



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 26, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Side Yard & Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2755 Ocean Avenue Cross Street(s): 19th & 20th Avenues Block /Lot No.: 7219/009B Zoning District(s): RH-1(D) / 40-X Area Plan: N/A	Case No.: 2010.0289V Building Permit: 2010.02.09.6177 Applicant/Agent: Fu Yim Telephone: (415) 246-0778 E-Mail: afuyim@gmail.com

PROJECT DESCRIPTION

The subject property is an existing non-complying, two-story single-family dwelling. The project is a one-story addition to extend an existing garage a maximum of 5.5 feet closer towards Ocean Avenue.

PER SECTION 133 OF THE PLANNING CODE the subject property is required to maintain a side yard of at least 4 feet. The addition would encroach approximately 2 feet into the required rear yard, resulting in a side yard of 2 feet; therefore, the project requires a variance from the side yard requirement of the Planning Code.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 25 feet. The addition would encroach approximately 8 feet into the required rear yard and result in a rear yard of 17 feet; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

PER SECTION 188 OF THE PLANNING CODE a non-complying structure to be altered, providing that there is no new or increased discrepancy at any level between existing conditions on the lot and the required standards of the Planning Code. The dwelling constitutes a non-complying structure from the side yard requirement with an existing side yard setback of 2 feet, where 4 feet is required. Also, the dwelling constitutes a non-complying structure from the rear yard requirement with an existing rear yard of 17 feet, where 25 feet is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Adrian C. Putra** Telephone: **(415) 575-9079** E-Mail: **adrian.putra@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0289V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 12/11/09, the Department issued the required Section 311/312 notification for this project expired 1/10/10.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

RESIDENCE REMODELING
2755 OCEAN AVENUE
SAN FRANCISCO, CA 94132

GENERAL NOTES

GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE PROJECT.

EXISTING CONDITIONS: CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE AND DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.

PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPT THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNERS' AND IS REIMBURSABLE TO THE G.C.

CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRICAL MECHANICAL AND PLUMBING CODES, CITY/COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.

SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS.

CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF EACH DAY. AT THE COMPLETION OF CONSTRUCTION REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRTY AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER.

PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.

ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE WORK.

"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.

"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. U.O.N.

DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. U.O.N.

INSTALLATION: ALL ITEMS SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATION. ALL OPERATING MANUALS AND GUARANTEES SHALL BE GIVEN TO OWNER.

SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.

SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF ENGINEER OR OWNER.

GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OR WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

DEMOLITION: ALL DEMOLITION INDICATED ON PLANS SHALL BE CAREFULLY CUT AND REMOVED IN ORDER TO MINIMIZE DISRUPTION AND DAMAGE OF EXISTING SPACE.

COLUMNS: CENTER LINES (ALSO REFERRED TO AS GRID LINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS.)

ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE EXISTING BUILDING STANDARDS.

THE ACCURACY OF THE CONDITIONS SHOWN ON THE DRAWINGS IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING WITH WORK. REFER TO SHELL CONSTRUCTION DOCUMENTS FOR BUILDING PERIMETER AND EXTERIOR INFORMATION.

