MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

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NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, July 28, 2010

Time: **Beginning at 9:30 AM**

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408
Case Type: Variance (Rear Yard and Non-Complying Structure)

Hearing Body: Zoning Administrator

PROPERTY INFORMATION		APPLICATION INFORMATION	
Cross Street(s): B: Block /Lot No(s).: 09 Zoning District(s): R	766 Green Street Baker & Broderick Sts. 950 / 059 RH-2 / 40-X lot Applicable	Case No.: Building Permit: Applicant/Agent: Telephone: E-Mail: www.	2010.0498V 2010.03.19.8622 Douglas Thornley (415) 503-1411 ext 1112 douglas.thornley@gouldevans.com

PROJECT DESCRIPTION

The proposal is to add a new first/ground level deck, a new second level balcony and in-fill below a second level bay window at the rear of the 4-story, 3-unit building. The existing exterior rear stairs at the first level will remain.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of approximately 62 feet. The existing building already extends approximately 4 feet into the required rear yard; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

PER SECTION 188 OF THE PLANNING CODE, the expansion, intensification or change in use of a non-complying structure is prohibited. Because the existing building already encroaches into the required rear yard, it is considered a legal, non-complying structure. The proposed new rear additions would be contrary to Section 188.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Mary Woods Telephone: (415) 558-6315 E-Mail: mary.woods@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0498V.pdf

中文詢問請電: 415.558.5956

Para información en Español llamar al: 415.558.5952

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

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Para información en Español llamar al: 415.558.5952

ARCHITECT

WARE RESIDENCE: PROPOSED BAY, DECK AND BALCONY ADDITIONS

95 brady street san francisco, CA 94103 tel: 415.503.1411 fax: 415.503.1471 www.gebtarchitects.com

CONSULTANTS

WARE RESIDENCE 2766 GREEN STREET 1 FRANCISCO, CA 941

PROJECT DIRECTORY

JOHN AND MARGARET WARE 2766 GREEN STREET SAN FRANCISCO, CA 94123

GOULD EVANS BAUM THORNLEY ARCHITECTS LLP 95 BRADY STREET SAN FRANCISCO, CA 94103-1241 T: (415) 503-1411 / F: (415) 503-1471

DOUGLAS THORNLEY / DOUGLAS.THORNLEY@GOULDEVANS.COM

DRAWING INDEX

ARCHITECTURAL: A 0.1 TITLE SHEET

A 1.0 EXISTING SITE PLAN AND REAR ELEVATION

A 1.1 SITE PLAN AND PHOTOS

A 2.1 FLOOR PLANS A 3.1 BUILDING ELEVATION AND SITE SECTION

Lombard S. **PROJECT** LOCATION Union St

PROJECT DATA

CONSTRUCTION OF NEW 39 S.F. GROUND LEVEL BAY ADDITION BELOW EXISTING BAY, NEW

EXTERIOR GROUND LEVEL DECK AND NEW BALCONY AT SECOND LEVEL

2007 CALIFORNIA BUILDING CODE WITH SAN FRANCISCO AMENDMENTS

2007 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS

2007 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS

2007 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS

PROJECT SCOPE:

2766 GREEN STREET

BLOCK / LOT:

0950 / 059

SAN FRANCISCO, CA 94123

APPLICABLE MODEL CODES:

2007 CALIFORNIA ENERGY CODE

OCCUPANY TYPE:

CONSTRUCTION TYPE:

ZONING:

LOT AREA:

4,125 S.F.

5,160 S.F.

39 S.F.

BUILDING AREA

PROPOSED AREA OF BAY ADDITION

VICINITY MAP

SHEET DATA JUNE 24, 2010 JOB NO.: 1109-0170

TITLE SHEET

ABBREVIATIONS

ARCH.

BLDG.

BSMT.

CLKG.

CONTR.

DR. DWG. DWR.

EQUIP.

