



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

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Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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AND  
 <  
 @  
 #  
 G  
 CENTER LINE  
 R  
 PROPERTY LINE  
 E  
 EXISTING  
 (N)  
 NEW  
 (R)  
 REPLACE  
 ABV.  
 ABOVE  
 ADJ.  
 ADJACENT  
 ALUM.  
 ALUMINUM  
 ARCH.  
 ARCHITECTURE  
 ASPH.  
 ASPHALT  
 BD.  
 BOARD  
 BASE BD.  
 BASE BOARD  
 BLDG.  
 BUILDING  
 BLK.  
 BLOCK  
 BLKG.  
 BLOCKING  
 BOT.  
 BOTTOM  
 BM.  
 BEAM  
 B.U.  
 BUILT-UP  
 CLG.  
 CEILING  
 CN.  
 CONTROL  
 CONT.  
 CONTINUOUS  
 CTR.  
 CENTER  
 CLR.  
 CLEAR  
 CL.  
 CENTER LINE  
 DBL.  
 DOUBLE  
 D.F.  
 DOUGLAS FIR  
 DIM.  
 DIMENSION  
 DN.  
 DOWN  
 D.P.  
 DOUBLE POLE  
 D.S.  
 DOWN SPOUT  
 DWG.  
 DRAWING  
 E  
 EAST  
 EA  
 EACH  
 EL. OR ELEV.  
 ELEVATION  
 ELEC.  
 ELECTRICAL  
 EQ.  
 EQUAL  
 EXP.  
 EXPOSED  
 EXT.  
 EXTERIOR  
 FA-UC.  
 FOAMED-AIR UNIT  
 FDN.  
 FOUNDATION  
 F.F.  
 FINISHED FLOOR  
 F.F.E.  
 FINISHED FLOOR ELEVATION  
 FIN.  
 FINISH  
 F.O.C.  
 FACE OF CONCRETE  
 F.O.S.  
 FACE OF STUD  
 F.O.P.  
 FACE OF PLYWOOD  
 FP.  
 FIRE PLACE  
 FURN.  
 FURNACE  
 GA.  
 GAUGE  
 GALV.  
 GALVANIZED  
 GRND.  
 GROUND  
 GYP BD.  
 GYPSUM BOARD  
 H.C.  
 HOLLOW CORE  
 HDR.  
 HEADER  
 HDWD.  
 HARD WOOD  
 H.V.A.C.  
 HEATING, VENTILATION, AIR CONDITIONING  
 I.D.  
 INSIDE DIMENSION  
 INSUL.  
 INSULATION  
 INT.  
 INTERIOR  
 JST.  
 JOIST  
 MAX.  
 MAXIMUM  
 M.C.  
 MEDICINE CABINET  
 MCH.  
 MECHANICAL  
 MEMB.  
 MEMBRANE  
 MANUF.  
 MANUFACTURER  
 MIN.  
 MINIMUM  
 MTL.  
 METAL  
 N  
 NORTH  
 N.I.C.  
 NOT IN CONTRACT  
 NO.  
 NUMBER  
 OI  
 OVER  
 O.C.  
 ON CENTER  
 OPNG.  
 OPENING  
 O.D.  
 OUTSIDE DIMENSION  
 P.C.  
 PLUMBING CHASE  
 PL.  
 PLATE  
 PLYWD.  
 PLYWOOD  
 P.T.  
 PRESSURE TREATED  
 PT.  
 POINT  
 R  
 RADIUS  
 RET. AIR  
 RETURN AIR  
 RH.  
 ROOM  
 RDWD.  
 RED WOOD  
 R.W.L.  
 RAIN WATER LEADER  
 S  
 SOUTH  
 S.S.D.  
 SEE STRUCTURAL DRAWINGS  
 SQ. FT.  
 SQUARE FOOT  
 SHT.  
 SHEET  
 SHTG.  
 SHEATHING  
 SIM.  
 SIMILAR  
 S.P.  
 SINGLE POLE  
 SQ.  
 SQUARE  
 S.S.T.  
 STAINLESS STEEL  
 ST.  
 STEEL  
 STD.  
 STANDARD  
 SUP. AIR  
 SUPPLY AIR  
 T&G  
 TONGUE AND GROOVE  
 THK.  
 THICK  
 T.O.P.  
 TOP OF PLATE  
 T.O.S.  
 TOP OF SLAB  
 T.O.F.F.  
 TOP OF FINISHED FLOOR  
 T.O.W.  
 TOP OF WALL  
 T.P.  
 TOILET PAPER HOLDER  
 T.R.  
 TOWEL RACK  
 TYP.  
 TYPICAL  
 U.O.N.  
 UNLESS OTHERWISE NOTED  
 VAR.  
 VARIATION  
 V.D.C.  
 VERIFY DURING CONSTRUCTION  
 VERT.  
 VERTICAL  
 V.I.F.  
 VERIFY IN FIELD  
 W  
 WEST  
 W/  
 WITH  
 W.C.  
 WATER CLOSET  
 WD  
 WOOD  
 WP  
 WATER PROOF  
 W.H.  
 WATER HEATER

