



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 26, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance (Rear Yard)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	48 Newton Street	Case No.:	2010.0089V
Cross Street(s):	Morse & Rolph Streets	Building Permit:	2009.08.26.5647
Block /Lot No.:	6464/019	Applicant/Agent:	Michael McGee
Zoning District(s):	RH-1 / 40-X	Telephone:	(415) 307-5654
Area Plan:	N/A	E-Mail:	m2design1@gmail.com
PROJECT DESCRIPTION			
<p>The subject property is a two-story single-family dwelling. The project is to legalize the as-built condition of a two-story rear extension that exceeded the approved scope of work of Building Permit Application (BPA) #2008.09.09.1073. Under BPA #2008.09.09.1073, the two-story rear extension was approved to be setback approximately 25 feet from the rear property line. However, the rear extension was built setback approximately 23.5 from the rear property line.</p> <p>PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of 25 feet. The rear extension proposed for legalization encroaches approximately 1.5 feet into the required rear yard and results in a rear yard of 23.5 feet; therefore, the project requires a variance from the rear yard requirement of the Planning Code.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Adrian C. Putra Telephone: (415) 575-9079 E-Mail: adrian.putra@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0089V.pdf</p>			

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 12/11/09, the Department issued the required Section 311/312 notification for this project expired 1/10/10.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

RENOVATION OF 48 NEWTON STREET, SAN FRANCISCO, CALIFORNIA

DRAWING INDEX

$$\Delta T_{\text{C}} = 17.5^{\circ}\text{C} \cdot \text{g} / \text{g} \cdot \text{K}$$

- A07 "THE SHEET" - PROJECT PLAN DRAWING INDEX - LEGENDS AND GENERAL NOTES
 A08 FIRST AND SECOND FLOOR PLAN - 1:12 SCALE - 1:12 SCALE PLAN AND SECTIONS
 A09 PROPOSED FLOOR PLANS - NEW PARTITION WALLS - LEGENDS AND NOTES
 A10 SECOND FLOOR ELEVATIONS - "FACADE" - PROPERTY
 A11 NEW EXTERIOR ELEVATIONS - SECOND FLOOR PLANS - 1:12 SCALE
 A12 NEW EXTERIOR ELEVATIONS - SECOND FLOOR PLANS - 1:12 SCALE

