



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 25, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1148 Shotwell Street Cross Street(s): 25th and 26th Streets Block /Lot No.: 6526/006 Zoning District(s): RH-3 / 40-X	Case No.: 2010.0329V Building Permit: N/A Applicant/Agent: Lucy Junus Telephone: (415) 577-1055 E-Mail: lujunus@yahoo.com

PROJECT DESCRIPTION

The proposal is to construct a rear horizontal addition, add a second driveway, and expand the existing garage on the existing two-story with attic, single-family dwelling.

PLANNING CODE SECTION 134(a)(2) requires a rear yard for a lot located in the RH-3 District. The required minimum rear yard at the subject property is approximately 47'-0" at all levels. The existing building partially encroaches approximately 17'-0" into the required rear yard, leaving a rear yard of approximately 30'-0". The proposed rear deck / stair and rear building extension further encroach approximately 6'-0" into the required rear yard, leaving a rear yard of approximately 24'-0". Therefore, the project requires a Variance from the rear yard requirement.

PER PLANNING CODE SECTION 188, a non-complying structure is prohibited from intensification or increase in discrepancy at any level. The existing building is a non-complying structure in terms of rear yard. The proposed addition enlarges the existing non-complying building envelope.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Ben Fu** Telephone: **(415) 558-6613** E-Mail: **ben.fu@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0329V.pdf>

中文詢問請電: 415.558.5956

Para información en Español llamar al: 415.558.5952

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES					VICINITY MAP NTS	
<div>1. ALL MATERIALS, LABOR, INSTALLATION, FABRICATION, ETC., SHALL CONFORM TO ALL LOCAL CODES, REGULATIONS, AND TITLE 24.</div> <div>2. THE TERM "ARCHITECT" AND/OR "DESIGNER" AS NOTED ON DRAWINGS, REFER TO LUCY JUNUS, 2474 27TH AVENUE, SAN FRANCISCO, CA 94116, PHONE: (415) 564-1055, FAX: (415) 564-1056.</div> <div>3. EXAMINATION OF THE SITE AND PORTIONS THEREOF, WHICH WILL AFFECT THIS WORK, SHALL BE MADE IMMEDIATELY BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL, AT SUCH TIME, ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES.</div> <div>4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND COORDINATING WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, AND SPRINKLER REQUIREMENTS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE WORK BEGINS.</div> <div>5. ANY REVISIONS OR ADDITIONAL WORK REQUIRED BY TENANT, FIELD CONDITIONS, OR LOCAL GOVERNING AUTHORITIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PRECEEDING REGARDLESS OF COST, TIME OR MATERIAL INCREASE.</div> <div>6. CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT, AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITION REQUIRING MODIFICATION OR CHANGE.</div> <div>7. CONTRACTOR SHALL PROTECT AREA, AND NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE, WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF FINISHES, STRUCTURE, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE TENANT AT THE EXPENSE OF THE GENERAL CONTRACTOR.</div> <div>8. MATERIALS ARE SUSPECTED BY THEIR BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL.</div> <div>9. ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, ELECTRICAL, ETC., SHALL CONFORM TO ALL GOVERNING BUILDING CONDES AND REGULATIONS, THE MORE STRINGENT SHALL APPLY.</div> <div>10. ALL DIMENSIONS ON CONSTRUCTION DRAWINGS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN.</div> <div>11. ALL DIMENSIONS ON TELEPHONE/ELECTRICAL DRAWINGS ARE FROM FACE TO FINISH OR CENTERLINE OF COLUMN TO CENTERLINE OF OUTLET OR GROUP OF OUTLETS, AS INDICATED.</div> <div>12. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE AS BINDING AS IF CALLED FOR ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. CONTRACTOR SHALL CONTACT ARCHITECT IF CLARIFICATION IS REQUIRED.</div> <div>13. ALL WORK LISTED, SHOWN, OR IMPLIED BY ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.</div> <div>14. THE USE OF THE WORD "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED AND CONNECTED, WHERE SO REQUIRED, EXCEPT AS NOTED OTHERWISE.</div> <div>15. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUESTED FOR FABRICATED ITEMS, CUTS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED FOR TO THE DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.</div> <div>16. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS AND ALL OTHER ITEMS REQUIRING THE SAME.</div> <div>17. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES, AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS, AS REQUIRED.</div> <div>18. THE SUBCONTRACTORS SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING IN ANY WAY, FINISHED AREAS IN OR OUTSIDE JOB SITE. THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE.</div> <div>19. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT. THE GENERAL CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.</div> <div>20. CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS, AND REPORT TO THE DESIGNER ANY DISCREPANCIES FOR CORRECTION AND ADJUSTMENT. NO ALLOWANCE WILL BE MADE FOR INCREASED COSTS INSURED DUE TO LACK OF PROPER COORDINATION.</div> <div>21. CONTRACTOR SHALL HOLD HARMLESS THE TENANT, ARCHITECT, BLDG. OWNER AND THEIR REPRESENTATIVES OF ANY SUITS OR ANY LEGAL ACTION ARISING FROM THE CONTRACTOR'S WORK.</div> <div>22. CONTRACTOR SHALL LEAVE PREMISES AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR MOV IN. THIS IS TO INCLUDE CLEANING OF ALL GLASS (INCLUDING INSIDE OF EXTERIOR GLASS) AND FRAMES, BOTH NEW AND EXISTING.</div> <div>23. UNLESS OTHERWISE NOTED, BUILDING STANDARD MATERIALS AND SPECIFICATIONS THAT HAVE PREVIOUSLY BEEN OR SHALL BE SELECTED WILL BE USED THROUGHOUT THE CONSTRUCTION.</div> <div>24. ALL EXIT DOORS MUST BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.</div> <div>25. PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NPFA 10.</div> <div>26. MATERIALS EXPOSED IN RETURN AIR PLENUM MUST MEET THE SPECIFIC REQUIREMENTS FOR SUCH AN APPLICATION IN THE NATIONAL ELECTRICAL CODE AND UNIFORM MECHANICAL CODE. THIS INCLUDES THE TELEPHONE AND COMPUTER CABLES.</div> <div>27. THE MAXIMUM FLAMESPREAD CLASSIFICATION OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILINGS MUST NOT EXCEED THE LIMITS OR SIMILAR MATERIAL HAVING A NAPPED, TUFTED, LOOPED OR SIMILAR SURFACE IS USED AS WALL OR CEILING FINISH, IT MUST HAVE A CLASS 1 FLAMESPREAD CLASSIFICATION.</div> <div>28. CONTACT LUCY JUNUS FOR ALL APPROVALS AS NOTED IN DRAWINGS: 2474 27TH AVENUE, SAN FRANCISCO, CA 94116, PHONE: (415) 564-1055, FAX: (415) 564-1056.</div>						
PROJECT TEAM						
STRUCTURAL ENGINEER : TBD						
GENERAL CONTRACTOR : TBD						
SHEET INDEX						
<div>A-1 Cover Sheet</div> <div>A-2 Site Plan</div> <div>A-3 Demolition Lower Floor Plan</div> <div>A-4 Demolition Upper Floor Plan</div> <div>A-5 Proposed Lower Floor Plan</div> <div>A-6 Proposed Upper Floor Plan</div> <div>A-7 Existing East Elevation</div> <div>A-8 Existing South Elevation</div> <div>A-9 Existing North Elevation</div> <div>A-10 Existing West Elevation</div> <div>A-11 Proposed Elevations & Section</div> <div>A-12 Proposed Roof Plan</div> <div>A-13 PHOTOS</div>						
SCOPE OF WORK:		BUILDING SITE INFORMATION				
<div>- GARAGE ADDITION AT REAR OF 2 STORY BUILDING</div> <div>- NEW DECK ABOVE GARAGE & IN FRONT OF MASTER BEDROOM</div> <div>- NO WORK TO FRONT FAÇADE & NORTH OF BUILDING</div>		(IN SQ. FT.)	EXISTING	ADDITIONAL	REDUCTION	TOTAL
		GARAGE	247	140	-	387
		LOWER FLOOR	1436	111	-	1547
		UPPER FLOOR	1690	-	70	1620
		TOTAL BUILDING (Including garage)	3373	251	70	3554
		TOTAL LOT AREA				3,737
		TOTAL DECK	20	227	-	247
ABBREVIATION:						
<div>C.L. CENTER LINE</div> <div>CLOS. CLOSET</div> <div>DN DOWN</div> <div>(E) EXISTING</div> <div>ELEV. ELEVATION</div> <div>F.P. FIREPLACE</div> <div>GYP. BD. GYPSUM BOARD</div> <div>HR. HOUR</div> <div>MECH. MECHANICAL</div> <div>N NEW</div> <div>RM. ROOM</div> <div>SH. SHOWER</div> <div>WC WATER CLOSET</div> <div>S.F. SQUARE FEET</div> <div>U.O.N. UNLESS OTHERWISE NOTED</div> <div>W.H. WATER HEATER</div> <div>W WASHER</div> <div>D DRYER</div> <div>S SINK</div> <div>REF. REFRIGERATOR</div> <div>P.L. PROPERTY LINE</div>						

REVISIONS	BY
02-18-10	
04-29-10	
PROJECT NAME: GIBBONS & JUNUS 1148 SHOTWELL STREET SAN FRANCISCO, CA 94110	
SHEET TITLE COVER SHEET	
DESIGNED BY: LUCY JUNUS INTERIOR DESIGN 2474 27 TH AVENUE SAN FRANCISCO, CA 94116 TEL: 415-564-1055 FAX: 415-564-1056	Date 02-08-10
	Scale -
	Drawn LJ
	Job G & J
	Sheet A-1
	Of Sheets

[illegible]

PROJECT NAME: GIBBONS & JUNUS
1148 SHOTWELL STREET
SAN FRANCISCO, CA 94111

SITE PLAN

SHEET TITLE

DESIGNED BY:

BY: **LUCY JUNUS**
INTERIOR DESIGN
2474-27TH AVENUE
SAN FRANCISCO, CA 94118
TEL: 415-564-1055
FAX: 415-564-1056

Date 07-11-10

Scale $1/2" = 1' - 0"$

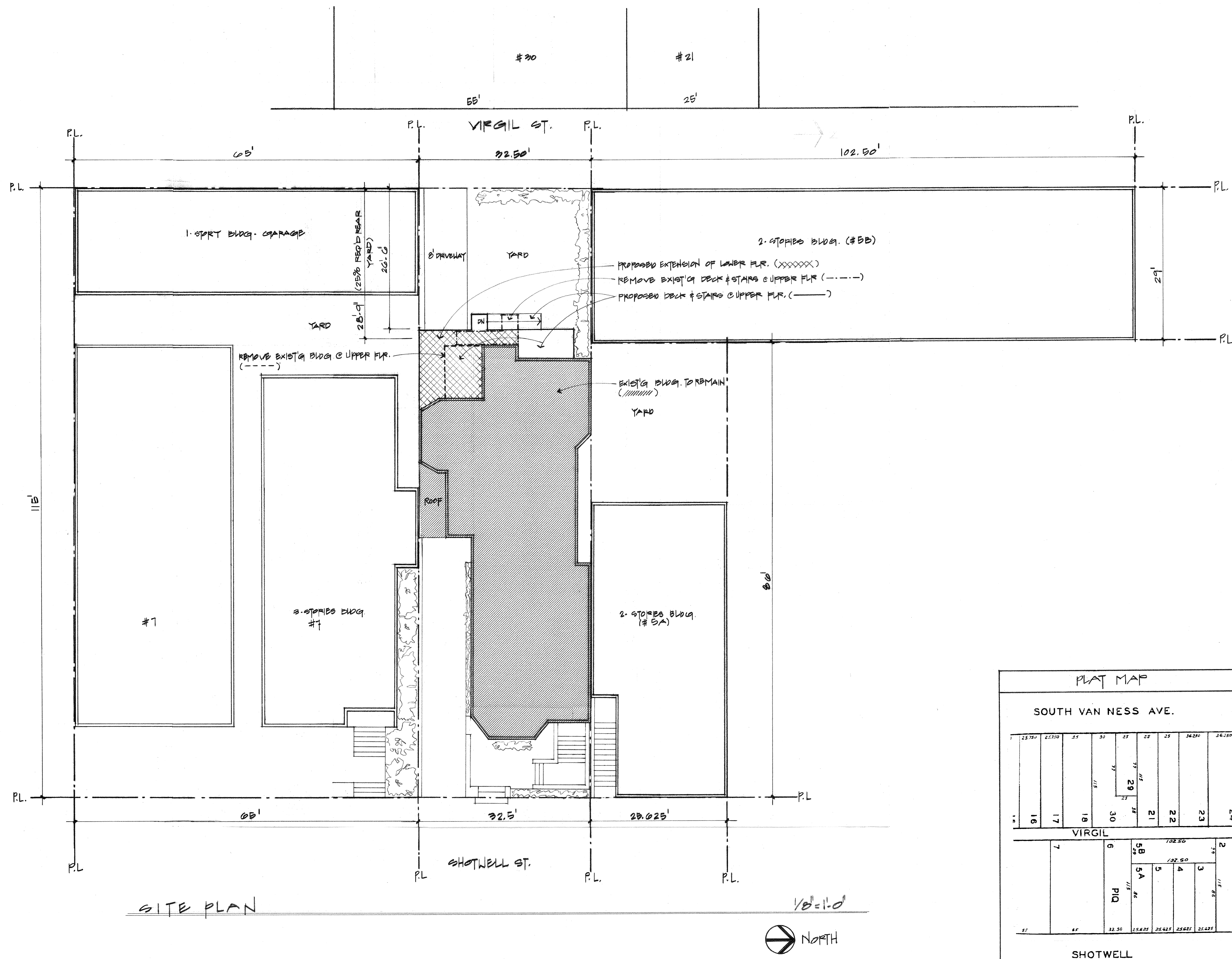
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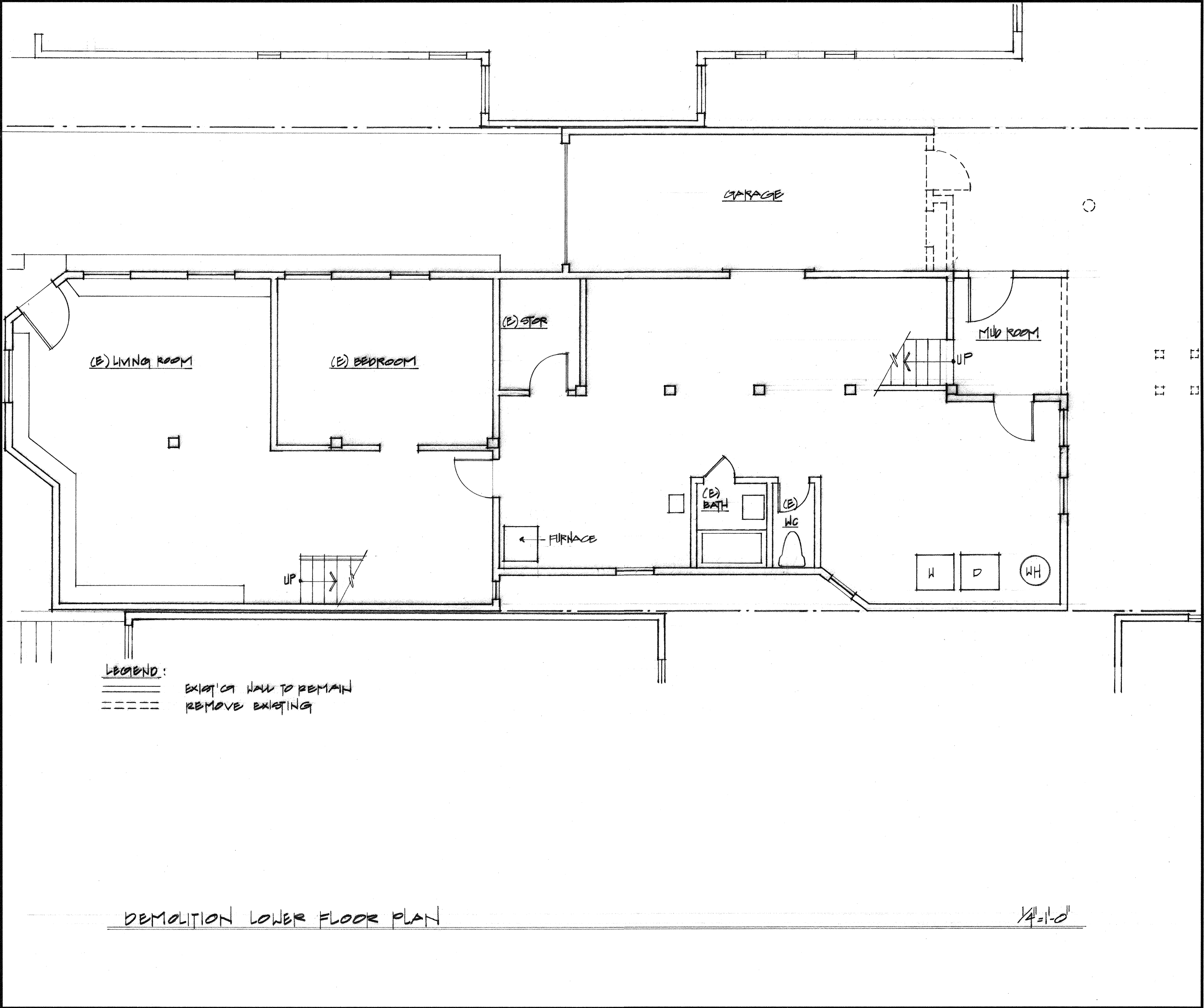
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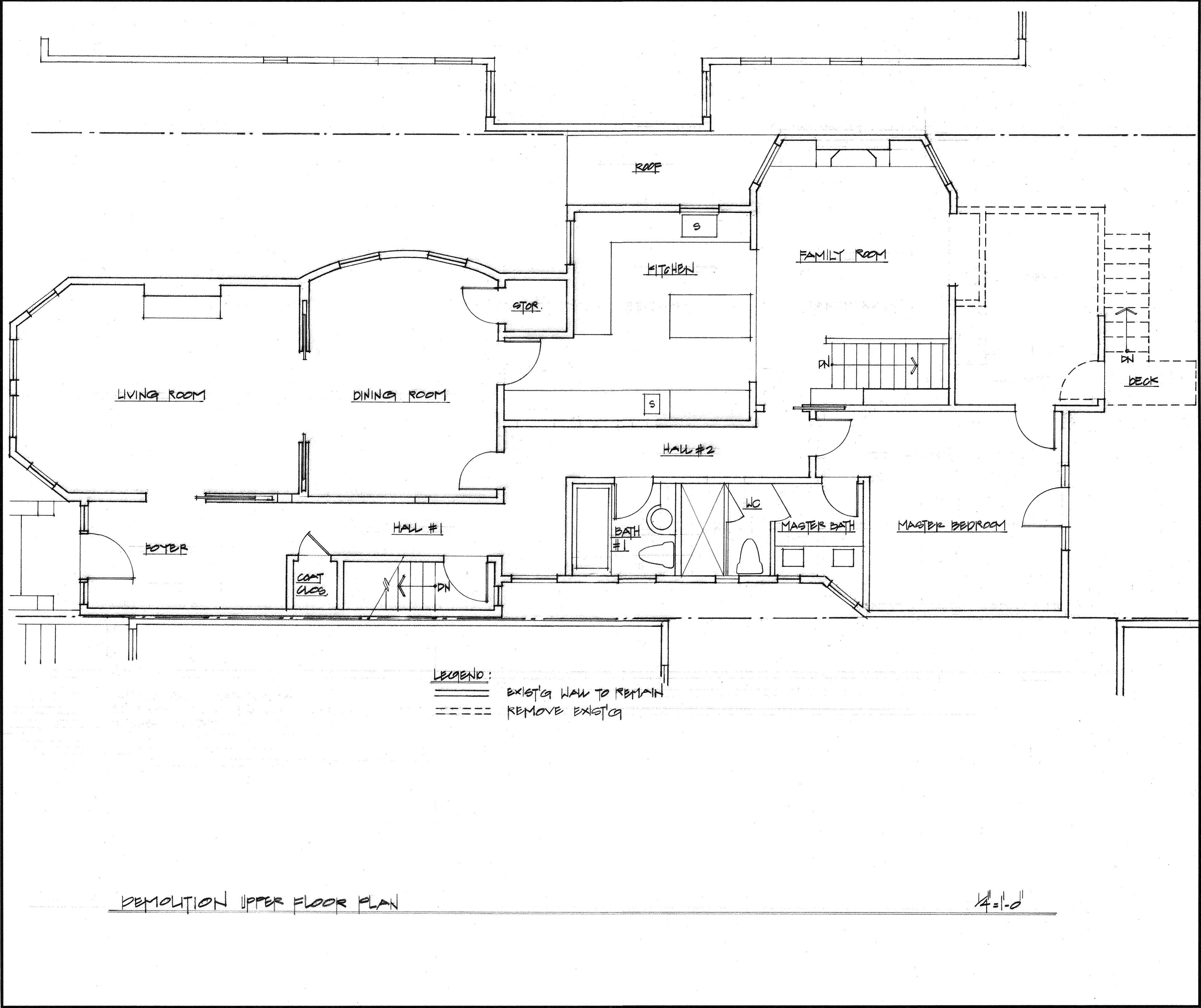
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Of	Sheets
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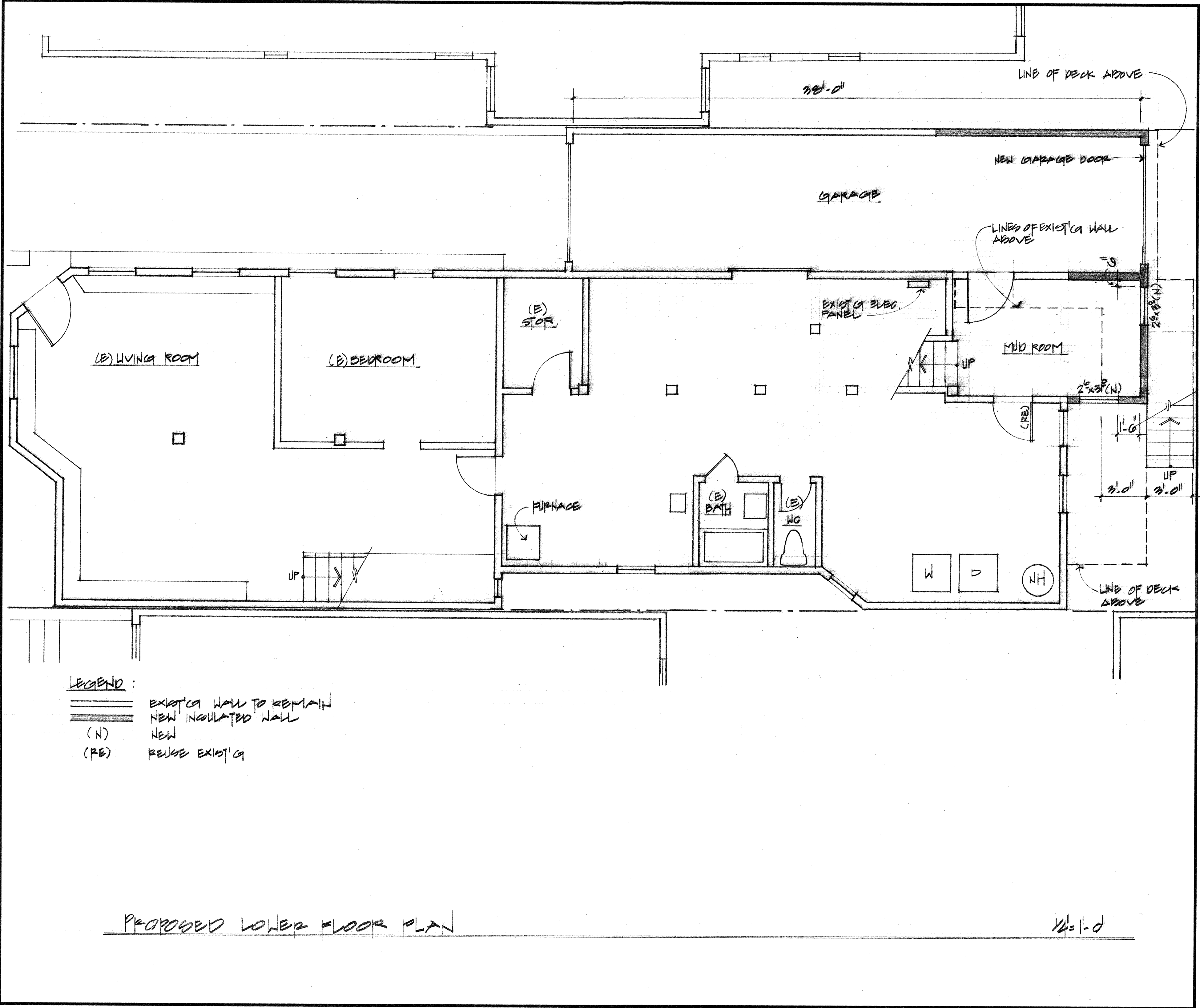




