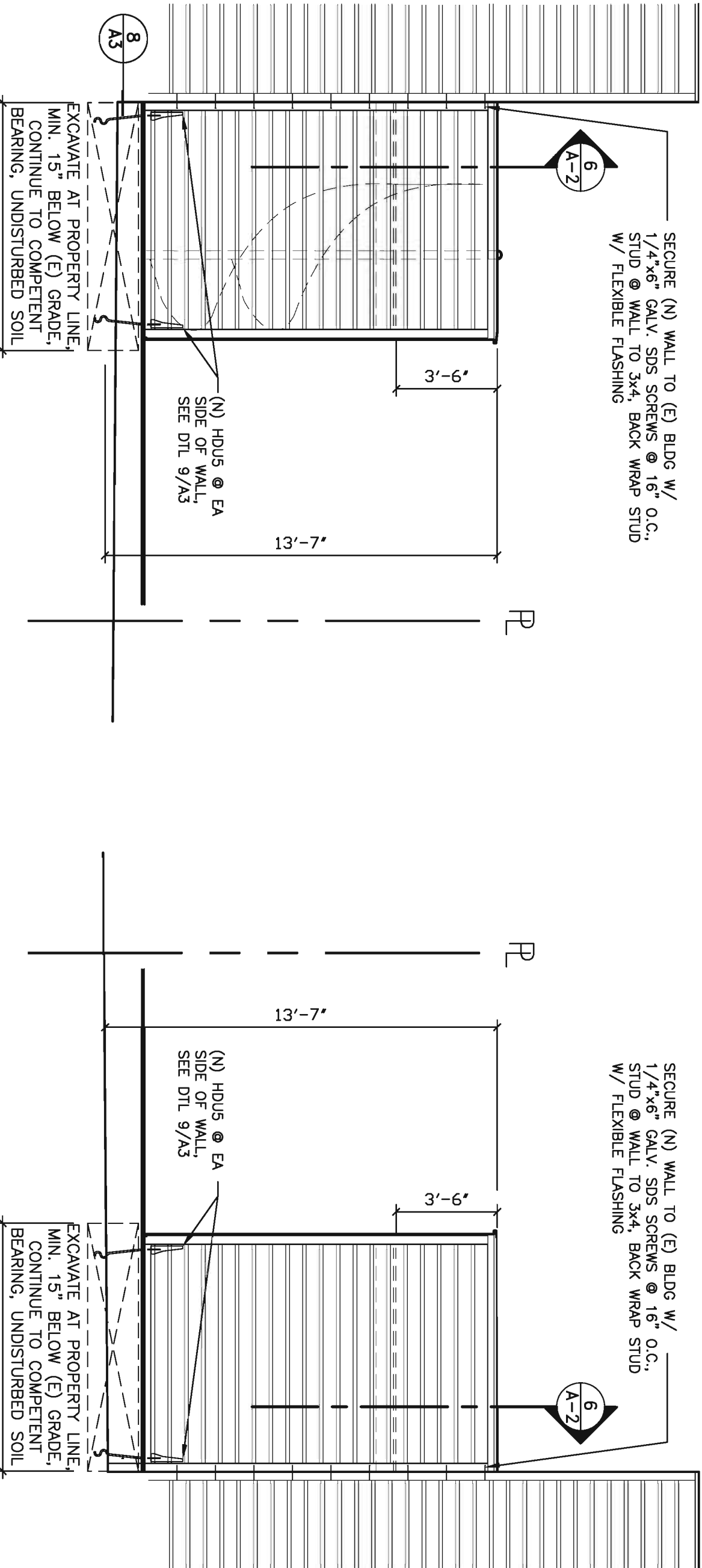
BLK 5726 LOT 004

NO	Date	Revision/Issue
Project Number	2010.06	Scale AS NOTED
Drawn by	BNW	

