



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 28, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Exposure, Rear Yard, Open Space, Noncomplying Structure)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1122 Page Street	Case No.:	2010.0114V
Cross Street(s):	Baker / Broderick	Building Permit:	2010.03.03.7492
Block /Lot No.:	1219/008	Applicant/Agent:	Troy Kashanipour
Zoning District(s):	RM-2 / 40-X	Telephone:	(415) 431.0869
Area Plan:	n/a	E-Mail:	tk@tkworkshop.com

PROJECT DESCRIPTION

The proposal is to add a dwelling unit behind the garage area of the existing three-unit building resulting in a four-unit building. No expansion of the building envelope is proposed. The project requires variances from the following (four) Sections of the Planning Code: 1) **Section 135 (open space):** The project is required to have 426 sq. ft. of common open space for 4 units (319 s.f. for 3 units). The subject property contains approximately 276 s.f. of common open space; however the required minimum horizontal dimension of 15 feet in all directions is currently not provided. 2) **Section 140 (dwelling unit exposure):** Each dwelling unit shall face directly onto a street or complying rear yard. The additional dwelling unit proposed does not face onto a complying rear yard as the existing building was originally constructed into the required rear yard area. 3) **Section 188 (noncomplying structure):** The project occurs within the portion of the building that is a legal noncomplying structure, as a portion of the existing building was legally constructed into the required rear yard area. Section 188 prohibits any increase in discrepancy of a noncomplying structure. The project is contrary to Section 188. 4) **Section 134 (rear yard):** Per a Zoning Administrator interpretation of Section 188, a rear yard variance shall be required for additional dwelling units proposed within buildings constructed within the required rear yard area when variances in addition to a variance from Section 188 are requested.

Note: The existing three-unit building currently contains two parking spaces. As required, per Section 151 of the Planning Code, one additional parking space is to be provided with the proposed dwelling unit thus a parking variance is not requested. The project would result in three parking spaces within the garage area.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Glenn Cabrerros** Telephone: **(415) 558-6169** E-Mail: glenn.cabreros@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2010.0114V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

Jeff Ma
SFPD Inspector Slump
Department of Building Inspection
1080 Mission Street, 2nd floor
San Francisco, CA 94103-3544
Phone: 415.558.5133 Fax: 415.558.6989

RE: Pre-application Meeting Notes for 1122 Page Street

Questions:

1. Table 603 Allowable Height and Building Areas for R-2 Occupancy and Type V-B construction allows 2 stories/7,000 sqft per story. The existing configuration as a 3 story building exceeds the limitations of this section. New construction at the first story (the garage and added residential Unit) will be Type V-A (1 hour construction). Please confirm 2nd and 3rd stories will not require upgrade to type V-A construction per 3403.1. Please confirm based upon the scope of work shown in drawings submitted.

Answer: The current configuration of 3 stories is an existing non-conforming condition. The addition of the ground floor unit will require the sprinkler at the ground floor dwelling unit. Sprinklers will not be required at the garage.

2. A spill level unit is proposed at the front portion of the building. This spill level unit is on the second and third stories. Two exits are proposed at the third level: the lobby stair and a stair internal to the unit. Both exits pass through a common building lobby on the second story. Please confirm that this is in conformance with Table 1016.2 – Stairs with One Exit. We are currently assuming that we are not sprinklered on the second and third stories unless required by other alterations.

Answer: If the dwelling unit has less than 10 occupants egress from the second level through a common lobby is acceptable. The maximum length of exit access travel is 75'. This travel distance is measured to an exterior exit door.

3a. The existing mid-building stair between the first and second stories would be removed under this proposal. This stair is currently non-conforming for exiting purposes. It is my understanding that the code takes no exception to removal of this non-conforming stair per Table 1016.2. Please confirm.

Answer: The mid-building stair can be removed if the existing rear stair remains as the means of egress to provide a second means of egress from the rear dwelling units.

3b. The building rear dwelling units 3 & 4 are provided a second means of egress by an existing rear stair. Repairs are needed at this stair. This stair does not currently comply with the requirements of Chapter 10 and there is no fire-wall at the property-line. Can the stair remain part of the egress system as an existing condition without upgrades to full compliance?

Answer: Yes, the stair may remain unchanged with repairs to structure and improvements to handrails and guardrails.

1

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SAN FRANCISCO, CALIFORNIA 94107, PHONE/FAX 415.431.0869

3c. If replacement is necessary, can code improvements be made to this stair as an "in-kind" replacement without complying with all code provisions? Does the existing stair have a fire-rated enclosure? Leaving existing stairs in place and upgrading to a 1-hour fire wall would be problematic at this location in terms of compliance with Planning Department restrictions for construction in the rear yard setback. Archited shall explore "in-kind" replacement options with the Planning Department.

Answer: Repairs to the stair may be made in-kind. A fire wall will not be required at the property line if the existing stair is repaired. Replacement of the stair will require a 1-hour rated property line wall.

4a. The Owner wishes to explore the use of the existing attic Storage space. It's not otherwise prohibited by proposed building alterations listed above would there be any restrictions upon the continued use of the attic space as storage with minor modification to improve access?

Answer: Providing a code compliant access stair and use of the attic as storage would require sprinklers and type V-A construction. Two exits from attic floor would be required. If the proposed use of the attic is habitable space, please confirm the sprinkler requirement per Table 503 with a story increase taken per 504.2 and Table 1016.1.1. Construction at this level would be V-A. Would section 3403.1 apply? An existing building plus additions shall comply with the height and area provisions of Chapter 5. Portions of the structure not altered and not affected by the alterations are not required to comply with the code requirements for a new structure? Please confirm sprinkler requirements.

