



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 22, 2010**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard, Exposure, and Parking)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>1734 Newcomb Street</b>	Case No.:	<b>2010.0444V</b>
Cross Street(s):	<b>Newhall / Phelps Streets</b>	Building Permit:	<b>N/A</b>
Block /Lot No.:	<b>5305/010</b>	Applicant/Agent:	<b>Horace Johnson</b>
Zoning District(s):	<b>RH-2 / 40-X</b>	Telephone:	<b>(415) 573-8334</b>
		E-Mail:	<b>N/A</b>

### PROJECT DESCRIPTION

The proposal is to construct a rear horizontal addition and to add a second dwelling to the existing single-family dwelling.

**PLANNING CODE SECTION 134(a)(2)** requires a rear yard for a lot located in the RH-2 District. The subject property has a rear yard requirement of 40'-0" measured from the rear property line. The existing building already encroaches into the required rear yard at the second level by approximately 15'-0", leaving a rear yard of approximately 30'-0". The proposed ground floor expansion to match the second floor building depth and new rear stairs at the second level further intensify the discrepancy of a non-complying structure.

**PLANNING CODE SECTION 140** requires exposure for each dwelling unit. The project proposes the addition of a second dwelling unit in a non-complying building in terms of rear yard. The minimum rear yard requirement for the subject property is 40'-0"; the proposal results in a 30'-0" deep rear yard. The new unit (1) faces onto a non-complying rear yard, and (2) does not directly face a street.

**PLANNING CODE SECTION 151** requires one off-street parking space for each dwelling unit. The project proposes the addition of a second dwelling without the required second parking.

**PER PLANNING CODE SECTION 188**, a non-complying structure is prohibited from intensification or increase in discrepancy at any level. The existing building is a non-complying structure in terms of rear yard. The proposed addition enlarges the existing non-complying building envelope.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Ben Fu**

Telephone: **(415) 558-6613**

E-Mail: **ben.fu@sfgov.org**

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0444V.pdf>

中文詢問請電: **415.558.5956**

Para información en Español llamar al: **415.558.5952**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

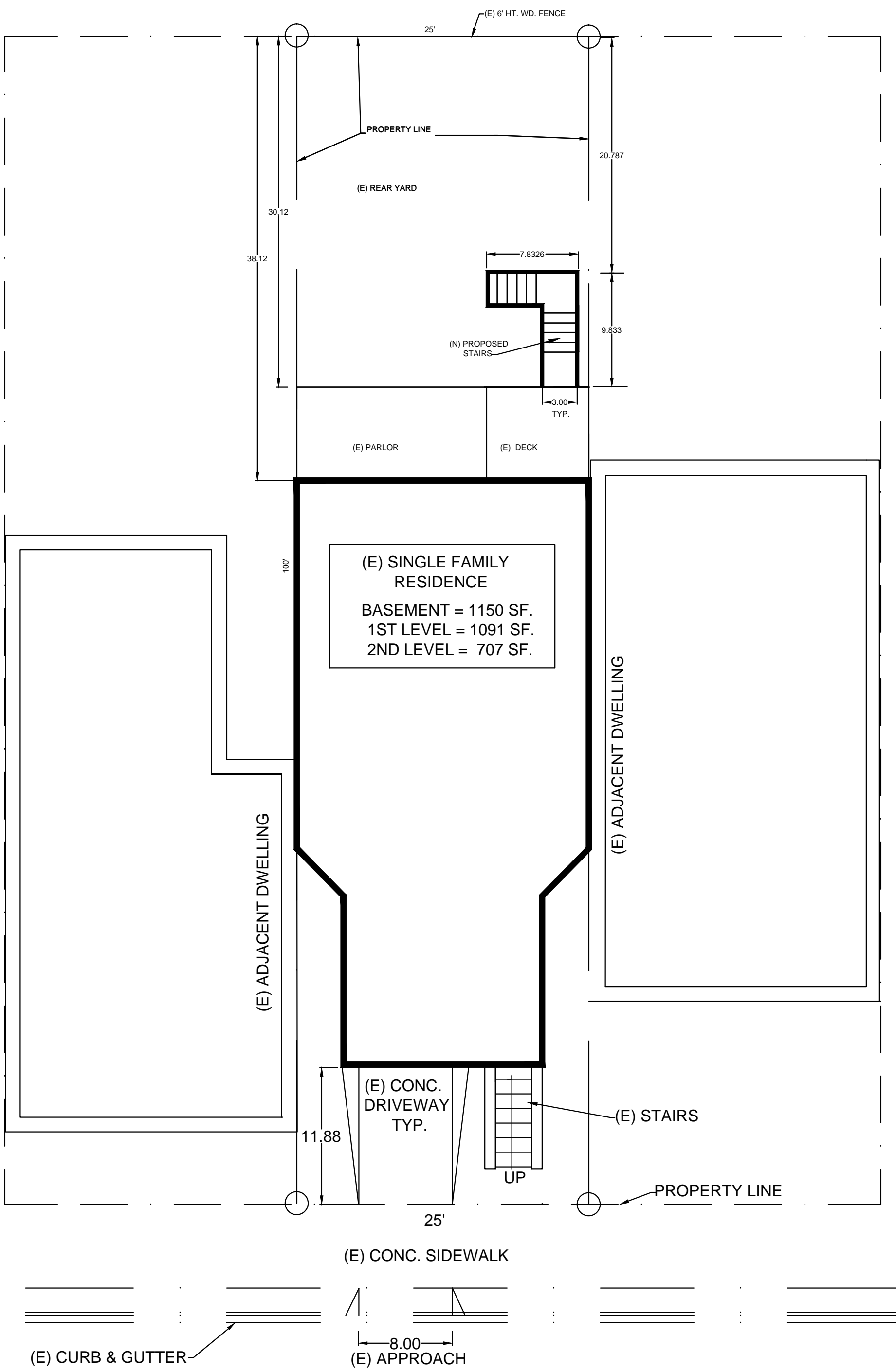
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

