



1 NORTH SIDE OF JERSEY STREET



2 SOUTH SIDE OF JERSEY STREET 307 309 311



3 309 JERSEY BACK YARD LOOKING SOUTH



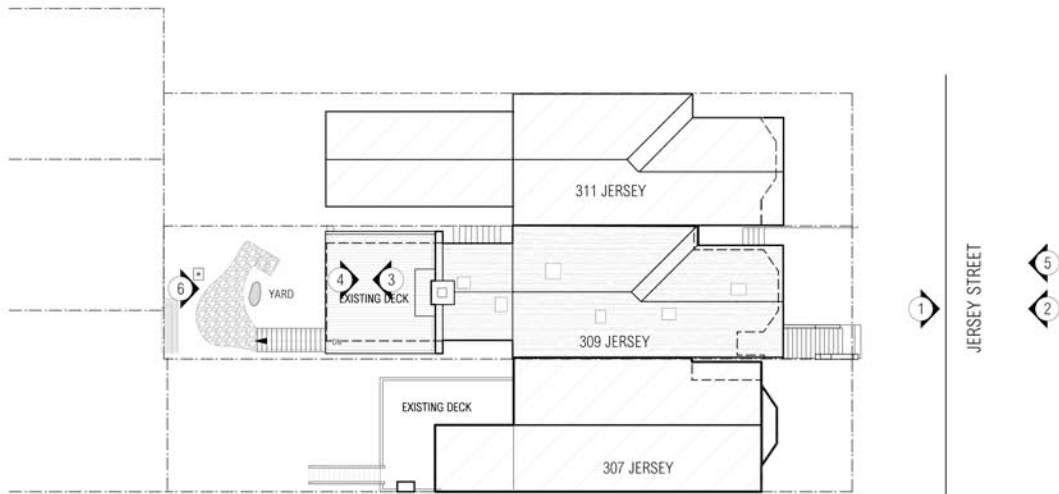
4 REAR DECK OF 309 JERSEY LOOKING NORTH



6 BACK YARD OF 309 JERSEY LOOKING NORTH



5 307 309 311



1 PHOTO KEY
Scale: 1/16" = 1'-0"

309 JERSEY ST. PROJECT INFORMATION

BLOCK: 6538
LOT: 41
ZONING: RH-2
HEIGHT AND BULK: 40-X
OCCUPANCY: RS, 1 UNIT
TYPE OF CONSTRUCTION: TYPE 5B
EXISTING NUMBER OF STORIES: 1 + B
NEW NUMBER OF STORIES: 2 + B
NEW AREA: 1106 SF
OWNER: TRISHAN ARUL
309 JERSEY ST
SAN FRANCISCO, CA 94114

PROJECT DESCRIPTION

THE PROJECT IS TO ADD A SECOND LIVING LEVEL OVER THE FIRST 53 FT. OF THE HOUSE. THERE IS ALSO A ONE STORY ADDITION TO THE KITCHEN FILLING IN THE EAST LIGHT WELL ON THE LOWEST LEVEL. THE WORK INCLUDES RECONSTRUCTING THE FRONT STAIR.

THE WORK ON THE NEW SECOND FLOOR WILL INCLUDE TWO NEW BATHROOMS.

THE WORK WILL INCLUDE A NEW STAIRWAY EXTENDING FROM THE BASEMENT TO THE NEW SECOND FLOOR.

GENERAL NOTES

- 1 All construction, regardless of details or plans in this set, shall comply with the 2007 San Francisco Building Code, the 2007 San Francisco Housing Code, the 2007 San Francisco Mechanical Code, The 2007 San Francisco Plumbing Code, the 2007 San Francisco Electrical Code, the 2005 San Francisco Energy Code, and all applicable other local codes and ordinances. All Contractors and Subcontractors shall hold harmless the Architect and the Owner from any damage and/or penalty arising out of violations thereof.
- 2 Not Used.
- 3 The Contractor shall verify all dimensions, property lines, measurements and conditions in the field before beginning work. Any discrepancies, errors or omissions shall be brought to the Architects attention immediately.
- 4 Unless otherwise noted, all angles shall be right angles, all lines which appear parallel shall be parallel, and all items which appear centered shall be centered. The Contractor shall be responsible for maintaining all lines true, level, plumb and square. Dimensions noted "clear" or "clr" must be precisely maintained. Dimensions marked "V.I.F." shall be verified in the field by the Contractor.
- 5 Detailed and/or large scale drawings shall take precedence over general and smaller scale drawings. Figured dimensions shall take precedence over scaled dimensions. The Contractor shall verify all scaled dimensions with the Architect before proceeding with work.
- 6 The Contractor shall be responsible for all material protection during construction. All materials delivered to the site shall be properly stored and protected until installation. All lumber shall be protected from moisture and stored above ground.
- 7 All attachments, connections or fastenings of any nature are to be properly and permanently secured in conformance with the best practices of the building industry. The drawings show only special requirements to assist the Contractor and do not show detail.
- 8 Details shown in these drawings are typical and shall apply unless otherwise noted or shown. Details of construction not fully shown shall be of the same nature shown for similar conditions. The Contractor shall be responsible for inspecting site conditions and consulting with the Architect and Engineer to adjust typical details to the varying existing conditions within the parameters allowed in the architectural and engineering drawings.
- 9 The Contractor shall be responsible for adequate design and construction of all forms, bracing and shoring required. The Contractor shall provide adequate stays and bracing of all framing until all elements of the design have been incorporated in to the project. The Contractor shall be responsible for having the shop drawings prepared prior to fabrication for all prefabricated materials of construction. Shop drawings shall serve to demonstrate the Contractor's understanding of the design concept, by indicating which materials he intends to furnish and install and by detailing the fabrication and method of installation. The Contractor shall submit all shop drawings for preview by the Architect and the Engineer and shall incorporate any comments into the drawings prior to fabrication. The Contractor agrees that shop drawings processed by the Architect are not change orders. The Contractor shall also provide adequate and reasonable protection from weather during construction.
- 10 The Contractor, not the Architect, shall be responsible for the means, methods, techniques, and sequences of construction. The Contractor shall also be solely responsible for all safety programs and procedures during construction. The Contractor must provide adequate shoring and bracing of the structure and the soil cuts at all times during construction, and shall maintain the shoring and bracing until the permanent structure can provide adequate support.
- 11 The work consists of alterations to an existing building.
- 12 Existing conditions indicated on these drawings are to be verified by the Contractor in the field and discrepancies reported to the Architect.
- 13 The Architect reserves the right to reject materials and work quality which are not considered to be up to the specified standards of the various trades involved. Such inferior material or work shall be repaired or replaced, as directed by the Architect and at no additional cost to the Owner.
- 14 Fire Department access must be provided and maintained serviceable prior to and during construction.
- 15 All materials appearing herein constitute the original and unpublished work of the Architect and Engineer and may not be duplicated, used or disclosed without the written consent of the Architect.