GENERAL NOTES

1. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONTRACT WORK REQUIRED HEREIN IN ACCORDANCE WITH ALL LOCAL STATE AND FEDERAL REQUIREMENTS.
2. IN THE EVENT THE CONTRACTOR ENCOUNTERS SUCH MATERIALS, EQUIPMENT, OR OBSTACLES BELIEVED TO BE HAZARDOUS WHICH HAVE NOT BEEN PREVIOUSLY IDENTIFIED OR NOT IDENTIFIED ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND REPORT THE CONDITION TO THE DESIGNER.
3. CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, AND INSTRUMENTS FOR ACCURACY AND CONFORMING TO THE REQUIREMENTS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY FIELD INVESTIGATION OR FIELD WORK IF THERE ARE ANY QUESTIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE DESIGNER WITHIN THE SPECIFIED TIME FRAME AND IN WRITING.
4. CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL PREVAIL OVER THE CONTRACTOR'S DIMENSIONS. DIMENSIONS NOT NOTED SHALL CONTACT THE DESIGNER OR SUB-CONTRACTOR FOR SUB-CONTRACTOR'S DIMENSIONS. DIMENSIONS NOTED SHALL PREVAIL OVER THE CONTRACTOR'S DIMENSIONS.
5. SCALE SMALL DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DETAILS. TAKE PRECEDENCE OVER THE CONTRACTOR'S NOTED DIMENSIONS OF CONFLICTS IN PAVING PATTERN TO PROCEEDING WITH THE WORK.
6. CONTRACTOR SHALL SUBMIT CONTRACTOR'S WORK DELIVERABLES IN ACCORDANCE WITH THE MATERIALS AND EQUIPMENT OF ANY LOW LEVEL CROSS OVERS.
7. NO HOT DRESS OR HOT SETTING CONCRETE OR STEEL. FLOOR JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS, UNLESS SPECIFICALLY NOTED, SHALL BE KEPT UNHARMED BY ENGINEER. MAKE PREPARED BY CONTRACTOR TO PROTECT EXISTING STRUCTURES FROM DAMAGE DURING CONSTRUCTION. WORK SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. WORK SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
8. CONTRACTOR SHALL PROTECT EXISTING STRUCTURES FROM DAMAGE DURING CONSTRUCTION. WORK SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. WORK SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
9. BEFORE CUTTING OR REMOVING STRUCTURES OR PORTIONS OF EXISTING STRUCTURES IS REQUIRED TO PROTECT THE WORK UNDER THIS CONTRACT. A NEW DESIGNER SHALL NOTED TO FILE THE RESULTING OPENINGS IN THE EXISTING STRUCTURE. THE CONTRACTOR SHALL NOT ASK TO REMOVE EXISTING STRUCTURES.
10. ALL DRAINAGE SHALL BE SURFACE. THE "H" IS CENTERED TO TO AROUND FINISHED FLOOR.
11. WHERE MATCH EXISTING IS INDICATED, NEW CONSTRUCTION FOR FINISHES SHALL BE MATCHED TO THE EXISTING MATCH TO THE SATISFACTION OF THE DESIGNER.
12. DETAILS ARE USUALLY REFERENCED ON THE PLANS OR ELEVATIONS WHERE THE FIRST OCCURRENCE ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL NOTED TO FILE THE RESULTING OPENINGS IN THE EXISTING STRUCTURE. THE CONTRACTOR SHALL NOT ASK TO REMOVE EXISTING STRUCTURES.
13. ALL DIMENSIONS ARE TO CENTER LINE OR CORNER OR FACE OF FINISH UNLESS OTHERWISE NOTED.
14. THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO PREVENT INTRUSION BETWEEN DISJUNCTIVE METALS.
15. "OR AS SHOWN" IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY REPRODUCE THE EXISTING CONDITIONS OF THE PROJECT.
16. PIPES, CONDUITS AND DUCTS SHALL BE PENETRATIONS THROUGH FIRE RATED WALLS AND CEILINGS SHALL BE SEALED WITH FIRE RESISTANT MATERIALS TO THE FULL DEPTH OF WALL OR THICKNESS OF WALL CEILING.
17. COMPLETION OF THE WORK SHALL REMOVE ALL MAJOR OBSTACLES TO THE PROGRESS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL OBSTACLES TO THE PROGRESS OF THE PROJECT.
18. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK UNDER THIS CONTRACT, INCLUDING THE WORK OF SUB-CONTRACTORS CARPENTRY, ELECTRICAL, MECHANICAL, PLUMBING, ETC. ALL WORK SHALL BE AS PART OF THE PROJECT.

CONTRACTOR:

PROJECT:
48 NEWTON STREET, SAN FRANCISCO, CA
BLOCK NO. 6464, LOT NO. 19
PROPOSED 2ND FLOOR ADDITION

CLIENT: MR & MS. PRAVINKUMAR PATEL

DRAWING:

DATE	REMARKS
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9. **CONCLUSIONS**

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OF 104

CHECKED	DATE
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DATE **8/24/2008**