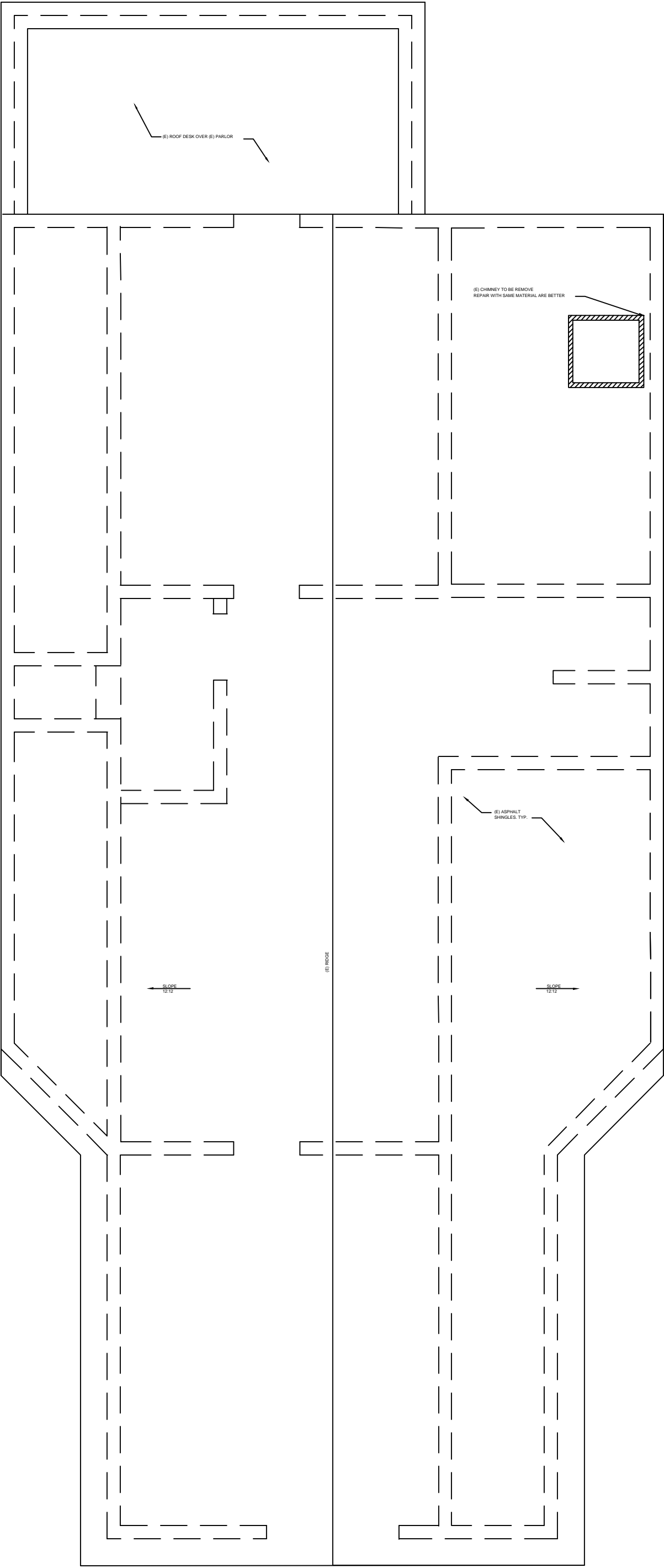
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