1. ALL CONSTRUCTION SHALL CONFORM TO CURRENT SAN FRANCISCO CODES AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDINANCES, APPROVALS, ETC. THAT ARE REQUIRED BY APPLICABLE PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THE WORK CAN BE BUILT OR DEMOLISHED AS SHOWN BEFORE PROCEEDING WITH THE WORK. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
3. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
4. CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
5. CONTRACTOR TO MAINTAIN ALL PROPER WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF PROJECT.
6. SUBSTITUTIONS, REVISIONS, OR CHANGES MUST HAVE PRIOR APPROVAL OF THE ARCHITECT.
7. DURING THE BIDDING AND NEGOTIATION PERIOD THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL CONFIRM IN WRITING APPROX. ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
8. ALL WORK SHALL BE PERFORMED SUCH THAT DAMAGE TO EXISTING LANDSCAPE AND/OR PERSONAL PROPERTY IS PREVENTED OR MINIMIZED.
9. CONTRACTOR SHALL TAKE MEASURES TO PROTECT ADJACENT PROPERTIES. USE VISQUEEN, PLYWOOD, ETC. TO MINIMIZE NOISE, DUST, ETC.
10. IN THE EVENT THAT FOUNDATION EXCAVATION MIGHT AFFECT ADJACENT PROPERTIES, CONTRACTOR SHALL TAKE ALL APPROPRIATE STEPS TO NOTIFY THE PROPERTY OWNER OF THE CONDITION, AND TO ADEQUATELY PROTECT THE ADJACENT STRUCTURE.
11. WRITTEN DIMENSIONS REFERS TO: FACE OF FINISH OR CENTER-LINE UNLESS OTHERWISE NOTED. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF SHEATHING, U.O.N.
12. DIMENSIONS ARE TO TOP OF FIN. FLOOR, SLAB OR DECK IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
13. "SIM" OR "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ITEM NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
14. "TYP" OR "TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
15. DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.
16. CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. IF CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN REPRESENTED IN DRAWINGS, VERIFY CONDITIONS WITH ARCHITECT.
17. ALL MATERIALS AND EQUIPMENT TO BE NEW UNLESS OTHERWISE NOTED.
18. ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
19. WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ACTUAL ROUGH OPENINGS.
20. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS, UNLESS OTHERWISE NOTED.
21. ALL CHANGES IN FLOOR MATERIAL SHALL OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
22. SEALANT, CAULKING, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY BUILDING PRACTICES.
23. ALL ATTICS, RAFTERS, SPACES, SOFFITS, CRAWL SPACES, ETC. TO BE FULLY VENTILATED PER APPLICABLE CODE
24. PROVIDE WOOD BLOCKING FOR ALL TOWEL BARS, ACCESSORIES, ETC.
25. MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
  - A. MINIMUM ROOF/CEILING INSULATION R-19
  - B. MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13
  - C. MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-13
  - D. ALL INSULATION TO MEET CEC QUALITY STANDARDS.
26. E. INFILTRATION CONTROL:
  1. DOORS AND WINDOWS WEATHER-STRIPPED.
  2. EXHAUST SYSTEMS DAMPENED
  3. DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
  4. ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
  5. DUCTS CONSTRUCTED AND INSTALLED PER UMC.
  6. ELECTRICAL OUTLET PLATE/GASKETS SHALL BE INSTALLED ON ALL RECEPTACLES, SWITCHES AND ELECTRICAL BASES ON EXTERIOR WALLS.
27. SMOKE ALARMS ARE TO BE INSTALLED IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL BE HARDWIRED TO 110V HOUSE WIRING AND WIRED TOGETHER IN SERIES. MINIMUM ONE ALARM PER STORY. REF. PLANS FOR LOCATIONS.
28. GENERAL CONTRACTOR IS TO COORDINATE INSTALLATION OF N.I.C. ITEMS WITH OTHER TRADES
29. LOCATION/SPECIFICATION OF SAFETY GLAZING (TEMPERED GLASS) ARE SOLE RESPONSIBILITY OF CONTRACTOR. ALL DOORS W/ GLAZING AND ALL GLAZING OF WINDOWS WITHIN 24" OR EDGE OF ANY DOOR SHALL BE WITH TEMPERED GLASS (IBC SECTION 2406)