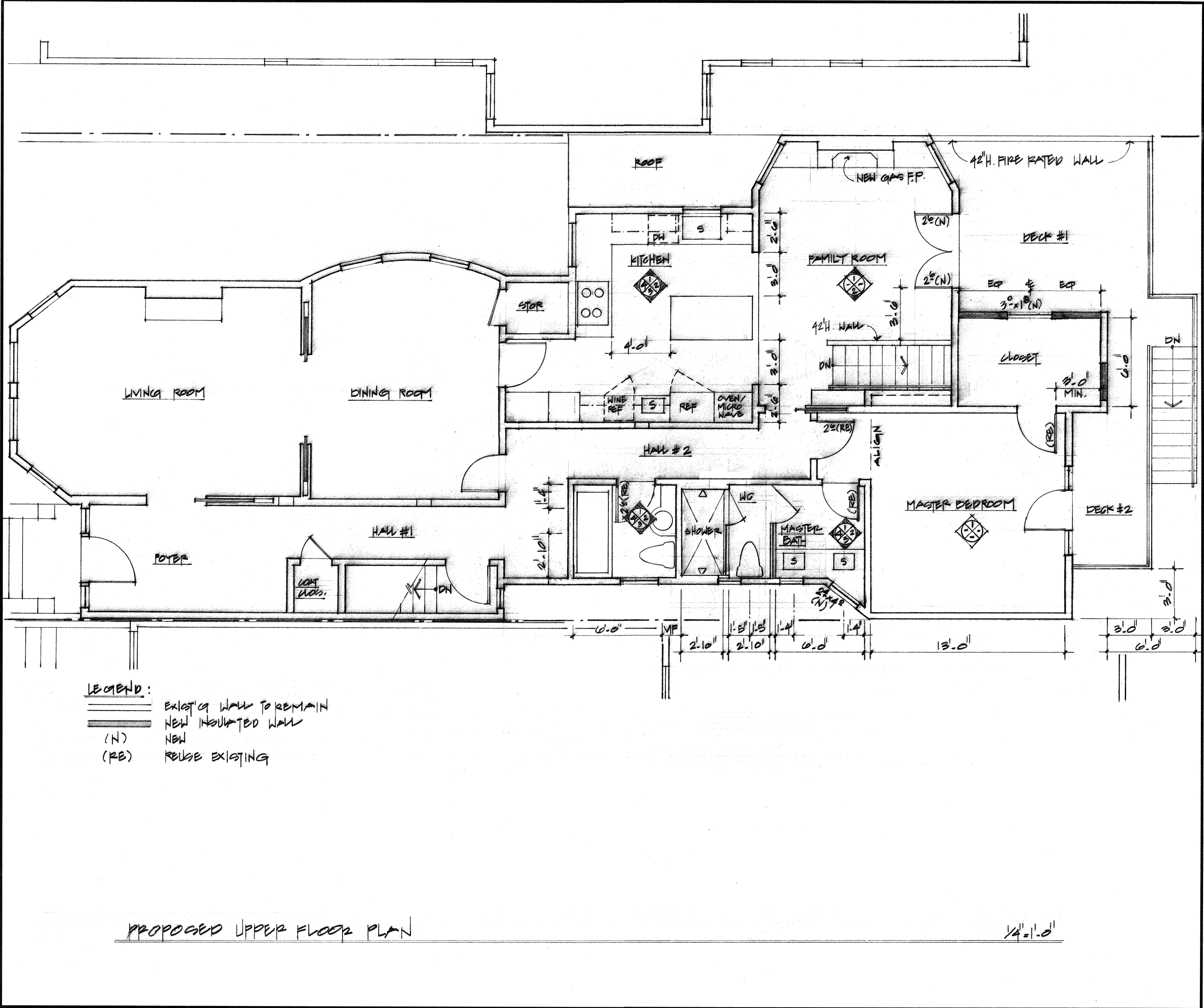
REVISIONS		BY
04-07-10		
04-29-10		
PROJECT NAME: GIBBONS & JUNUS 1148 SHOTWELL STREET SAN FRANCISCO, CA 94110		
SHEET TITLE DEMOLITION LOWER FLOOR PLAN		
DESIGNED BY: LUCY JUNUS INTERIOR DESIGN SAN FRANCISCO, CA 94116 TEL: 415-584-1055 FAX: 415-584-1056		
Date 01-25-10		
Scale AS SHOWN		
Drawn J		
Job G & J		
Sheet A-3		
Of Sheets		



REVISIONS		BY
04-07-10		
04-29-10		
PROJECT NAME: GIBBONS & JUNUS 1148 SHOTWELL STREET SAN FRANCISCO, CA 94110		
SHEET TITLE: DEMOLITION UPPER FLOOR PLAN		
DESIGNED BY: LUCY JUNUS INTERIOR DESIGN 2417 CALIFORNIA STREET SAN FRANCISCO, CA 94116 TEL: 415-564-1055 FAX: 415-564-1056		
Date: 01-28-10		
Scale: AS SHOWN		
Drawn: LJ		
Job: G+J		
Sheet: A-4		
Of: Sheets		



REVISIONS		BY
04.01.10		
04.29.10		
PROJECT NAME:		
GIBBONS & JUNUS		
1148 SHOTWELL STREET		
SAN FRANCISCO, CA 94110		
SHEET TITLE		
LOWER FLOOR PLAN		
DESIGNED BY:		
LUCY JUNUS		
INTERIOR DESIGN		
2474 27TH AVENUE		
SAN FRANCISCO, CA 94116		
TEL: 415-584-1055		
FAX: 415-584-1055		
Date	01-25-10	
Scale	AS SHOWN	
Drawn	LJ	
Job	919J	
Sheet	A-5	
Of	Sheets	



REVISIONS	BY
02.09.10	
04.07.10	
14.29.10	

PROJECT NAME:
GIBBONS & JUNUS
1148 SHOTWELL STREET
SAN FRANCISCO, CA 94110

SHEET TITLE
UPPER FLOOR PLAN

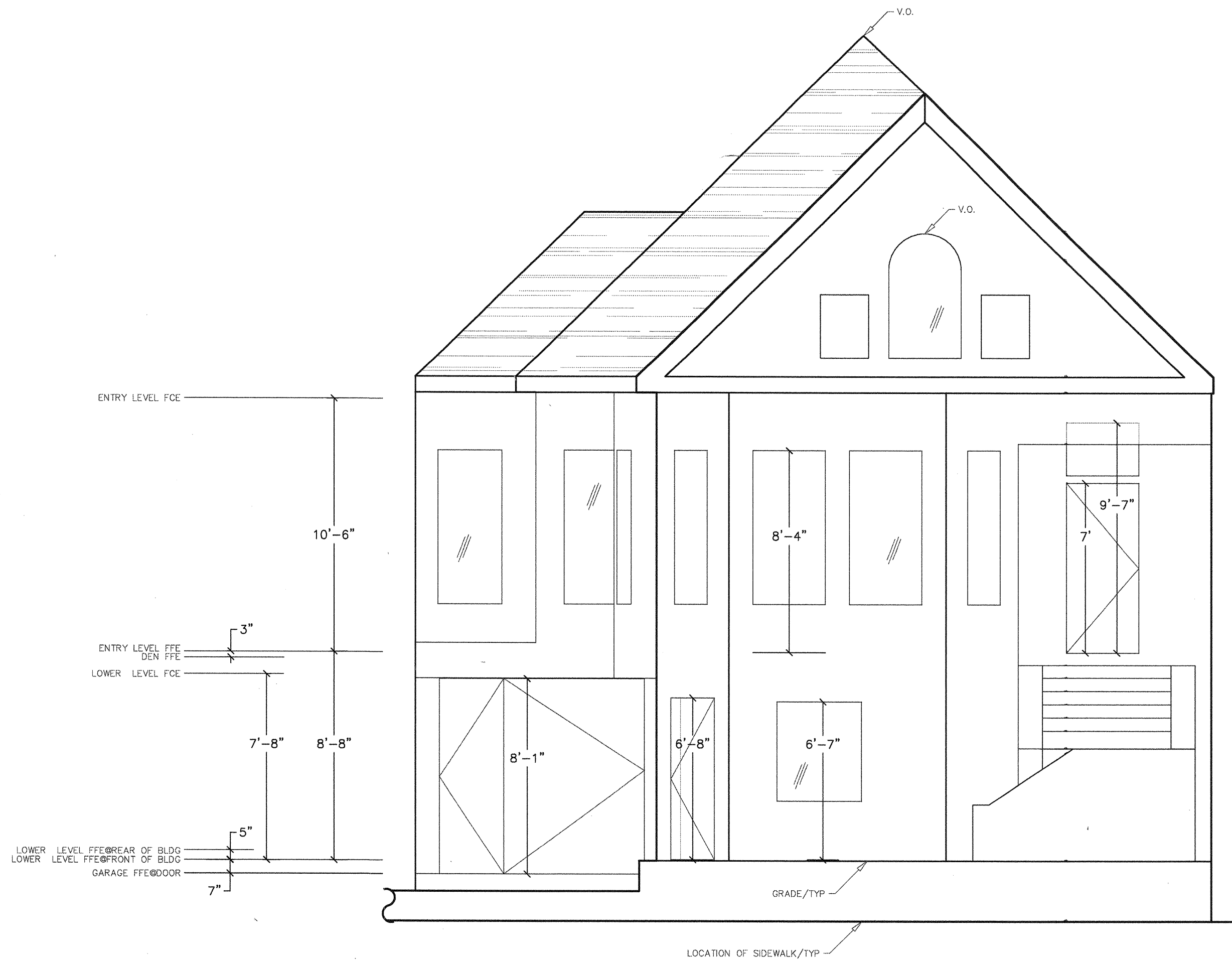
DESIGNED BY:
LUCY JUNUS
INTERIOR DESIGN
2474-27TH AVENUE
SAN FRANCISCO, CA 94116
TEL: 415-564-1055
FAX: 415-564-1056