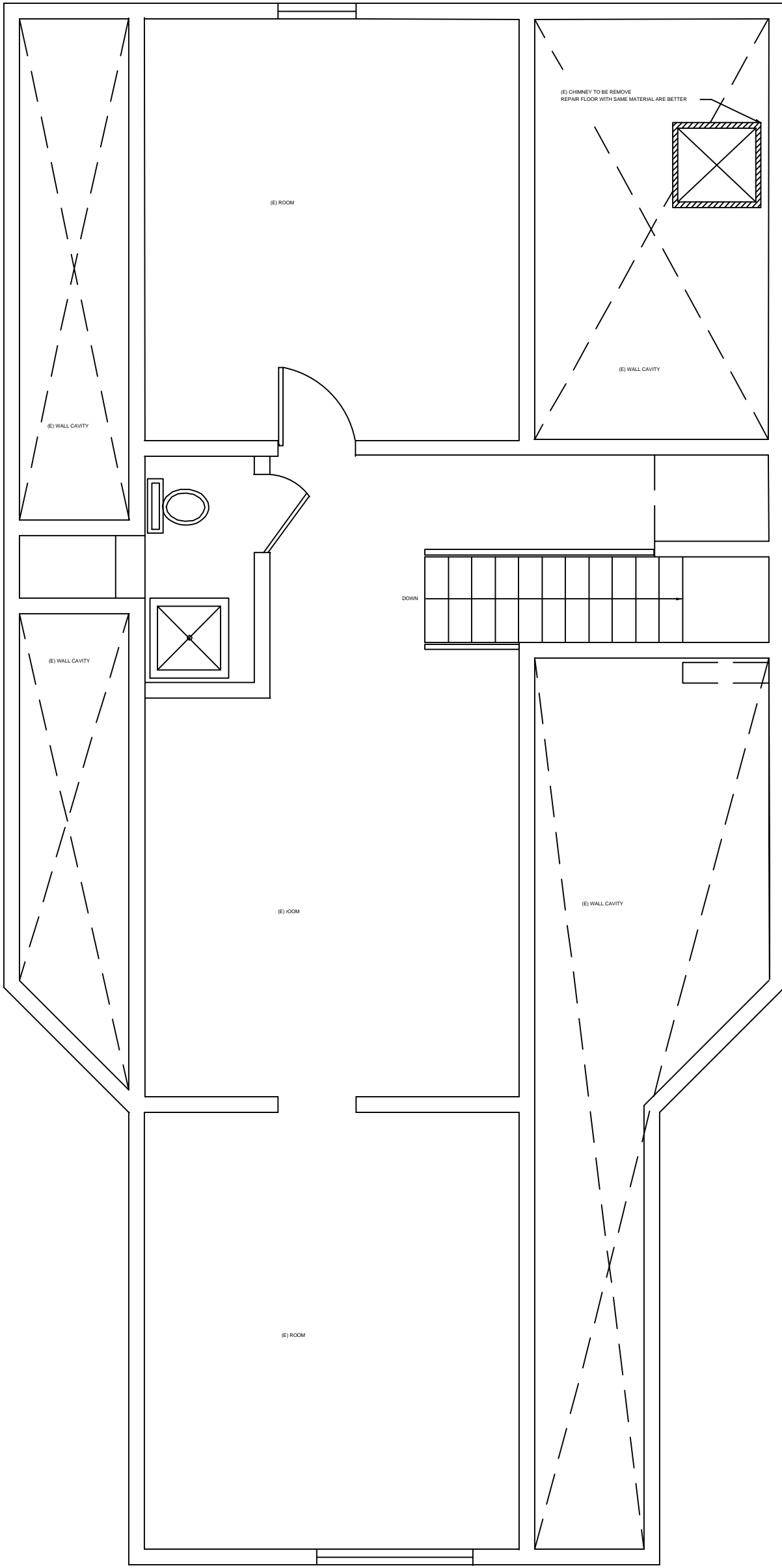
NEWCOMB AVE.