SHEET INDEX

ARCHITECTURAL SHEETS:

1. COVER SHEET & PHOTOS
2. SITE PLANS
3. EXISTING FLOOR PLANS
4. NEW FLOOR PLANS
5. LONGITUDINAL SECTION
6. TRANSVERSE SECTION AND SOUTH (REAR ELEVATIONS)
7. NORTH (FRONT) ELEVATION
8. EAST ELEVATION
9. WEST ELEVATION
10. EXTERIOR DETAILS

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MISC. VERTICAL ADDITION

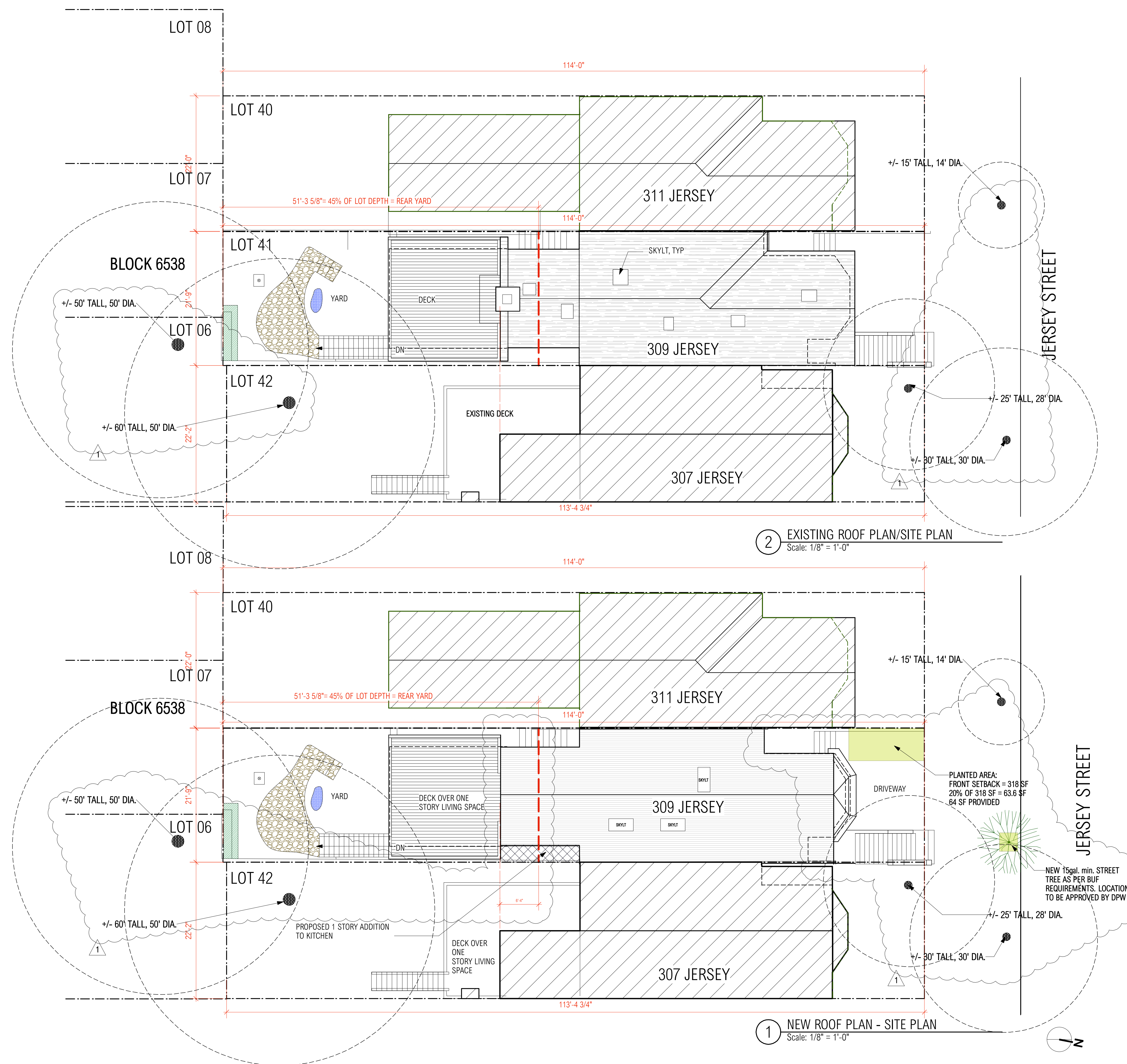
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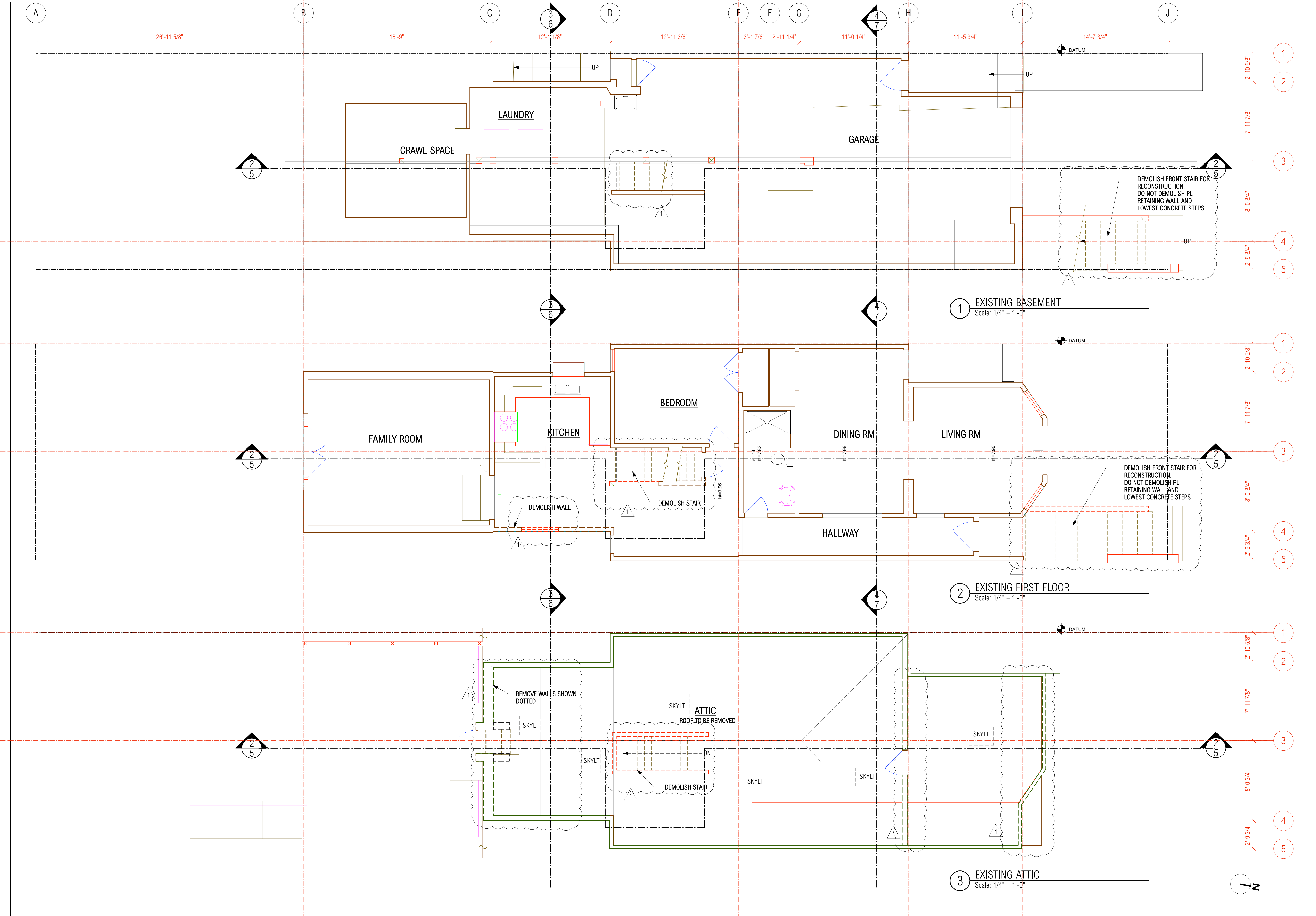
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Sheet

