1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, September 28, 2011

Time: **Beginning at 9:30 AM**

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance (See Below)
Hearing Body: Zoning Administrator

PROPERTY INFORMATION		APPLICATION INFORMATION	
Cross Street(s):	30 Edith Street Grant Avenue 0077/004 RH-3 / 40-X	Case No.: Building Permit: Applicant/Agent: Telephone: E-Mail:	2010.0084V 2008 1231 9407 Albert Costa (415) 986-0101 albert@tbrownarchitect.com

PROJECT DESCRIPTION

RENOTICE: This case was previously heard on July 27 and August 24, 2011; however, a new public hearing has been scheduled to address a required variance from the exposure requirement (Section 140) of the Planning Code (see below).

The proposal is to construct a rear, side, and third floor addition to the existing two-story, one-family dwelling. The proposed rear addition will extend to within three (3) feet of the rear property line and second story bay windows will extend to the rear property line. On July 22, 2010, the Planning Commission conducted a Discretionary Review hearing to consider the project, which proposed a fourth floor addition to the building. The Commission took Discretionary review and ruled that the height of the building shall not exceed 33 feet.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 15 feet. The proposed rear addition would encroach approximately 12 feet into the required rear yard and result in a rear yard of 3 feet; therefore, the project requires a variance.

PER SECTION 140 OF THE PLANNING CODE all dwelling units must face on a public street 25 feet in width or a conforming rear yard. The proposal will increase the size of one dwelling unit and create two dwelling units that do not face a public street 25 feet wide or a conforming rear yard; therefore, the project requires a variance.

PER SECTION 188 OF THE PLANNING CODE expansion of a noncomplying structure that increases the structure's degree of noncompliance is prohibited. The existing building encroaches into the required rear vard: therefore, the project requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Rick Crawford Telephone: (415) 558-6358 E-Mail: rick.crawford@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2010.0084V.pdf

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On January 8, 2010, the Department issued the required Section 311/312 notification for this project (expired February 7, 2010).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street**, **3rd Floor**, **Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at

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- 2. It is the general contractor's responsibility to verify and coordinate all work with the design build subcontractors to ensure project completion in accordance with the design intent set forth within these construction documents and specifications. Contractor to refer to Project Manual for
- 3. The appearance of the architect's identification block on drawings prepared by other firms shall not be construed to indicate responsibility for the contents of such drawings on the part of the
- 4. General contractor shall verify all property and project dimensions and conditions at the job site before starting work and shall notify architect of any discrepancies or errors. Contractor shall be responsible for all costs required due to his failure to do so. Commencement of work by any trade shall constitute agreement that conditions are acceptable for such work.
- 5. The drawings and specifications are complementary. Every effort has been made to coordinate the drawings and specifications of the architect and the consulting engineers; however, any item instruction, specification, etc., shown in one location shall be required as if shown in all applicable locations. In case of discrepancy, consult with architect before proceeding
- 6. All work shown, listed or implied on any construction document must be supplied and installed by the general contractor, unless noted otherwise. The general contractor must closely coordinate his work with that of subcontractors and suppliers to assure that schedules are met and that work is done in conformance to manufacturer's requirements.
- 7. The use of the work "provided" in connection with any specified item is intended to mean that the item must be furnished, installed, connected, and ready for use, unless otherwise noted.
- 8. The construction documents illustrate the design and type of construction desired in general and imply only the finest quality of construction, material and workmanship. By assuming responsibility for the work indicated, the general contractor must comply with the spirit as well as the letter in
- 9. The general contractor shall coordinate the work of all subcontractors: mechanical, electrical, structural, plumbing, etc. General contractor shall report to the architect any discrepancies for correction. Requests for cost increases caused by lack of proper coordination will not be allowed All work listed, shown or implied on any construction document shall be supplied and installed by the general contractor, except where noted otherwise. General contractor shall coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance to manufacturer's requirements. Workmanship shall be equal to the best standard of the following institutions:
- American Society of Testing Materials (ASTM)
- American Institute of Steel Construction (AISC)
- American Welding Society (AWS)
- American Concrete Institute (ACI)
- American National Standards Institute (ANSI)
- Architectural Aluminum Manufacturer's Association (AAMA) Aluminum Association, Inc. (AA)
- American Institute of Steel Construction (AISC)
- Concrete Reinforcing Steel Institute (CRSI)
- National Association of Architectural Metal Manufacturers (NAAMM)
- National Fire Protection Association (NFPA) National Woodwork Manufacturer's Association (NWMA)