Answer: The full use of the existing attic for habitable space creates and additional story to the building. This story exceeds the 3-story existing non conforming condition. A mezzanine may be created without the addition of sprinklers if the building remains as a three story building. The area of the mezzanine must not exceed 1/3 the area of the space to which the mezzanine opens.

4c. A proposed habitable attic space (4th story) would be contiguous with the dwelling units below through an internal stair. Please confirm that a second means of egress would not be required for the attic story (4th story) or for the adjacent proposed roof deck.

Answer: A second means of egress is not required if the occupant load is less than 10. An exterior ground level exit not count toward the mezzanine square footage calculation. Compliance with code interpretation Building Egress 013. Compliance with code interpretation Building Egress 013. Assuming that attic is habitable space, structural upgrades will be made to reinforce floors adequately for live and dead loads. Roof rafters will be upgraded as appropriate to replace after ties, Wale, foundations, and lateral systems shall be evaluated by a Structural Engineer per the requirements of Section 3403.2.3.2 Alterations. Please confirm applicability of this section with respect to the conversion at the attic level.

Answer: This code section applies.

6. At the first level garage and residential unit the mid-span wood beams and columns will be relocated and replaced. The back wall of the building will be created. The Structural Engineer will design additional shear walls or moment frames to compensate for reduced shear capacity. Please advise of code threshold where full evaluation and upgrade to full compliance of building seismic capacity is required.

2

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413, SAN FRANCISCO, CALIFORNIA 94107, PHONE/FAX 415.431.0869

Answer: 30% tributary area of floor or roof per SFB Section 3403.2.3.2.3.

7. Is a fire rating required at the existing tradesman's access corridor?

Answer: Yes, provide 1-hour rated corridor. The door into the tradesman's access from the garage should be 1-hour fire rated.

Best regards,

Troy Kashanipour, Architect, LEED AP

SEED
T. Slump 3/11/10
Fire Foundation Chairman

Reviewed and agreed by
Jeff Ma

SEED B.T.
D. Slump 3/11/10
Saffery Ma

CLIENT: PAUL WINTER
1122 PAGE STREET
SAN FRANCISCO, CA 94117
PHONE: 415.712.2424

DATE: 12.30.09

ISSUED FOR VARIANCE APP. 03.02.10
ISSUED FOR SITE PERMIT 03.31.10
SITE PERMIT REVISIONS

CONSULTANT:

APPROVAL

DRAWN: TK
CHECKED: TK
SCALE: AS SHOWN

LICENSED ARCHITECT
TROY KASHANIPOUR
C 27846
STATE OF CALIFORNIA
EXPIRES 6/30/2011

EXISTING & PROPOSED
SITE PLAN

A0.1

EXISTING & PROPOSED SITE PLAN

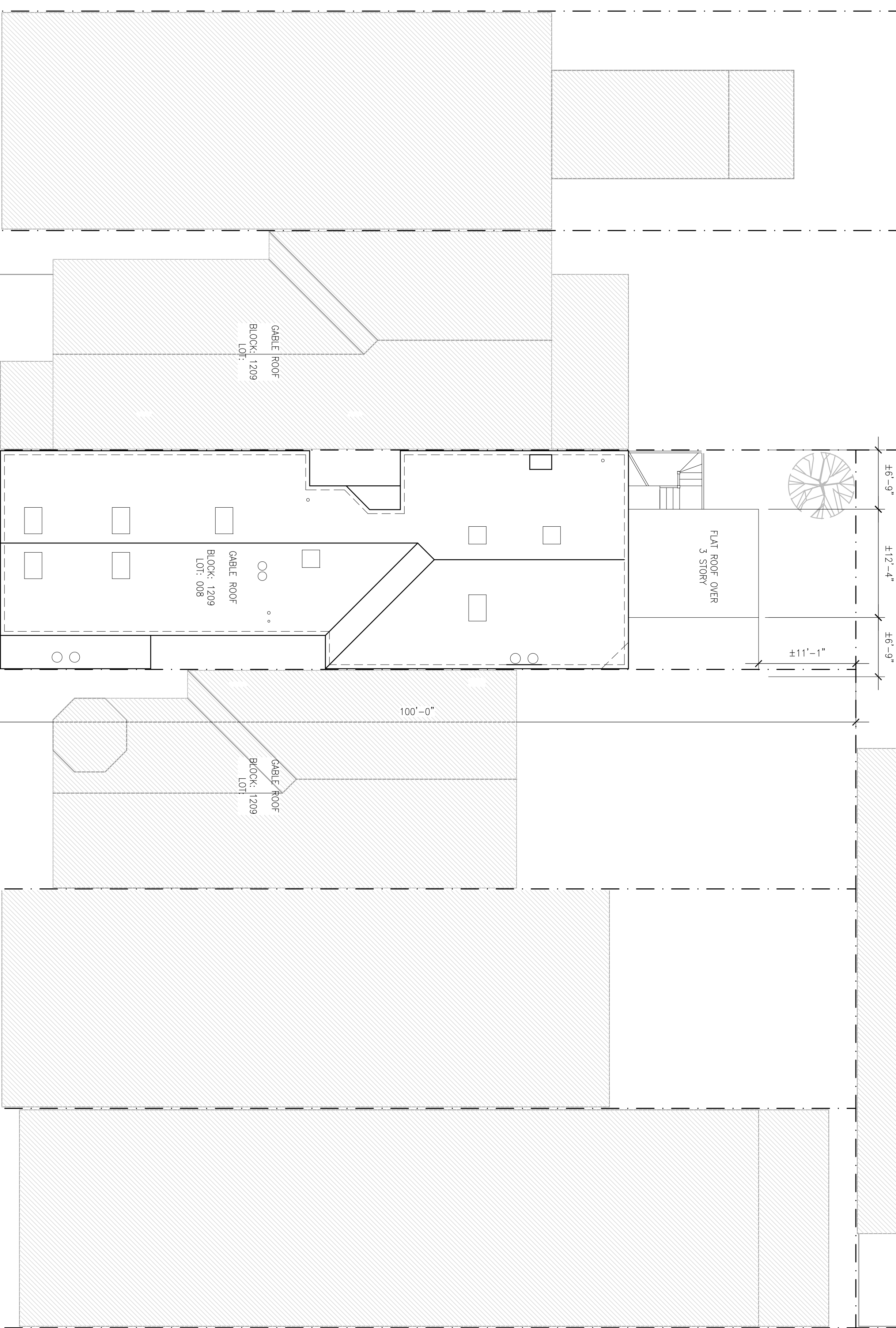
1
SCALE: 1/8" = 1'-0"