Date 01-23-10
Scale AS SHOWN
Drawn LJ
Job G & J
Sheet
A-6
Of Sheets

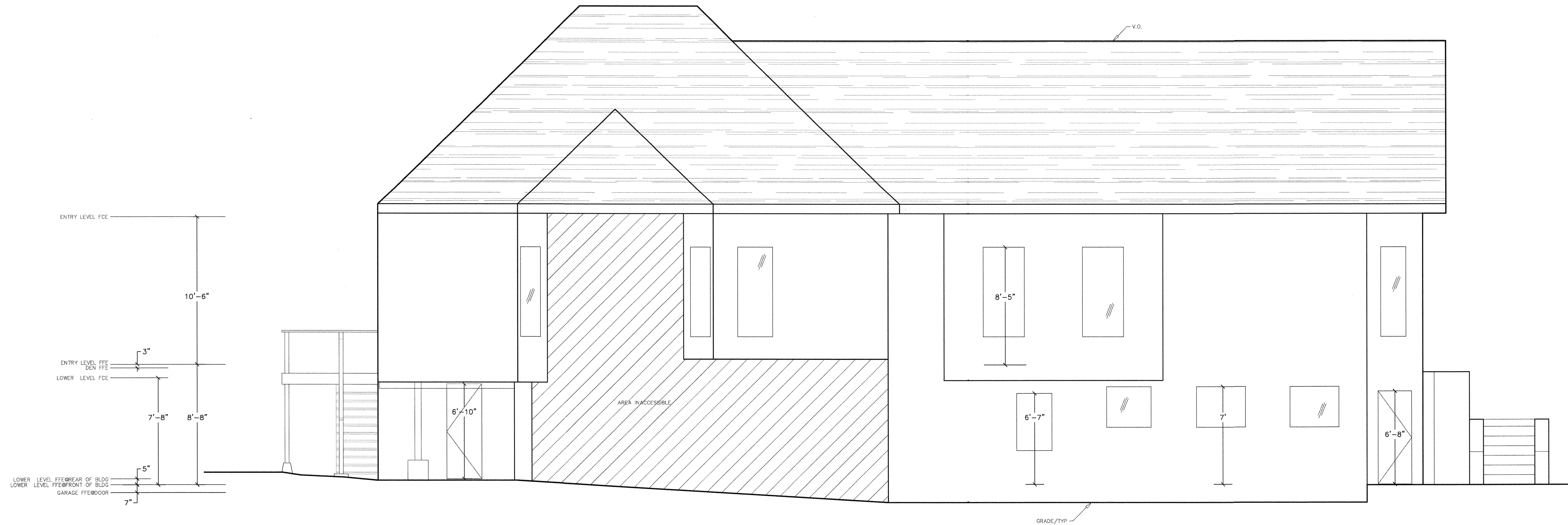
EXISTING ELEVATION

1148 SHOTWELL, SAN FRANCISCO, CA. 94110

A-7



1 EXISTING EAST ELEVATION



FEBRUARY 2ND, 2010

REF:1148_SHOTWELL

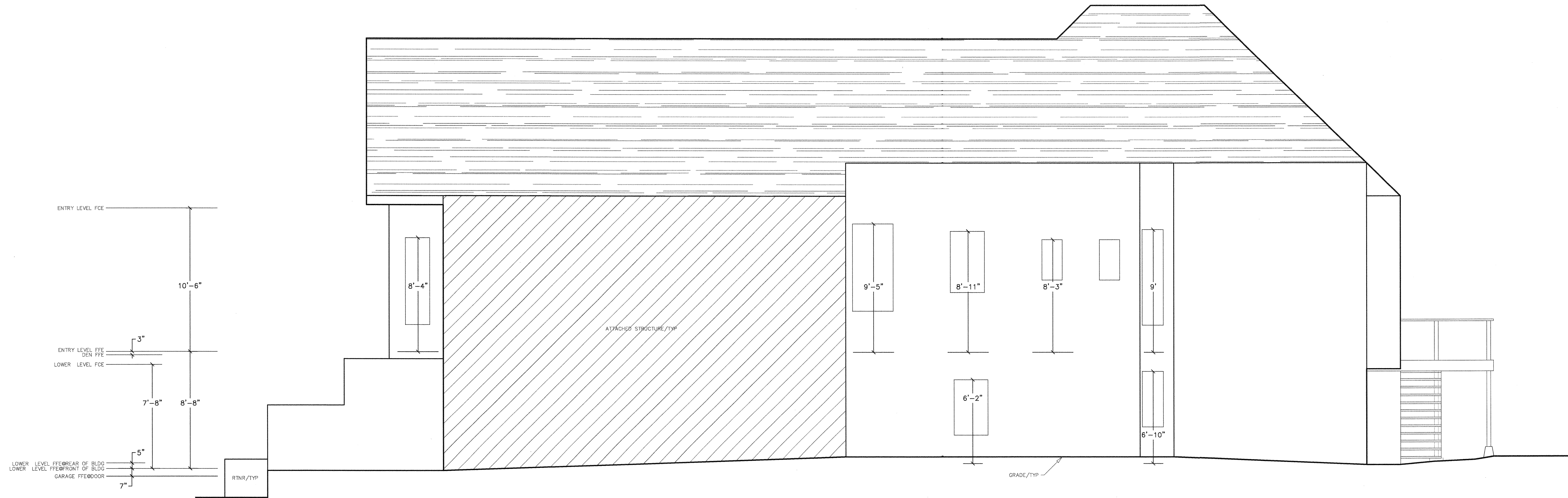
DRAWN BY : JOEL KIRK

EXISTING ELEVATION

1148 SHOTWELL, SAN FRANCISCO, CA. 94110

A-9

3 OF 4



1 EXISTING NORTH ELEVATION

FEBRUARY 2ND, 2010

REF:1148_SHOTWELL

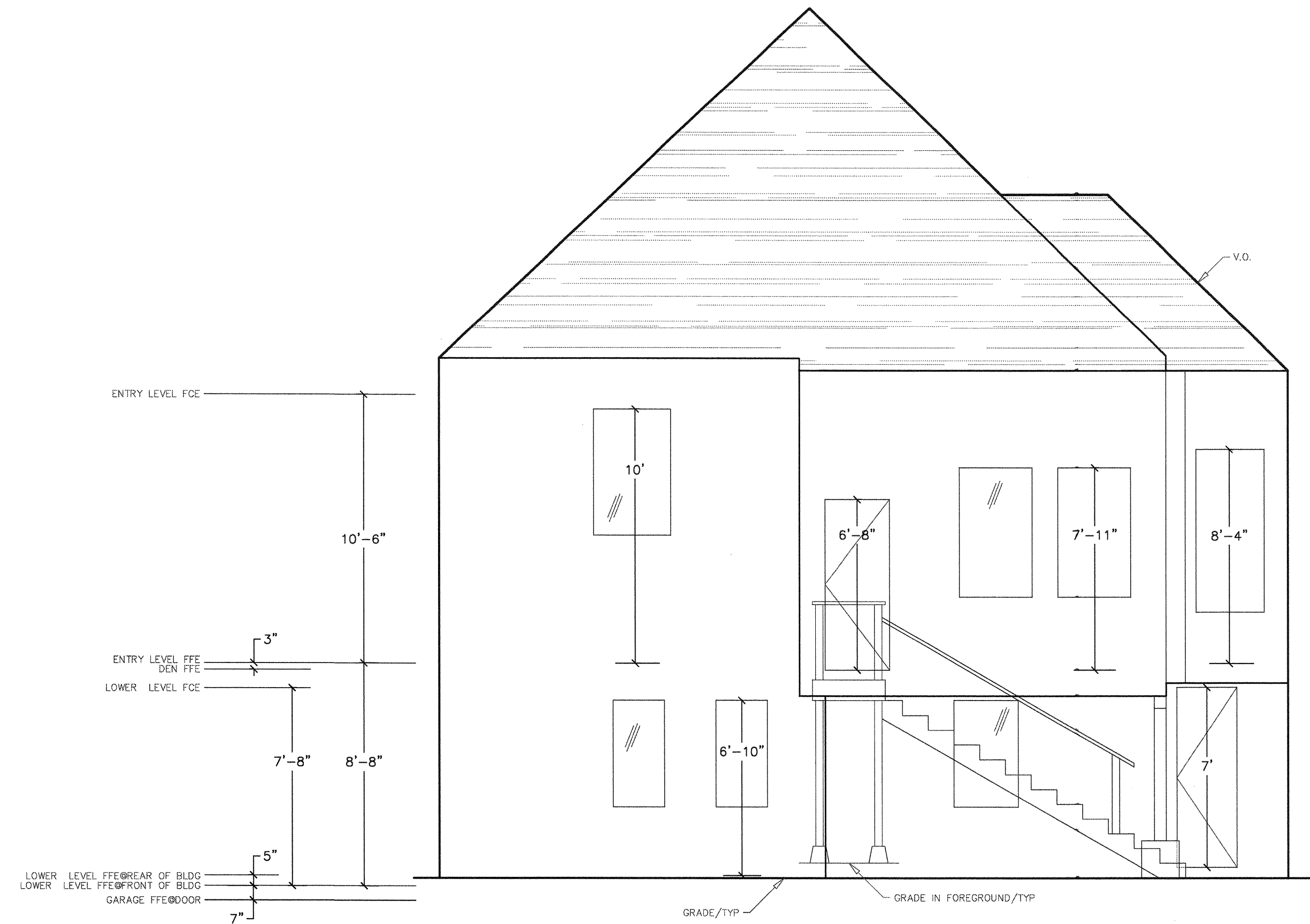
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EXISTING ELEVATION