SYMBOLS & LEGEND

Woodwork Institute of California (WIC)

LETTERS

- 10. General contractor shall continuously check architectural and structural clearances for accessibility of equipment, including construction equipment, and mechanical, electrical and plumbing systems. Contractor shall verify that no conflicts exist and that all required clearances for installation and maintenance of such items is provided without altering noted dimensions. No allowance of any kind will be made for general contractor's failure to foresee means of installing such items into position inside structure.
- 11. All materials shall be new and of first quality, and all work shall be performed by skilled mechanics.
- a. All partition dimensions are to face of finish, unless otherwise noted.
- b. Do not scale drawings.
- c. Dimensions and reference elevations are to finished face of floors and at roof (not to top of covering or roofing), unless otherwise noted.
- d. All dimensions shall be verified in field before fabrication
- 13. All dimensions are to be exact within 1/4" along full height and full width of walls. Contractor shall not adjust any dimension marked "clear" or "clr" without written
- 14. "Typical" or "typ" means identical for all similar conditions, unless noted otherwise.
- 15. "Similar" or "sim" means comparable characteristics for items noted. Verify
- 16. General contractor shall provide all chases, sleeves, openings, etc., as required by the various trades, whether noted on construction documents or not
- 17. Substantial blocking, backing or other support shall be provided for all fixtures appliances, cabinets, shelves, rods, accessories or other Items to be secured in the walls, whether such blocking or backing is specifically indicated or not.
- 18. Attachments, connections or fastenings of any nature are to be properly and permanently secured in conformance with best practice. The drawings show only special conditions to assist the contractor; they do not illustrate every such detail
- 19. All work shall provide for material expansion and contraction, shrinkage, building movement, etc., sufficient to prevent cracks, buckling or other deformation due to humidity/temperature change and normal loading
- 20. All openings to exterior shall be fully sealed all around. Sealant colors shall match adjacent surfaces where possible. Verify sealant colors with architect. Operable doors and windows shall be fully weather-stripped.
- 21. Provide all flashings, counterflashings, copings, sheet metal, etc., to provide a fully watertight building, whether specifically indicated on the drawings or not. Flashings shall be compatible with all adjacent surfaces. See specifications for more information.
- 22. Contractor shall waive "common practice" and "common usage" as construction criteria wherever details and contract documents or governing codes, ordinances, etc., require greater quantity or better quality than common usage would require.

VICINITY MAP

- 23. No work defective in construction or quality or deficient in any requirements of drawings and specifications will be acceptable, despite owner's or architect's failure to discover such defects or deficiencies during construction. Defective work shall be replaced by work conforming to intent of contract. No payment whether partial or final shall be construed as an acceptance of
- 24. The general contractor must submit shop drawings for all fabricated items, cut sheets for all fixtures and equipment, and samples of all finishes to architect for review and action prior to ordering and fabrication.
- 25. The contractor must protect the area and all new or existing materials and finishes from damage which may occur from demolition, construction, dust, water, etc., and must provide and maintain temporary barricades as required to protect the public during the period of construction. Damage to new and existing structures, materials, finishes and equipment must be repaired or replaced to the satisfaction of the Owner at the expense of the general contractor
- 26. The contractor must notify the architect of any lead time coordination problems.
- 27. Substitutions, revisions or changes may be allowed only if such items are submitted to the architect in a timely manner, in writing, and subsequently approved by the architect in writing. All substitutions must be at least of equal quality, design and performance. The contractor is liable for replacement, repair and delays caused by an unauthorized substitution of any item for this project. All requests for substitutions shall include the project name, description and drawings, as required, comparing items. The architect reserves the right to reject any
- 28. The general contractor must maintain a complete, current set of construction documents on the job site during all phases of construction for use by all trades and must provide all subcontractors with current construction documents as required.
- 29. The subcontractors must remove all rubbish and waste materials on a regular basis and must exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting, in any way, finished areas in or outside job site.
- .30. The structural, mechanical and electrical drawings are supplementary to the architectural drawings. If a discrepancy exists between the architectural drawings and other drawings, such discrepancy shall be brought to the architect's attention in writing prior to installation of said work. Any work installed in conflict with the architectural drawings shall be corrected by the contractor at contractor's expense.
- 31. Provide gypsum wallboard behind and around all openings (including cabinets and electrical panels) and fire rated 3M box wrap pad around electrical boxes, where required by code, to maintain fire rated construction
- 32. The contractor shall be responsible for and shall supervise all cutting and patching of finished work already installed if made necessary by errors, changes or other reasons. All replacement work shall match adjoining surfaces with no visible markings of redo/repair work.
- 33. All material shall be furnished and installed by the contractor, unless otherwise noted