BUILT UP ROOFING

CAPACITY

CEMENT

CHANNEL

CEILING

CLEAR

COLUMN

CONCRETE

CORRIDOR

CERAMIC TILE

DEPARTMENT

DETAIL

DIVISION

DOWN

DOOR DRAWING

DRAWER

EXPANSION BOLT

EXPANSION JOINT

ELEVATION

ELECTRICAL

EMERGENCY

ENCLOSURE

EQUIPMENT

EXPOSED

EXTERIOR

EXTRUDED

EXCAVATE (ED

ELECTRICAL PANELBOARD

ELEVATOR

COUNTERSINK, (SUNK)

CAULKING

CERAMIC

CONTROL JOINT

CONCRETE MASONRY UNIT

CATCH BASIN

FABRICATE FLAT BAR CENTERLINE FURRED CEILING DIAMETER OR ROUND FLOOR DRAIN POUND OR NUMBER FOUNDATION PENNY FIRE EXTINGUISHER EXISTING FIRE EXTINGUISHER CABINET FINISH FLOOR ANCHOR BOLT FIRE HYDRANT FIRE HOSE CABINET ACCESS ACCS. FLAT HEAD SCREW ACOUS. ACOUSTIC ACOUSTICAL TILE FLASHING AREA DRAIN FLEX. FLEXIBLE **ADHESIVE** FL00R FLR. ADJUST, ADJUSTABLE FLUOR. FLUORESCENT F.O.C. FACE OF CONCRETE AGGR. AGGREGATE F.O.F. FACE OF FINISH aluminum F.O.S. FACE OF STUD ALTERNATE F.O.W. FACE OF WALL ACCESS PANEL FIREPROOF APPR0VED

FULL SIZE APPROX**I**MATE FEET, FOOT ARCHITECTURAL FTG. FOOTING FURR. FURRING Barrier BATTERED BOARD GALLON BITUMINUS GALVAN**I**ZED BUILDING GRAB BAR BLOCK, BLOCKING GEN. GENERAL BENCH MARK GLASS BOTTOM GROUND BASEMENT

GRADE G.S.M. GALVANIZED SHEET METAL G.W.B. GYPSUM WALL BOARD GYPSUM HEIGHT (DIM) HOSE BIB HOLLOW CORE HDWD. HARDWOOD HDWE. HARDWARE HEIGHT HOLLOW METAL HOR. HOR**I**ZONTAL H.P. HIGH POINT **HOUR** HEIGHT INSIDE DIAMETER INCH INFORMATION INSULATION INTERIOR

POUNDS PER SQ. INCH POINT PAPER TOWEL DISPENSER JOIST JOINT Q.T. QTR. QUARRY TILE QUARTER KNOCK OUT KITCHEN KICK PLATE LENGTH (DIM) LAMINATE, LAMINATED LAVATORY POUNDS LINEAR LIGHT

RADIUS RETURN AIR GRILLE RUBBER BASE REFRIGERATOR REFRIGERATOR REGISTER REQUIRED RESILIENT RETURN REVISED; REVISION ROOFING REGISTER

MACHINE BOLT

MECHANICAL

MEMBRANE

MANHOLE

MINIMUM

MOULDING

MOUNTED

MULLION

METAL

NEW

NORTH

NEGATIVE

NUMBER

NOT TO SCALE

ON CENTER

OPENING

OPPOSITE

OVERHEAD

PARTITION

PANIC BAR

PERFORATED

PERPENDICULAR

PROPERTY LINE

PAINT/PAINTED

POLISH; POLISHED

PREFABRICATE(D)

PROJECT; PROJECTION

PRELIMINARY

PROPERTY

PLYW00D

PRECAST

OUNCE

OUTSIDE DIAMETER

OVERFLOW DRAIN

OVERFLOW SCUPPER

NUMBER

NOT IN CONTRACT

MIRROR

MTD.

MTL.

NEG.

OPNG.

MANUFACTURER

MISCELLANEOUS

MACHINE SCREW

MEDICINE CABINET

SEE ARCH. DWGS.

SEAT COVER DISP.

SEE ELEC. DWGS.

SOAP DISPENSER

SECTION

SHOWER

SHEET

SLOPE

SHEATHING

SEISMIC JOINT

SEE LANDSCAPE DWGS SEE MECHANICAL DWGS.

SEE PLUMBING DWGS.

SLAB ON GRADE

SPECIFICATIONS

SERVICE SINK

STANDARD

STORAGE

STRUCTURAL

SUBSTITUTE

SYMMETRICAL

SYSTEM

TOWEL BAR

TELEPHONE

THICK

TOILET

TOPPING

TELEVISION

UNFINSHED

VINYL BASE

VERTICAL

VESTIBULE

VOLUME

VINYL SHEET

WATER CLOSET

WASHER/DRYER

WIRE GLASS

WATER HEATER

WHITE BOARD

WALL MOUNT

WHERE OCCURS

WELDED WIRE FABRIC

WELDED WIRE MESH

WATERPROOF WEATHERSTRIP

WEIGHT

WIDE FLANGE (STEEL

VERTICAL GRAIN

VERIFY IN FIELD

URINAL UTILITY

UNLESS OTHERWISE NOTED

VINYL COMPOSITION TILE

TOP OF WALL

TOP OF PAVEMENT

THERMOSTAT

TEMPORARY

THRESHOLD

THROUGH

SUPERINTENDEN?