# SITE PLAN

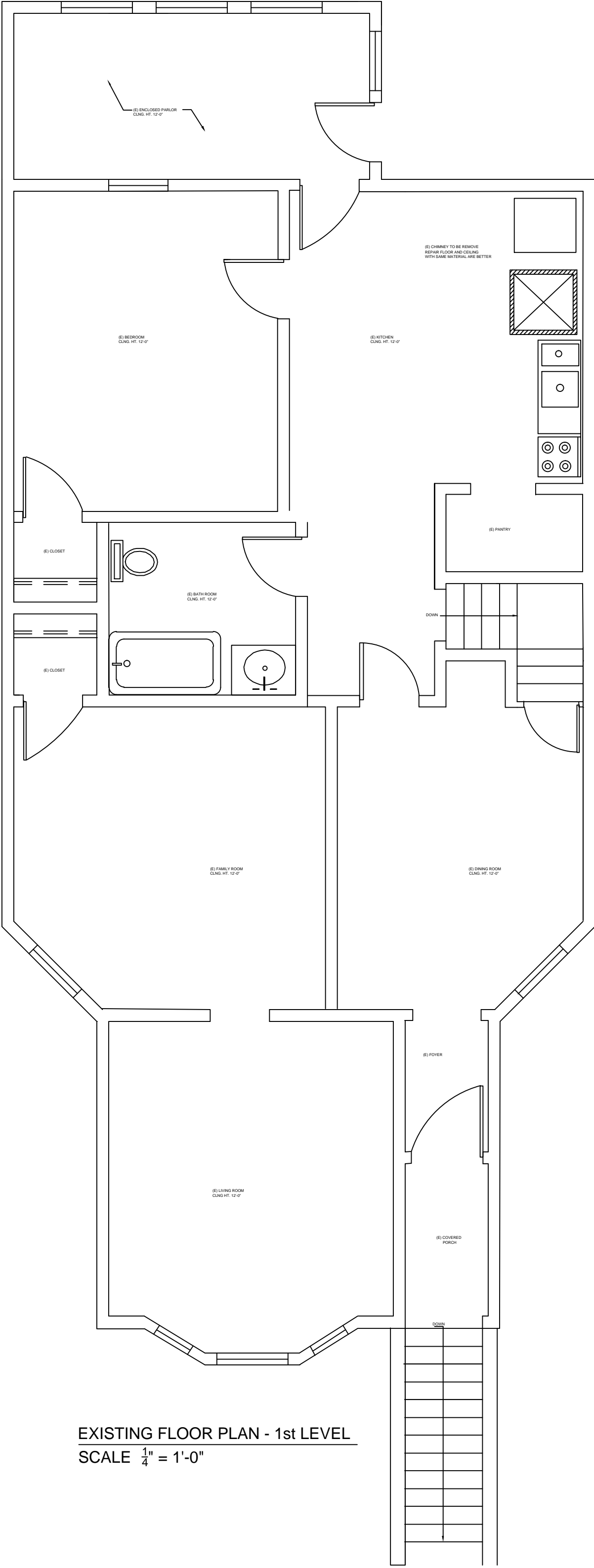
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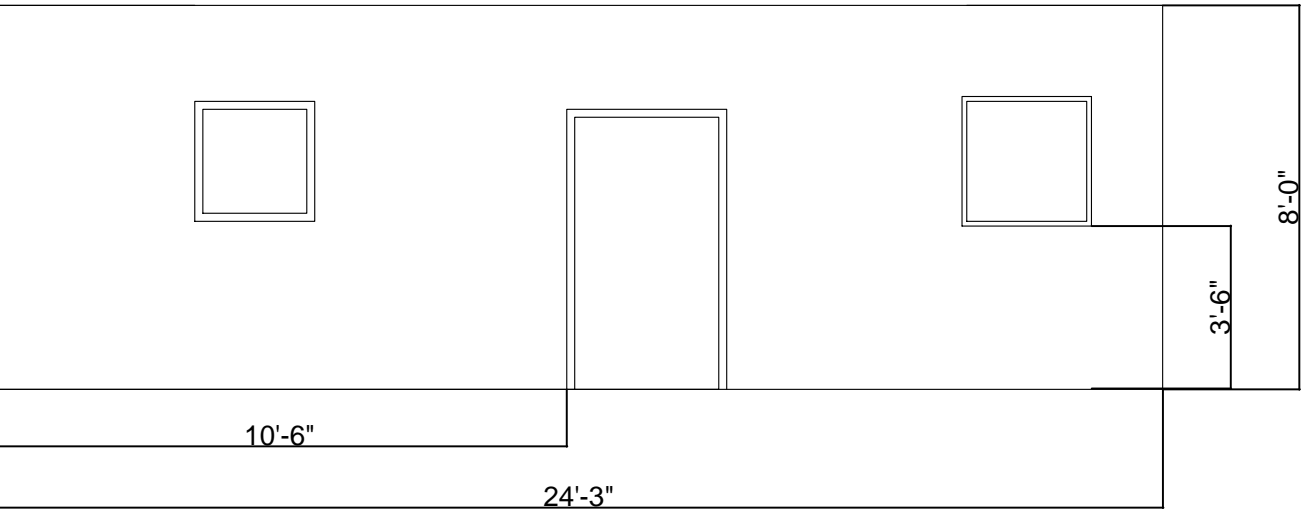
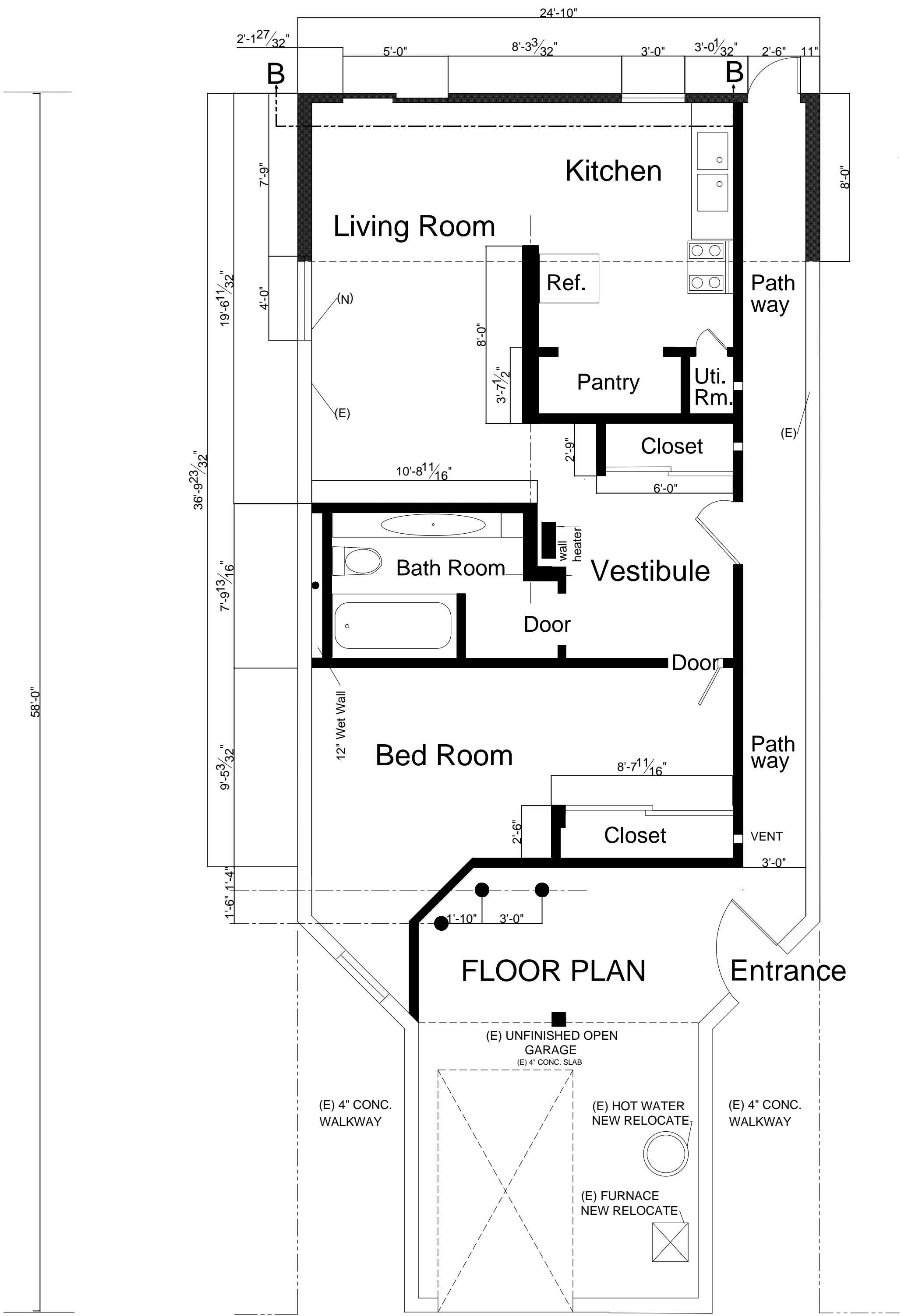
EXISTING ROOF PLAN  
SCALE 1/4" = 1'-0"