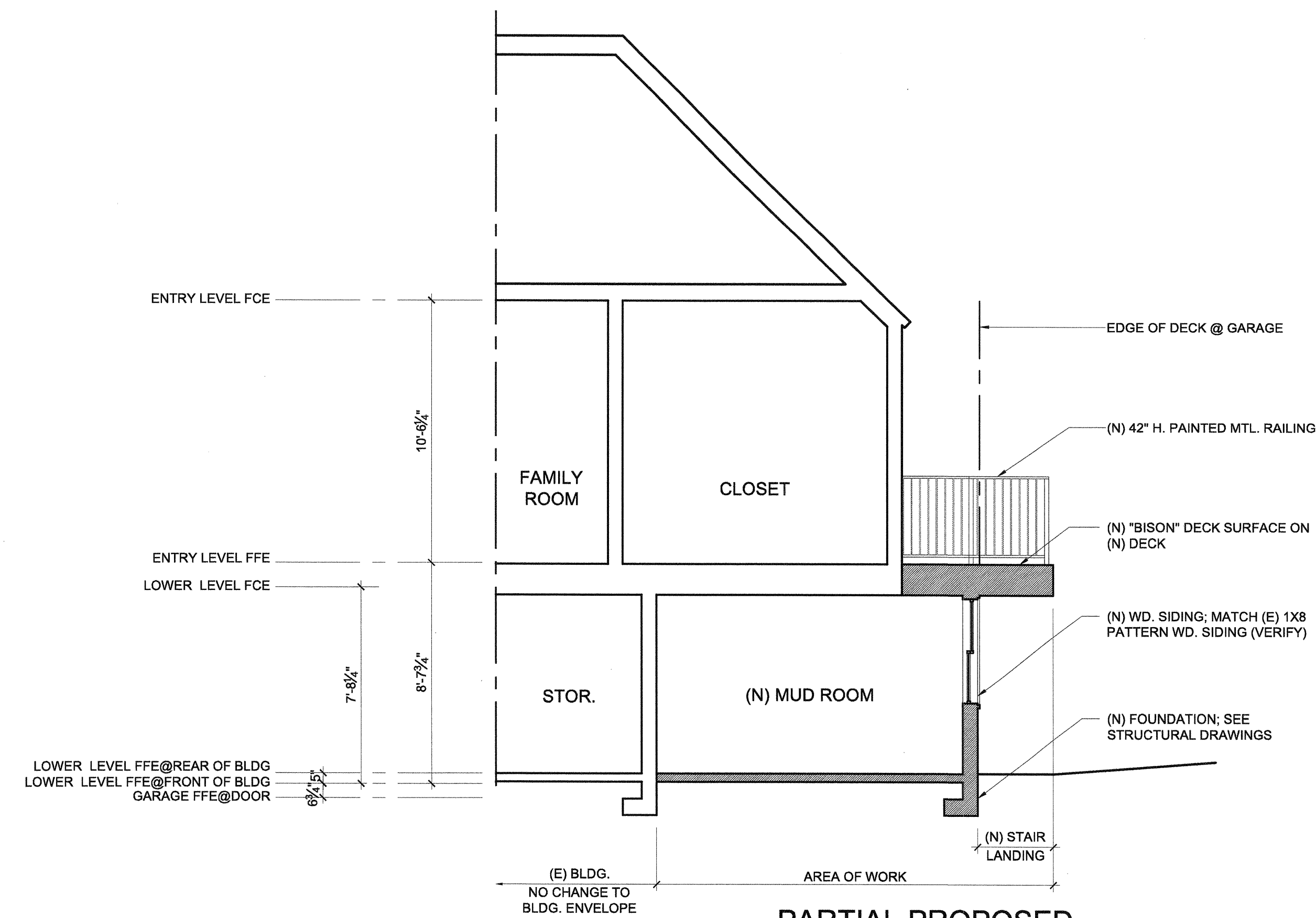
1148 SHOTWELL, SAN FRANCISCO, CA. 94110

A-10

4 OF 4



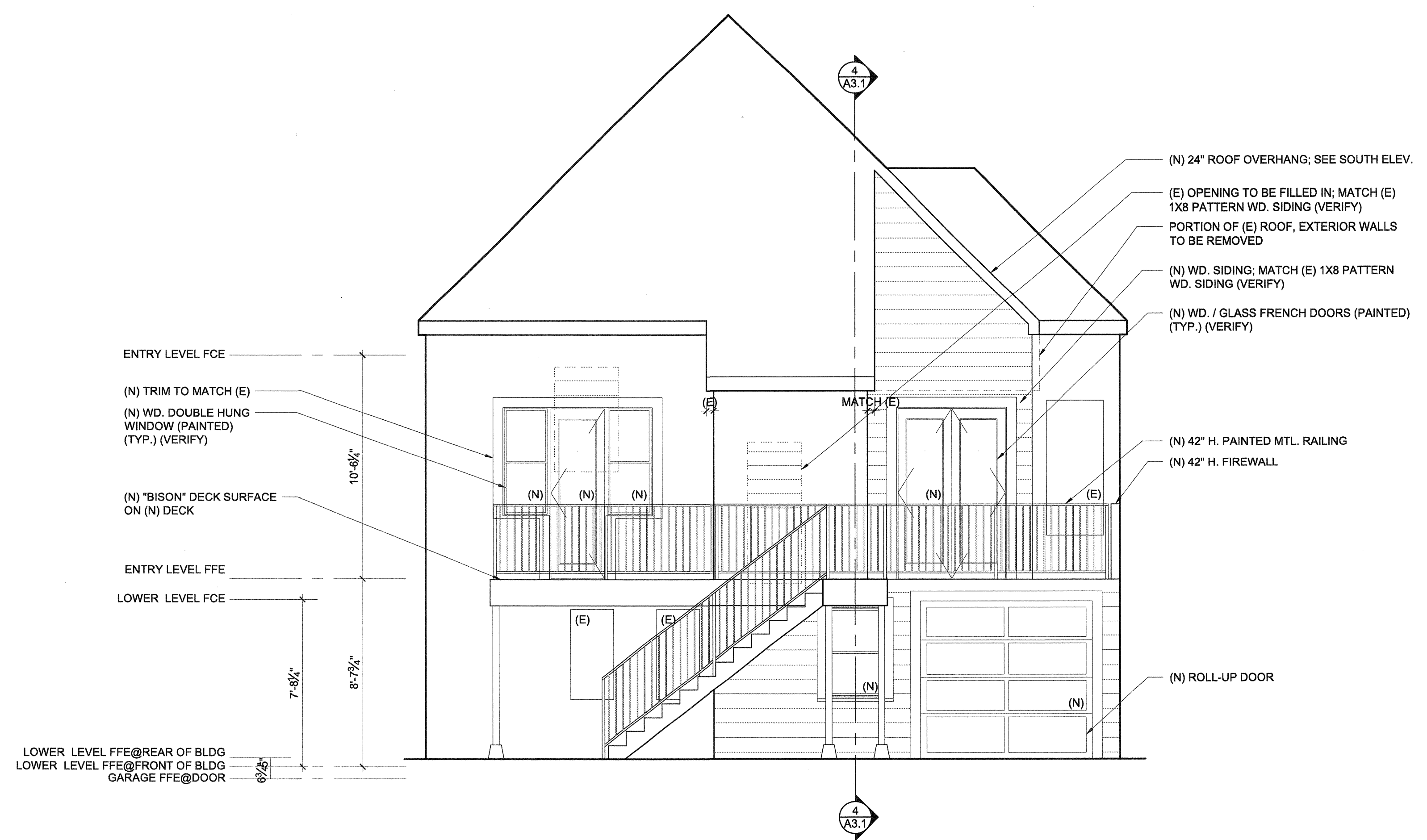
1 EXISTING WEST ELEVATION



**PARTIAL PROPOSED
BUILDING SECTION / ELEVATION**

4
A3.1

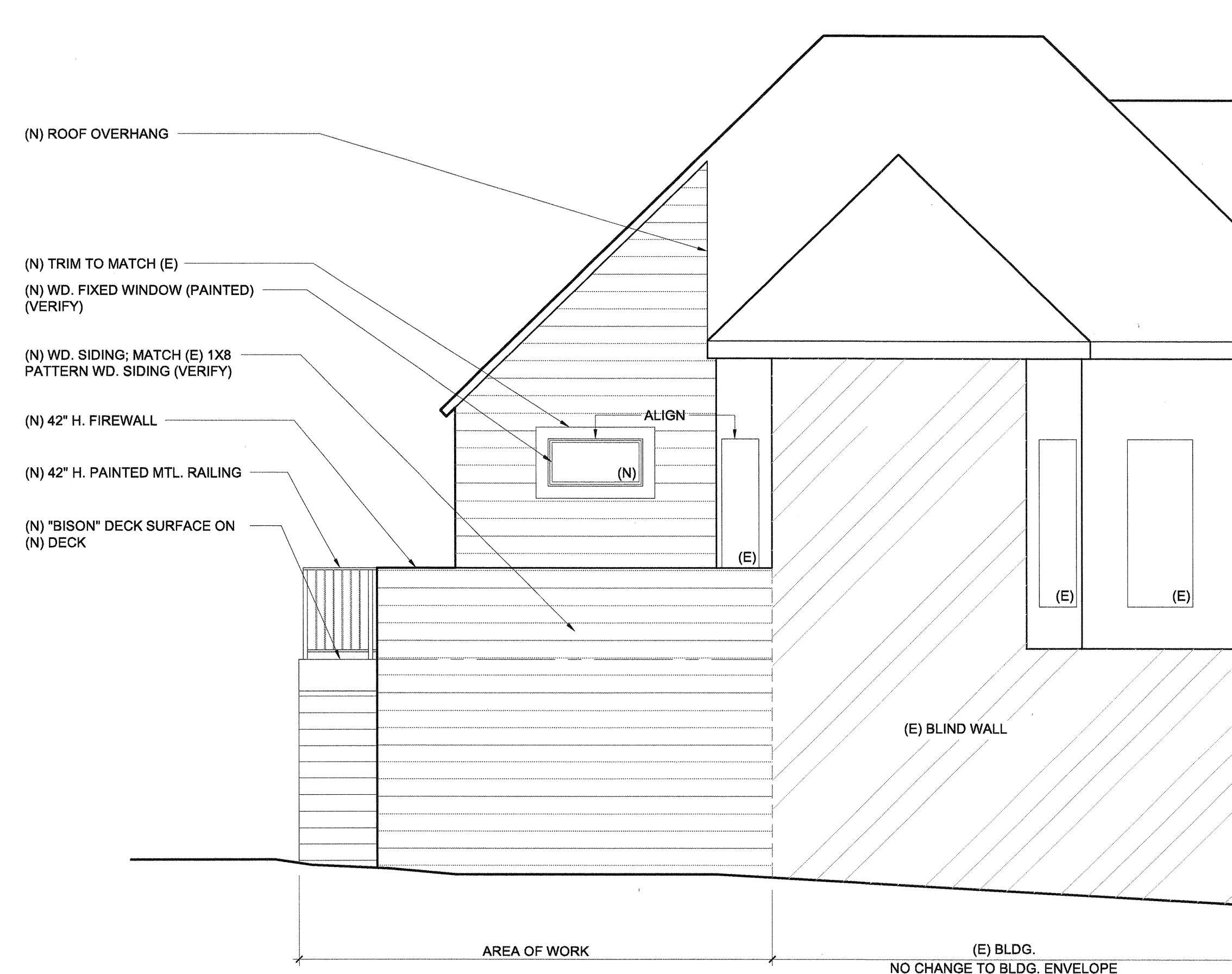
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**PROPOSED
WEST ELEVATION**