SCALE VPM-8

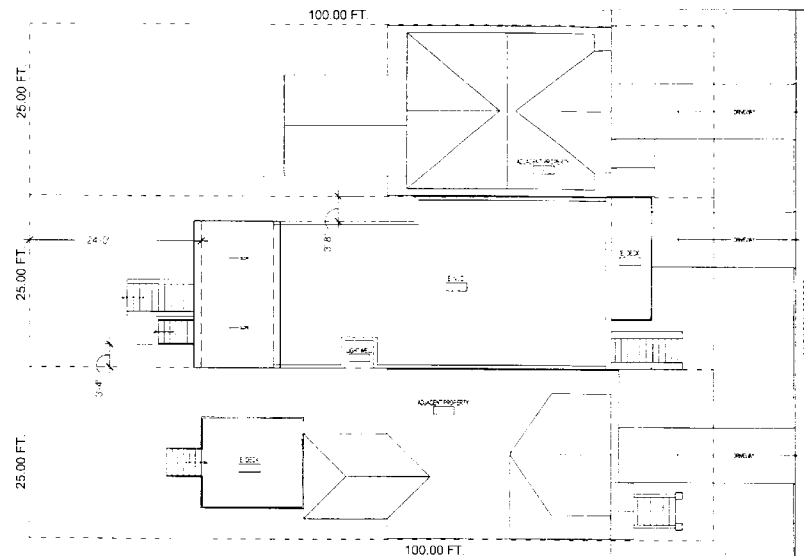
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ABBREVIATIONS

1	ANGLE	CEILING	2N	DOOR	FLR	FLOOR	INSUL	INSUL	OPNG	OPPOSITE-WALL	TEMP	TEMPERED
2	EXISTING	CEILING HEIGHT	2S	FLASHING	FL	FLASHING	INTN	INTERIOR	SH	SHOWER	THRES	TEMPERED
3	NEW	CLO	CLOSET	DW	DRAWING	FACE OF	JT	JOINT	OPR	OPPOSITE	THRES	THRESHOLD
4	AT	CLR	CLEAR	2MG	DRAWING	FACE OF CONCRETE	JT	JOINT	DWD	OVERHEAD	TRP	TYPICAL
5	CENTERLINE	COL	COLUMN	ELV	ELEVATION	FACE OF FINISH	KT	KITCHEN	PLS	PLASTER	J O N	UNLESS OTHERWISE NOTED
6	PERPENDICULAR	CONC	CONCRETE	ELV	ELEVATION	FACE OF FINISH	JW	JAW	PLYNG	PLYWOOD	J	UNLESS OTHERWISE NOTED
7	POINT OF NUMBER	CSMT	CASEMENT	BLV	ELEVATION	FACE OF FINISH	KT	KITCHEN	PLN	PLASTER	UTLTY	UTILITY
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SYMBOLS LEGEND

INTERIOR ELEVATIONS		BUILDING SECTION		KEY NOTE		DETAIL		PARTITION TYPE	
DOOR TYPE NUMBER		SECTION ELEVATION		CONTROL ELEVATION		DOOR SIZE		ROOM NAME & NO.	

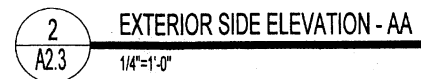
PROJECT DESCRIPTION

THE PROJECT CONSISTS ENTIRELY OF WORK ON AND WITHIN THE EXISTING EXTERIOR WALLS AT ARNHEIM STREET, SAN FRANCISCO, CALIFORNIA. THE SCOPE OF WORK CONSISTS OF CHANGING AN EXISTING 12' BATHROOM TO A SHOWER, AND THE RENOVATION OF AN INTERIOR STAIRWAY. ALL WORK TO BE DONE WITHIN THE CONFINES OF ARNHEIM ST.

BUILDING CODE

ALL WORK SHALL BE IN COMPLIANCE WITH THE CITY OF SAN FRANCISCO MUNICIPAL CODE AND 2019 EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, THE 2004 CALIFORNIA ELECTRICAL CODE AND 2002 CALIFORNIA ENERGY CODE.

A2.0



CONTRIBUTOR:

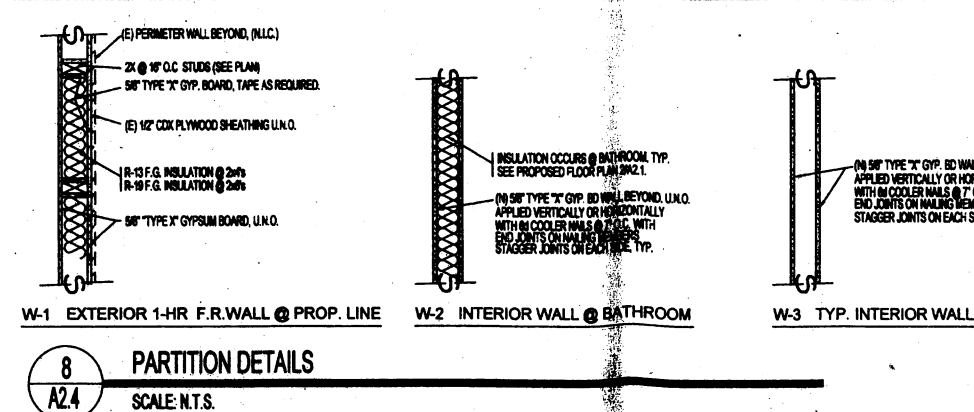
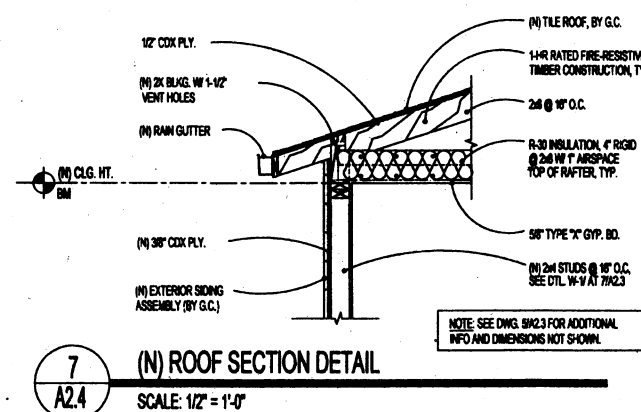
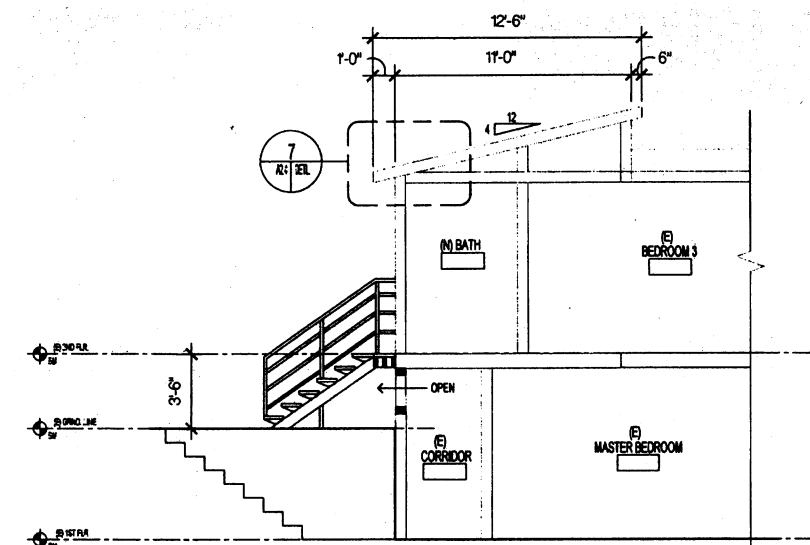
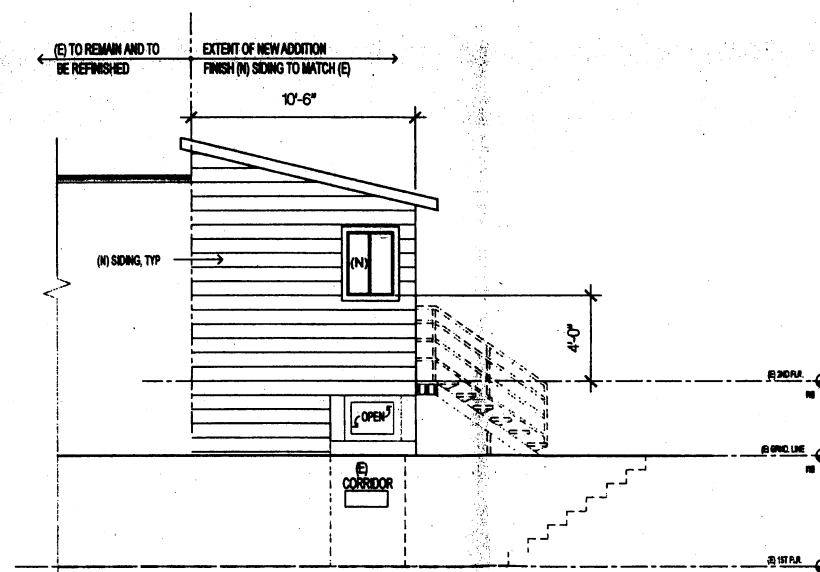
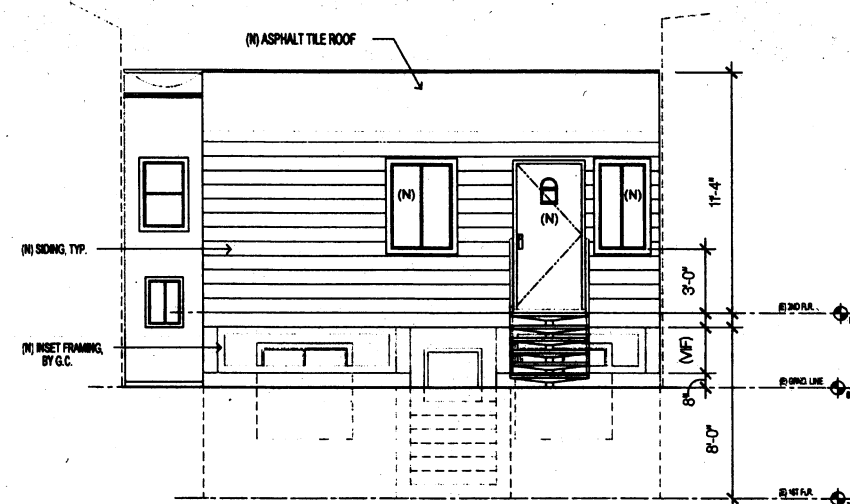
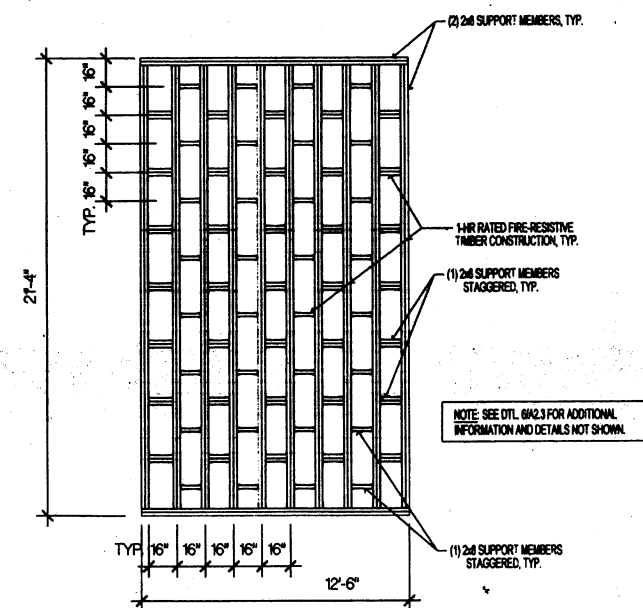