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Of 9 Sheets

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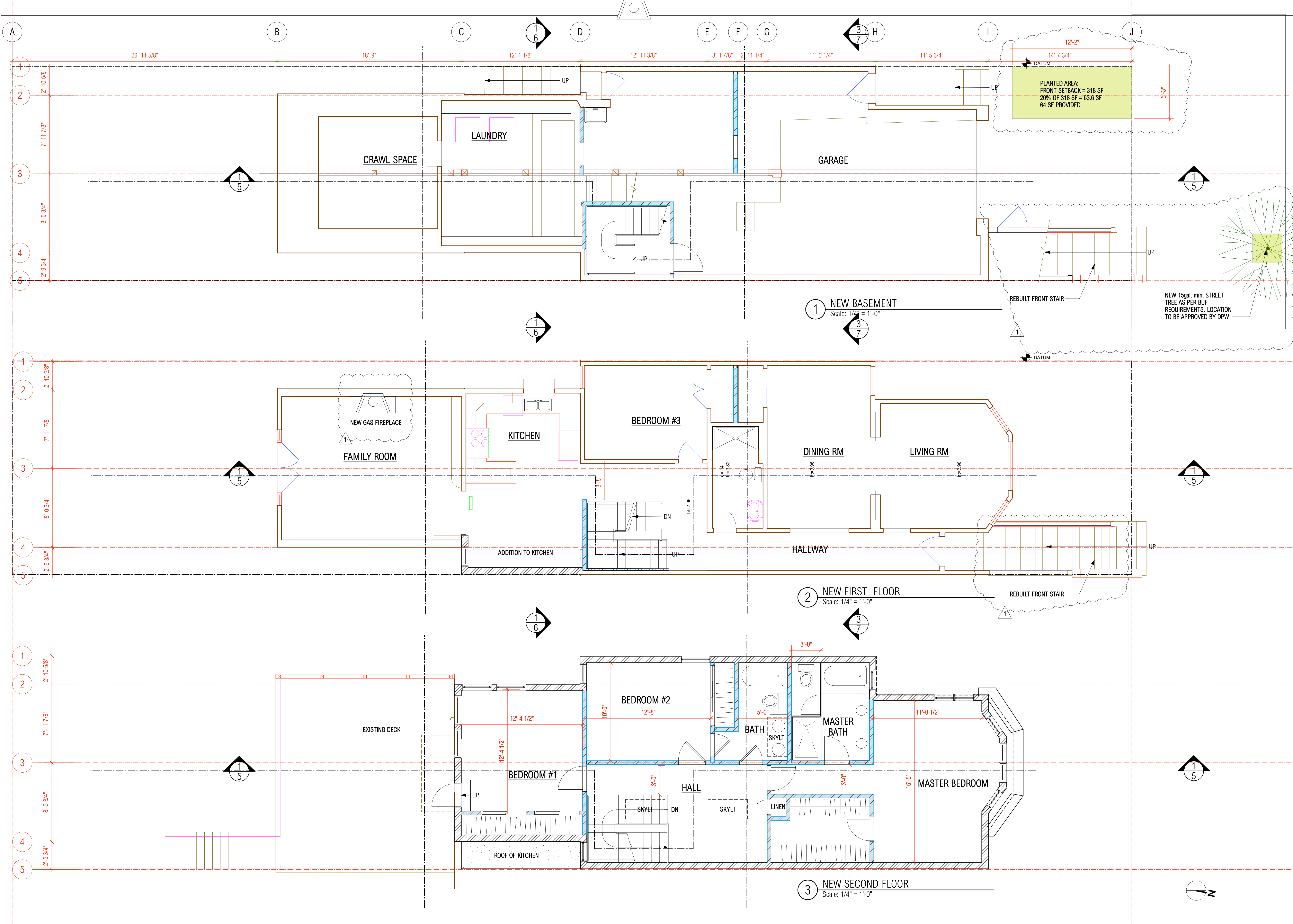
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PLANTED AREA:
FRONT SETBACK = 318 SF
20% OF 318 SF = 63.6 SF
64 SF PROVIDED

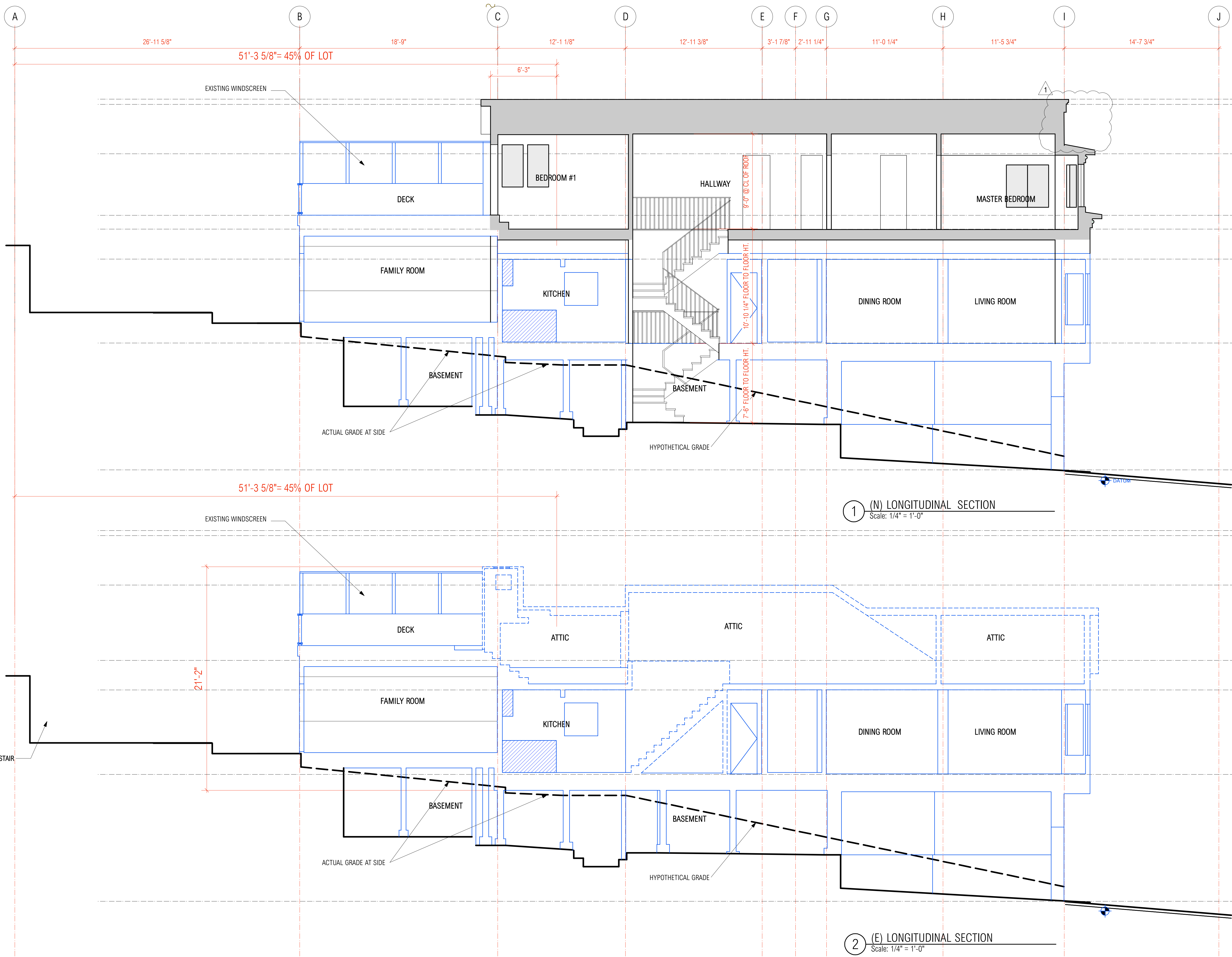
NEW 15gal. min. STREET
TREE AS PER BUF
REQUIREMENTS. LOCATION
TO BE APPROVED BY DPW

