



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

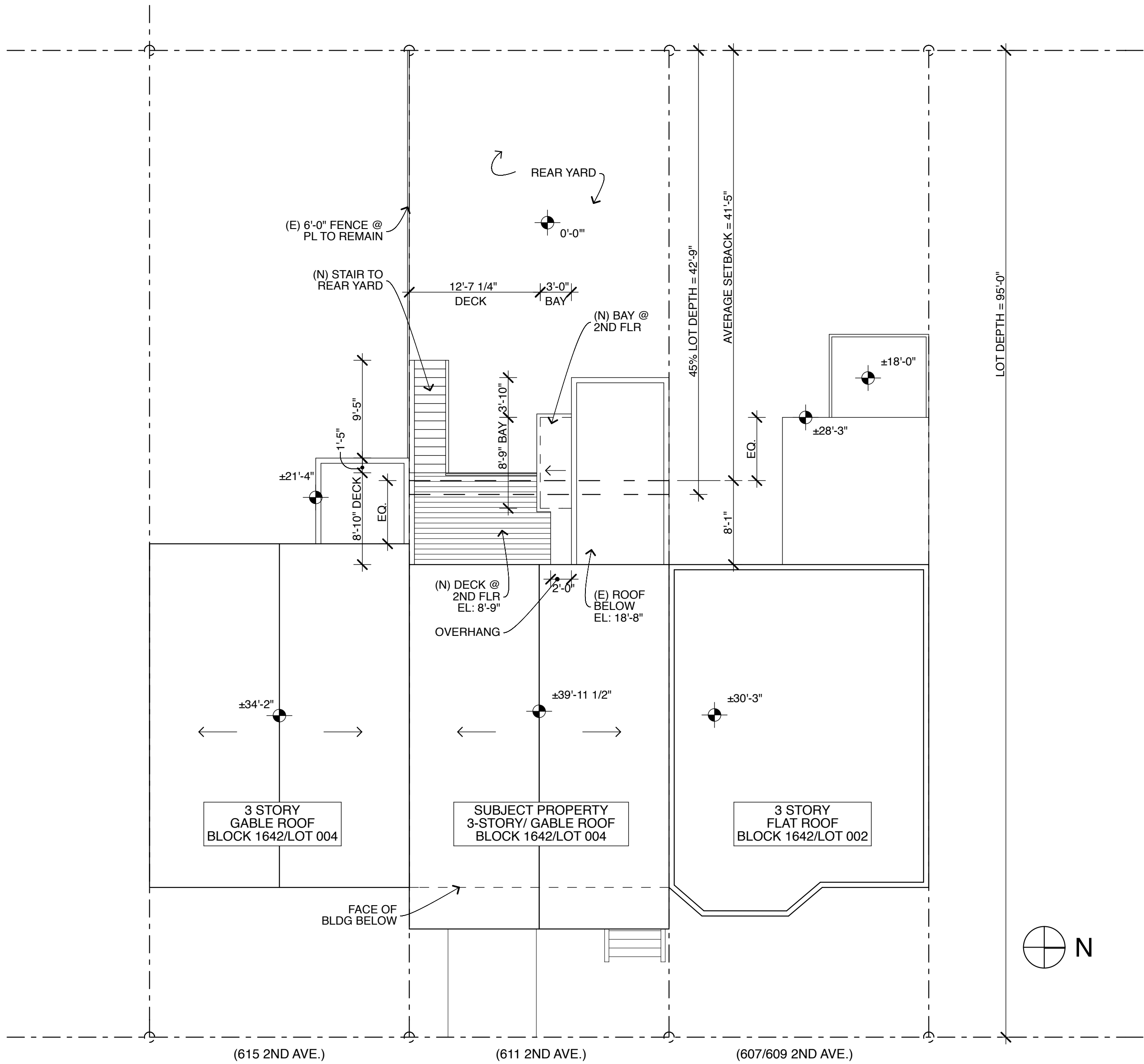
1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

611 2ND AVE.  
ADDITIONS AND ALTERATIONS  
SINGLE FAMILY RESIDENCE



1 SITE PLAN  
SCALE: 1/8" = 1'-0"

SITE PERMIT  
2/8/10

PLANNING NOTES:

**REAR YARD AVERAGING:**  
Per SFPC 134(c), rear yard setback may be calculated by an average of the depth of the rear building walls of the two adjacent buildings.