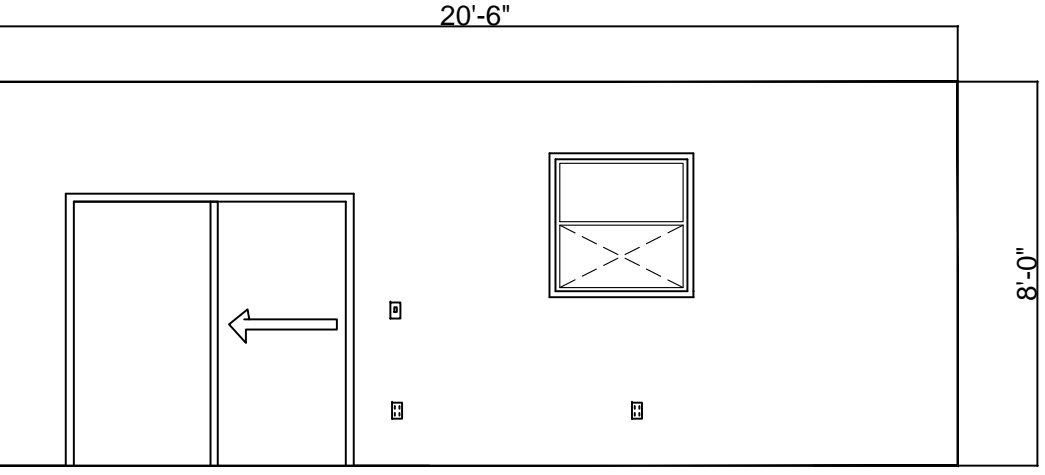
EXISTING FLOOR PLAN - 2nd LEVEL  
SCALE 1/4" = 1'-0"



EXISTING FLOOR PLAN - 1st LEVEL  
SCALE 1/4" = 1'-0"



(E) EAST WALL SECTION "A"



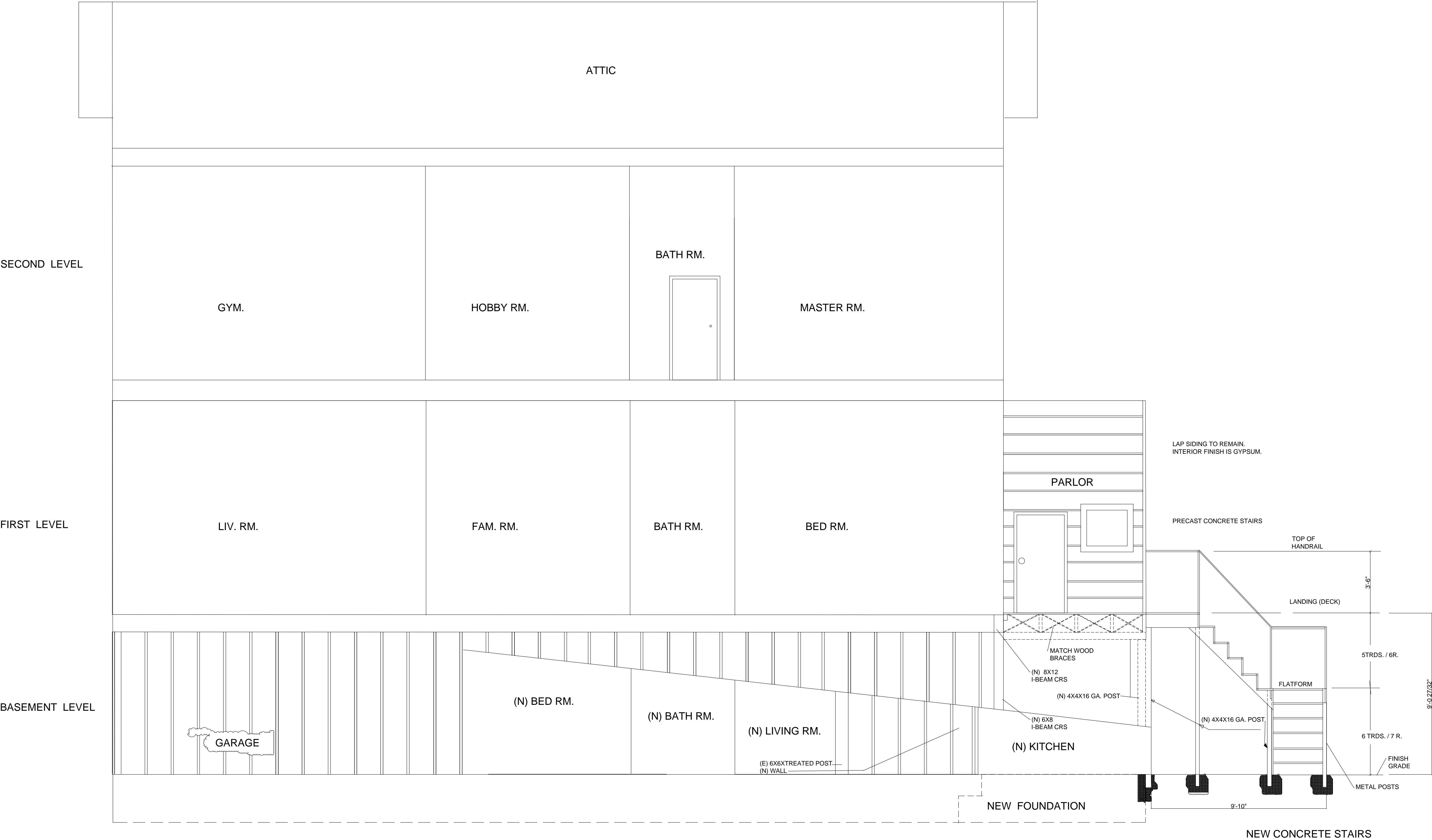
(N) EAST WALL SECTION "B"