EXISTING WALL	
EXISTING WALL DEMOLISHED	
NEW WALL	
LINE OVERHEAD OR HIDDEN	
CENTER LINE	
PROPERTY LINE	
DIMENSION TO FACE OF FINISH	
DIMENSION TO C.L. OF STUD	
DATUM LINE	
DOOR REF. SYMBOL	
WINDOW REF. SYMBOL	
COLOR SYMBOL	
FLOOR SYMBOL	
SECTION MARKER	
ELEVATION MARKER	
INTERIOR ELEVATION MARKER	
PLAN DETAIL MARKER	
DETAIL MARKER	
REVISION MARKER	

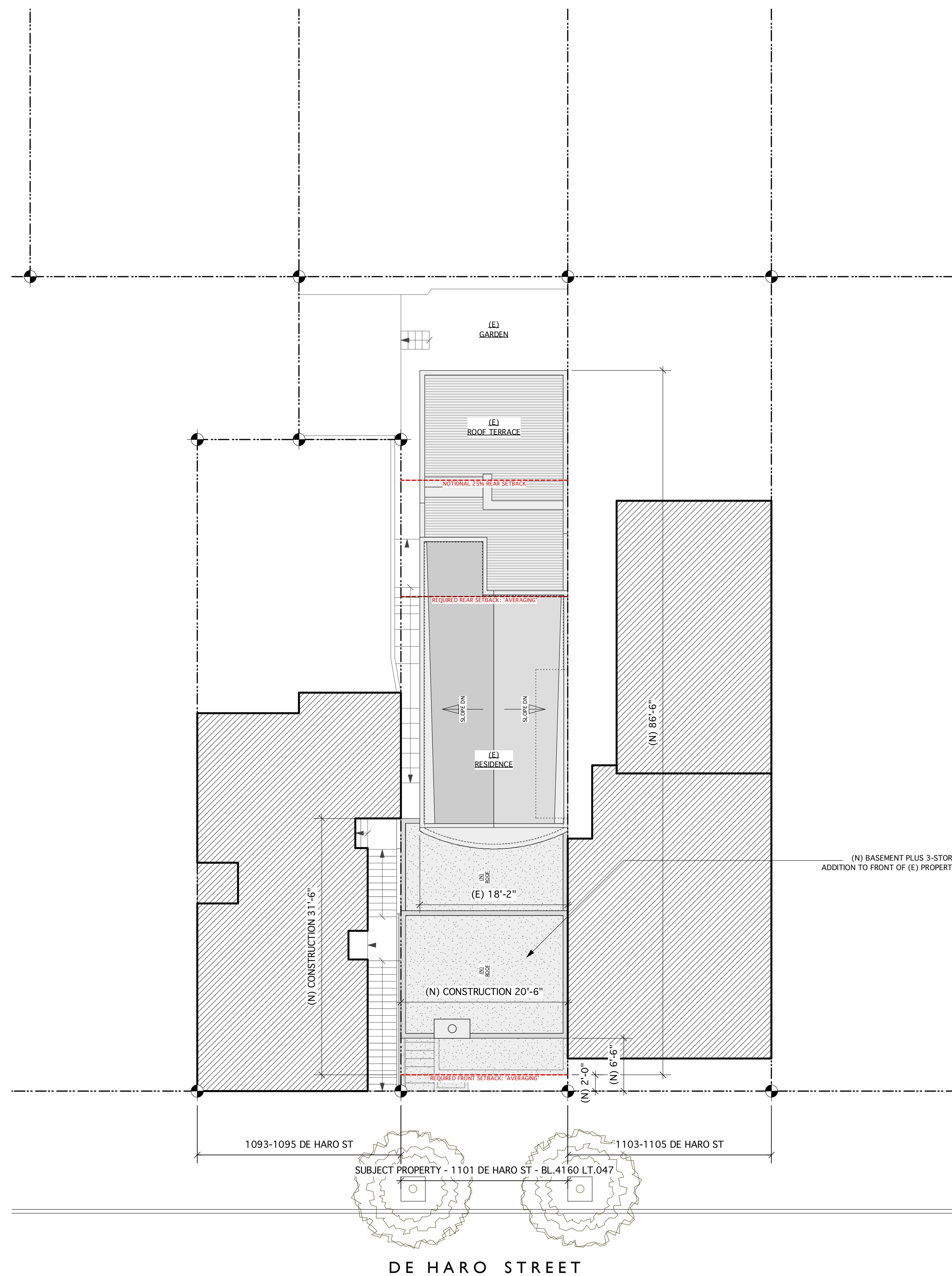
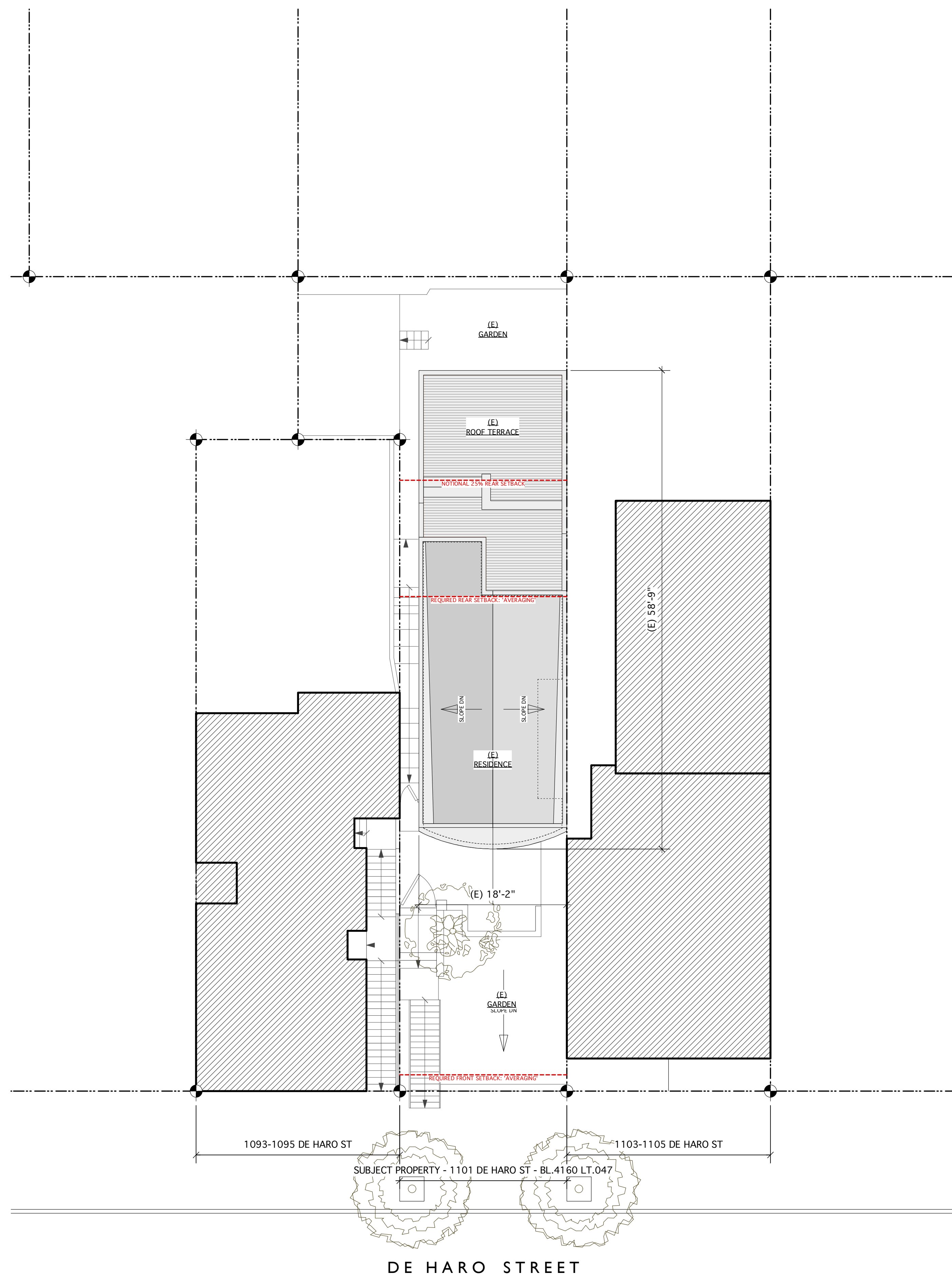
CONSTRUCTION TYPE: (TABLE 5-B) TYPE V-B