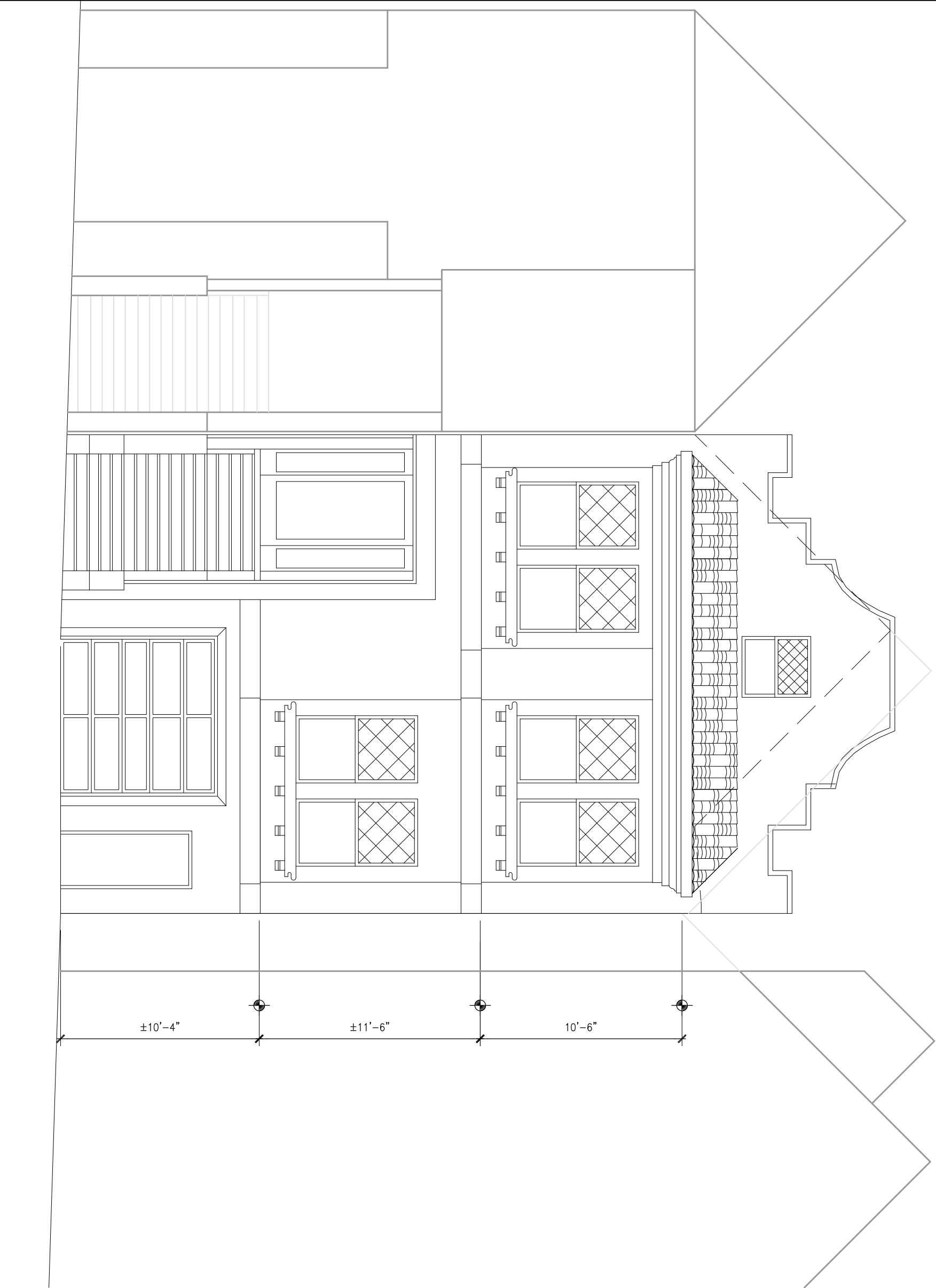
PAGE STREET

15'-0"