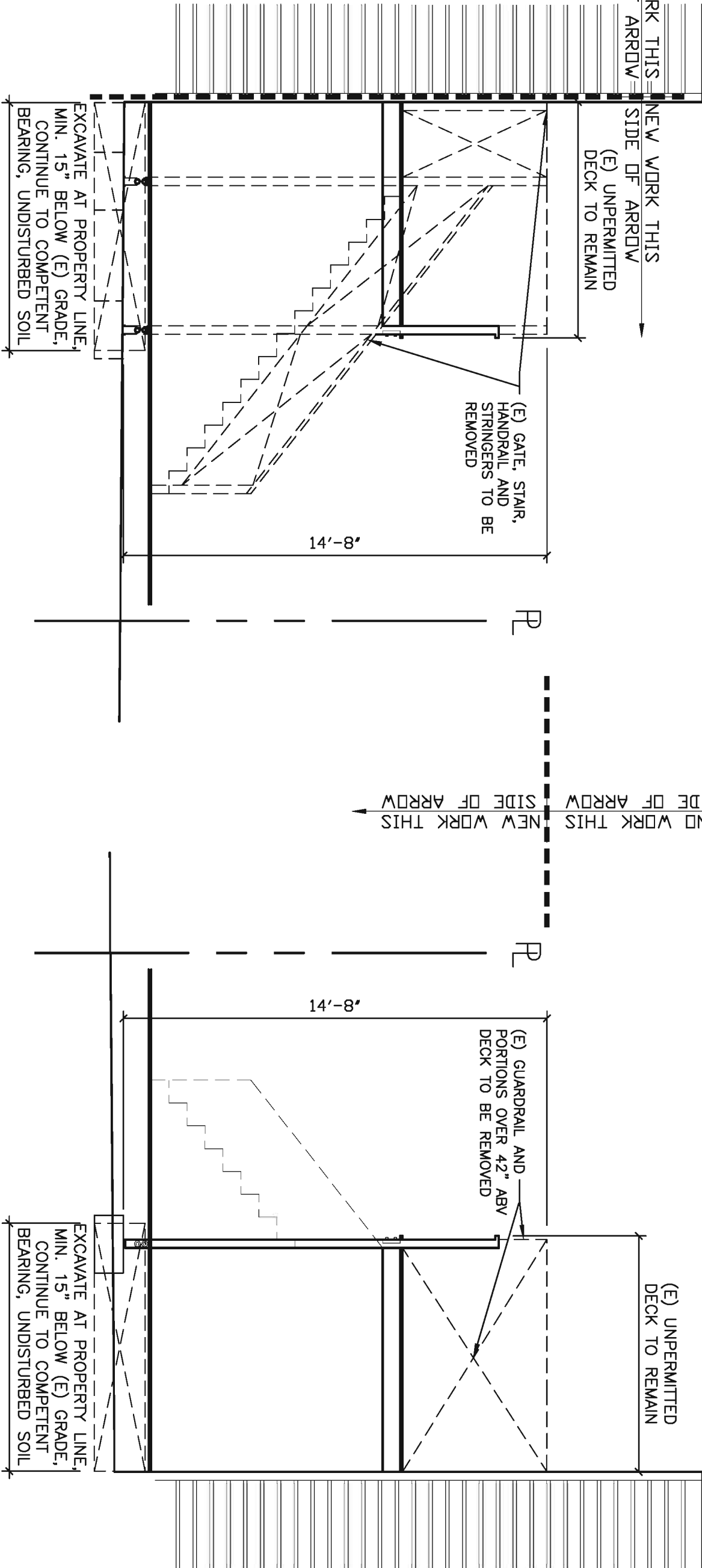
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EXTERIOR
ELEVATIONS
& DETAILS