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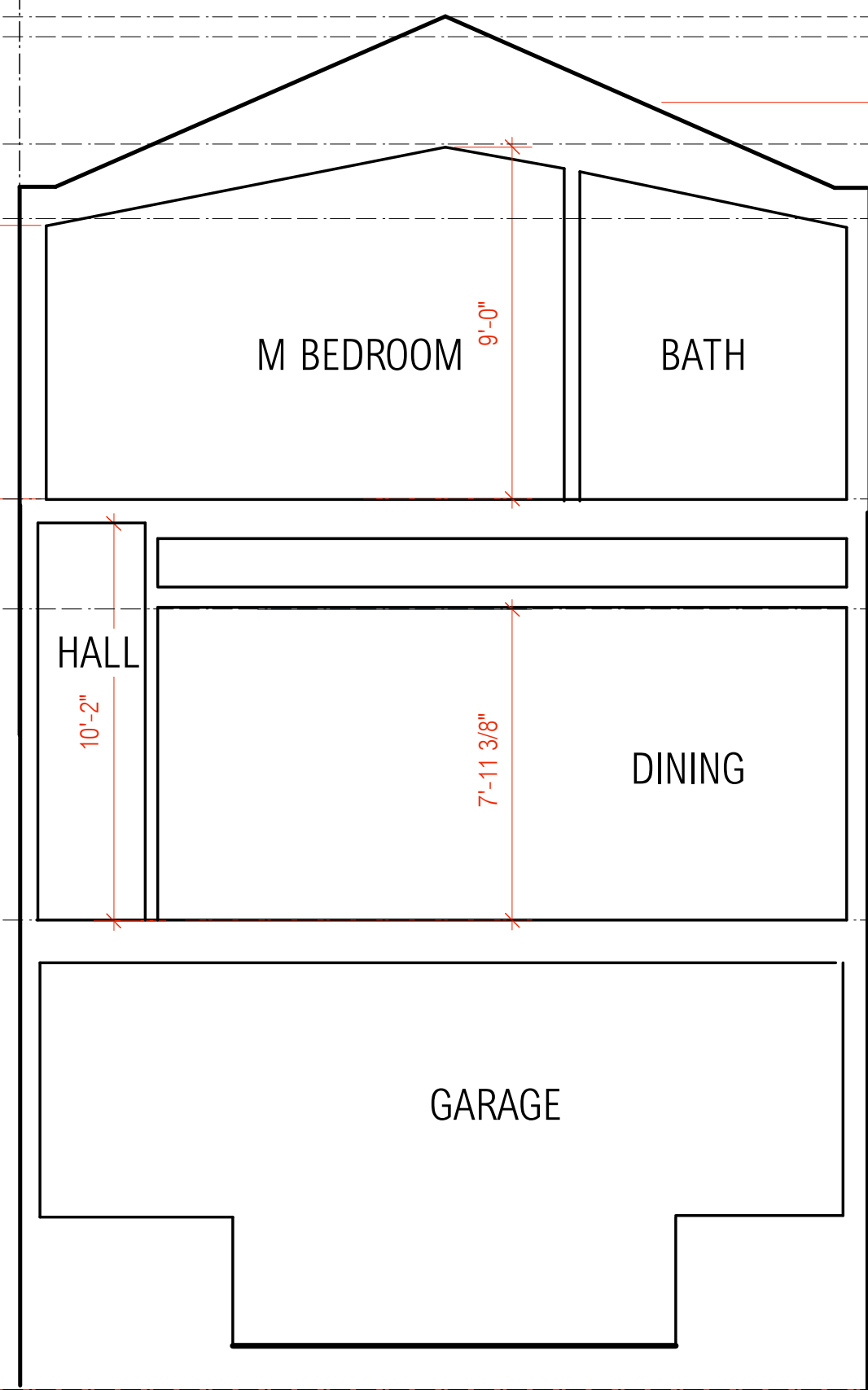