ABBREVIATIONS

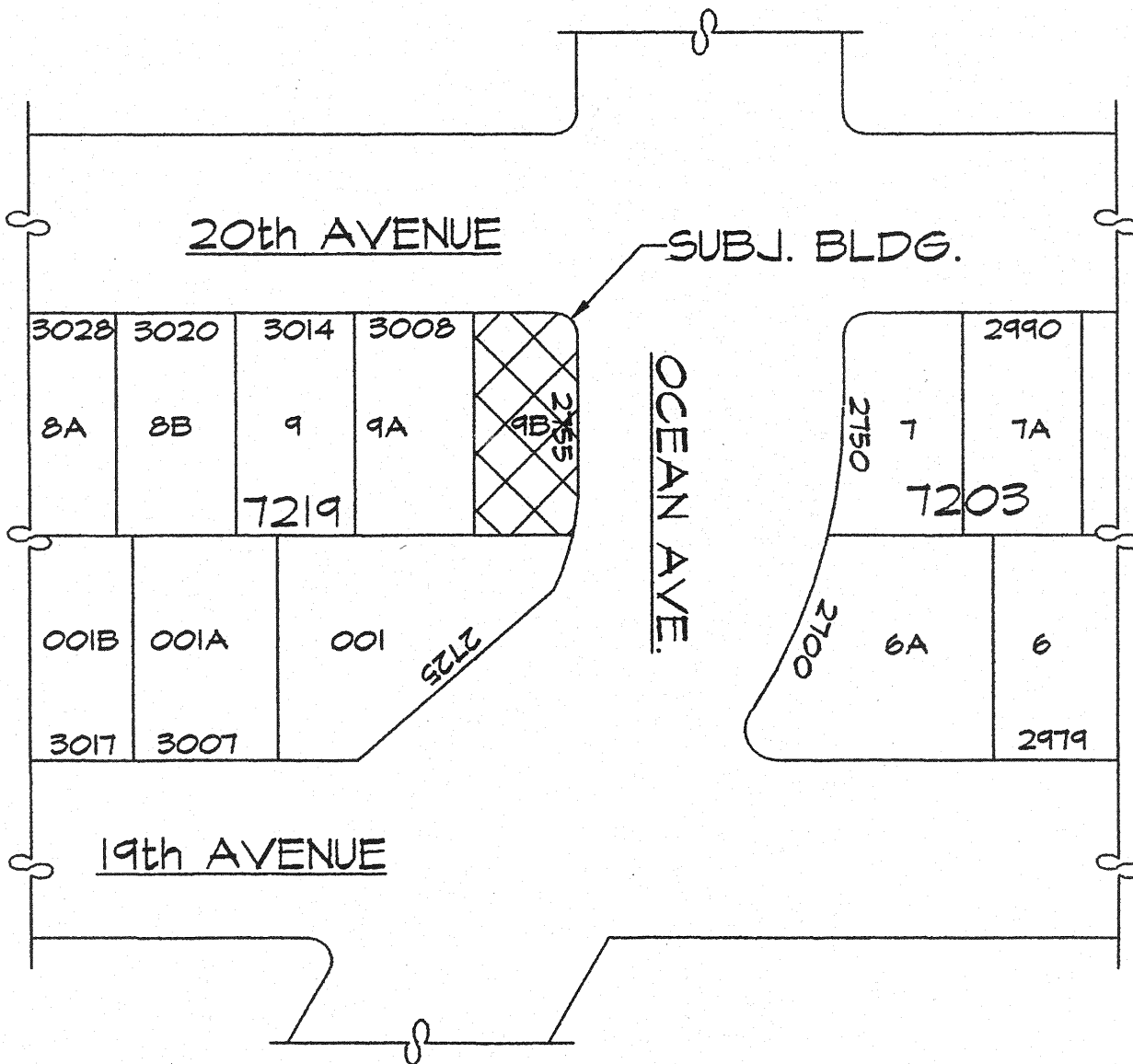
A/C	AIR CONDITIONING	FIN.	FINISH
ADJ.	ADJUSTABLE	FL.	FLOOR
A.F.F.	ABOVE FINISH FLR.	FLOUR.	FLUORESCENT
ALUM.	ALUMINUM	F.O.F.	FACE OF FINISH
ALT.	ALTERNATE	F.O.S.	FACE OF STUD
APPROX.	APPROXIMATELY	GA.	GAUGE
ARCH.	ARCHITECTURAL	G.C.	GEN. CONTRACTOR
BLDG.	BUILDING	GYP. BD.	GYPSUM BOARD
BLKG.	BLOCKING	H.B.	HOSE BIB
BM.	BEAM	H.C.	HANDICAP
CAB.	CABINET	HDWR.	HARDWARE
CL.	CENTER LINE	HP	HIGH POINT
CLG.	CEILING	H.W.	HOT WATER
CLOS.	CLOSET	INSUL.	INSULATION
CLR.	CLEAR	INT.	INTERIOR
COL.	COLUMN	L.P.	LOW POINT
CONC.	CONCRETE	MECH.	MECHANICAL
CONST.	CONSTRUCTION	MTL.	METAL
C.T.	CERAMIC TILE	(N)	NEW
CTR.	CENTER	N.I.C.	NOT IN CONTRACT
DET.	DETAIL	NO.	NUMBER
D.F.	DRINKING FOUNTAIN	O.C.	ON CENTER
DIA.	DIAMETER	OPP.	OPPOSITE
DIM.	DIMENSION	P-LAM	PLASTIC LAMINATE
DN.	DOWN	PLYMD.	PLYWOOD
DR.	DOOR	R.D.	ROOF DRAIN
DWG.	DRAWING	R.O.	ROUGH OPENING
(E)	EXISTING	S.C.	SOLID CORE
EA.	EACH	STOR.	STORAGE
EL.	ELEVATION	SHT.	SHEET
ELEC.	ELECTRICAL	T + G	TONGUE & GROOVE
EQ.	EQUAL	TYP.	TYPICAL
EQUIP.	EQUIPMENT	U.O.N.	UNLESS OTHERWISE
EXP.	EXPANSION		NOTED
EXPOS.	EXPOSED	WD.	WOOD
EXT.	EXTERIOR	W.P.	WATERPROOF
F.D.	FLOOR DRAIN		