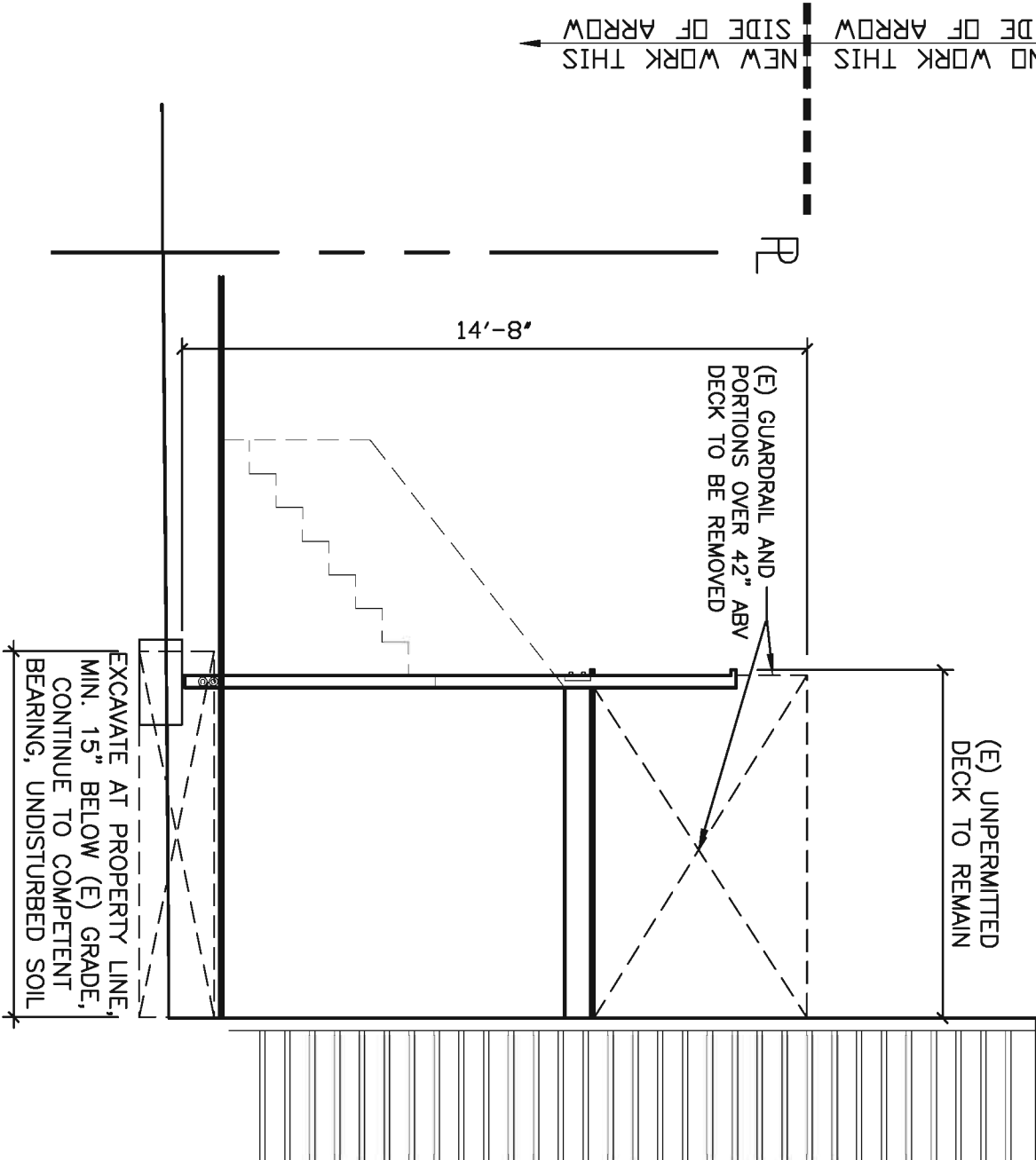
A - 3



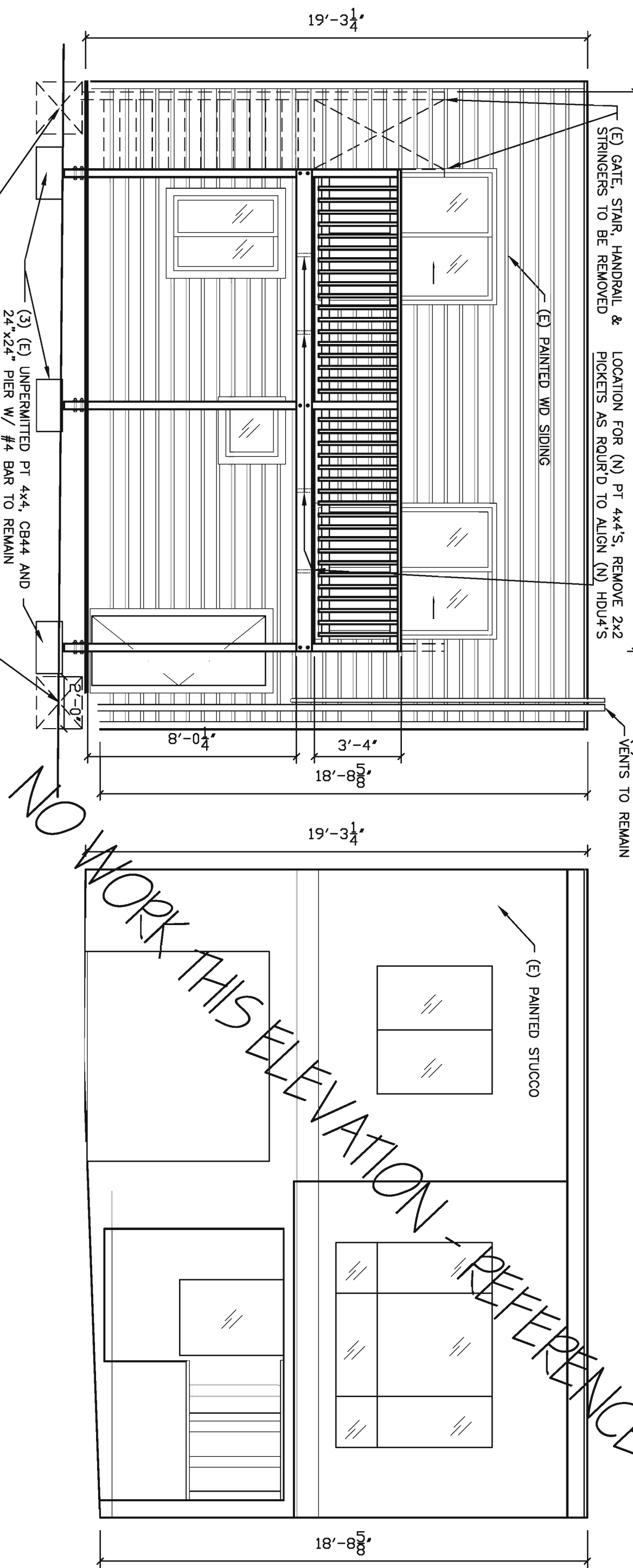
6 (N) NORTH ELEVATION
SCALE: 1/4" = 1'-0"