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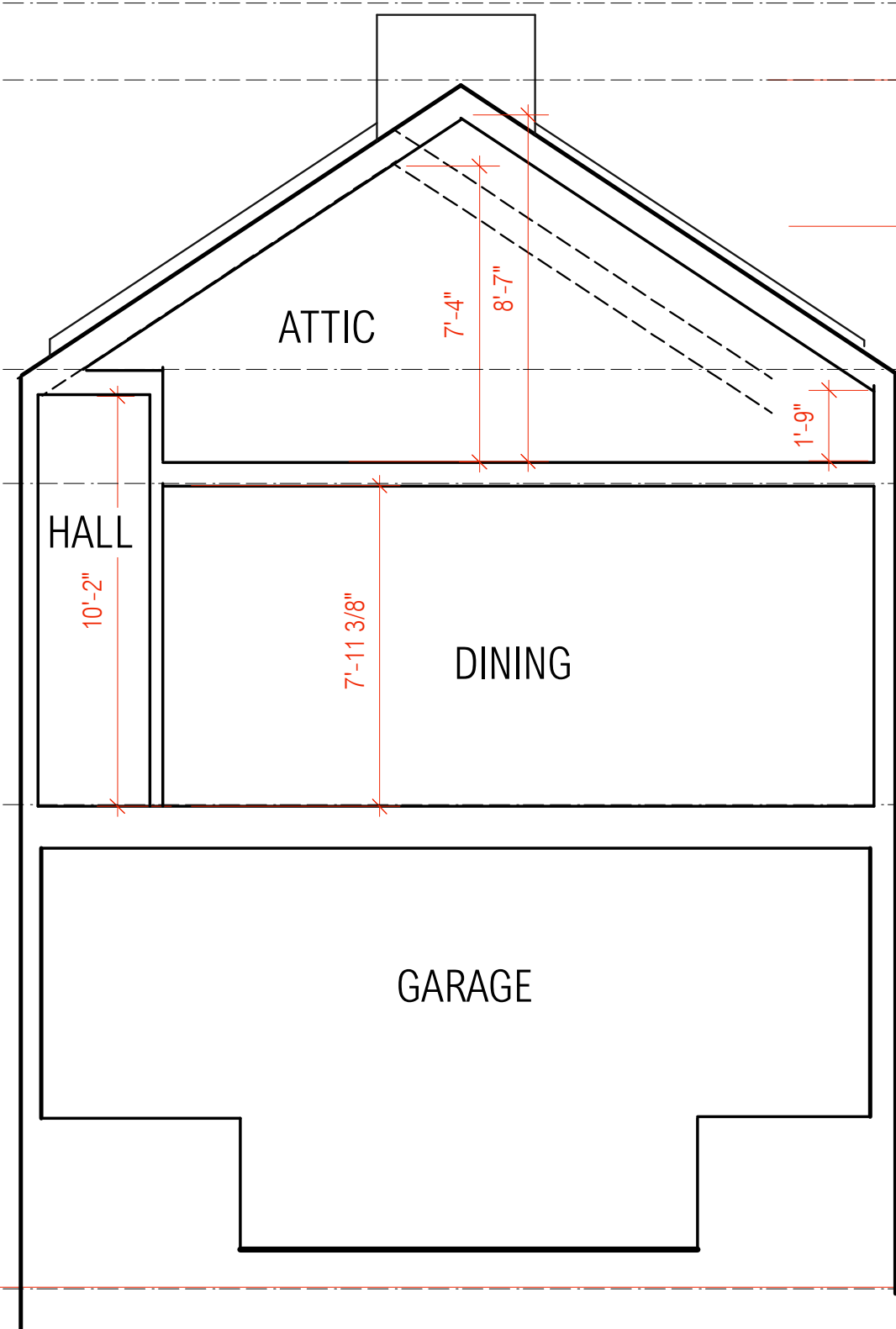
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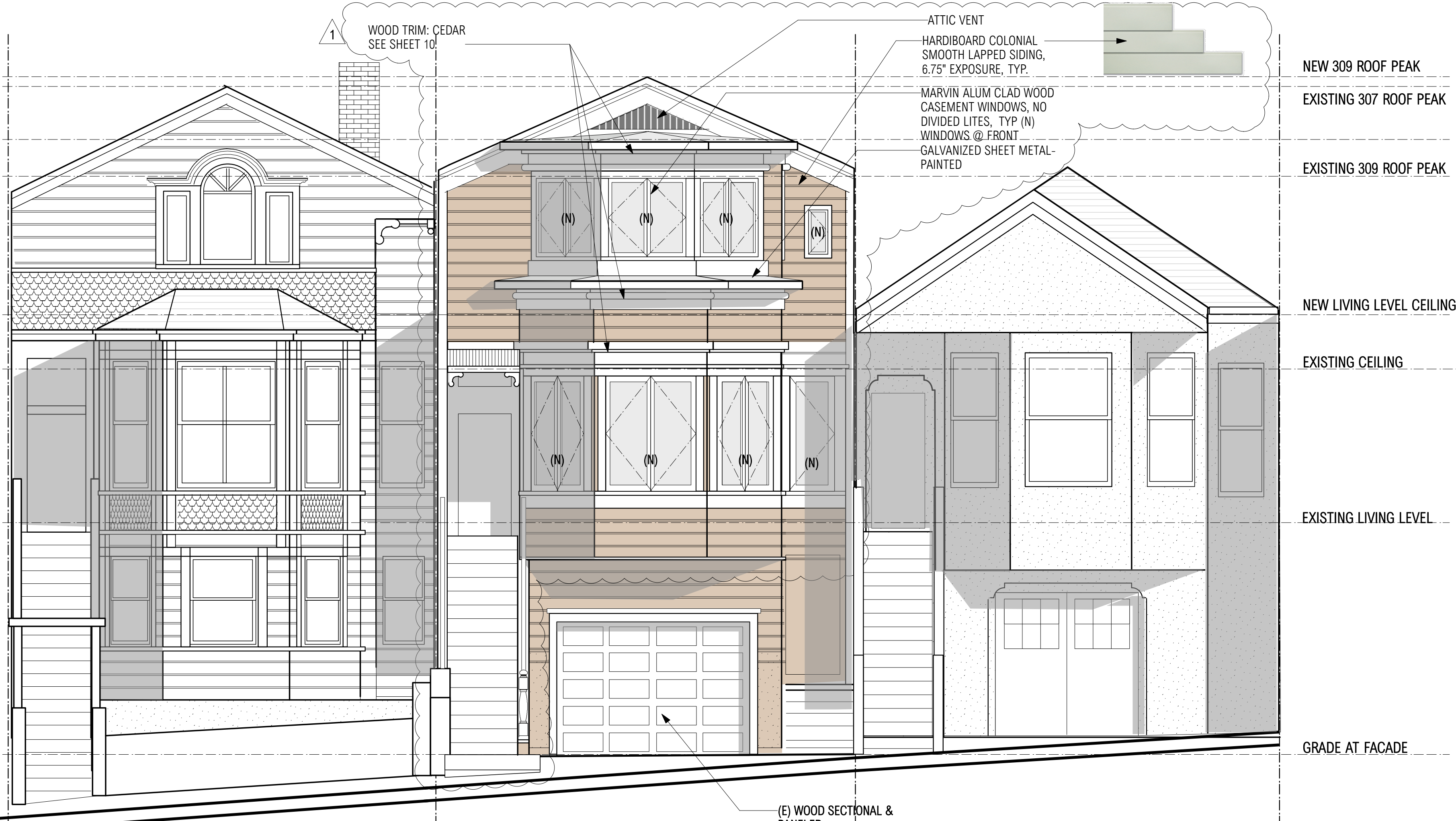
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3 NEW TRANSVERSE SECTION @ FRONT
Scale: 1/4" = 1'-0"