- VARIANCE:**
- New Bay: The new bay extends from an existing non-conforming portion of the structure. A Variance shall be required for portion of bay that extends beyond the rear yard setback requirements.
  - Stair Extension: Per SFPC 134(c)(14), stairways more than 3'-0" high may extend only up to 6'-0" into the required rear yard open space. Variance required.
  - Deck: Deck extends 9" beyond average setback.

**311 NOTIFICATION:**  
This project is subject to 311 Neighborhood Notification and Pre-Application Neighborhood Meeting.

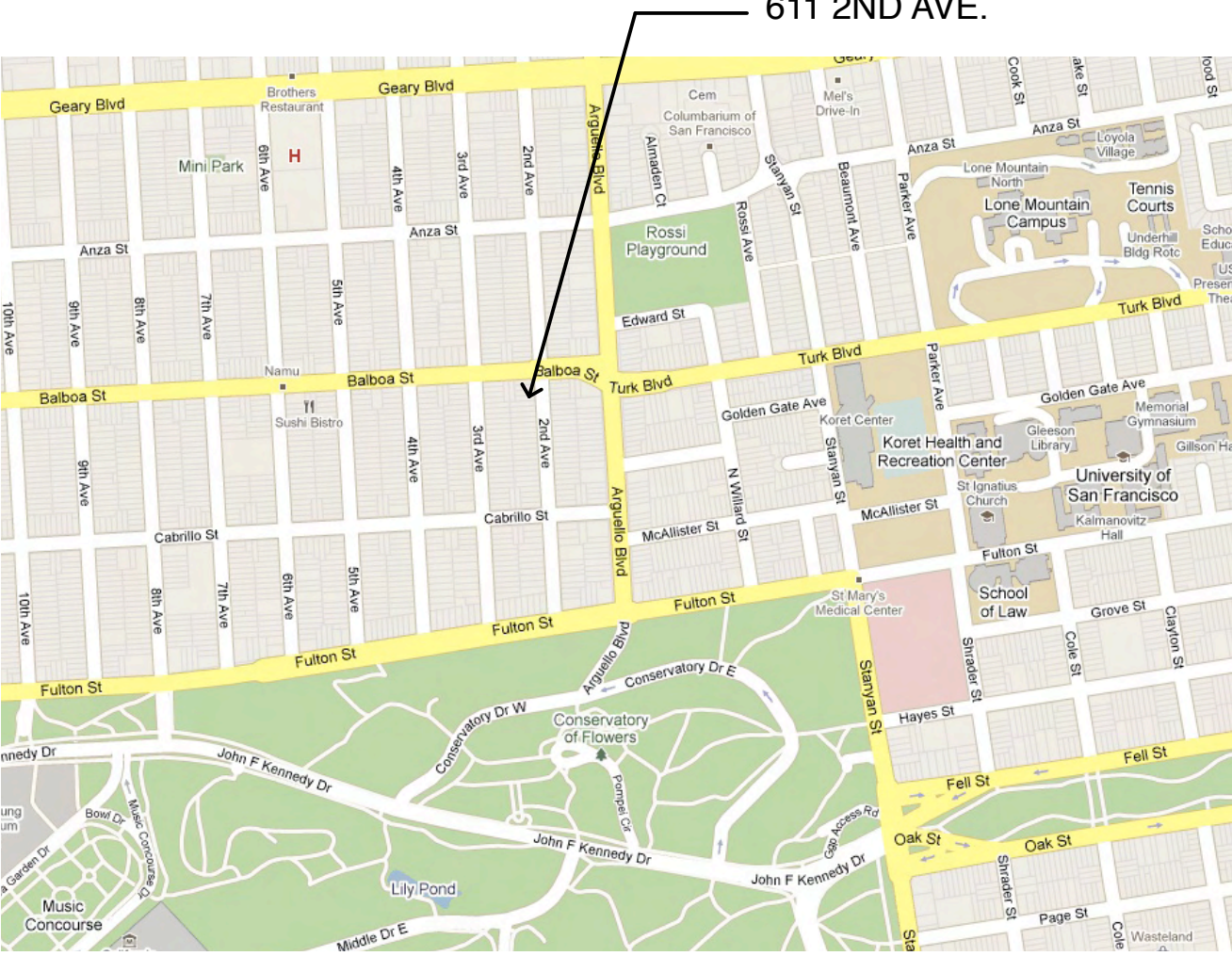
ABBREVIATIONS:

#	NUMBER	JT	JOINT
@	AT	LAV	LAVATORY
AB	ANCHOR BOLT	MAX	MAXIMUM
ADJ	ADJACENT	MIN	MINIMUM
ALT	ALTERNATE	MFR	MANUFACTURER
APPROX	APPROXIMATE	MTL	METAL
ASPH	ASPHALT	(N)	NEW
BLDG	BUILDING	NIC	NOT IN CONTRACT
BTWN	BETWEEN	NO#	NUMBER
BOT	BOTTOM	NTS	NOT TO SCALE
CAB	CABINET	OC	ON CENTER
CEM	CEMENT	OPNG	OPENING
CLR	CLEAR	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT	PL	PROPERTY LINE
COL	COLUMN	PLY	PLYWOOD
CONT	CONTINUOUS	PTDF	PRESSURE TREATED
CTR	CENTER	DOUG	DOUGLAS FIR
CL	CENTER LINE	PLAM	PLASTIC LAMINATE
CER	CERAMIC	PTD	PAINTED
CLG	CEILING	PTN	PARTITION
CONC	CONCRETE	R	RISER
DBL	DOUBLE	REF	REFERENCE
DEPT	DEPARTMENT	REFR	REFRIGERATOR
DIA	DIAMETER	RWD	REDWOOD
DF	DOUGLAS FIR	REINF	REINFORCED
DH	DOUBLE HUNG	RO	ROUGH OPENING
DIM	DIMENSION	RWL	RAIN WATER LEADER
DN	DOWN	REQ	REQUIRED
DS	DOWNSPOUT	SIM	SIMILAR
DTL	DETAIL	SHT	SHEET
DWG	DRAWING	SOG	SLAB ON GRADE
(E)	EXISTING	SPEC	SPECIFICATION
EA	EACH	STD	STANDARD
ELEC	ELECTRICAL	STRL	STRUCTURAL
EL	ELEVATION	SUSP	SUSPENDED
EQ	EQUAL	SYM	SYMMETRICAL
EXT	EXTERIOR	TRD	TREAD
FDN	FOUNDATION	T&G	TONGUE AND GROOVE
FLR	FLOOR	THK	THICK
FLUOR	FLUORESCENT	TOS	TOP OF SLAB
FOC	FACE OF CONCRETE	TP	TOILET PAPER
FOS	FACE OF STUD	TB	TOWEL BAR
FTG	FOOTING	TYP	TYPICAL
FOF	FACE OF FINISH	UON	UNLESS OTHERWISE NOTED
GALV	GALVANIZED	VERT	VERTICAL
GFIC	GROUND FAULT INTERRUPT CIRCUIT	VIF	VERIFY IN FIELD
GND	GROUND	W/	WITH
GYP	GYPSON	WO	WITHOUT
GWB	GYPSON WALL BOARD	WC	WATER CLOSET
HORZ	HORIZONTAL	WDW	WINDOW
HT	HEIGHT	WP	WATERPROOF
INSUL	INSULATION	WT	WEIGHT
INT	INTERIOR	WD	WOOD
		WH	WATER HEATER

LEGEND:

	(E) ONE-HOUR WALL
	(N) ONE-HOUR WALL
	BLDG/ WALL SECTION
	EXTERIOR ELEVATION
	COLUMN LINE
	ELEVATION MARKER
	RECESSED COMPACT FLOURESCENT
	RECESSED DOWNLIGHT
	RECESSED ADJ. DOWNLIGHT
	RECESSED WALL WASHER
	SURFACE MTD. CELING FIXTURE/PENDANT
	CEILING MOUNTED PULL CHAIN
	WALL MTD. FIXTURE
	UNDER CABINET FIXTURE
	UNDER CABINET FLUORESCENT
	CEILING MTD. FLUORESCENT
	SURFACE MTD. FLUORESCENT FIXTURE
	SURFACE MTD. TRACK FIXTURE
	SURFACE MTD. FIXTURE W/PULL CHAIN
	EXTERIOR PATH LIGHT
	WALL MOUNTED FAN
	CEILING EXHAUST FAN
	RECESSED FAN/ LIGHT COMBO
	SINGLE POLE AND MULTI-LOCATION SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	SINGLE POLE AND MULTI-LOC. WALL DIMMER
	REMOTE TRANSFORMER
	DUPLEX RECEPTACLE
	WATERPROOF DUPLEX RECEPTACLE
	DUPLEX RECEP. GROUND FAULT CIRCUIT INTERRUPTER
	FLOOR DUPLEX RECEP. W/ REMOVABLE FLUSH COVER
	TELEPHONE OUTLET
	CHIME W/LOW VOLTAGE TRANSFORMER
	CABLE TV
	DOOR BUZZER
	THERMOSTAT
	INTERCOM
	IN SINK DISPOSAL
	SMOKE DETECTOR (AC POWERED W/ BATTERY BACK UP)
	LIGHTED EXIT SIGN W/ BATTERY BACK-UP PER UBC SEC. 1013
	HOSE BIB

LOCATION MAP:



TITLE 24 COMPLIANCE:

Title-24 Mandatory Measures:  
All work to comply with Title-24 Mandatory Measures including but not limited to: R-13 min. insulation in all new/rebuilt exterior walls; R-19 min. insulation in all new/rebuilt roofs; R-13 raised floor insulation in all new/rebuilt wood framed floors; double insulated doors and window products with certified U-value and infiltration certification; exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed; 50% minimum high efficacy lighting in kitchens (separately switched); high efficacy lighting in bathrooms, garage, laundry room and utility rooms (or manual-on occupancy sensor); all other rooms, lighting to be high efficacy, manual-on occupancy sensor, or dimmer. All recessed incandescent ceiling fixtures to be IC approved. All recessed fluorescents to be ICAT rated. Outdoor lighting to be high efficacy or motion sensor with photocontrol. See attached compliance sheets on A-0.2, project notes, product information and drawings for project specific insulation levels and energy efficiency provisions.

DESCRIPTION OF WORK:

This work consists of the addition of a bay and deck to the rear of the house facing the rear yard. Rear yard variance will be required for the bay addition to an existing non-conforming structure.

All work to comply with current local and state codes including, but not limited to: the 2007 Edition of the California Building Code, the California Plumbing Code, the California Mechanical Code, the California Electrical Code and the California Fire Code, the current editions of the San Francisco Building and Planning Codes, Title-24 Energy Standards, etc...

BUILDING DATA:

OWNERS:	ANNE SHEPHERD & JAMES ROZZELLE TEL: (415) 706-0027
ADDRESS:	611 2ND AVE. SAN FRANCISCO, CA 94118
BLOCK/LOT:	BLOCK 1642/ LOT 003
ZONING DISTRICT:	RH-2 / 40-X
LOT SIZE:	2,375 SQ. FT.
SFBC OCCUPANCY CLASS:	R-3
CONSTRUCTION TYPE:	TYPE-VB (NON RATED)
DESIGN:	KERMAN MORRIS ARCHITECTS 69A WATER STREET SAN FRANCISCO, CA 94133 T: (415) 749-0302 F: (415)928-5152

INDEX OF DRAWINGS

T-1	SITE PLAN
A-1.1	EXISTING/DEMO FIRST & SECOND FLOOR PLAN
A-1.2	EXISTING/DEMO THIRD FLOOR & ROOF PLAN
A-1.3	EXISTING/DEMO ELEVATIONS
A-2.1	FIRST & SECOND FLOOR PLANS
A-2.2	REAR & SOUTH ELEVATION
A-3.1	SECTIONS

KERMAN  
MORRIS  
Architects

69A WATER STREET  
SAN FRANCISCO  
CALIFORNIA 94133  
TEL 415.749.0302  
FAX 415.928.5152

Revisions:


611 2ND AVE.