SUSPEND; SUSPENDED

TONGUE AND GROOVE

STAINLESS STEE STATION

SEE STRUCT. DWGS.

SANITARY NAPKIN DISPENSER

SCHEDULE: SCHEDULED

SOLID CORE

S.A.D.

SECT.

SHWR.

STOR.

STRUCT

SUB.

SUSP.

THERM.

THRESH.

T.O.W.

U.O.N.

W.W.F.

ROUGH OPENING RAIN WATER LEADER

SYMBOLS

DOOR TYPE —— SHEET NUMBER WINDOW TYPE PLUMBING TYPE DRAWING NUMBER ——— SHEET NUMBER APPLIANCE TYPE <u>DETAIL</u> — DRAWING NUMBER —— SHEET NUMBER REVISION

KIT.

LAV. LBS.

MATERIAL

A 0.1

GREEN STREE

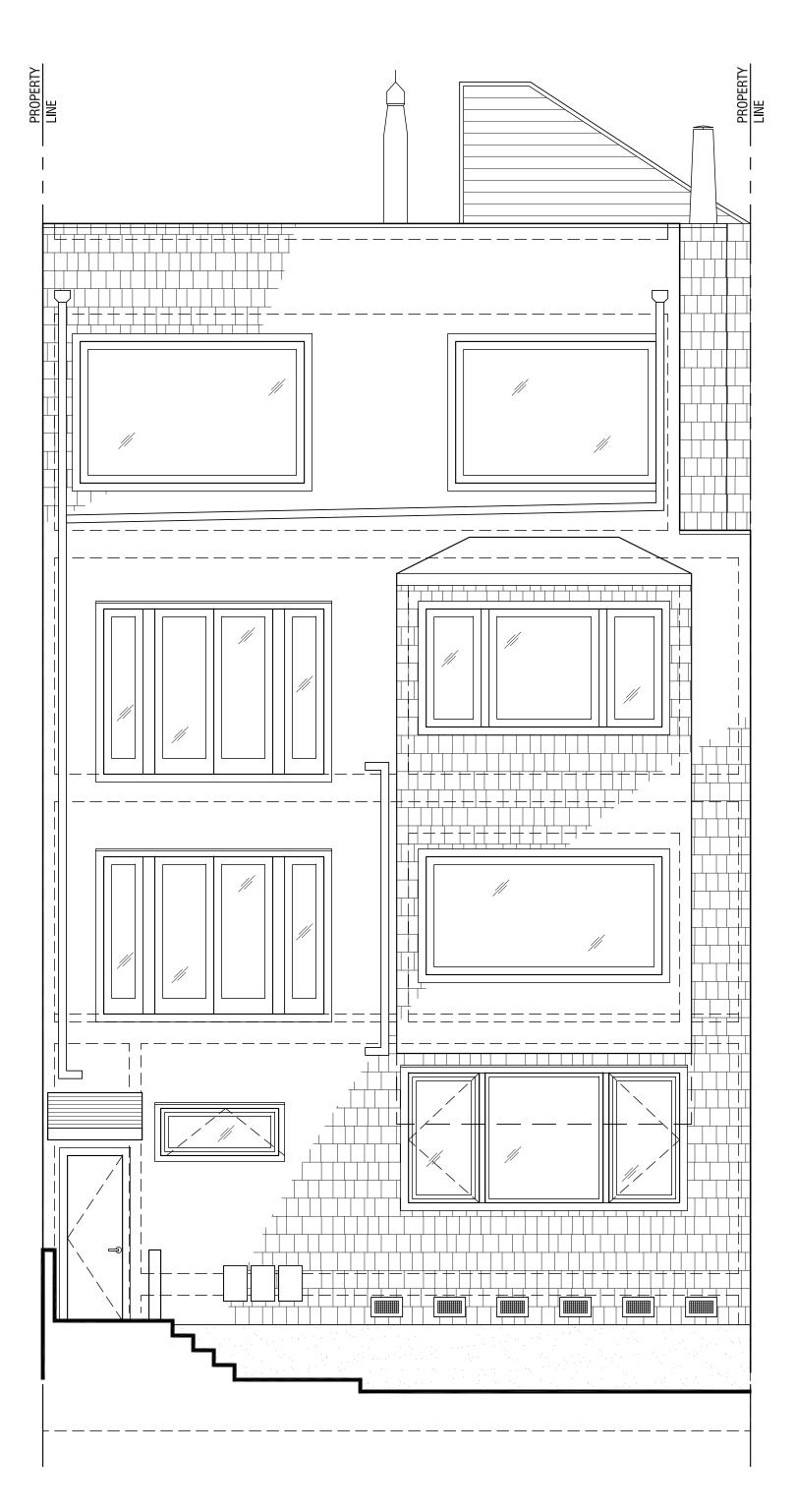
SHEET DATA

JUNE 24, 2010 1109-0170 PHASE: VARIANCE ISSUED FOR:

SCALE: AS SHOWN SHEET TITLE

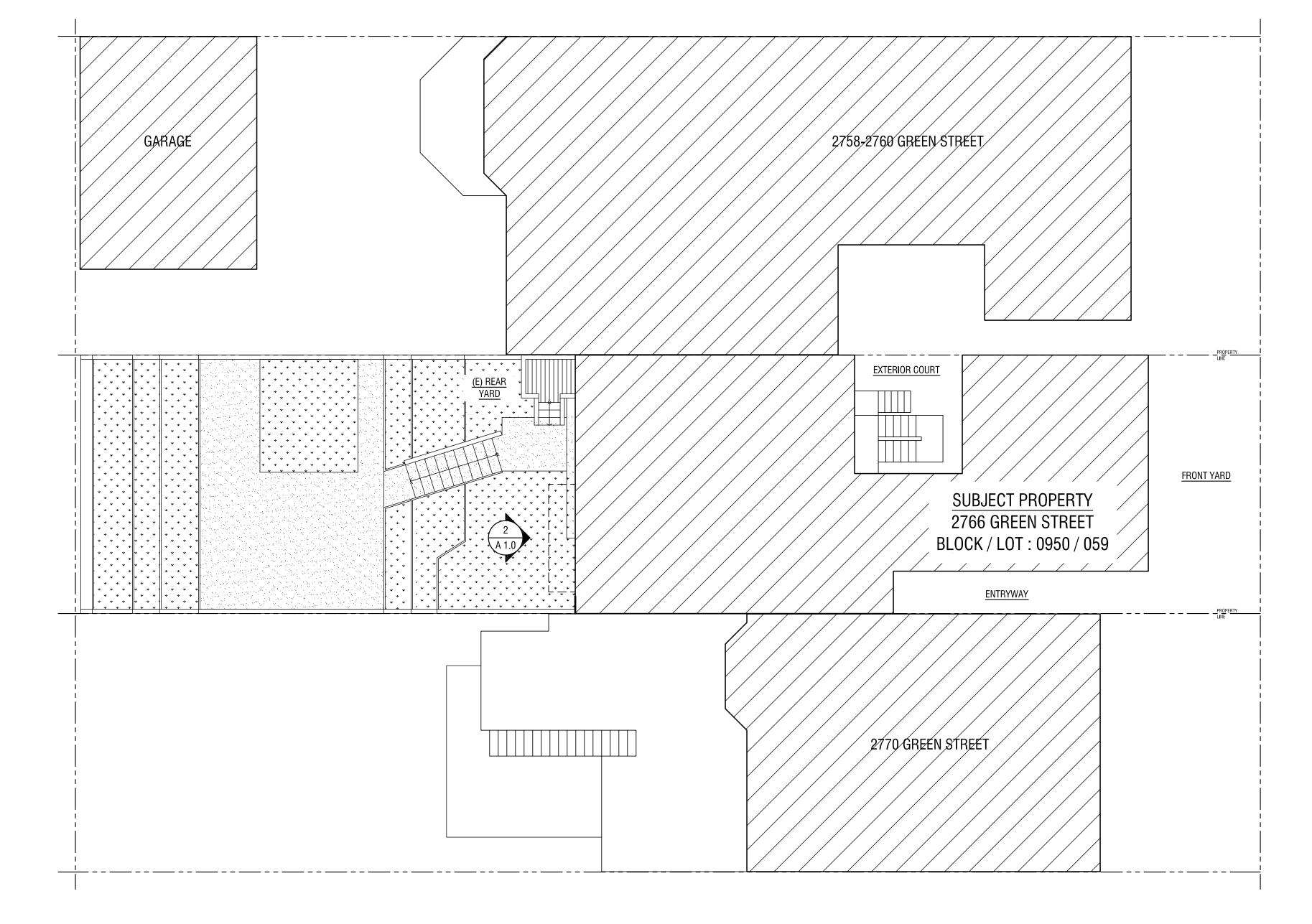
EXISTING SITE PLAN AND REAR **ELEVATION**

> SHEET NUMBER A 1.0



2 EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



BAUM THORNLEY ARCHITECTS INC. 95 brady street san francisco, CA 94103

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CONSULTANTS

PROJECT