- 34. All revisions to the drawings must proceed through the owner and architect. Contractor revisions may be considered invalid if not approved by the owne
- 35. Contractor shall be responsible for providing adequate cover for the protection of all installed utilities during the construction of this project
- 36. Contractor shall be responsible for locating and protecting all utilities that are to
- 37. Contractor shall provide all temporary lights, signs, barricades, flag persons, and other devices necessary to provide for public safety
- 38. Contractor shall be responsible for any on-site permit signs required by the City of
- 39. Mechanical, electrical and fire safety to provide drawings for location of all access panels for architect's review and approval
- 40. Large scale detail drawings take precedence over smaller scale drawings.
- 41. The contractor shall be responsible for verification and coordination with other trades and their work for compliance with the drawings and specifications. Also contractor shall verify sizes and locations of all openings for mechanical, plumbing and electrical equipment with these subcontractors, as well as obtaining the approval of the architect before proceeding with the work. Otherwise it will be assumed that the contractor can perform the work as outlined on the drawings without additional cost to
- 42. Contractor shall maintain and keep accurate record drawings that show the final location, elevation and description of the completed work.
- 43. The contractor must notify the architect in writing when his work nears completion. Upon inspection, the architect will prepare a final "punch list" outlining incomplete or unacceptable work. The project will not be considered complete until all Items on the punch list have been resolved
- 44. The contractor shall furnish to the owner two copies of the manufacturer's instruction, operation and maintenance manuals for products and equipment specified in the contract documents, including special tools, accessories, spare parts, etc.
- 45. Prior to completion of the project, the contractor must submit to the owner in duplicate on behalf of himself and his respective subcontractors a one (1) year written guarantee against defective workmanship and/or materials, as well as complete operating and maintenance instructions for all mechanical and electrical portions of the
- 46. Contractor to submit to owner release of all liens from subcontractors, suppliers. etc., assuring owner that all payrolls, bills for equipment and materials, and all other indebtedness connected with the work has been paid or otherwise satisfied

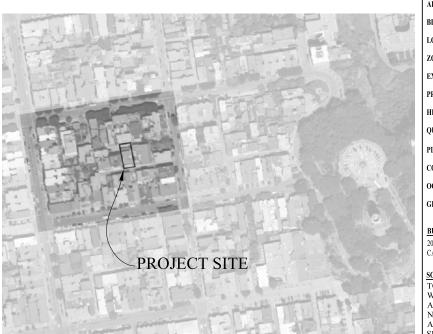
30 EDITH STREET

SAN FRANCISCO CA 94133

No.	Issue	Date
1.	ISSUED FOR REVIEW	10-24-08
2.	ISSUED FOR REVIEW 2	05-01-09
3.	ISSUED FOR REVIEW 3	09-23-09
4.	ISSUED FOR REVIEW 4	10-01-09
5.	ISSUED FOR REVIEW 5	11-16-09
6.	ISSUED FOR REVIEW 6	08-24-10
7.	ISSUED FOR REVIEW 7	09-15-10
8.	ISSUED FOR REVIEW 8	10-26-10

30 EDITH STREET SAN FRANCISCO, CA

DETAIL REVISION CLOUDED AROUND EXTENT O **FINISHES** DRAWING NUMBER SHEET NUMBER FLOOR FINISH SEE FINISH SPECIFICATIONS C 1 CEILING FINISH SEE FINISH SPECIFICATIONS INTERIOR ELEVATION LAMINATE FINISH SEE FINISH SPECIFICATIONS $\left(\begin{array}{c}5\\A-5\end{array}\right)$ DOOR TYPE DOOR TYPE WORKPOINTS WINDOW TYPE ROOM/AREA IDENTIFICATION 103 ROOM NUMBER GRID LINE NUMBERS



ADDRESS 30 EDITH STREET BLOCK & LOT NO .: 0077 004 OT AREA: 2607 SOFT ZONING: RH-3 EXISTING UNITS: PROPOSED TOTAL UNITS: QUADRANT: NORTHEAST PLANNING DISTRICT: CONSTRUCTION TYPE: OCCUPANCY TYPE: GROSS SQUARTE FOOTAGE: 6,955 SQ FT 2007 CBC, CMC, CPC, CEC, CALIFORNIA ENERGY CODE, AND LOCAL REQUIREMENTS.