APPLICABLE CODE:

- 2001 UNIFORM BUILDING CODE.
- 2001 SAN FRANCISCO BUILDING CODE.
- 2001 CALIFORNIA MECHANICAL CODE.
- 2001 CALIFORNIA BUILDING CODE.
- 2001 CALIFORNIA PLUMBING CODE.
- 2001 UNIFORM PLUMBING CODE.
- 2001 CALIFORNIA MECHANICAL CODE.
- 2001 CALIFORNIA FIRE CODE.
- 2001 CALIFORNIA ELECTRICAL CODE.
- 2001 CALIFORNIA ENERGY CODE - TITLE 24.

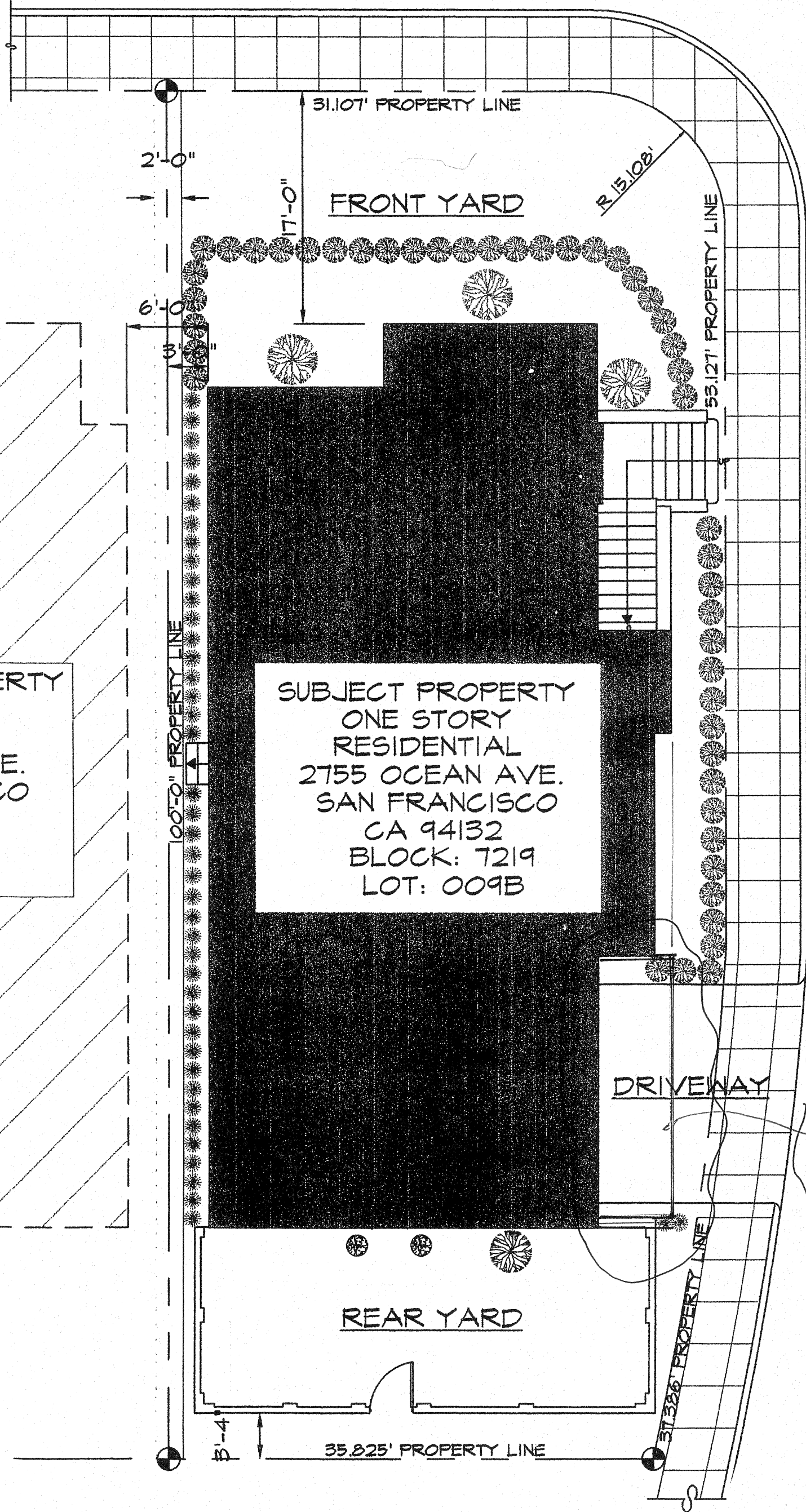
PROPERTY INFORMATION:

ADDRESS:	2755 OCEAN AVE. SAN FRANCISCO, CA 94132
BLOCK/LOT:	7219/009B
ZONING:	RH-1(D)
OCCUPANCY:	R3
HEIGHT LIMIT:	40'-0" MAX.
TYPE OF CONSTRUCTION:	V-N
LOT AREA:	4,085.00
BUILDING Sq. Ft.	2,444.00
LEG. SETBACK:	12'-6"
(CITY RECORD)	

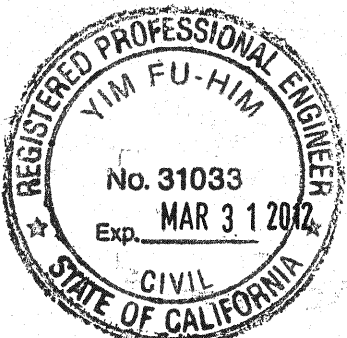


SITE PLAN
N.T.S.

ADJACENT PROPERTY
ONE STORY
RESIDENTIAL
2008 20th AVE.
SAN FRANCISCO
CA 94132
BLOCK: 7219
LOT: 009A



PLOT PLAN
SCALE: 1/8"=1'-0"



REVISIONS	BY

OWNER:
PERRY & SARA LAM
(415) 615-2626

PROJECT ADDRESS:
**2755 OCEAN AVENUE
SAN FRANCISCO
CALIFORNIA 94132**

SHEET TITLE:
**GENERAL NOTES
PROJECT DATA
SITE PLAN, PLOT PLAN**

DR.
CHKD:
DATE: FEB. 2010
SCALE: AS SHOWN
DRAWING NO.
SHEET No.