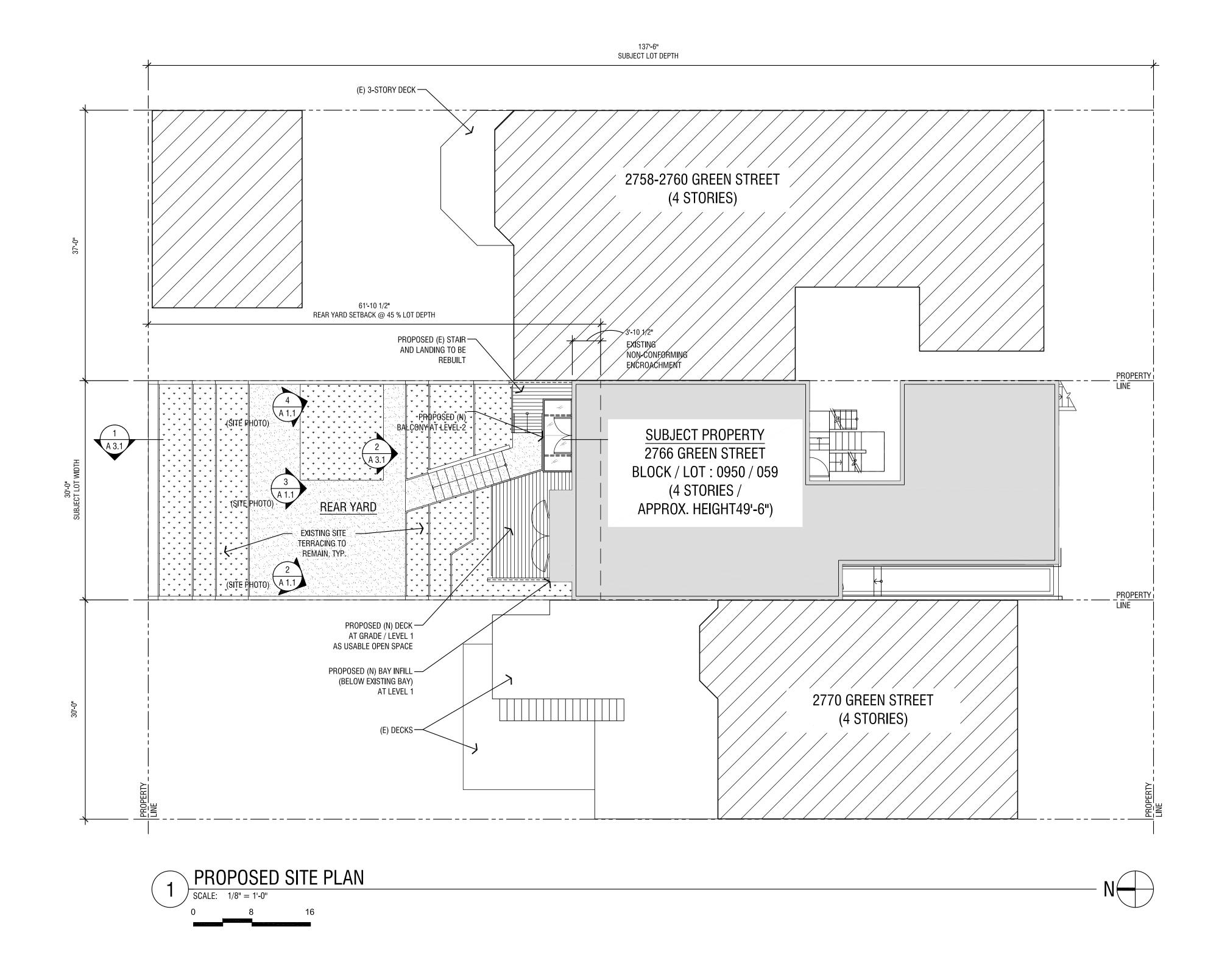
2770 EXISTING 3-STORY — DECK STRUCTURE

ISSUED FOR: VARIANCE AS SHOWN SHEET TITLE

SHEET DATA

SITE PLAN AND PHOTOS

2 REAR YARD PHOTOGRAPH
SCALE: N.T.S.





2758-2760 GREEN EXISTING 3-STORY — DECK STRUCTURE STREET





5 AERIAL PHOTOGRAPH OF BLOCK SCALE: N.T.S.

REAR YARD PHOTOGRAPH

SCALE: N.T.S.