BAY & DECK  
ADDITION

BLOCK 1642/ LOT 003

SITE PLAN

NOTICE

These drawings and specifications are the property and copyright of Kerman/MorrisArchitects and shall not be used on any other work except by written agreement with Kerman/Morris Architects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

These drawings are an industry standard builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details. SPECIFICALLY EXCLUDED FROM THE SCOPE OF DESIGN SERVICES AND AS INDICATED IN THESE PLANS ARE ALL WATERPROOFING DETAILS/ DESIGN, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

DATE: 2/8/10

SCALE:

DRAWN BY: JLL

CHECKED BY: TM

JOB NO.: 0923

DRAWING

T-1

1 of 7 sheets

611 2ND AVE.  
2/8/10 SITE PERMIT

Revisions:




611 2ND AVE.

BAY & DECK  
ADDITION

BLOCK 1642/ LOT 003

EXISTING/DEMO  
ELEVATIONS

NOTICE

These drawings and specifications are the property and copyright of Kerman/MorrisArchitects and shall not be used on any other work except by written agreement with Kerman/Morris Architects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

These drawings are an industry standard builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details. SPECIFICALLY EXCLUDED FROM THE SCOPE OF DESIGN SERVICES AND AS INDICATED IN THESE PLANS ARE ALL WATERPROOFING DETAILS/ DESIGN, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

DATE: 2/8/10

SCALE:

DRAWN BY: JLL

CHECKED BY: TM

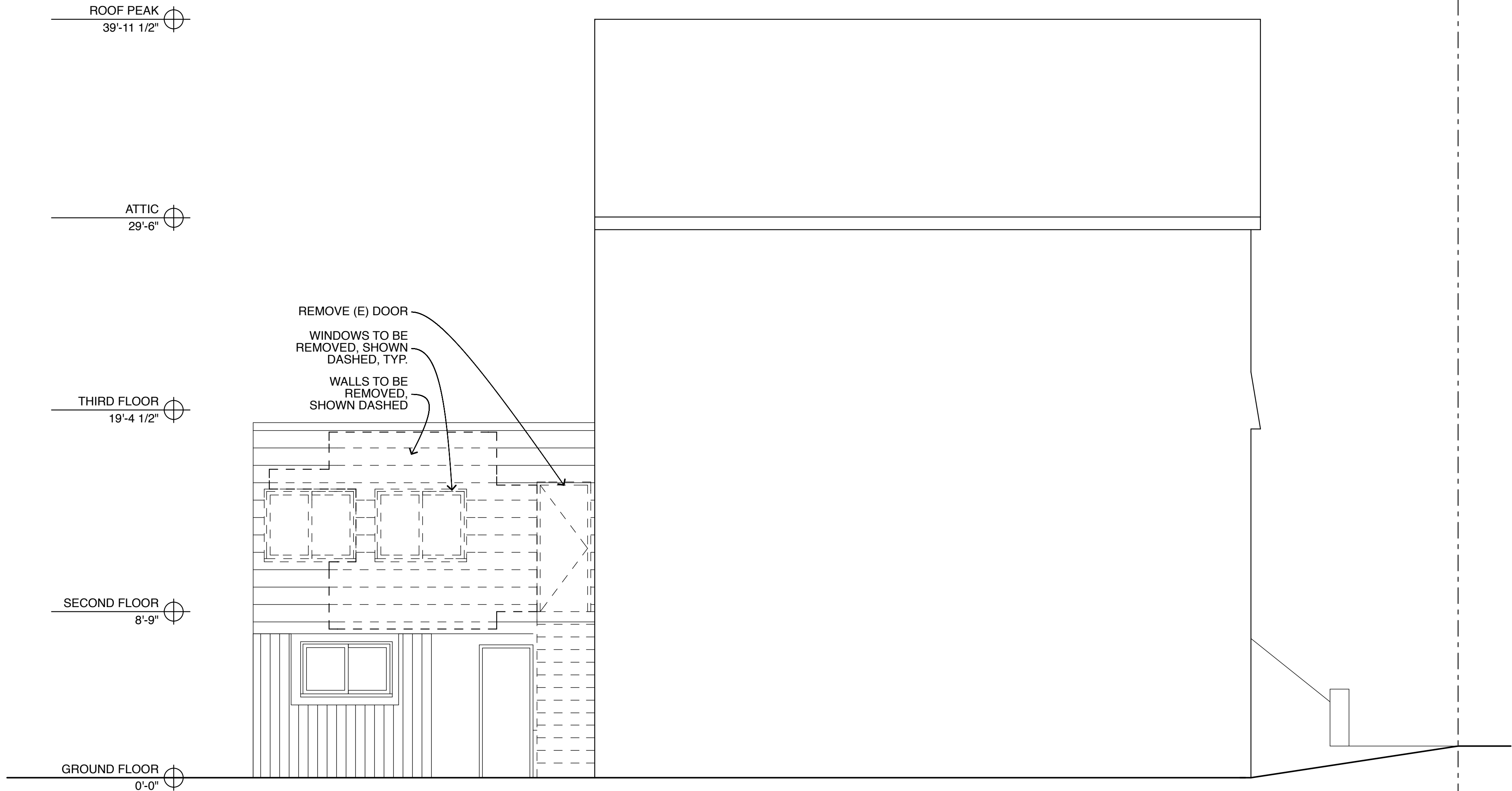
JOB NO.: 0923

DRAWING

A-1.3

4 of 7 sheets

611 2ND AVE  
2010 SITE PERMIT



Revisions:



611 2ND AVE.

BAY & DECK  
ADDITION

BLOCK 1642/ LOT 003

REAR & SOUTH  
ELEVATION

NOTICE

These drawings and specifications are the property and copyright of Kerman/MorrisArchitects and shall not be used on any other work except by written agreement with Kerman/Morris Architects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

These drawings are an industry standard builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details. SPECIFICALLY EXCLUDED FROM THE SCOPE OF DESIGN SERVICES AND AS INDICATED IN THESE PLANS ARE ALL WATERPROOFING DETAIL/DESIGN, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