ZONING

1620 MONTGOMERY STREET, SUITE #320 SAN FRANCISCO, CA 94111 **OWNER** WILLIAM BERNARD & ASSOCIATES 1711 WEST PORT RD

PROJECT INFORMATION

SCOPE OF WORK:

TO CONSTRUCT AN APPROXIMATE 10 FOOT WIDE ADDITION TO THE EAST SIDE, AND APPROXIMATE 9 FOOT WIDE ADDITION TO THE NORTH SIDE, AND A ONE STORY VERTICAL ADDITION TO THE EXISTING TWO STORY

ARCHITECT ARCHITECTURAL THEODORE BROWN & PARTNERS INC.

A 1.1

KANSAS CITY MO 64111

A 1.0 COVER SHEET SURVEY DEMOLITION MATRIX SHEET

CONTEXT PLAN & SITE PLAN EXISTING CONDITIONS- PLANS & ELEVATIONS A3.1

DEMOLITION PLANS PROPOSED FIRST FLOOR PLAN

A 4.2 PROPOSED SECOND FLOOR PLAN A 4.3 PROPOSED THIRD FLOOR PLAN

A 4.5 PROPOSED ROOF PLAN

DRAWING INDEX

CONTEXTUAL ELEVATIONS A 5.2 ELEVATION ALONG EDITH STREET A5.3 ELEVATION ALONG EDGARDO STREET

A5.4 EAST ELEVATION A5.5 WEST ELEVATION

SECTION AA A6.2 SECTION BB

STRUCTURAL

ELECTRICAL



Theodore Brown & Partners Inc 1620 Montgomery Stree Suite 320 Interior Design San Francisco, CA 94111 Tel 415 986 0101

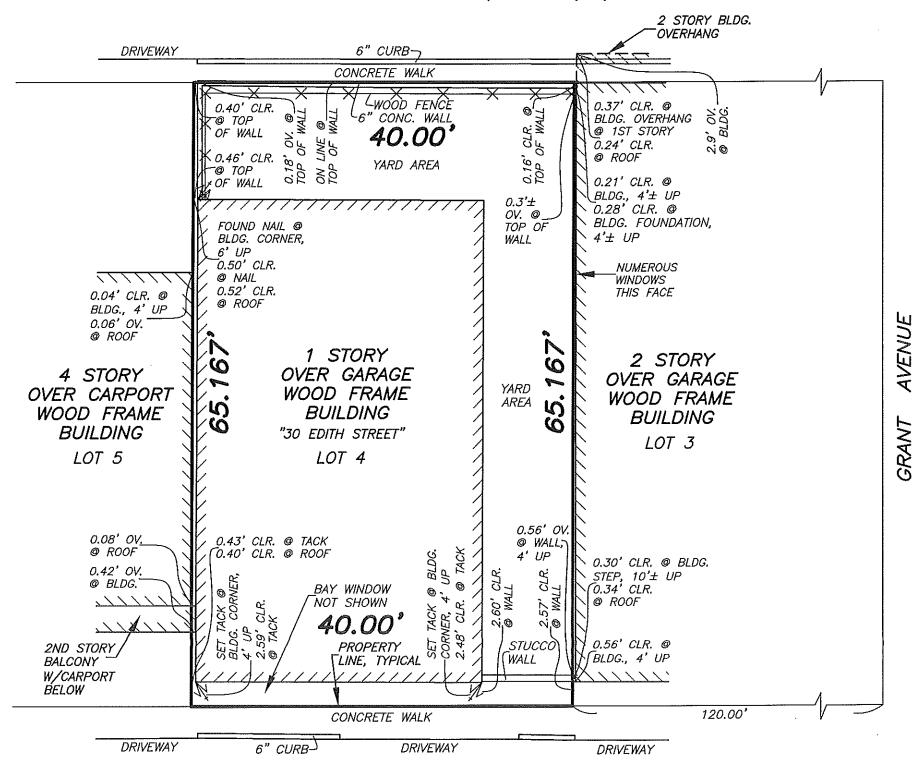
RKS Drawn by A. COSTA Checked by

Ioh Number 08060.1

COVER SHEET

A 1.0

EDGARDO PLACE (12.33' R/W)



EDITH STREET (17.50' R/W)



LEGEND

CLR. CLEAR OF PROPERTY LINE
OV. OVER PROPERTY LINE
BLDG. BUILDING
CONC. CONCRETE
R/W RIGHT OF WAY

SURVEY REFERENCE

THAT CERTAIN GRANT DEED RECORDED MAY 7, 2007, IN REEL J385, IMAGE 0078, OFFICIAL RECORDS.