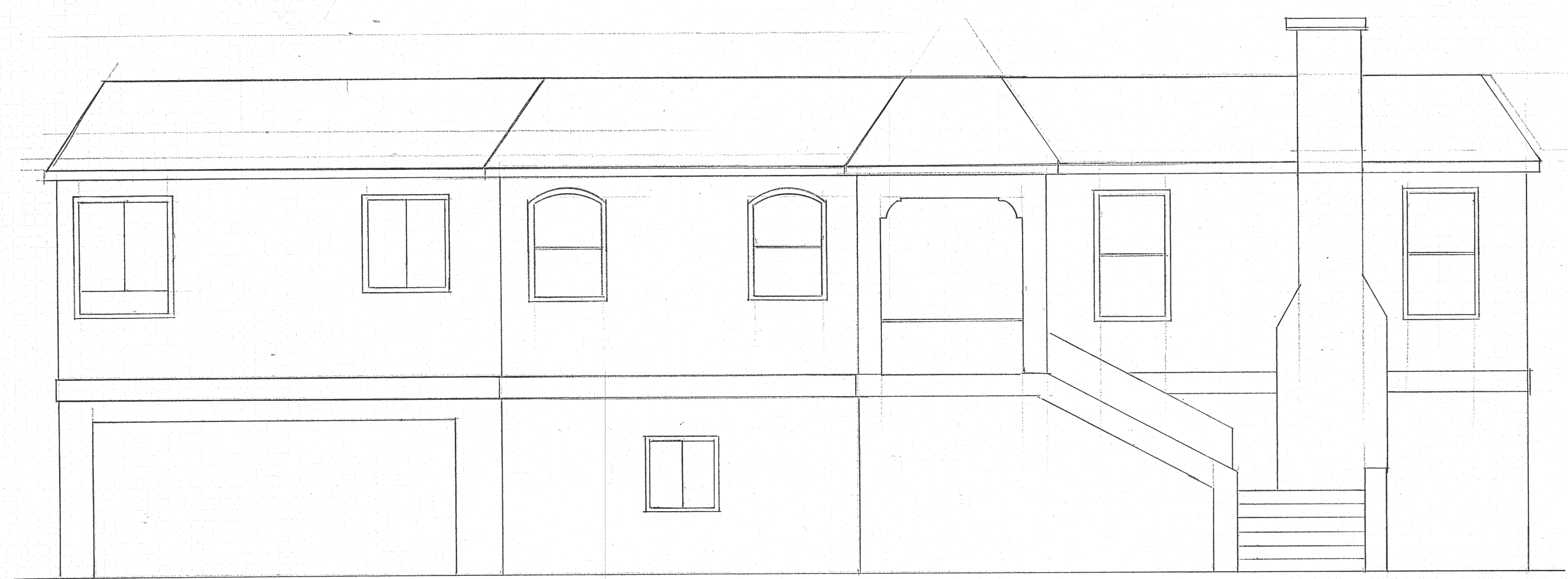
A-1
OF SHEETS

REVISIONS	BY

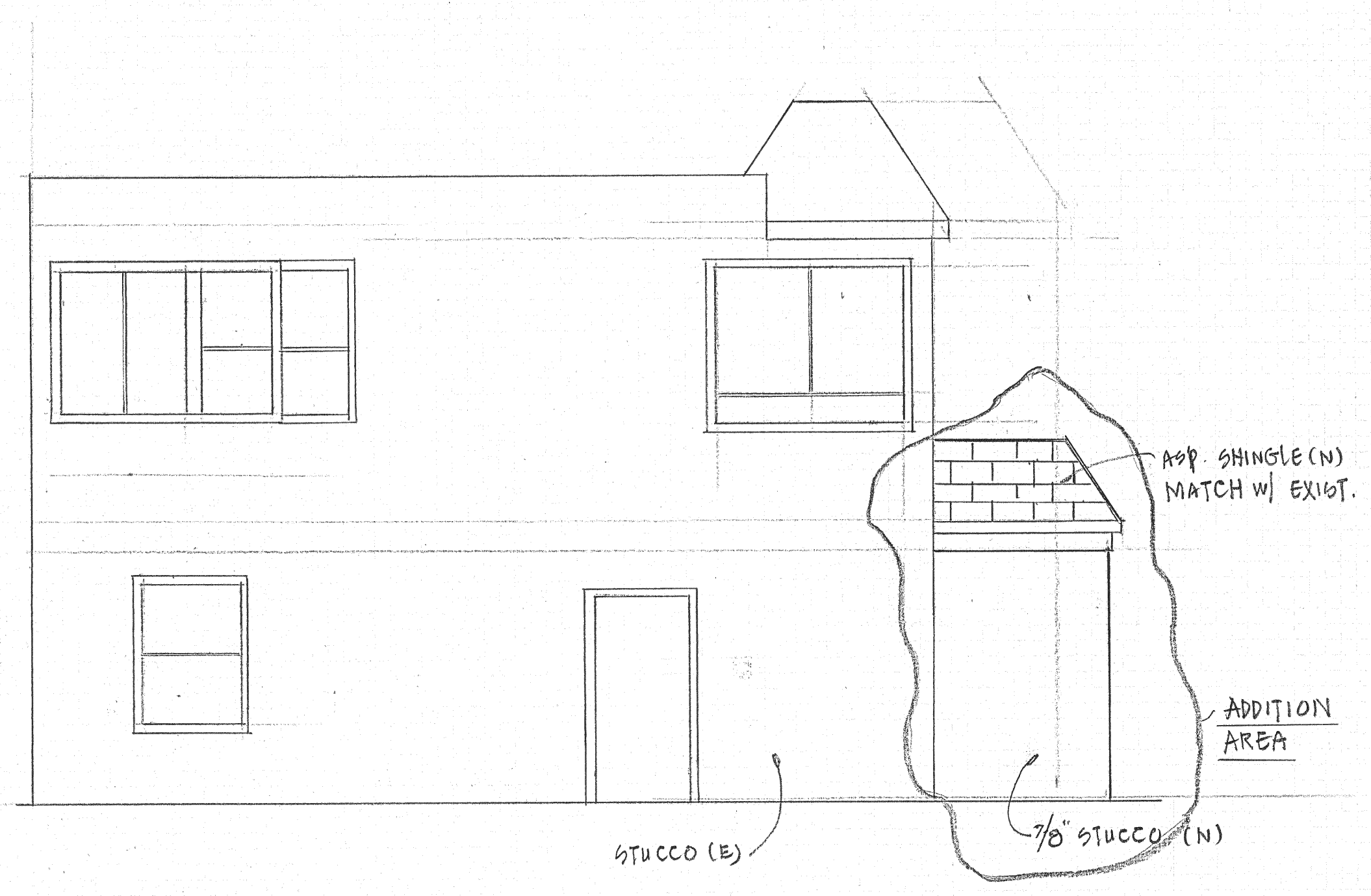
GARAGE EXTENSION

2755 OCEAN AVENUE