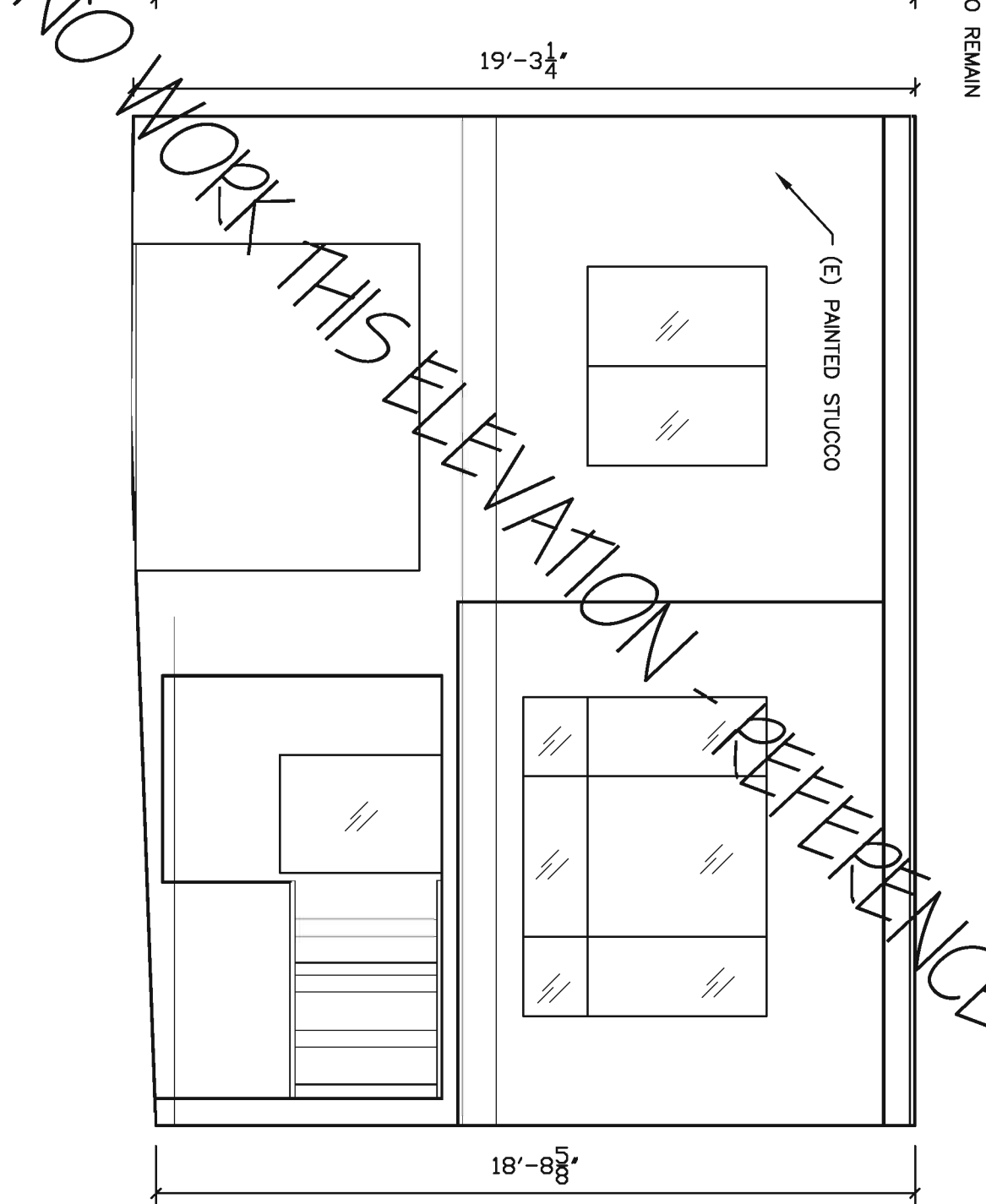
4 (E) NORTH ELEVATION
SCALE: 1/4" = 1'-0"