1
A3.1

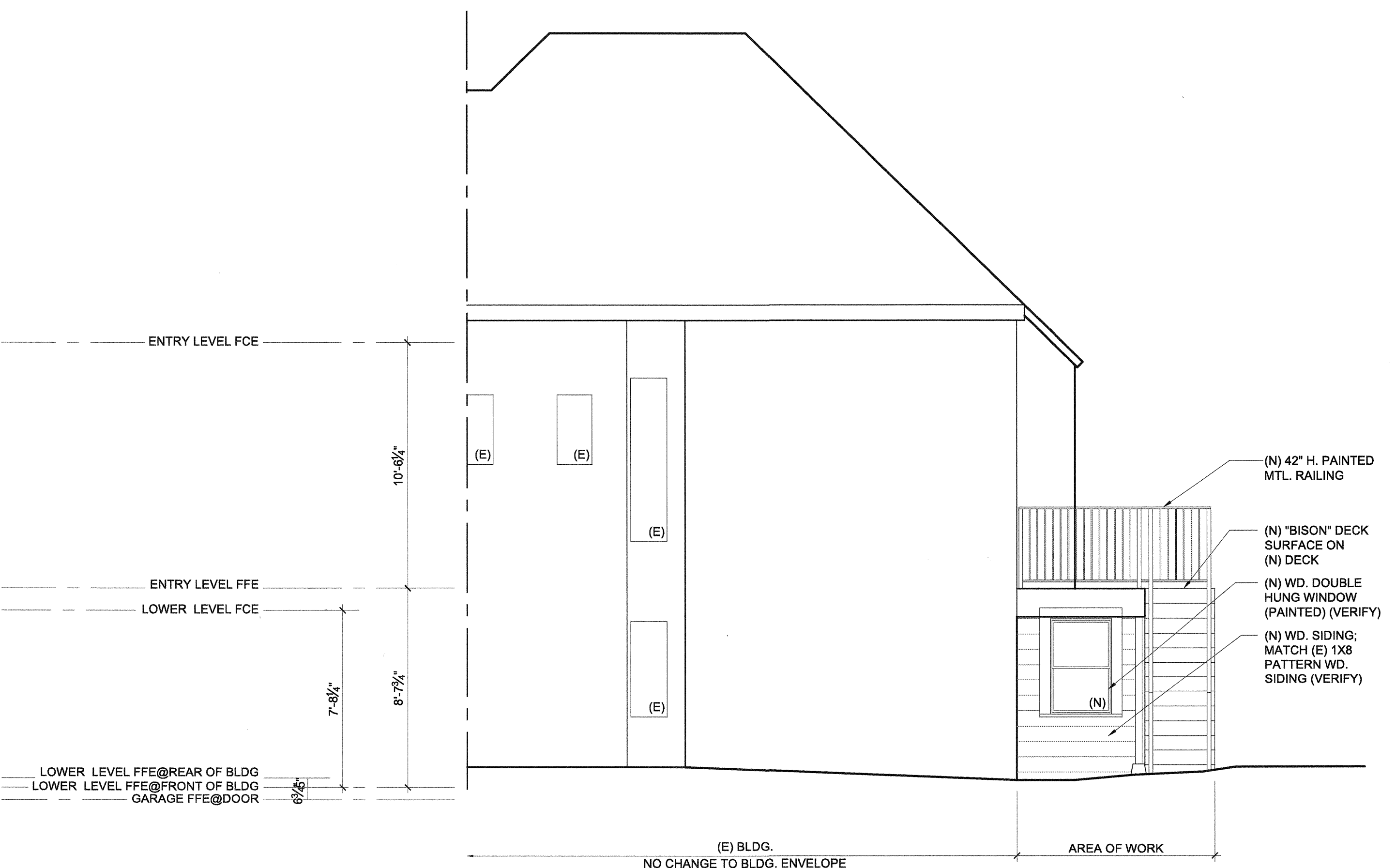
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**PARTIAL PROPOSED
SOUTH ELEVATION**

3
A3.1

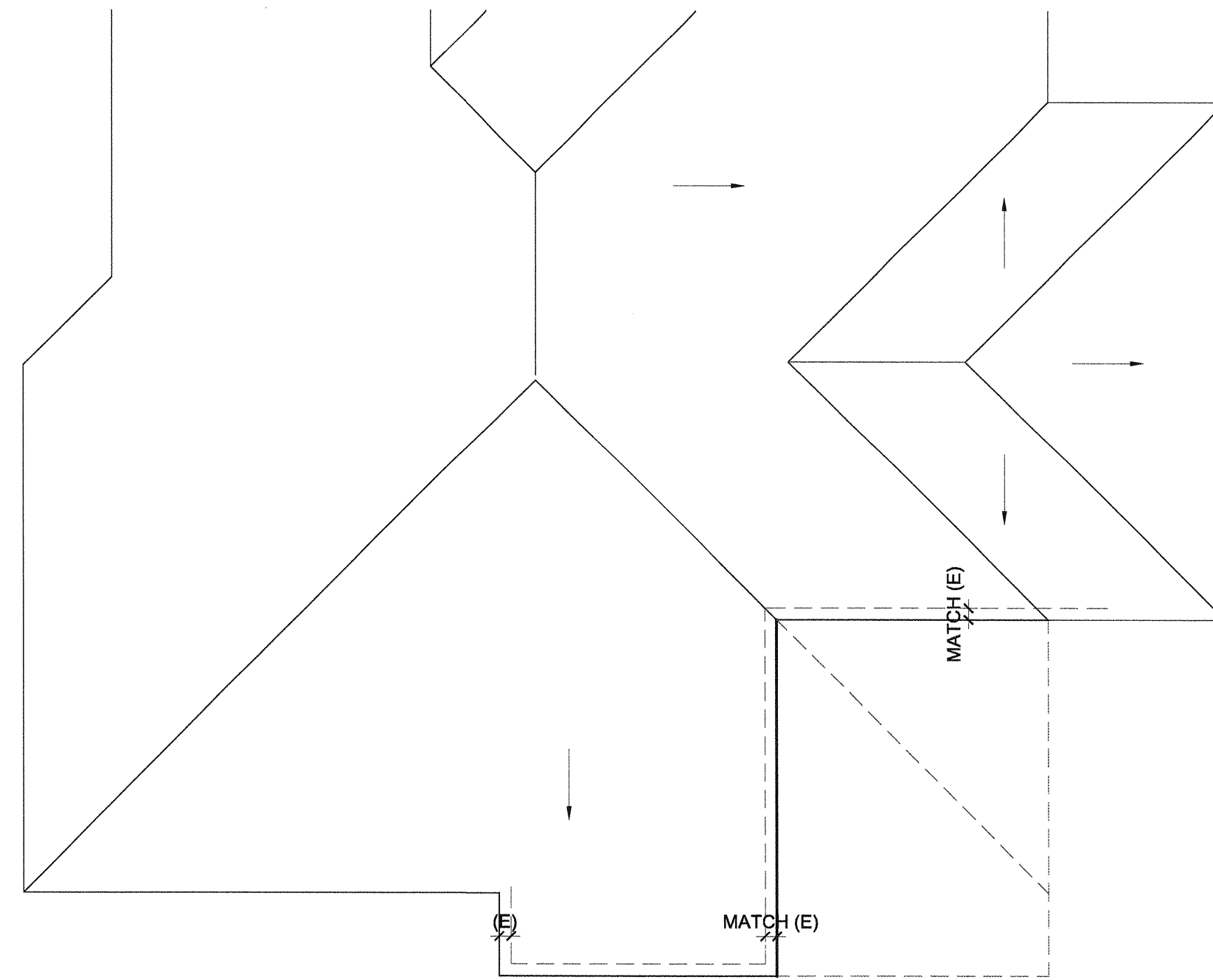
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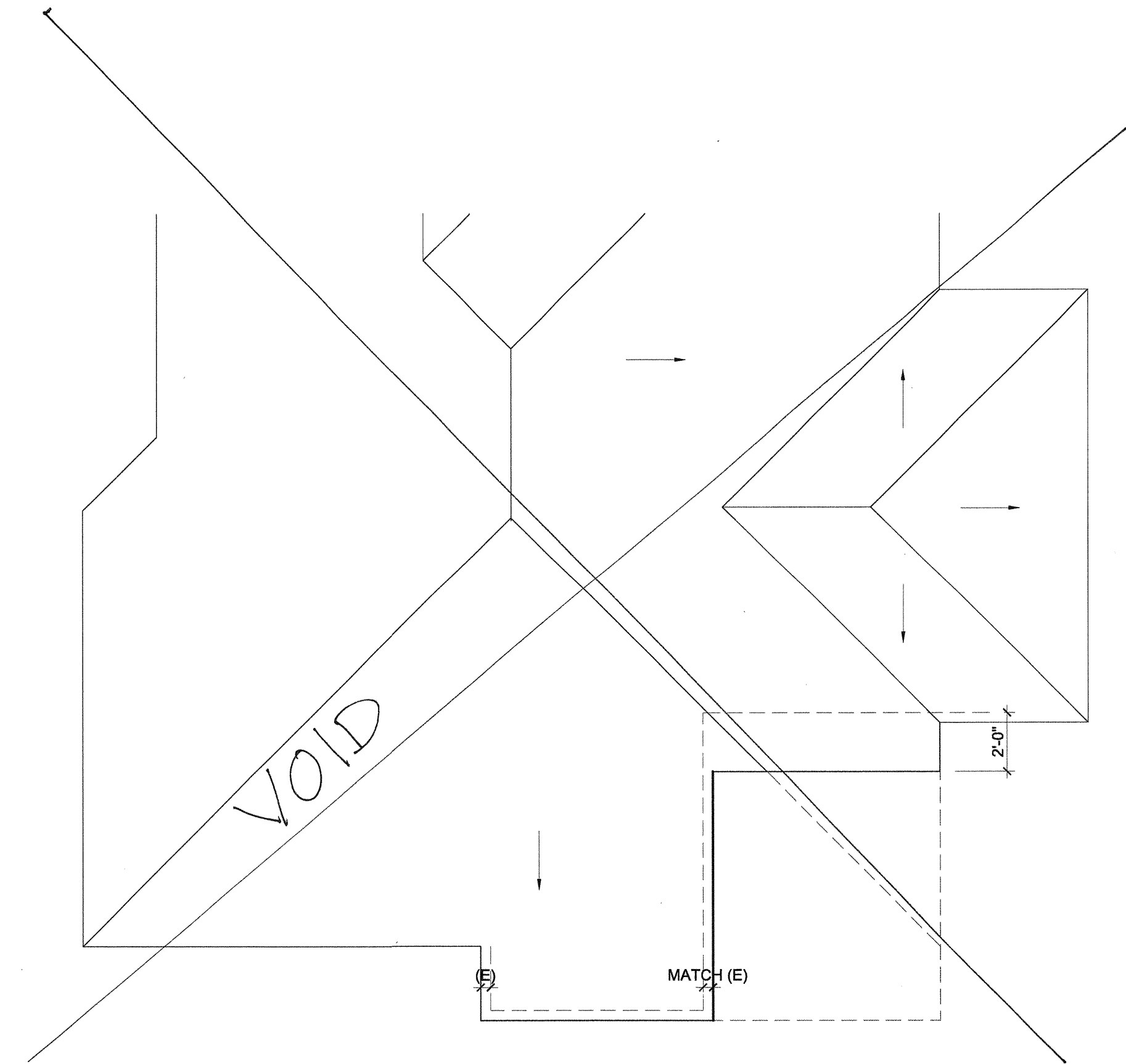
**PARTIAL PROPOSED
NORTH ELEVATION**

2
A3.1

SCALE: 1/4" = 1'-0"



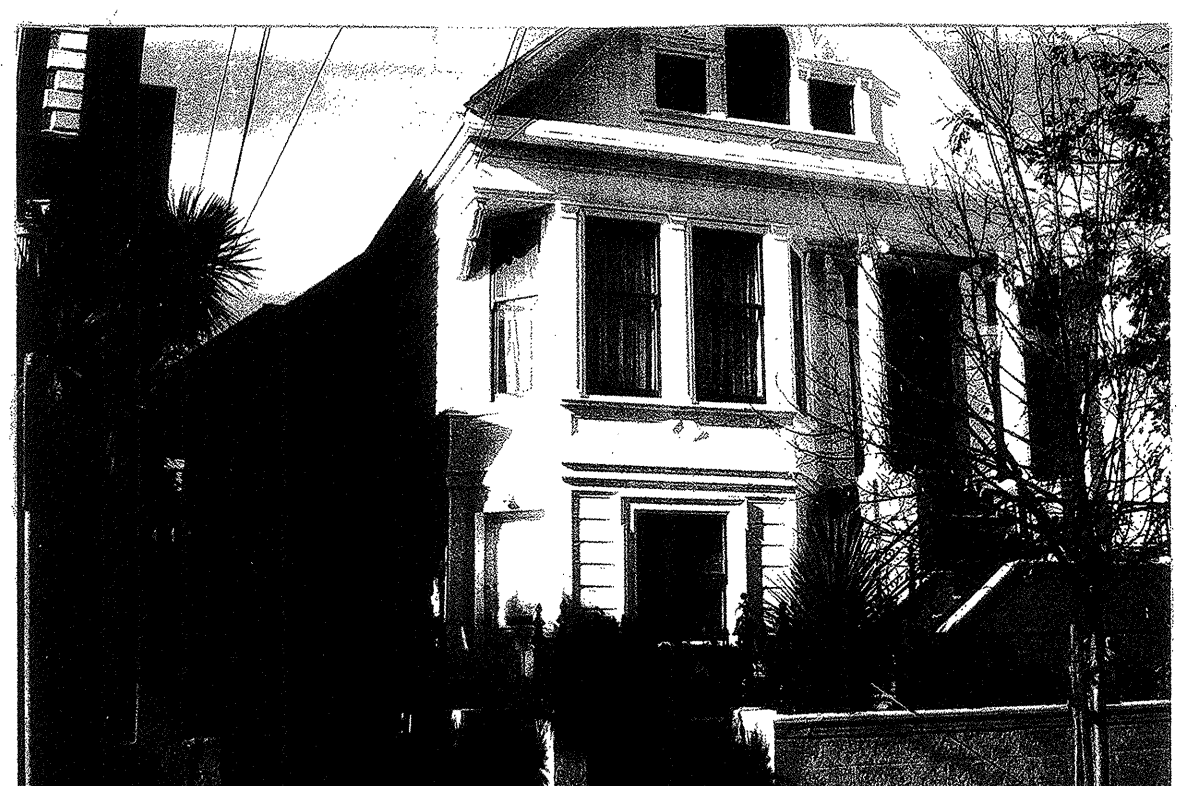
2
 PARTIAL PROPOSED
 ROOF PLAN (4")
 SCALE: 1/4" = 1'-0"