4 EXISTING TRASVERSE SECTION AT FRONT
Scale: 1/4" = 1'-0"



1 NEW NORTH ELEVATION
Scale: 1/4" = 1'-0"



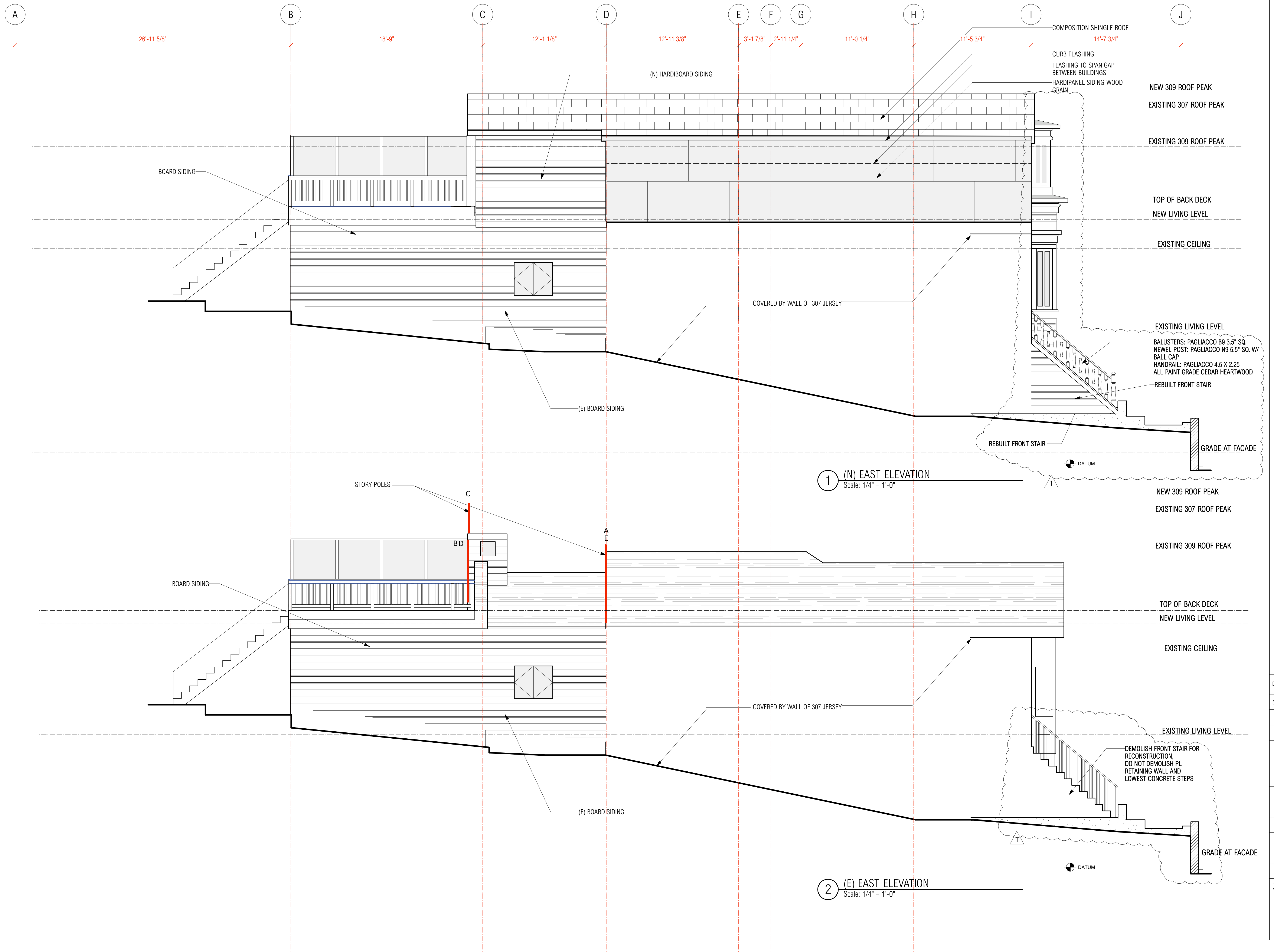
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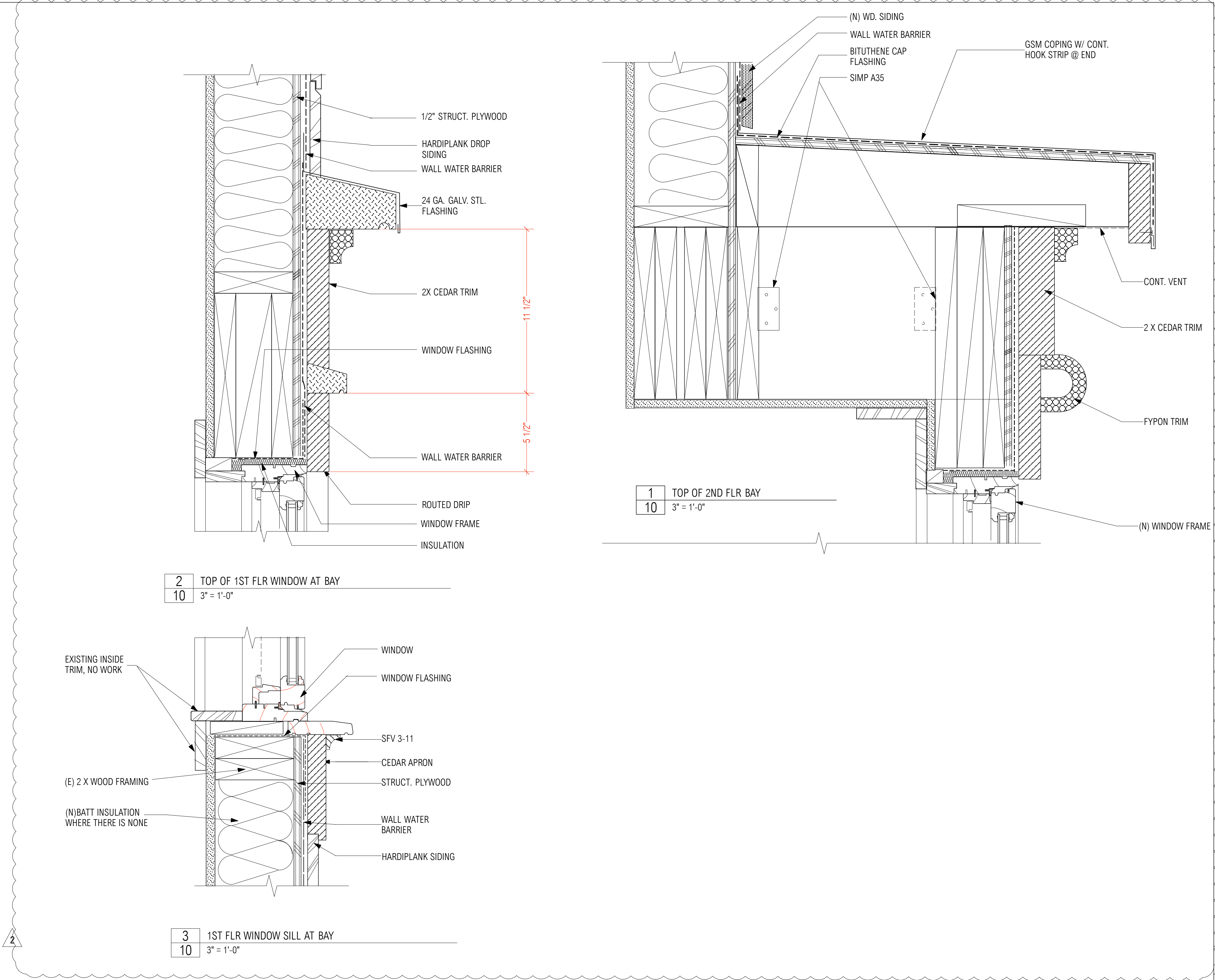


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