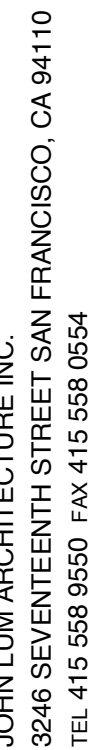
**ENERGY CONSULTANT:**  
T.B.D.

**STRUCTURAL ENGINEERING:**

DATE:	ISSUE:
10.10.2009	NEIGHBORHOOD OUTREACH PRE-APPLICATION MEETING
10.30.2009	311 SUBMITTAL SET
02.25.2010	PLANNING VARIANCE SUBMITTAL SET



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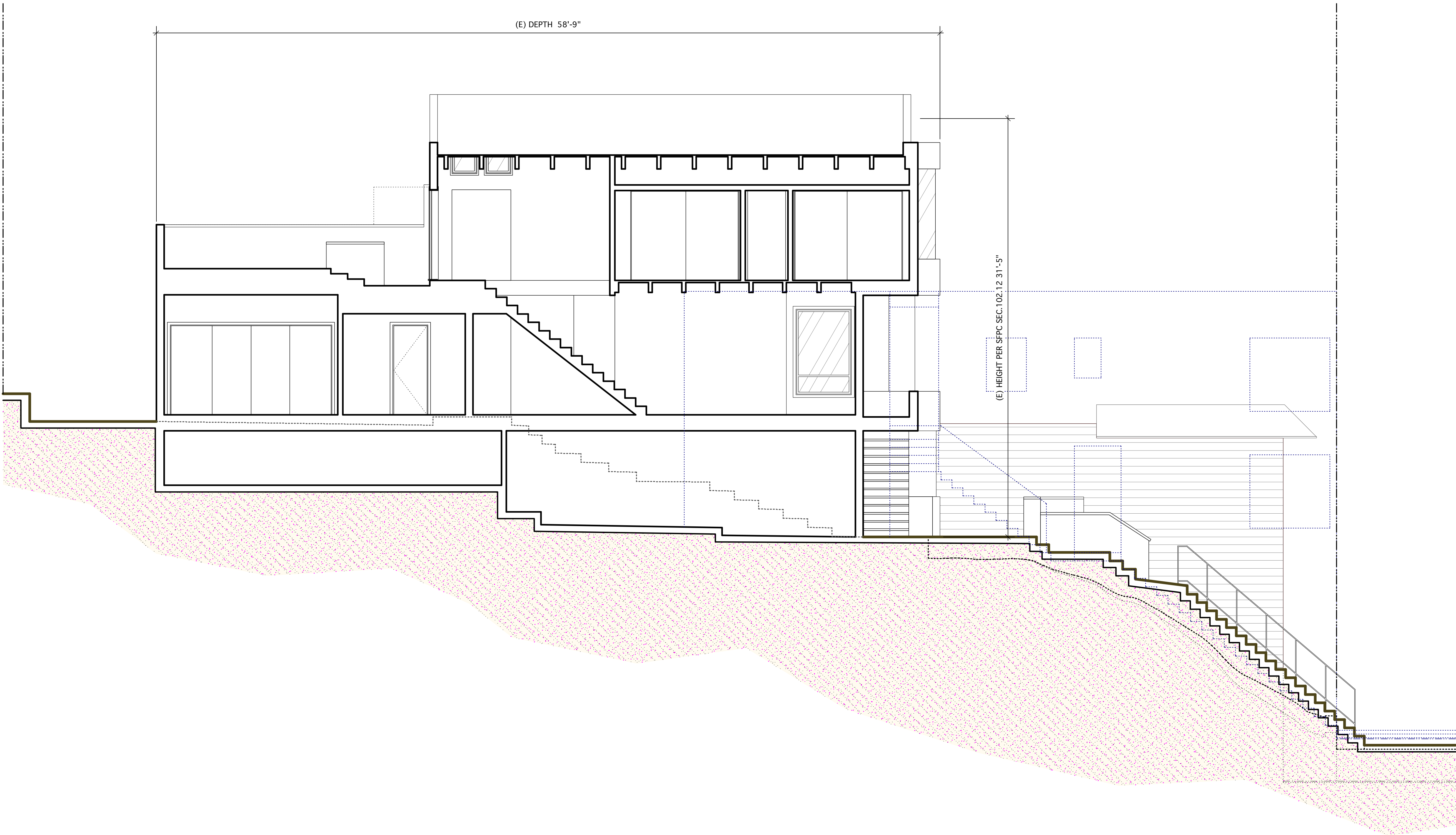
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1101 DE HARO STREET  
SAN FRANCISCO, CA 94107

client :  
steve barlock & brianna yip  
1101 de haro street  
san francisco, ca 94107

project name : barlock residence remodel  
project number : .....  
scale : 1/4" = 1'-0"

## A3.01





1101 DE HARO STREET  
SAN FRANCISCO, CA 94107

steve barlock & brianna yip  
1101 de haro street  
san francisco, ca 94107

client :

[illegible]

project name :      barlock residence remodel  
project number :                          .....  
scale :                                        1/4" = 1'-0"

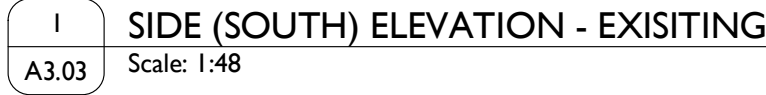
## EXTERIOR ELEVATIONS I - EXISTING & DEMOLITION

## A3.02



SIDE (NORTH) ELEVATION - EXISITING Scale: 1:48	2 A3.02
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I	FRONT (WEST) ELEVATION - EXISTING
A3.02	Scale: 1:48



2  
3.03

# BARLOCK RESIDENCE REMODEL

1101 DE HARO STREET  
SAN FRANCISCO, CA 94107

client :  
steve barlock & brianna yip  
1101 de haro street  
san francisco, ca 94107

[illegible]

project name :      barlock residence remodel  
project number :                  .....  
scale :                                1/4" = 1'-0"