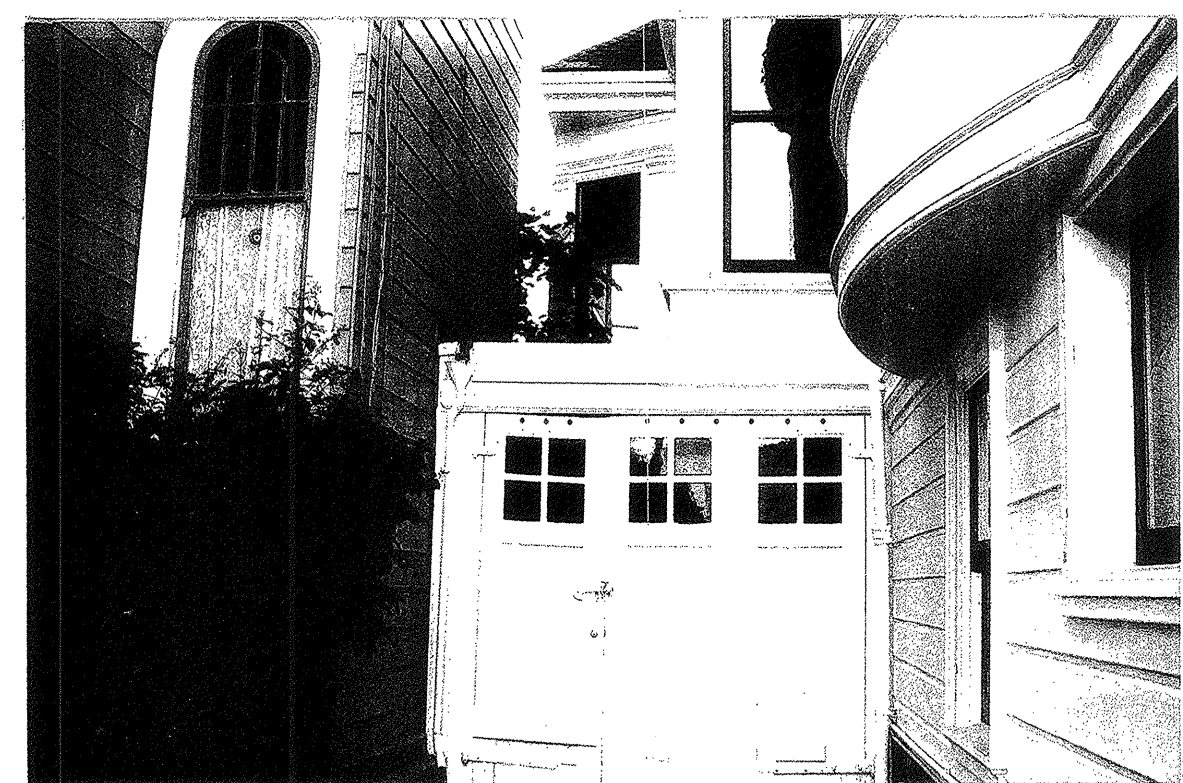
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 PARTIAL PROPOSED
 ROOF PLAN (24")
 SCALE: 1/4" = 1'-0"