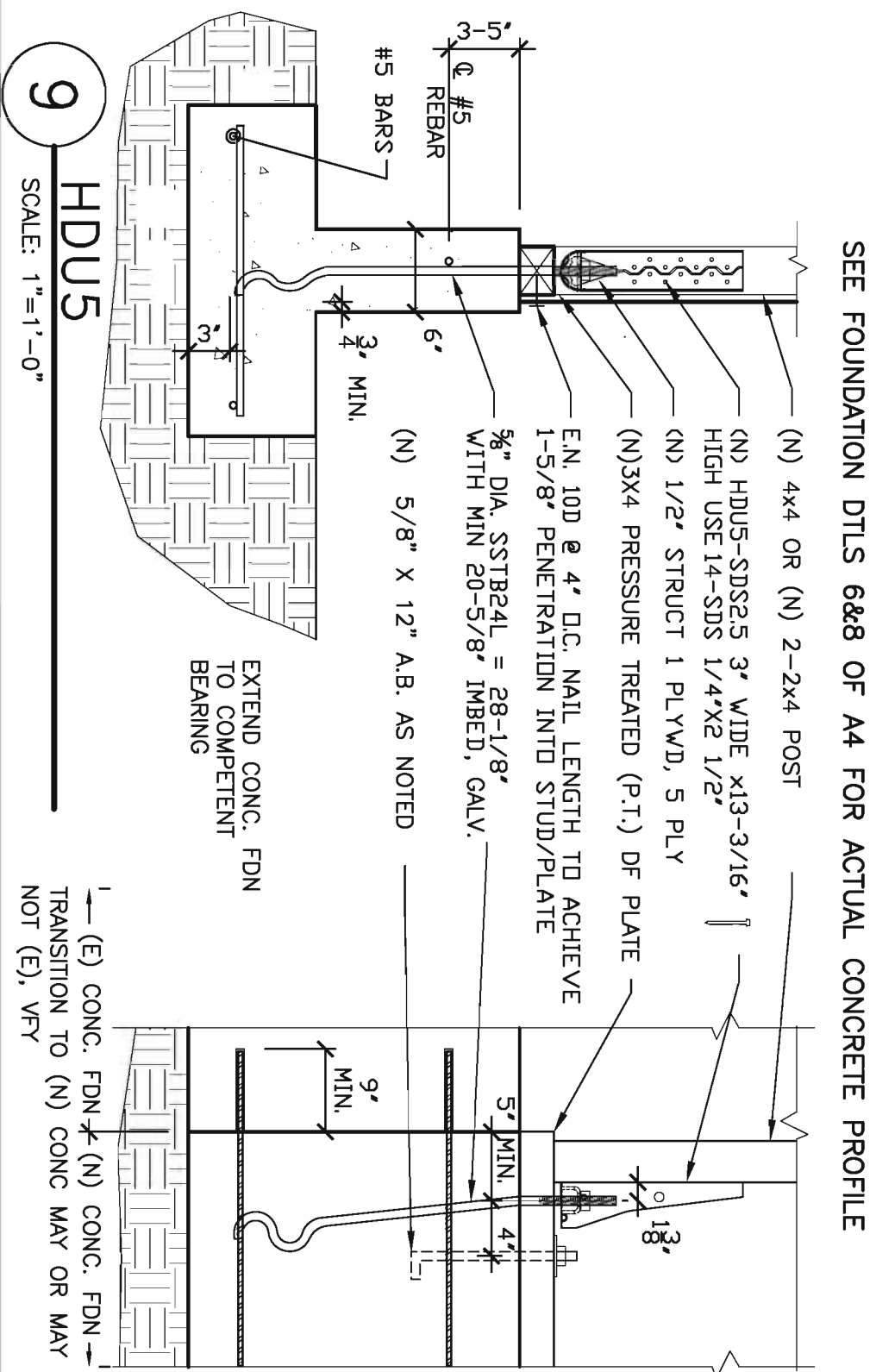
3 (E) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