REAR YARD PHOTOGRAPH

SCALE: N.T.S.

SHEET NUMBER A 1.1



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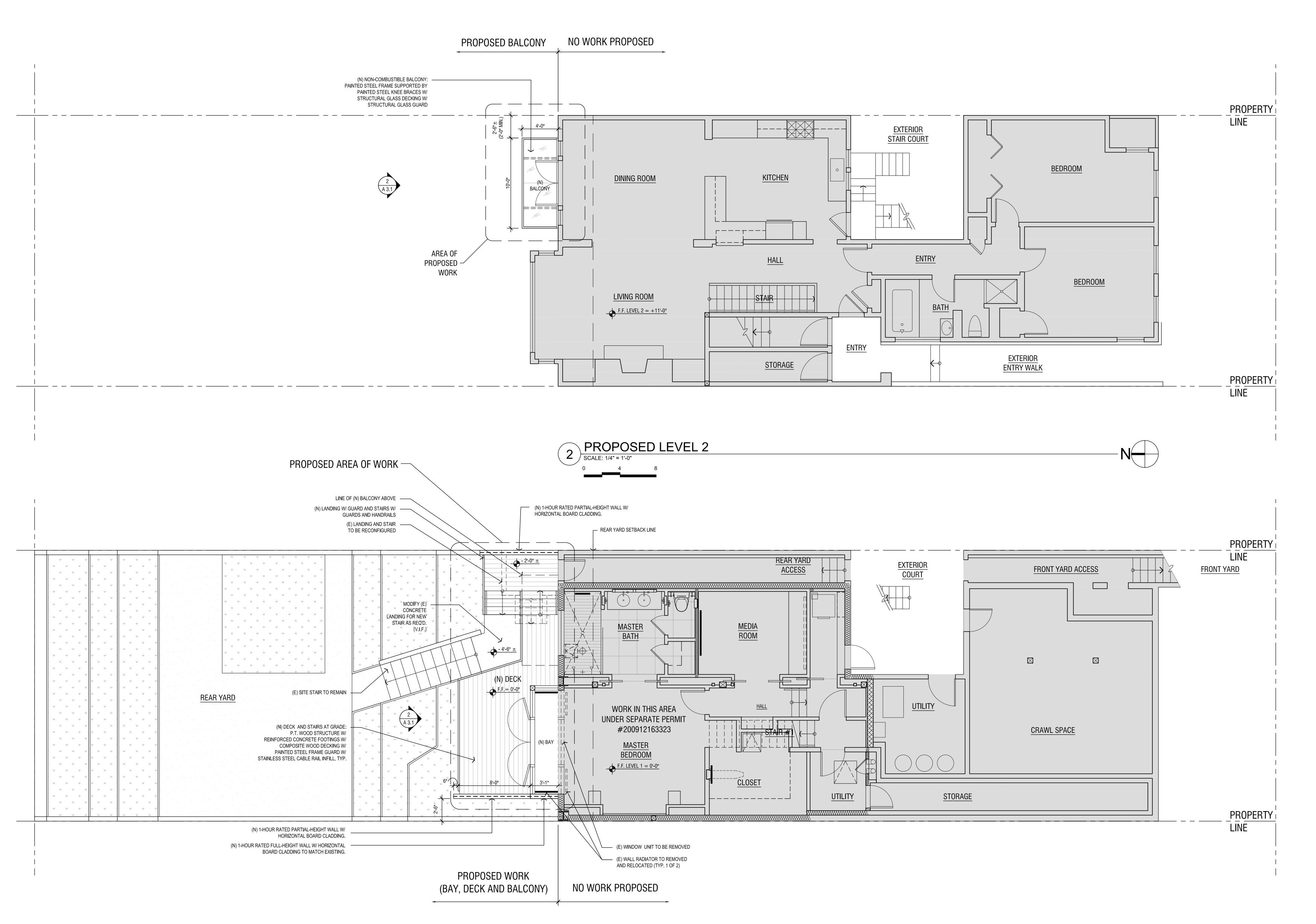
PROJECT

REVISIONS

SHEET DATA JUNE 24, 2010 1109-0170 JOB NO.: ISSUED FOR: VARIANCE SCALE: AS SHOWN

FLOOR PLANS

NO WORK PROPOSED



PROPOSED LEVEL 1 (GROUND)
SCALE: 1/4" = 1'-0"

SHEET TITLE

GouldEvans

BAUM THORNLEY

ARCHITECTS INC.