①

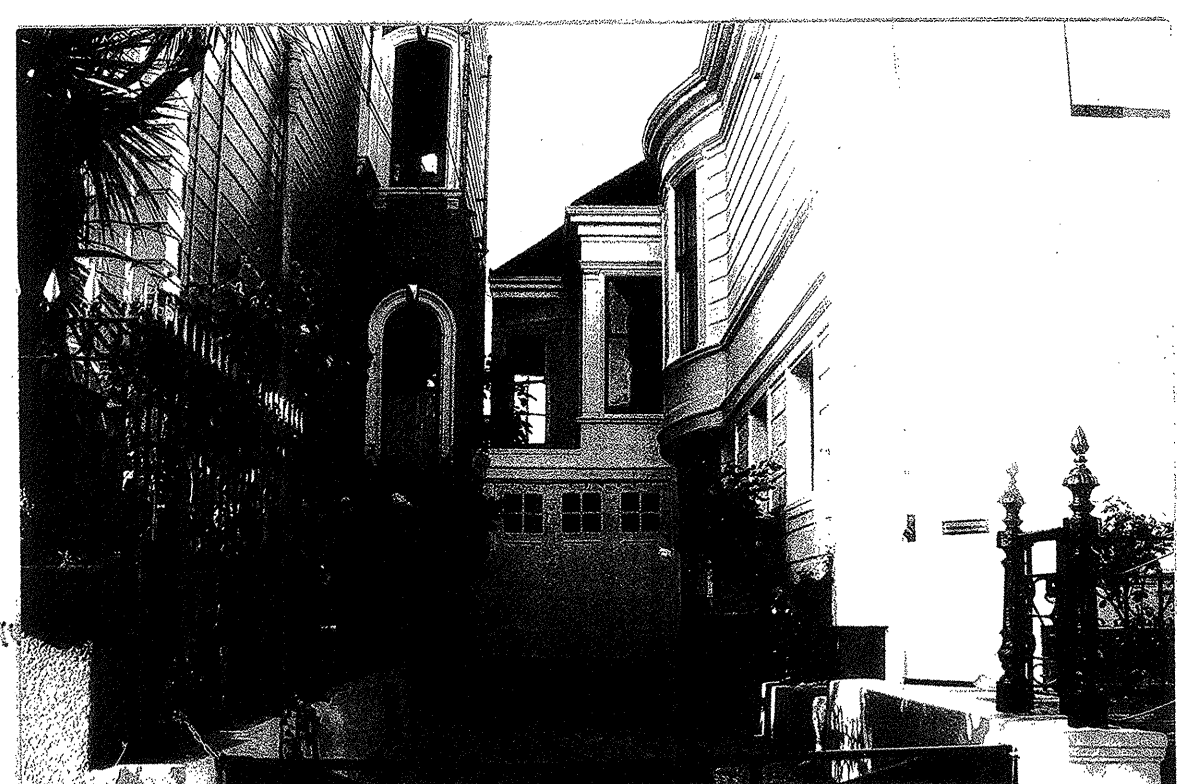
From Shotwell Street



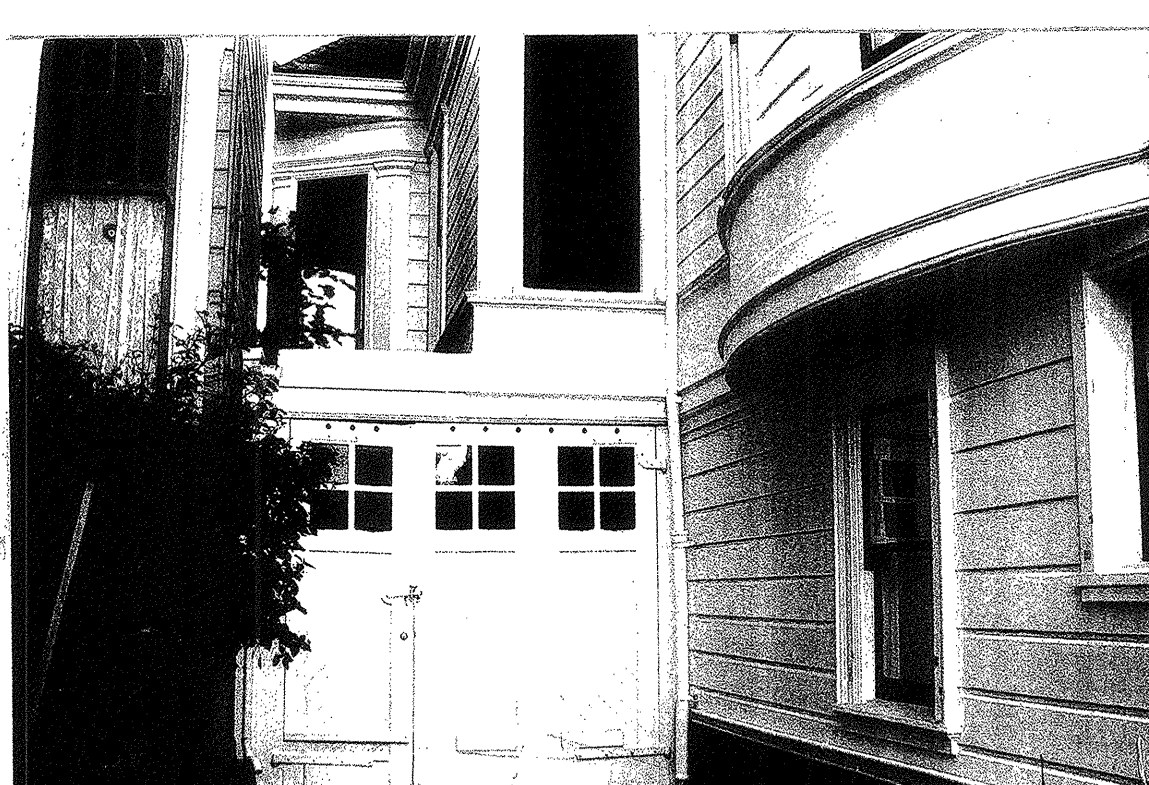
Front of the House



garage door

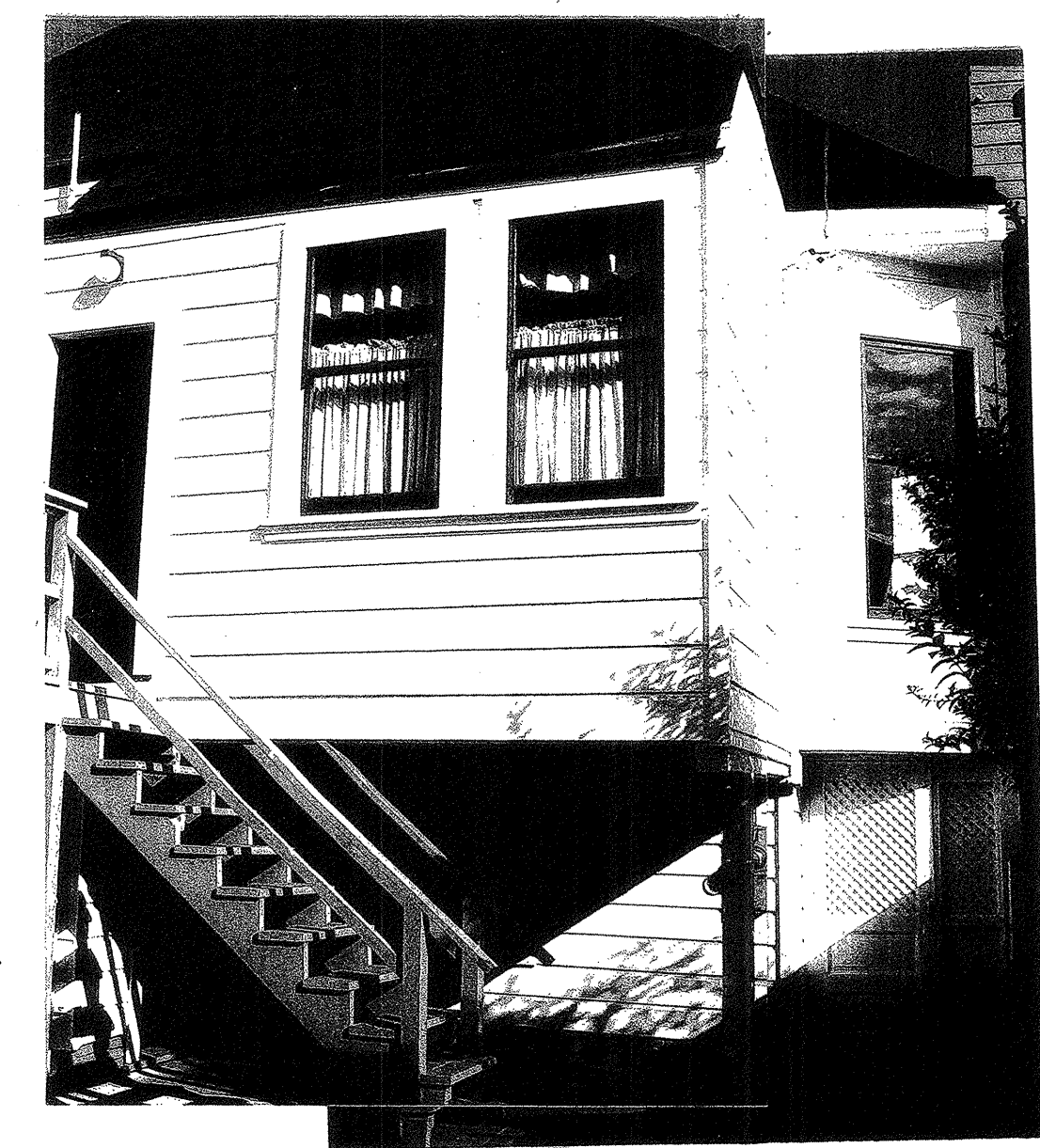


Britenay on the side of the house



Garage Door

②

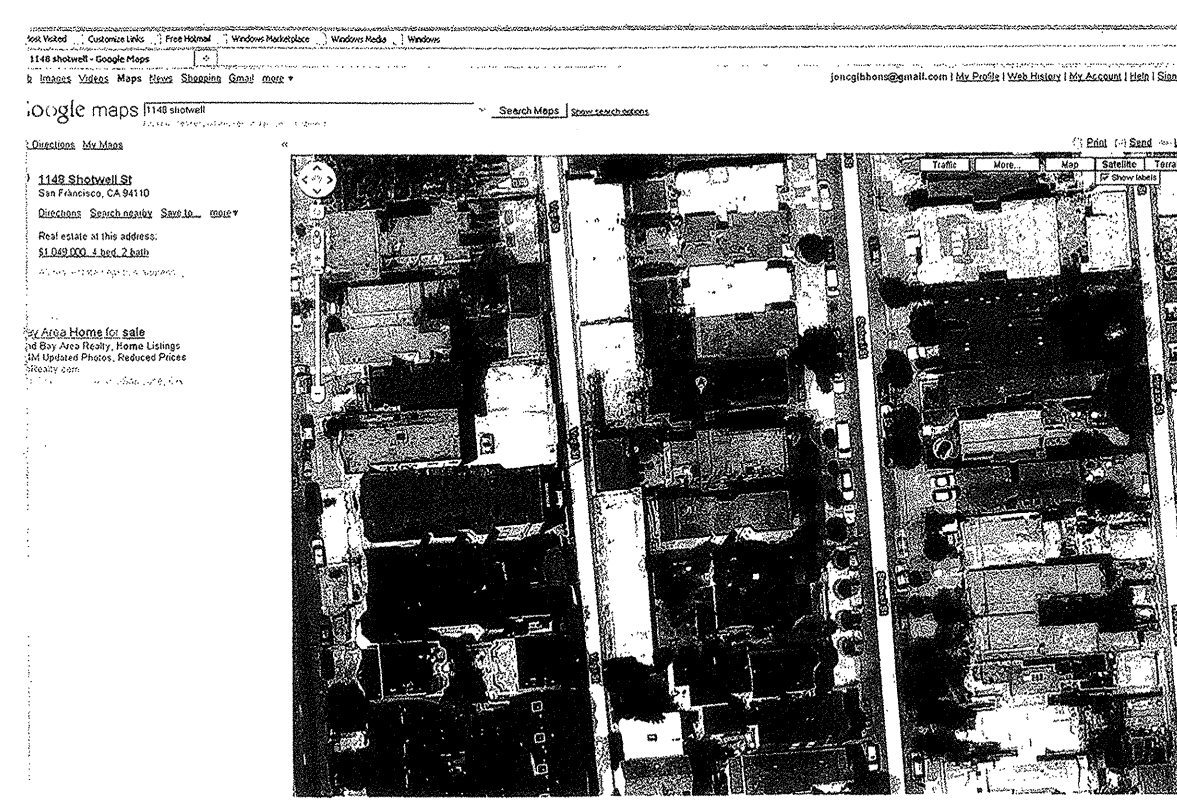


Back of the House



Looking @ the back of the house from back yard

③



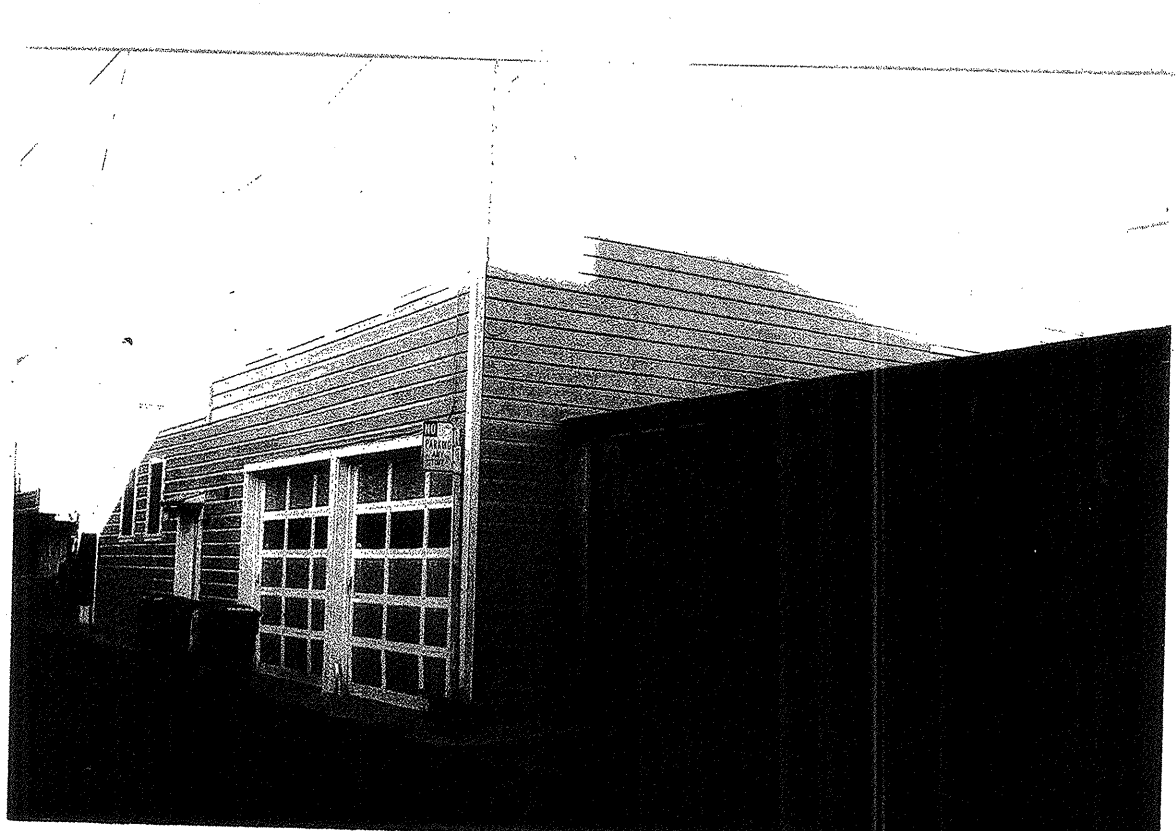
View from the space

④

Virgil Street



Virgil Street



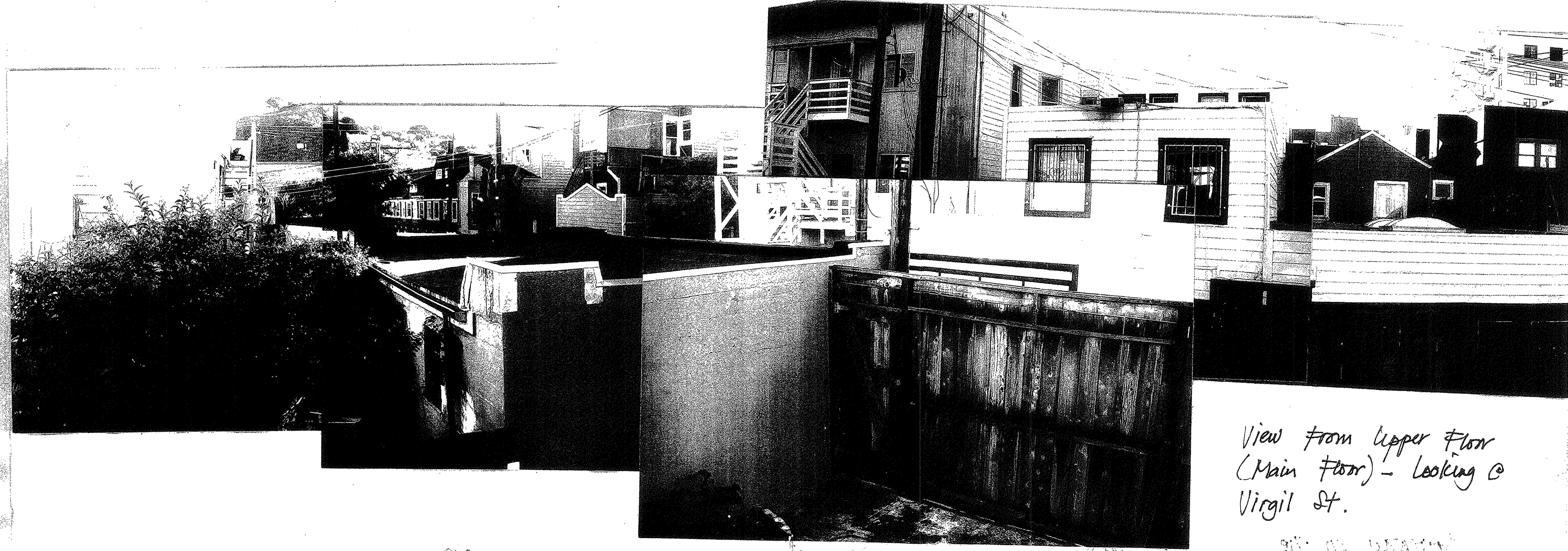
Neighbor @ left side



Neighbor @ Right side



Virgil St.



View from upper floor (Main floor) - looking @ Virgil St.