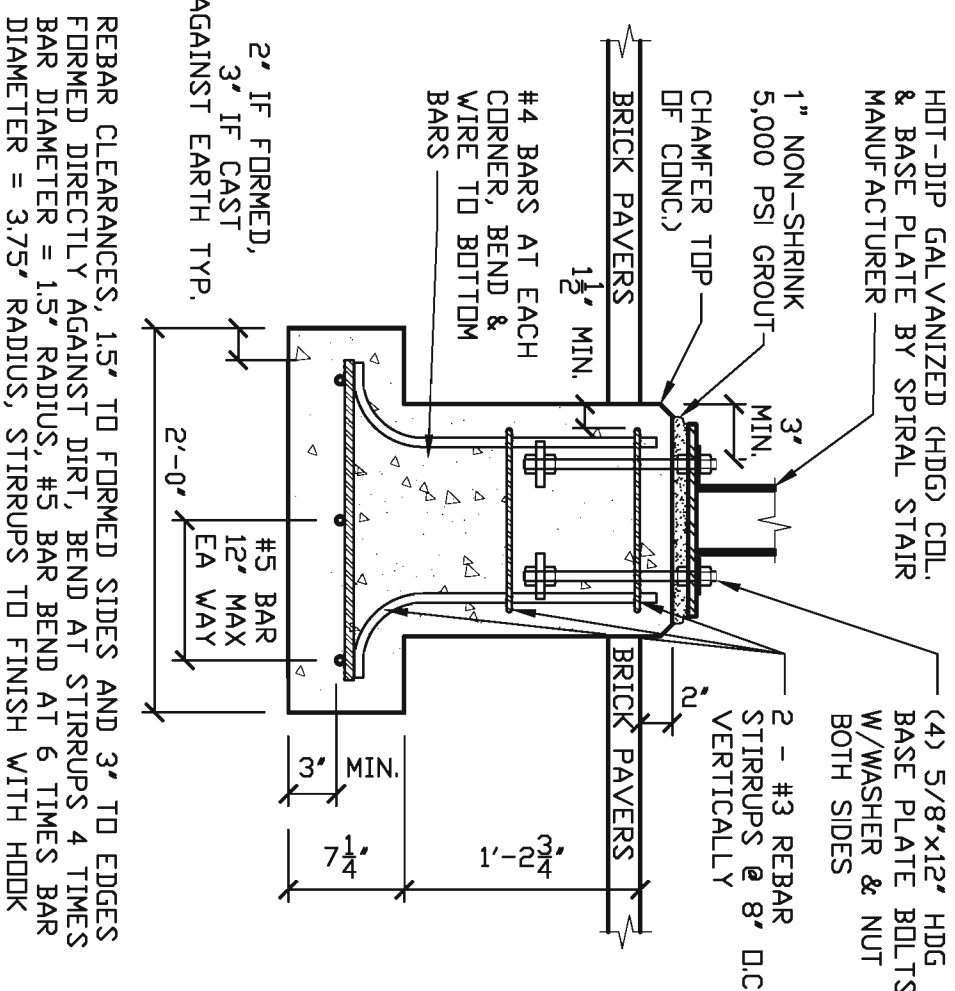
2 (E) WEST ELEVATION
SCALE: 1/4" = 1'-0"



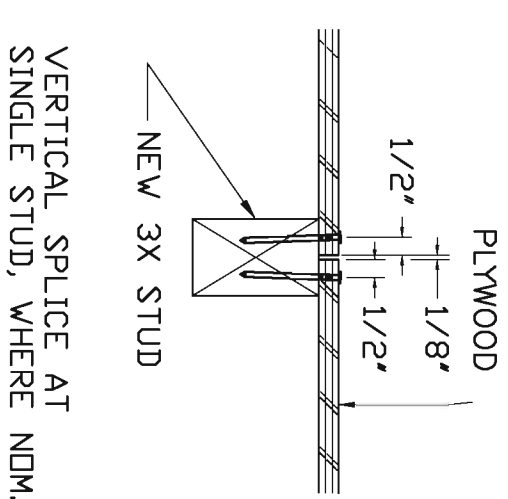
1 (E) EAST ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



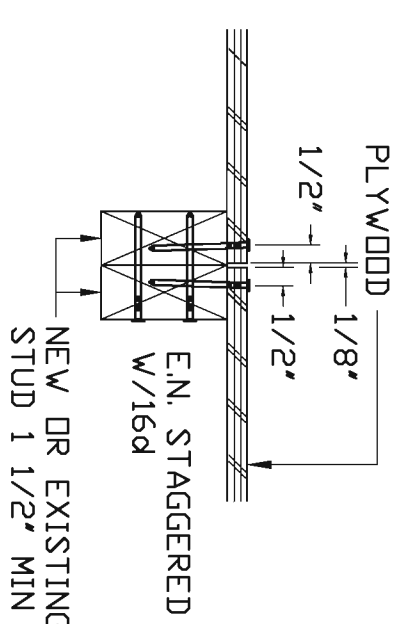
9 HDU5
SCALE: 1" = 1'-0"