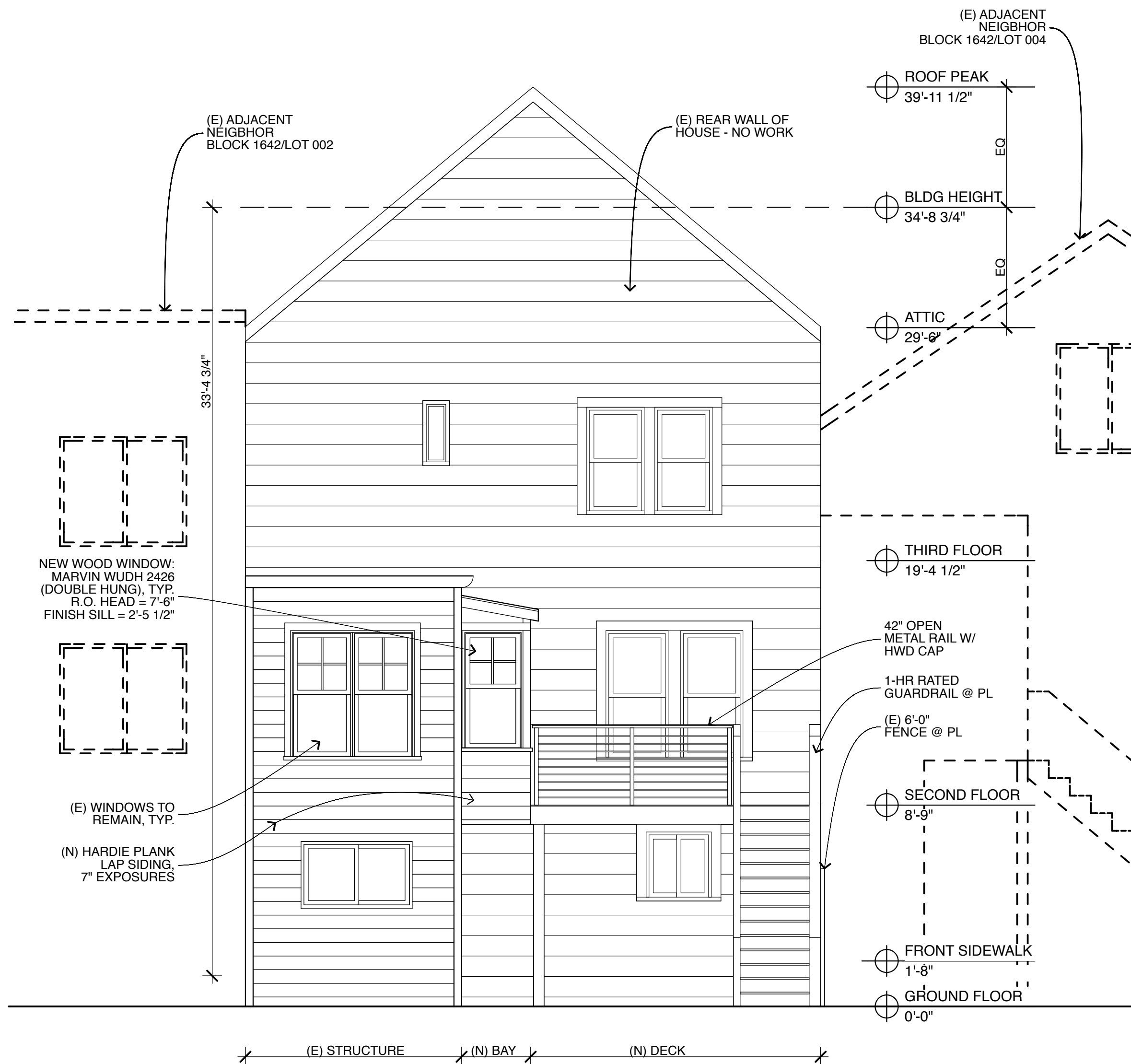
DATE: 2/8/10  
SCALE:  
DRAWN BY: JLL  
CHECKED BY: TM  
JOB NO.: 0923

DRAWING

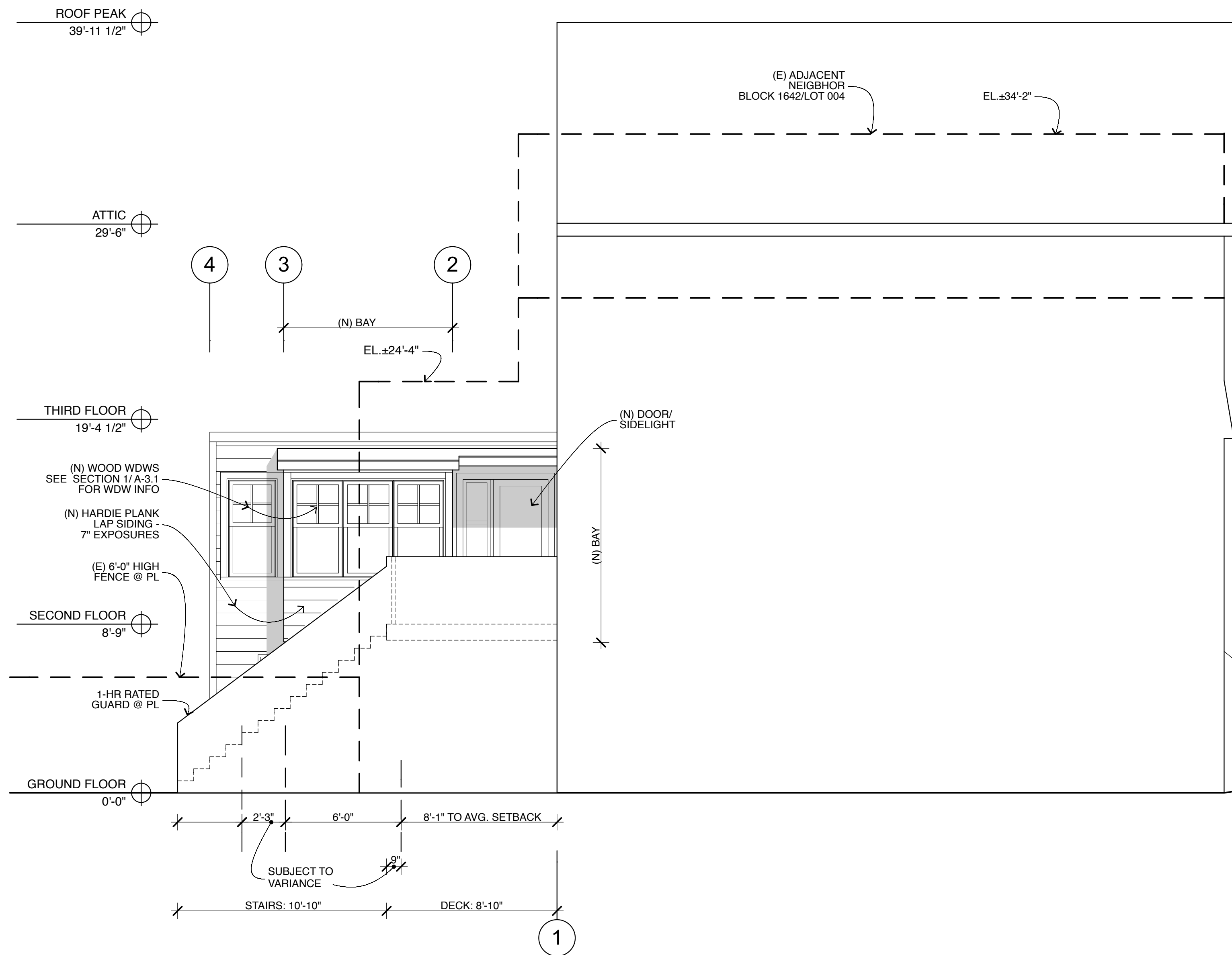
A-2.2

6 of 7 sheets

611 2ND AVE.  
2810 SITE PERMIT



2 WEST (REAR) ELEVATION  
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

Revisions:



611 2ND AVE.

BAY & DECK  
ADDITION

BLOCK 1642/ LOT 003

SECTIONS

NOTICE

These drawings and specifications are the property and copyright of Kerman/MorrisArchitects and shall not be used on any other work except by written agreement with Kerman/Morris Architects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

These drawings are an industry standard builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details. SPECIFICALLY EXCLUDED FROM THE SCOPE OF DESIGN SERVICES AND AS INDICATED IN THESE PLANS ARE ALL WATERPROOFING DETAILS/ DESIGN, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