7/EL

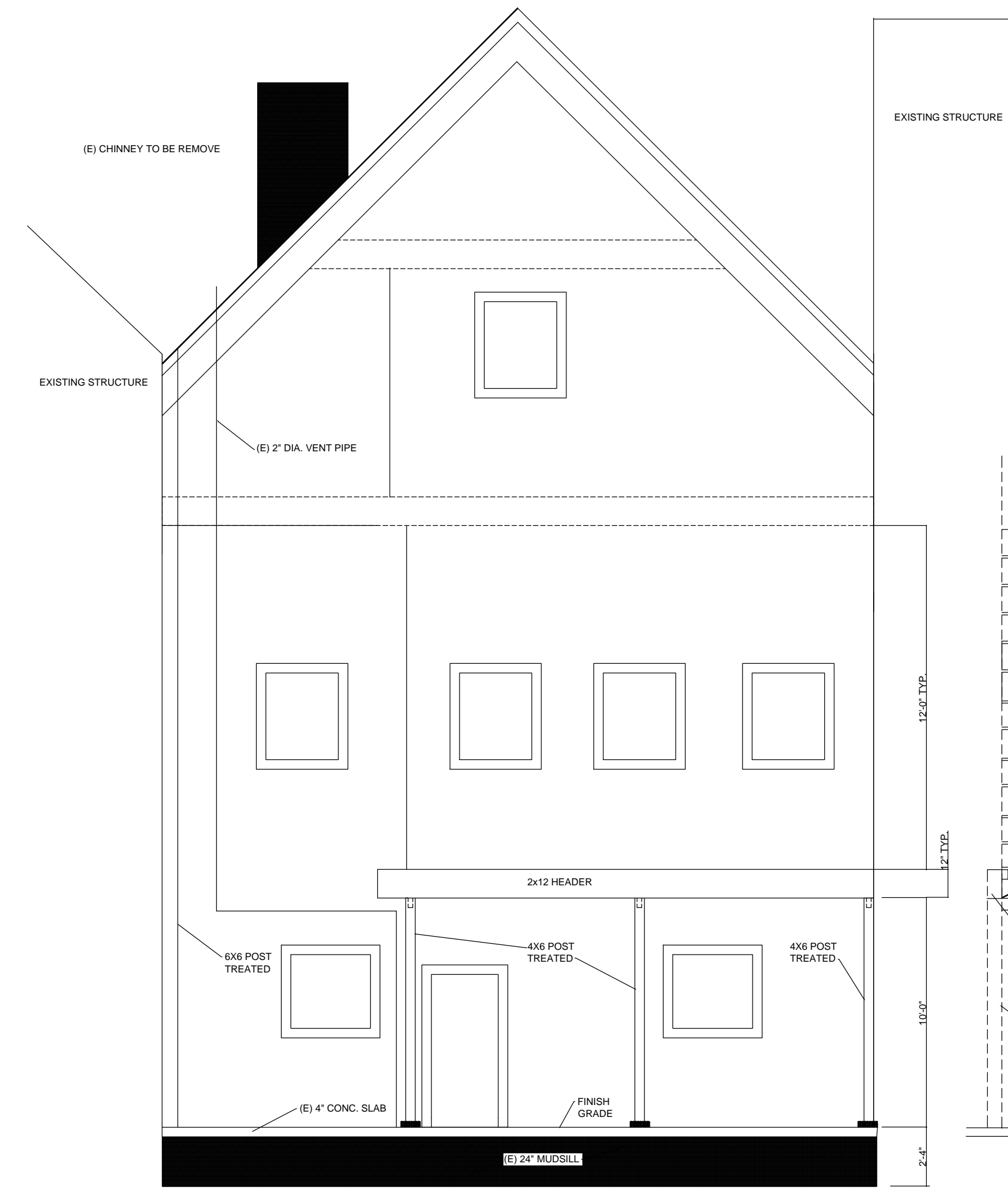
PROPOSED FLOOR PLAN - BASEMENT LEVEL

SCALE: 1/4" = 1'-0"