NORTH

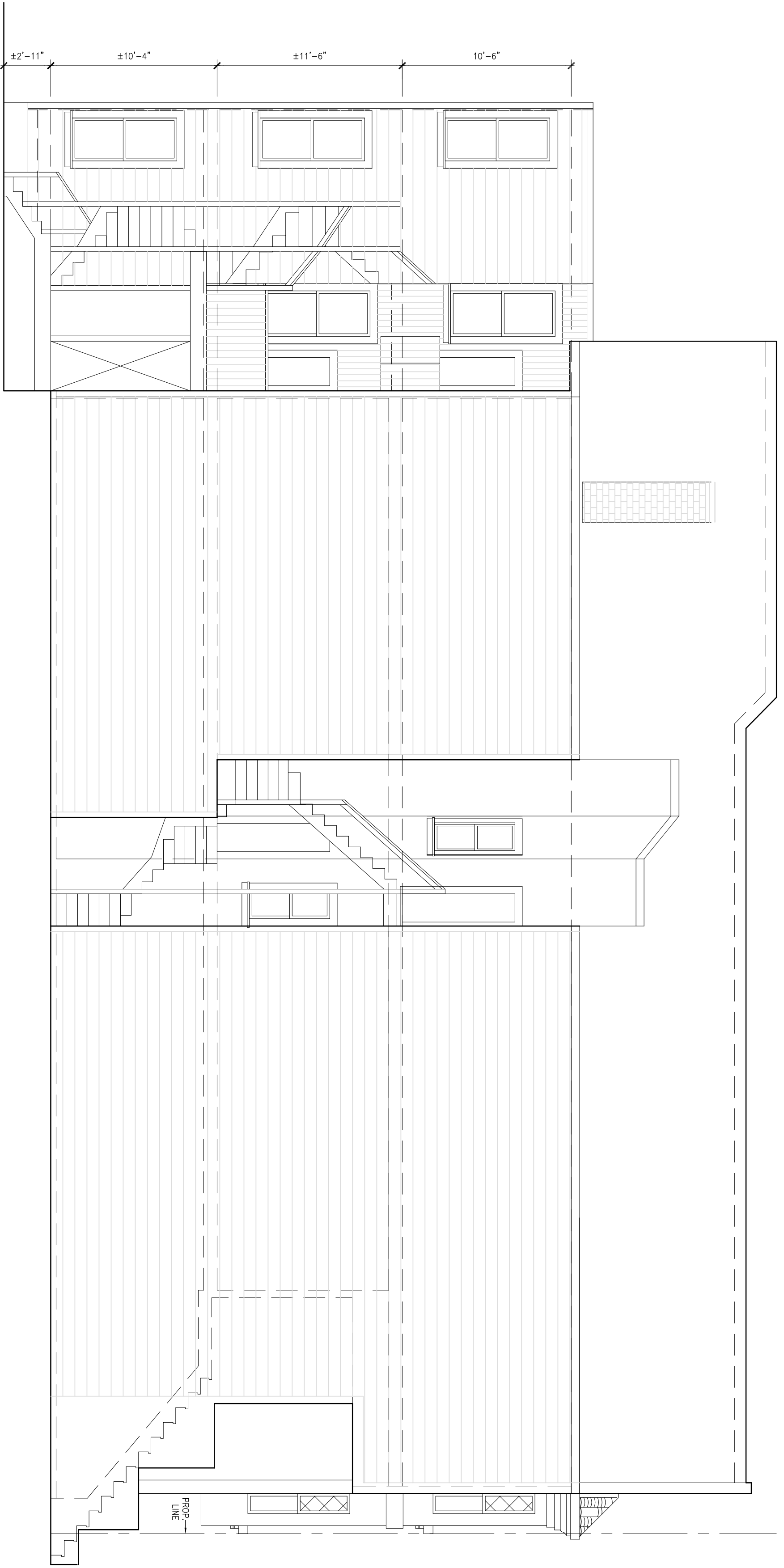
BRODERICK STREET





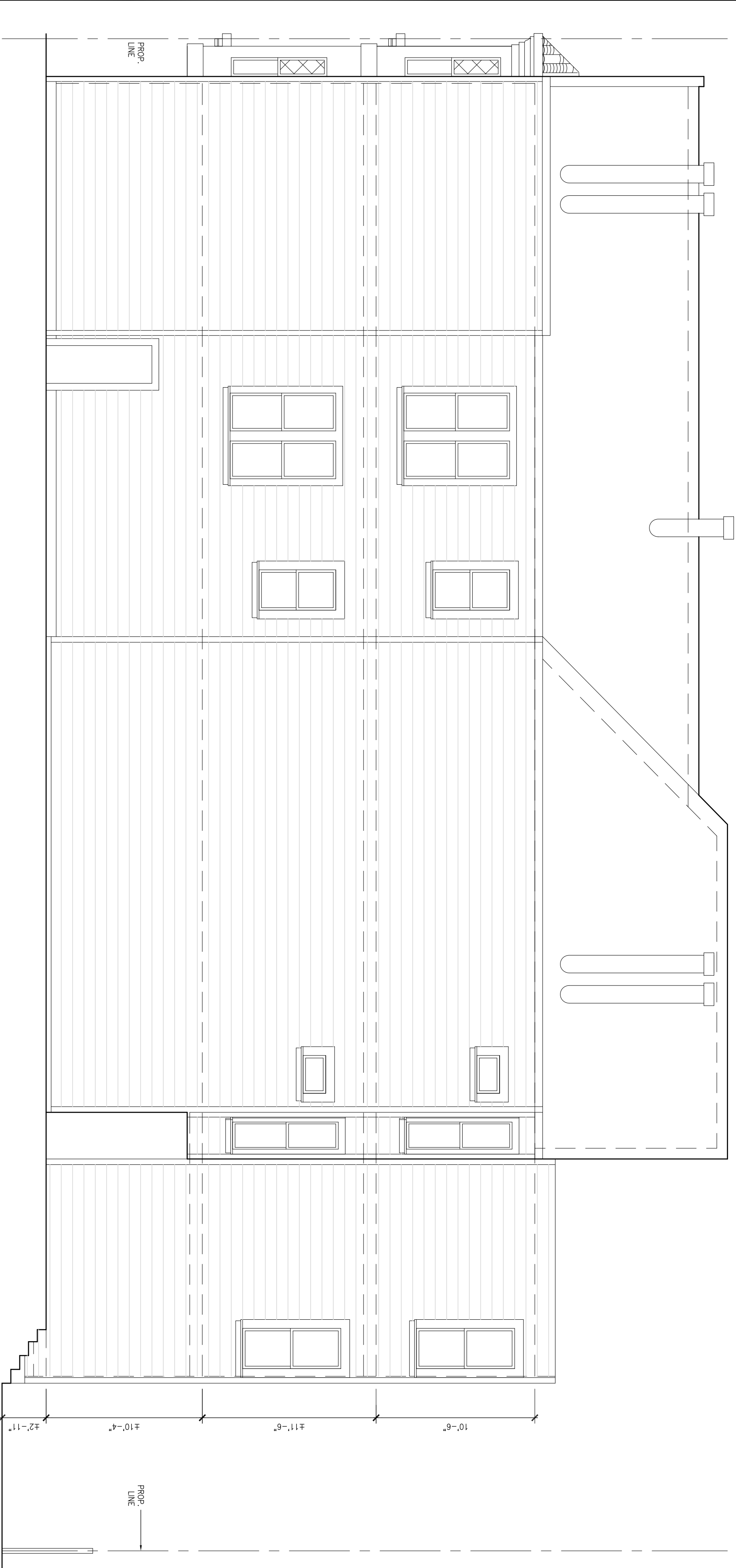
4 EXISTING SOUTH ELEVATION – PAGE STREET ELEVATION

SCALE: 3/16" = 1'-0"



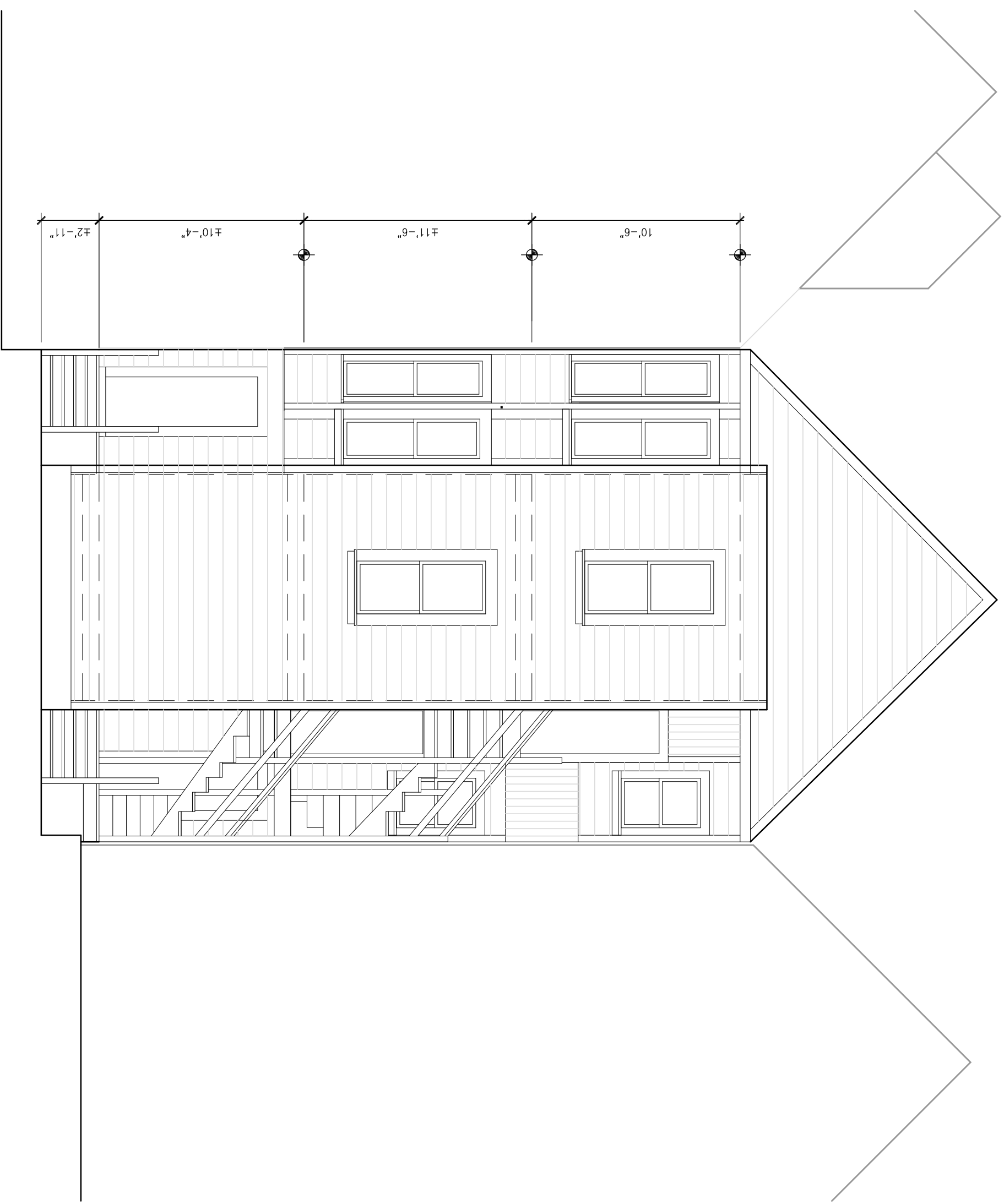
2 EXISTING WEST ELEVATION

SCALE: 3/16" = 1'-0"



3 EXISTING EAST ELEVATION

SCALE: 3/16" = 1'-0"



1 EXISTING NORTH ELEVATION – REAR YARD ELEVATION

SCALE: 3/16" = 1'-0"

TROY KASHANIPOUR ARCHITECTURE 2325 3RD STREET SUITE 413. SF CA 94107, PHONE/FAX 415.431.0869

1 1 2 2 PAGE ST RESIDENTIAL ADDITION

CLIENT: PAUL WINTER
1122 PAGE STREET
SAN FRANCISCO, CA 94117
PHONE: 415/712-2424

ISSUE: DATE:

ISSUED FOR VARIANCE APP. 02.23.10
ISSUED FOR SITE PERMIT 03.02.10
SITE PERMIT REVISIONS 03.31.10

CONSULTANT:

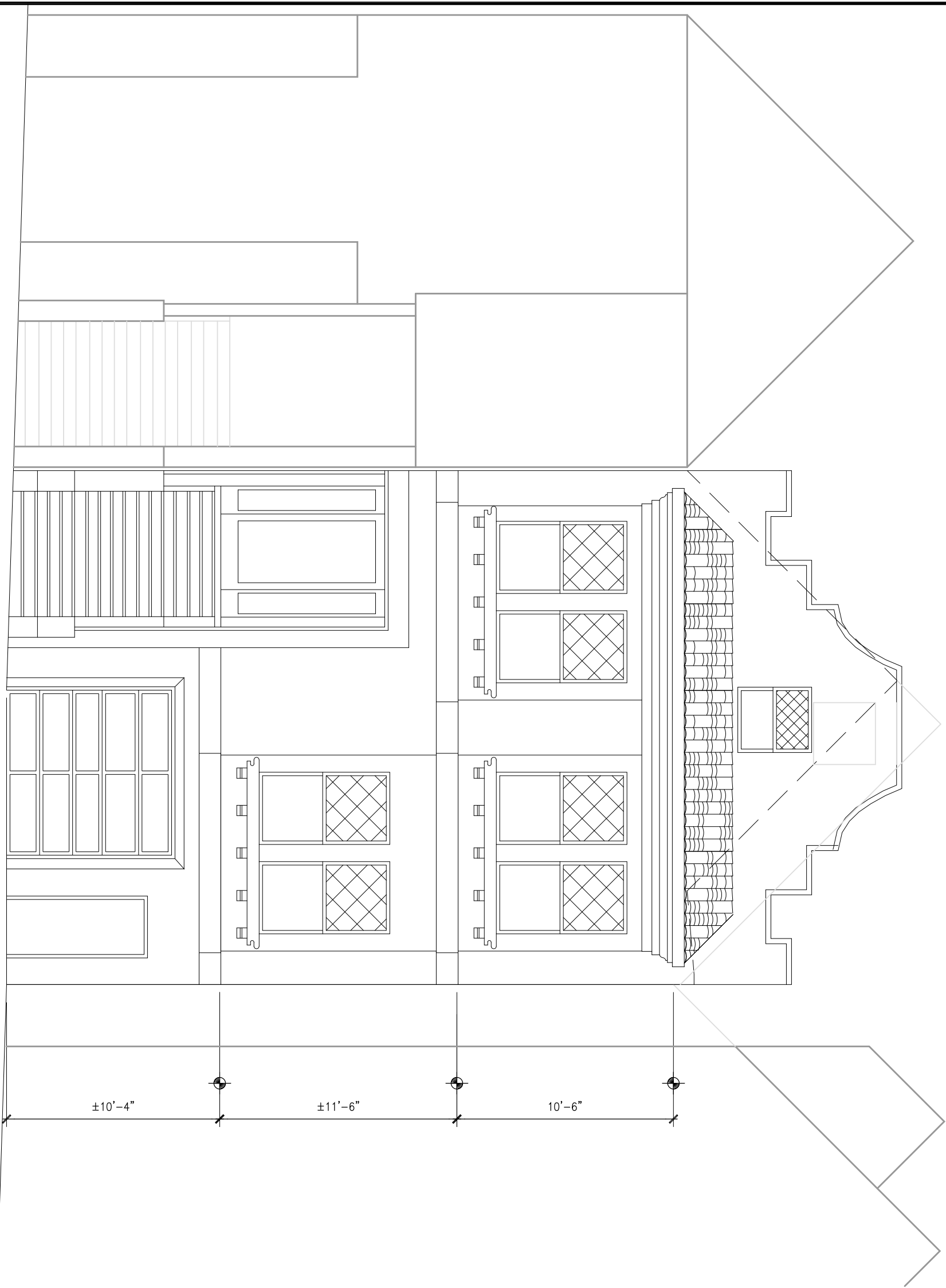
APPROVAL



DRAWN: TK
CHECKED: TK
SCALE: AS SHOWN

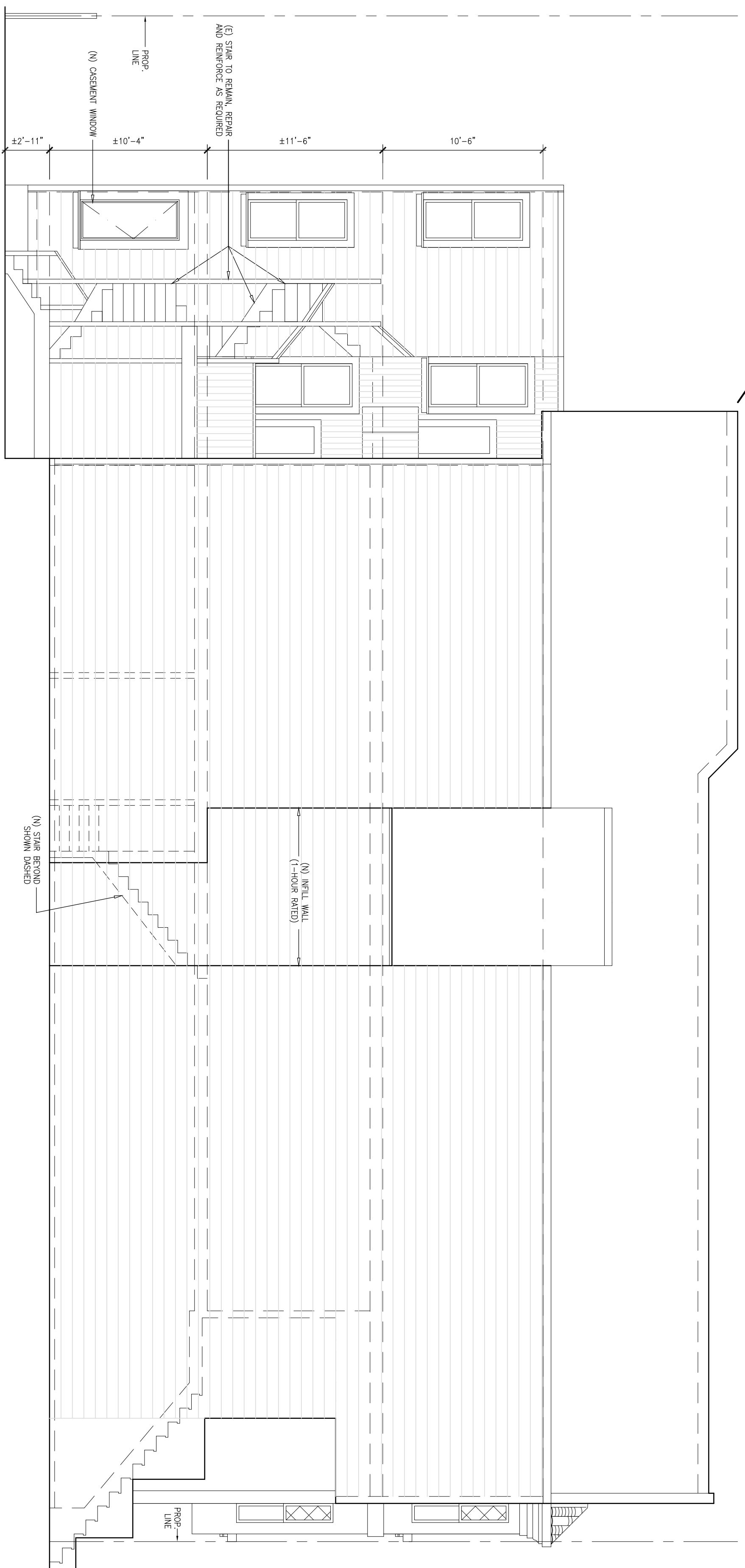