BASIS OF SURVEY

- 1. CITY OF SAN FRANCISCO MONUMENT MAP NO. 8 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.
- 2. BLOCK DIAGRAM OF 50 VARA BLOCK 104 DATED FEBRUARY 17, 1909, ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.

GENERAL NOTES

- 1. DETAILS NEAR PROPERTY LINES MAY NOT BE TO SCALE.
- 2. ALL PROPERTY LINE ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
- 3. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.



SURV. DD

DRW. JP

CHK.: BR

ASSESSOR'S 77 ERNARD

BOUNDARY S

OF A PORTION OF AS

BLOCK NO. 7

RON ASSOCIATES D SURVEYORS ON STREET, SUITE 200 INCISCO, CA 94107

Land Surve 859 Harrison Stree San Francisco,

SCALE: 1"=10"

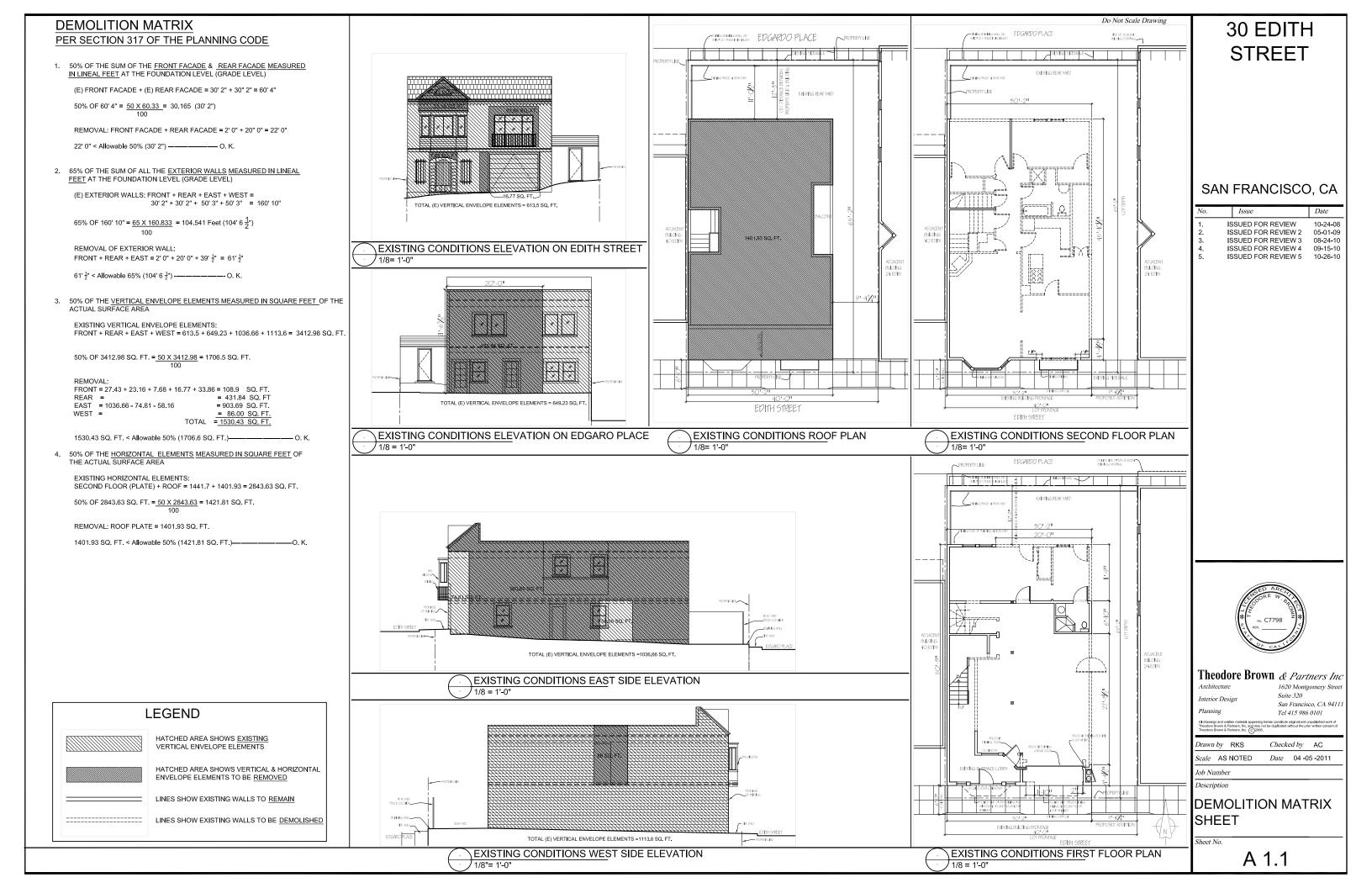
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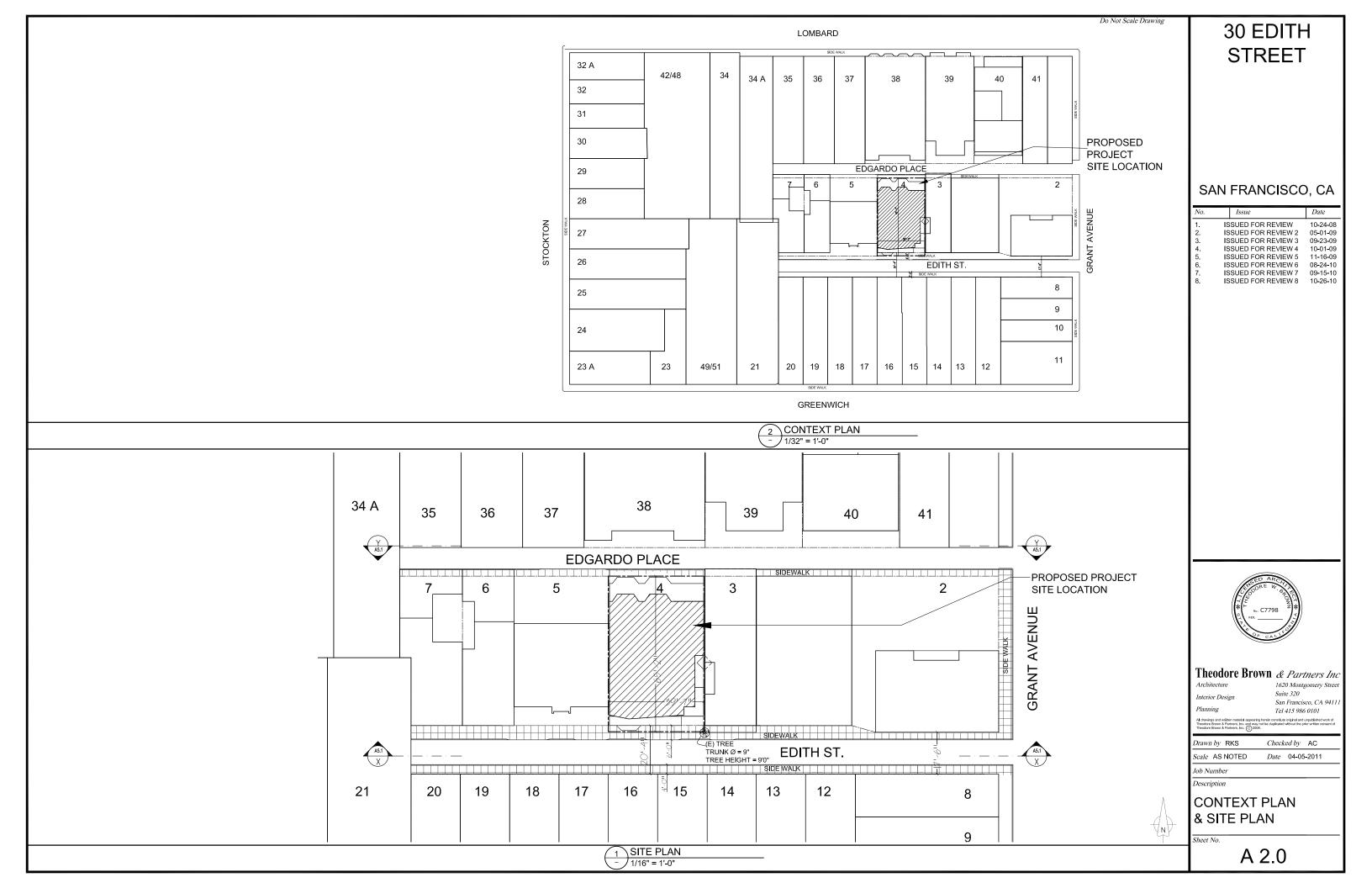
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SHEET 1