SAN FRANCISCO, CA. 94127

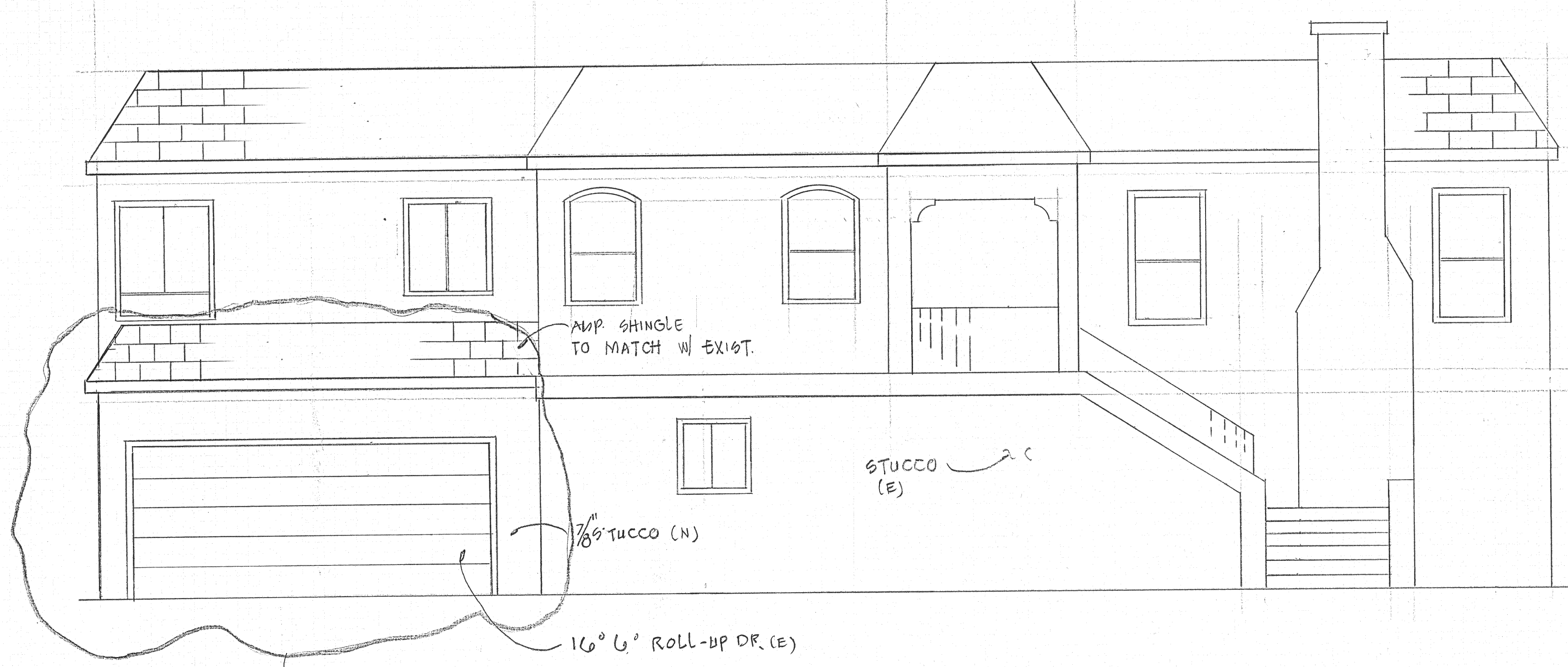
Date
Scale 1/4" = 1'-0" (w/n)
Drawn
Job
Sheet A-3
Of Sheets