EXISTING ELEVATIONS

A3.0



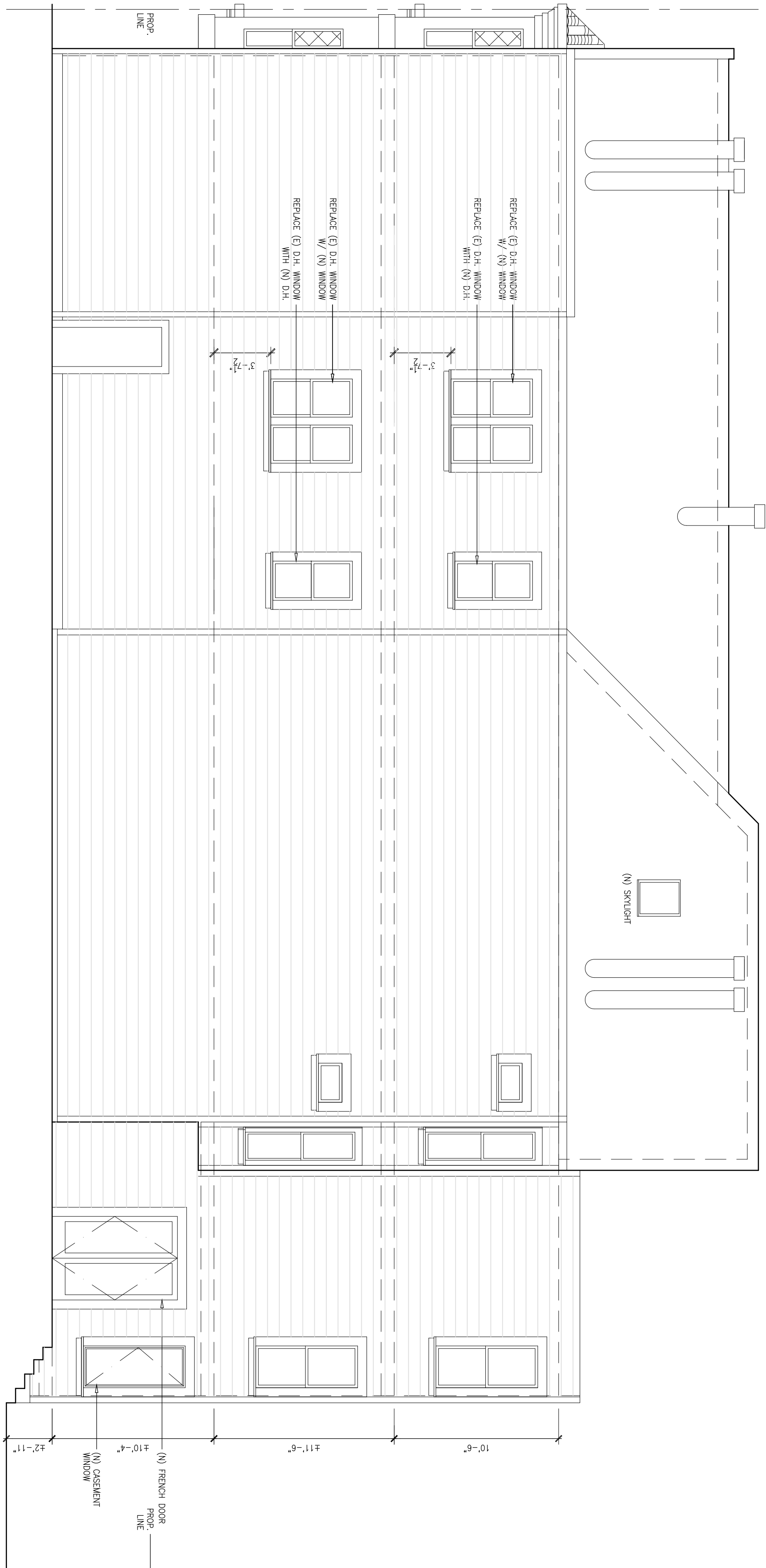
EXISTING SOUTH ELEVATION - PAGE STREET ELEVATION (NO CHANGE)