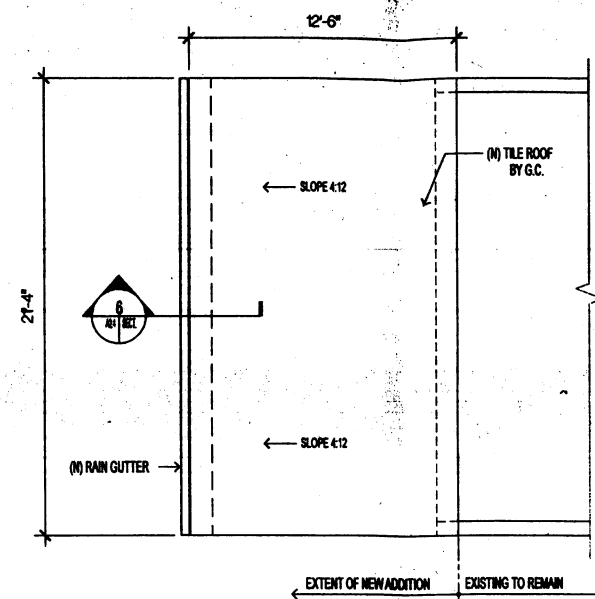
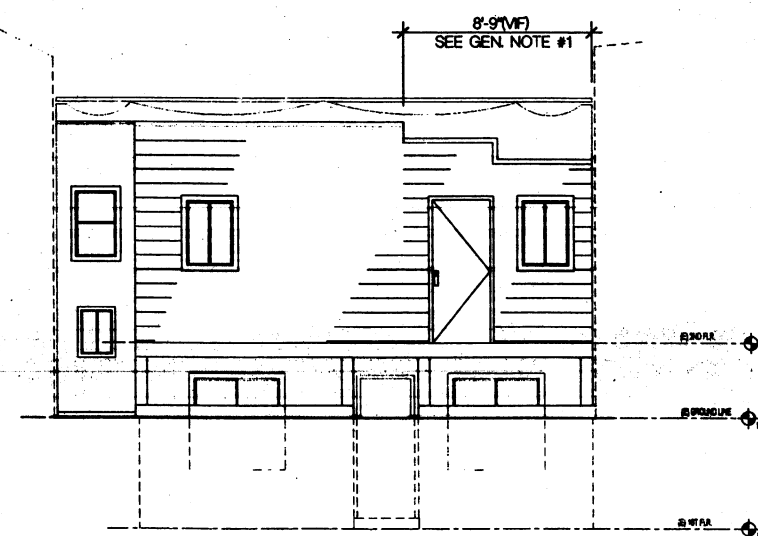
PROJECT: 48 NEWTON STREET, SAN FRANCISCO, CA
BLOCK NO. 6464, LOT NO. 19
PROPOSED 2ND FLOOR ADDITION
CLIENT: MR & MRS. PRAVINKUMAR PATEL