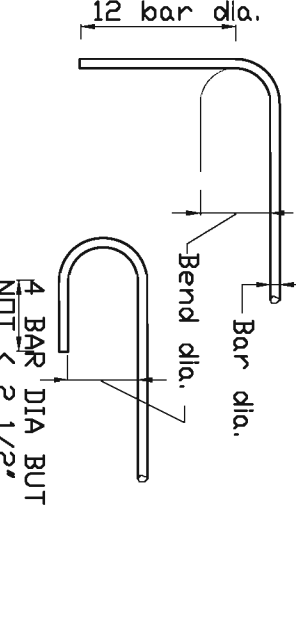
12 SPIRAL STAIR BASE & FDN.
SCALE: 1" = 1'-0"



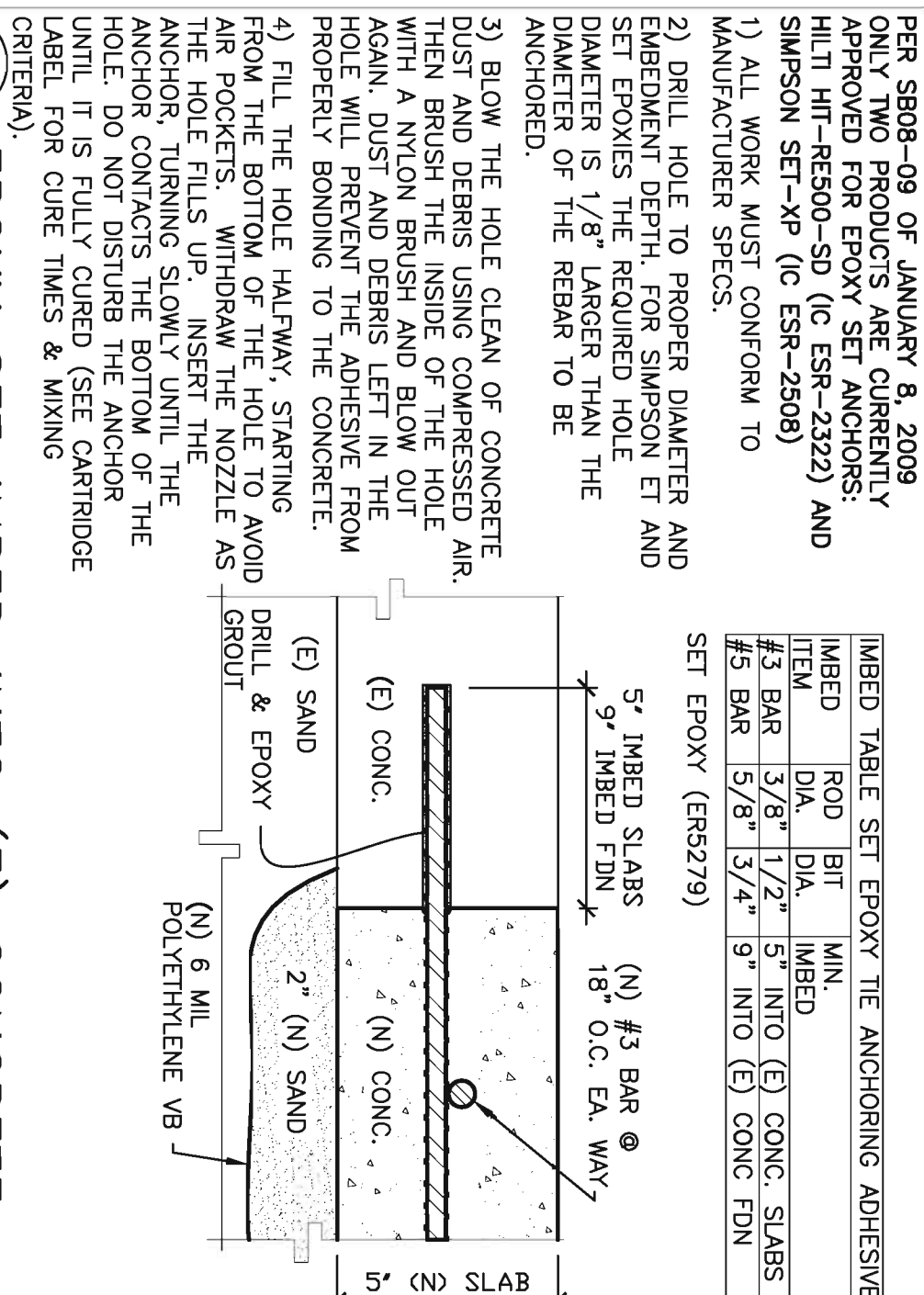
11 PANEL EDGE NAILING
SCALE: NO SCALE



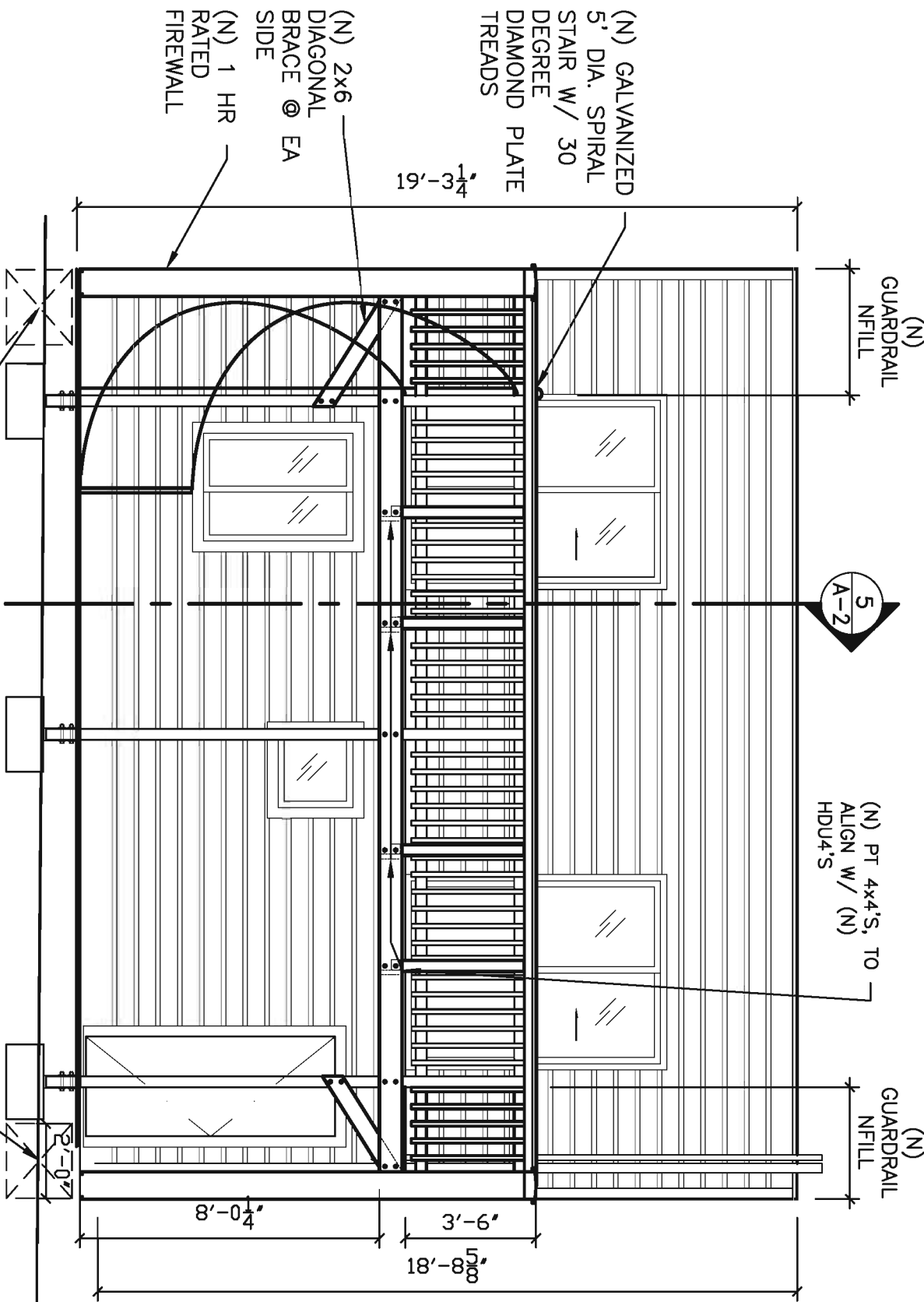
10 TYP. REINFORCEMENT HOO
SCALE: NO SCALE



7 (N) WEST ELEVATION
SCALE: 1/4" = 1'-0"



8 EPOXY SET IMBED INTO (E) CONCRETE
SCALE: 3" = 1'-0"



7 (N) WEST ELEVATION
SCALE: 1/4" = 1'-0"