4 SCALE: 3/16" = 1'-0"



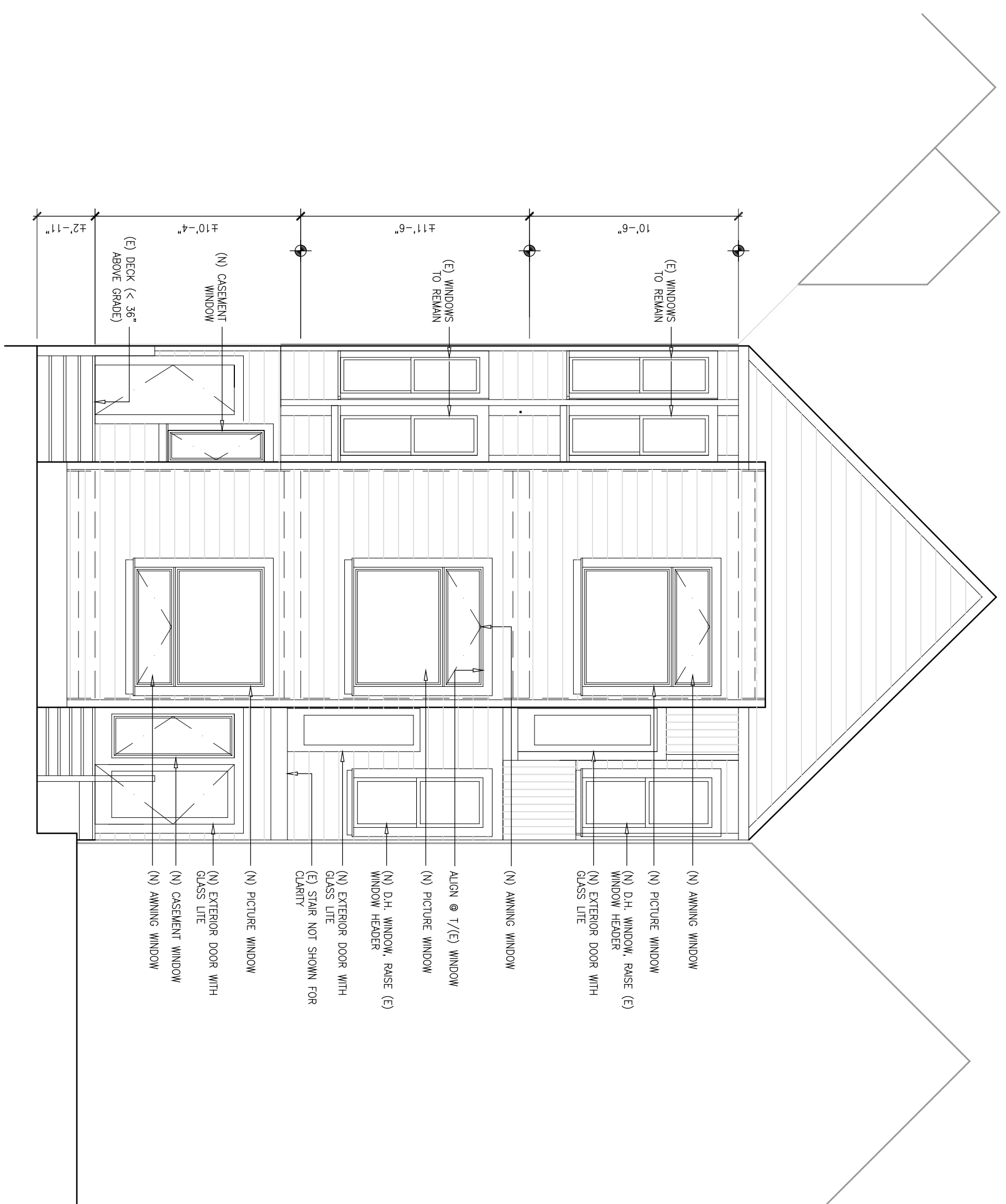
PROPOSED WEST ELEVATION

2 SCALE: 3/16" = 1'-0"



PROPOSED EAST ELEVATION

3) SCALE: 3/16" = 1'-0"



PROPOSED NORTH ELEVATION – REAR YARD ELEVATION

SCALE: 3/16" = 1'-0"

CLIENT: PAUL WINER
1122 PAGE STREET
SAN FRANCISCO CA 94117
PHONE: 415.712.2424

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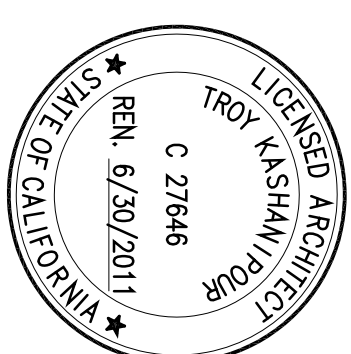
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ISSUED FOR SITE PERMIT	03.02.10
SITE PERMIT REVISIONS	03.31.10

03.51.10

CONSULTANT:

APPROVAL



DRAWN:	TK
CHECKED:	TK
SCALE:	AS SHOWN

AS SHOWN

PROPOSED ELEVATIONS

A3.1

T R O Y K A S H A N I P O U R A R C H I T E C T U R E 2325 3RD STREET SUITE 413. SF CA 94107. PHONE/FAX 415.431.0869

1122 PAGE ST RESIDENTIAL ADDITION