DRAWING:

**LONGITUDINAL ELEVATIONS
AT ADJACENT PROPERTIES**

DATE	REMARKS
DRAWN	JVS
CHECKED	JVS/MM
DATE	8/24/2009
SCALE	1/4"=1'-0"
PROJ.	48 NEWTON S.

A2.3



- ## GENERAL NOTES

1. ROOFING: ALL MATERIALS APPLIED TO AS A ROOF COVERING ON ANY STRUCTURE REGULATED BY CODE SHALL HAVE A FIRE RETARDANT RATING OF EITHER CLASS "A" OR CLASS "B" AS SPECIFIED IN THE UBC. ALL WOOD STRUCTURES ARE REQUIRED TO HAVE A MINIMUM OF CLASS "B" ROOF COVERING AND SHALL INCLUDE ROOF DECK UNDERLAYMENT, INSULATION AND COVERING WHICH IS ASSIGNED A ROOF-COVERING CLASSIFICATION BY THE UBC.
2. GUTTERS ARE TREATED ALUMINUM OR OTHER CODE APPROVED CORROSION RESISTANT MATERIAL. PAINT BY OWNERS, APPLIED BY PAINTING CONTRACTOR.
3. ALL NEW WORKS SHALL BE IN COMPLIANCE WITH THE MUNICIPAL BUILDING CODES OF THE CITY OF SAN FRANCISCO, CALIFORNIA. SMOKE DETECTORS SHALL BE INSTALLED IN ALL HABITABLE SPACES.
4. ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS OR ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCIAL STANDARDS FOR THE TYPE, GRADE AND SPECIES OF PLYWD. AND SHALL BE SO IDENTIFIED BY AN APPROVED TESTING AGENCY.
5. FLASH ALL EXTERIOR OPENINGS.

DATE	REMARKS
DRAWN:	JAB
CHECKED:	JAB/SB
DATE:	8/26/2009
SCALE:	1/4"=1'-0"
PROJECT:	46 NEWTON_L

PRINT:

A2.4