DATE: 2/8/10

SCALE:

DRAWN BY: JLL

CHECKED BY: TM

JOB NO.: 0923

DRAWING

A-3.1

7 of 7 sheets

611 2ND AVE  
2010 SITE PERMIT

ROOF PEAK  
39'-11 1/2"

ATTIC  
29'-6"

THIRD FLOOR  
19'-4 1/2"

SECOND FLOOR  
8'-9"

GROUND FLOOR  
0'-0"

(E) 2-STORY  
BUILDING  
EXTENSION

(N) WOOD WINDOW:  
MARVIN WUDH 2426  
(DOUBLE HUNG), TYP.  
R.O. HEAD = 7'-6"  
FINISH SILL = 2'-5 1/2"

(N) WOOD WINDOW:  
MARVIN WUDH 2626  
(DOUBLE HUNG), TYP.  
R.O. HEAD = 7'-6"  
FINISH SILL = 2'-5 1/2"

(E) WINDOW/ DOOR  
TO REMAIN

REPLACE (E) DOOR

(N) 2ND FLOOR DECK

(N) BAY

(N) WOOD DOOR/  
SIDELIGHT R.O.  
HEAD = 7'-6"

(E) BDRM

ATTIC  
NO WORK

THIRD FLOOR  
NO WORK

(E) DINING

(E) LIVING

SECOND FLR

(E) GARAGE

FIRST FLOOR

1

SECTION

SCALE: 1/4" = 1'-0"