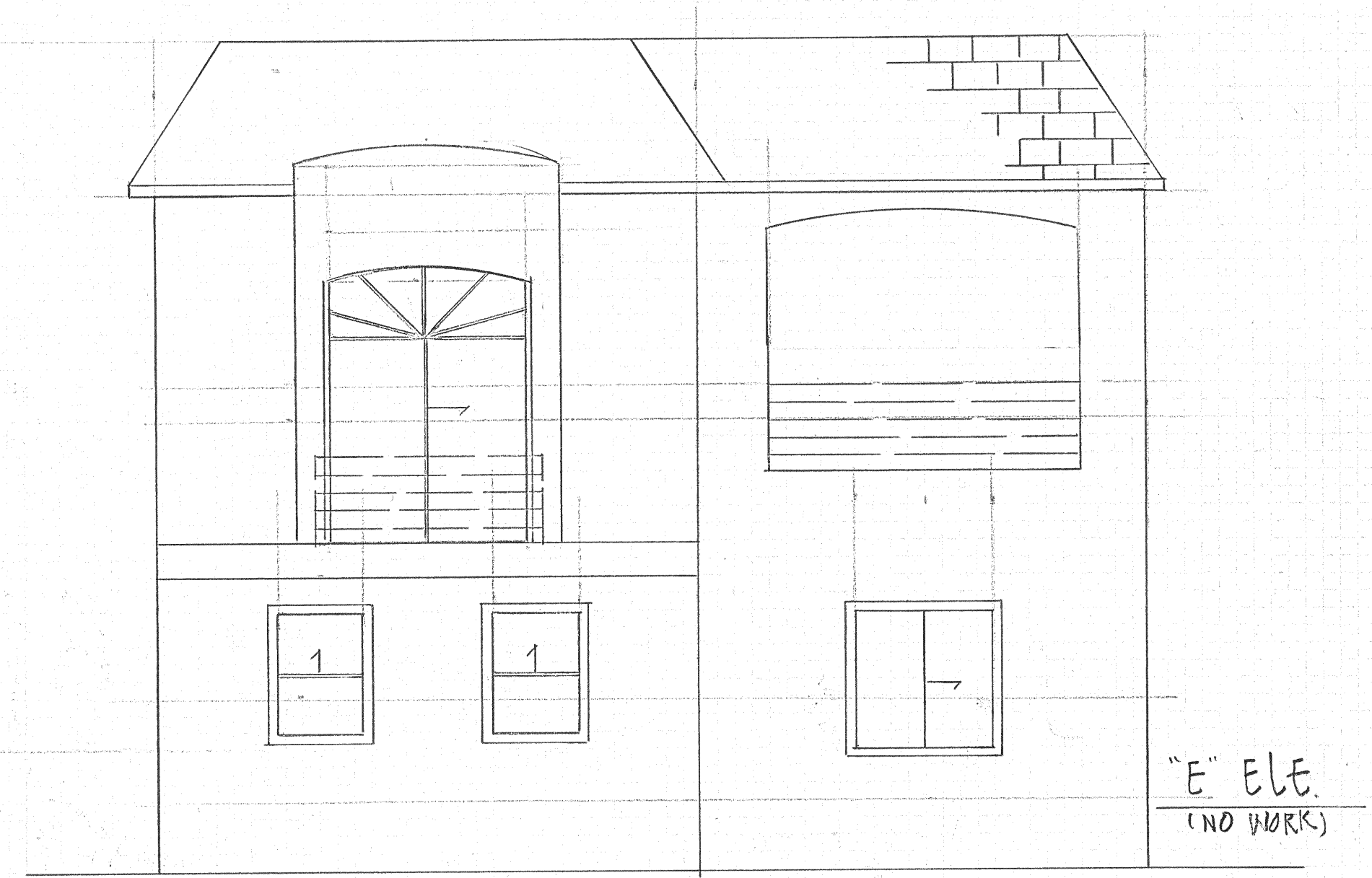
FRONT ELEVATION (E)



WEST ELEVATION



FRONT ELEVATION (NEW)



REAR ELE.