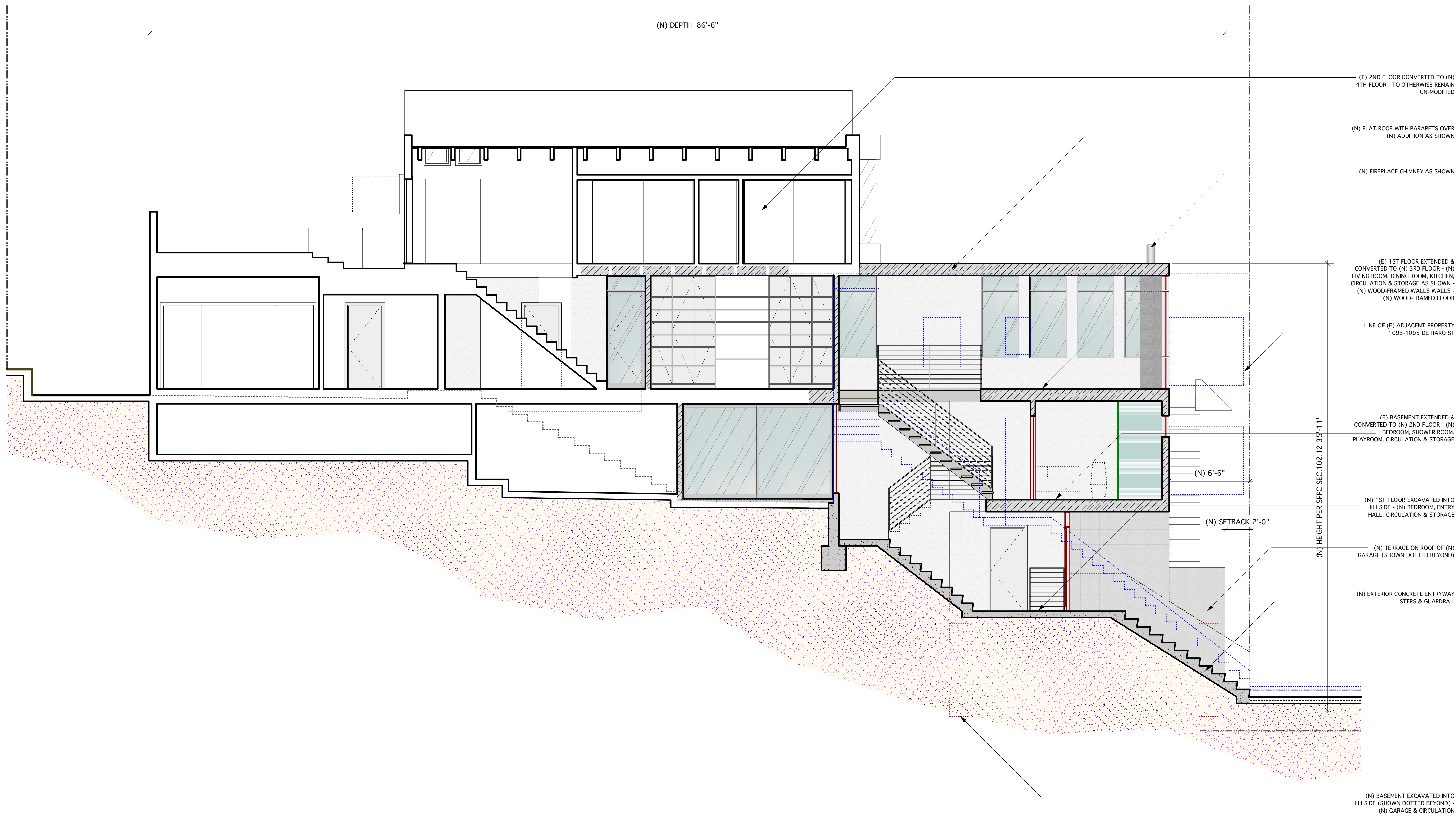
# BARLOCK RESIDENCE REMODEL

[illegible]

project name : barlock residence remodel  
project number : .....  
scale : 1/4" = 1'-0"

LONGITUDINAL SECTION  
- PROPOSED

## A3.04



date : _____ name : _____	I	LONGITUDINAL SECTION - PROPOSED
	A3.04	Scale: 1:48



1101 DE HARO STREET  
SAN FRANCISCO, CA 94107

EXTERIOR ELEVATIONS I  
PROPOSED

# לכבוד



SIDE (NORTH) ELEVATION - PROPOSED

Scale: 1:48

FRONT (WEST) ELEVATION - PROPOSED  
Scale: 1:48