95 brady street san francisco, CA 94103

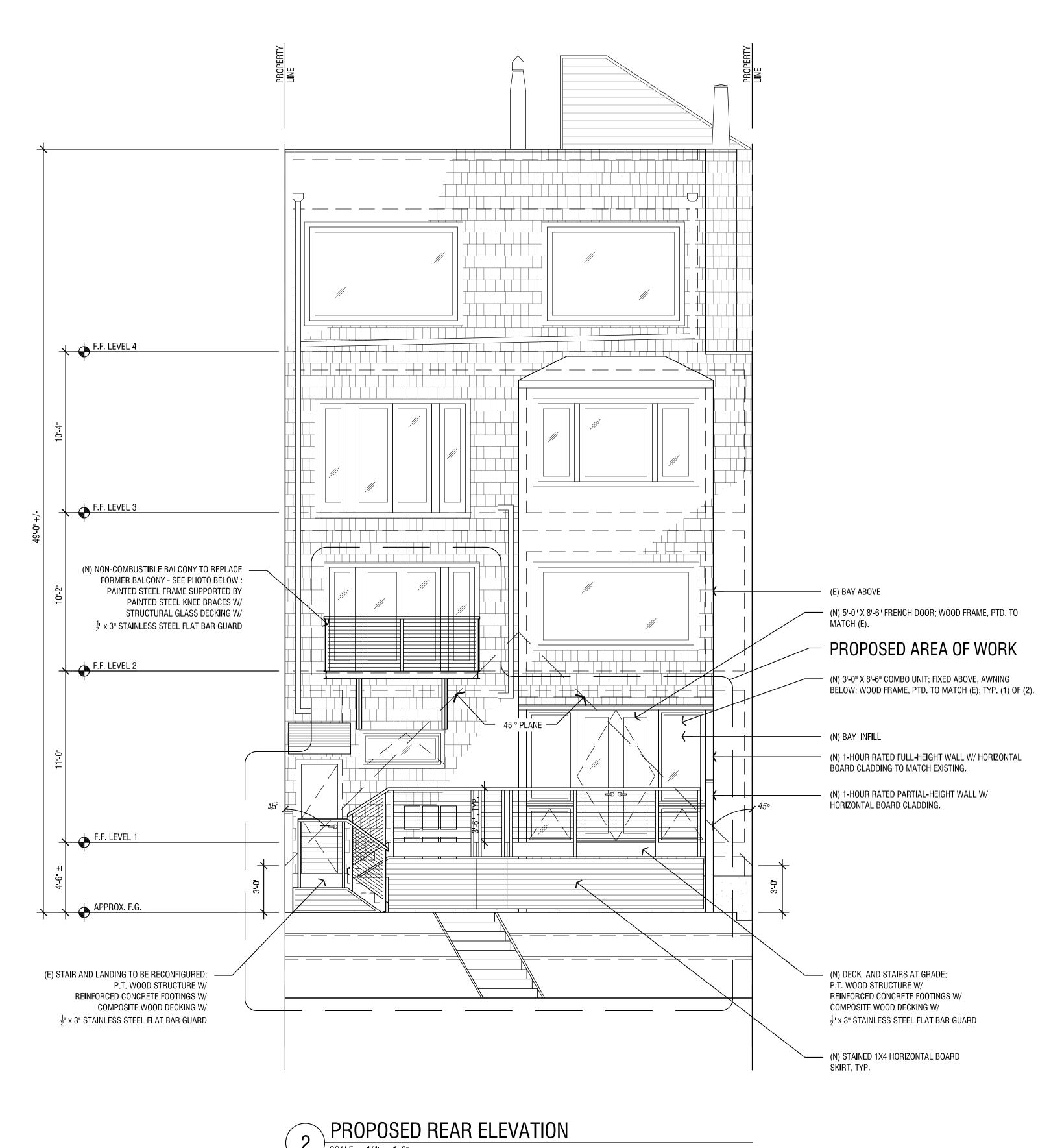
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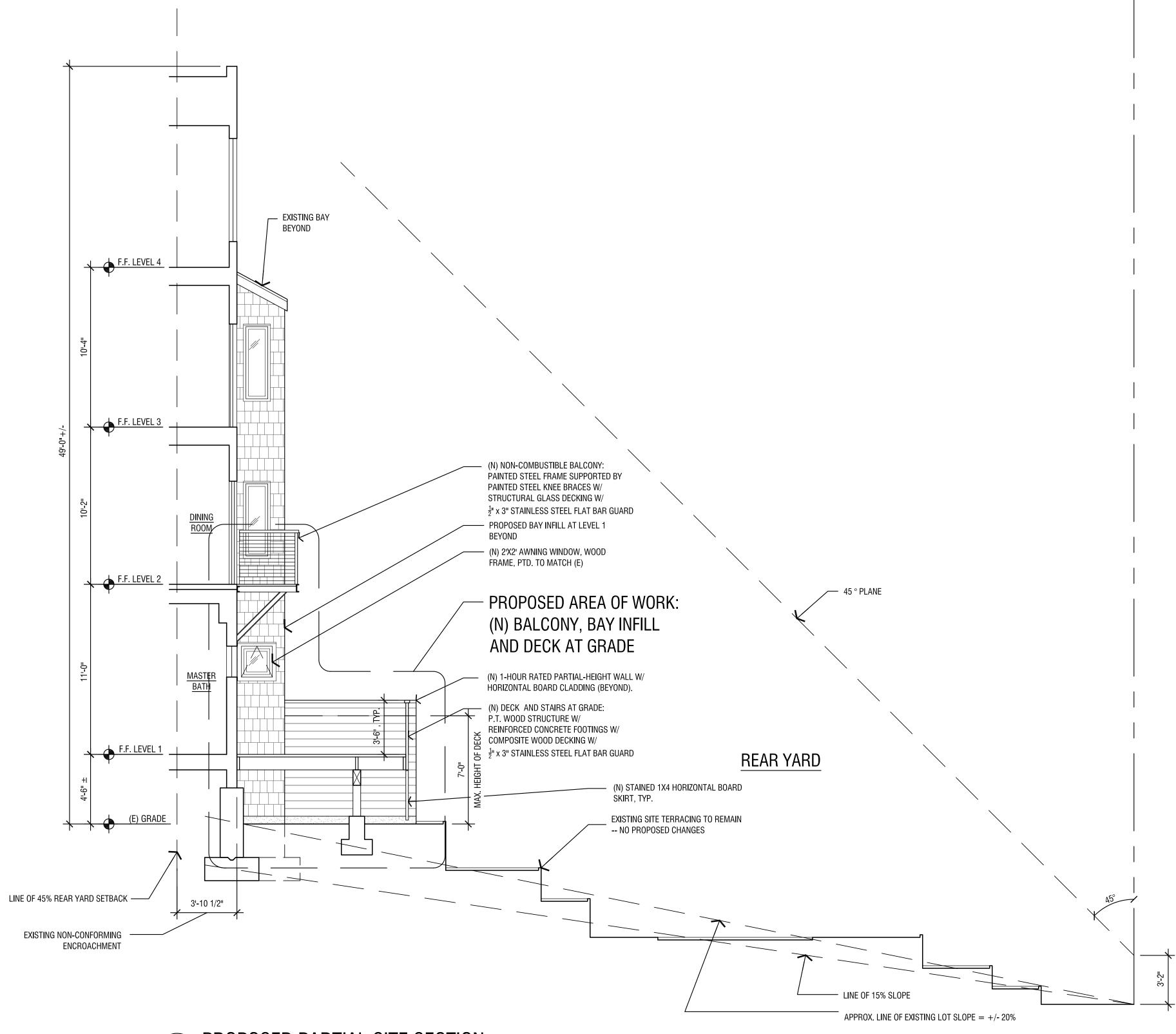
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PROJECT

REVISIONS

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PROPOSED PARTIAL SITE SECTION SCALE: 1/4" = 1'-0"

NOTE:
ALL EXTERIOR WINDOWS AND DOORS ARE (E) UNLESS OTHERWISE NOTED.

3 EXISTING BALCONY AT REAR ELEVATION
SCALE: NO SCALE

SHEET DATA JUNE 24, 2010 DATE: JOB NO.: 1109-0170 PHASE: VARIANCE ISSUED FOR: SCALE: AS SHOWN SHEET TITLE

BUILDING **ELEVATION** AND SITE SECTION

SHEET NUMBER