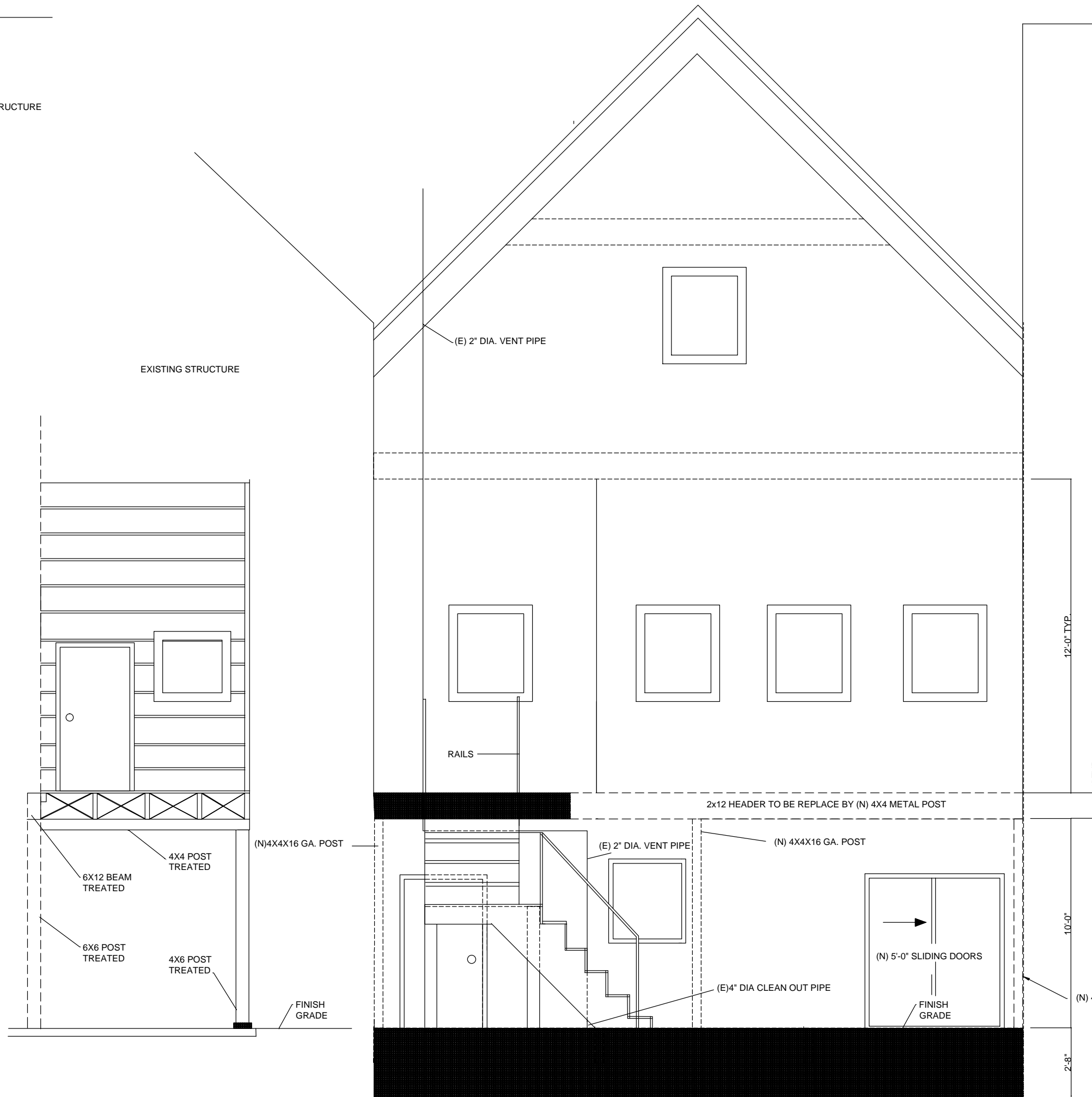


LONGITUDINAL SECTION

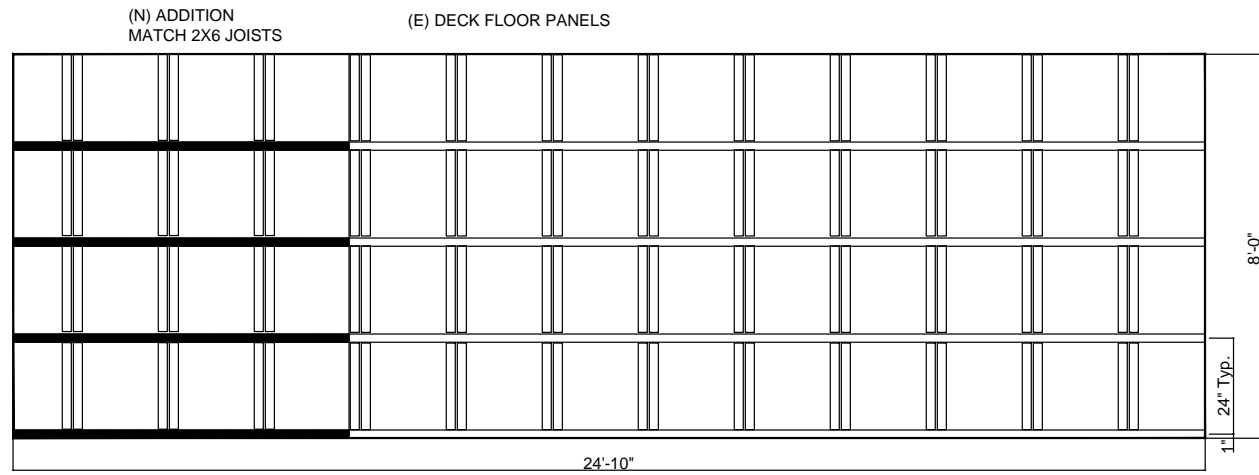
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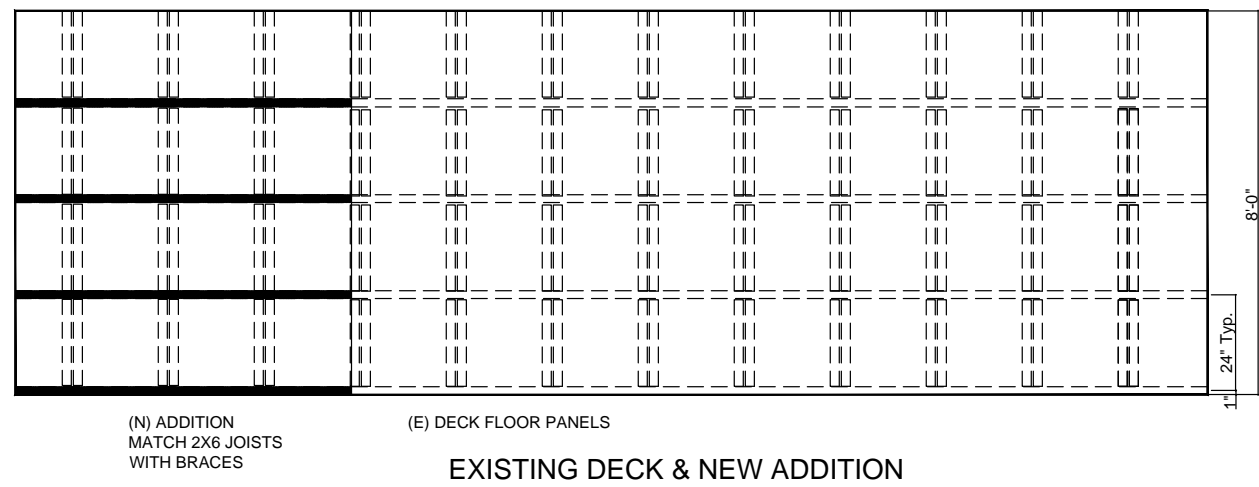
EXISTING ELEVATION



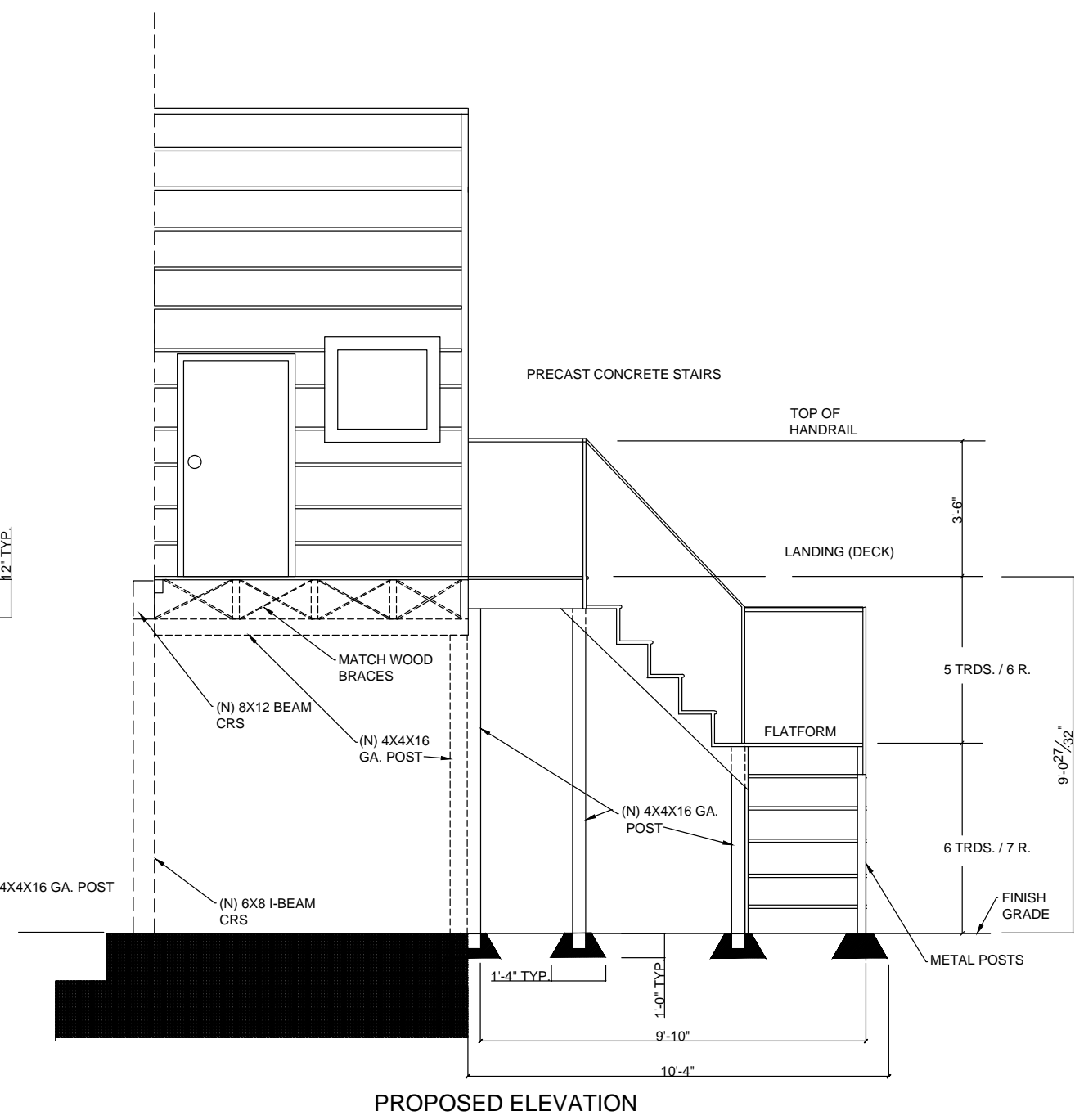
PROPOSED ELEVATION



REFLECTED FLOOR JOIST PLAN



EXISTING DECK & NEW ADDITION



PROPOSED ELEVATION

REAR ELEVATION  
SCALE: 1/4" = 1'-0"