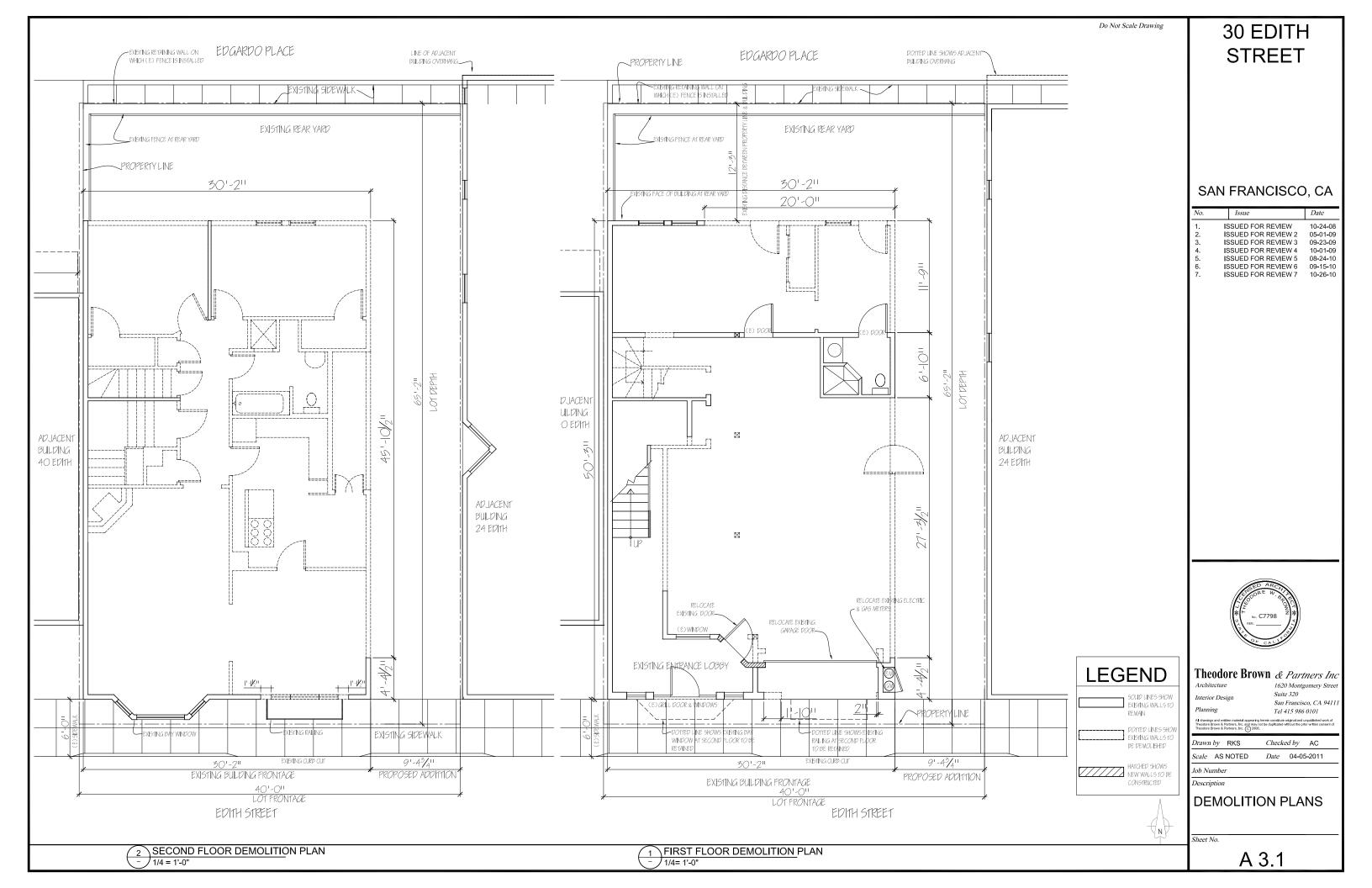
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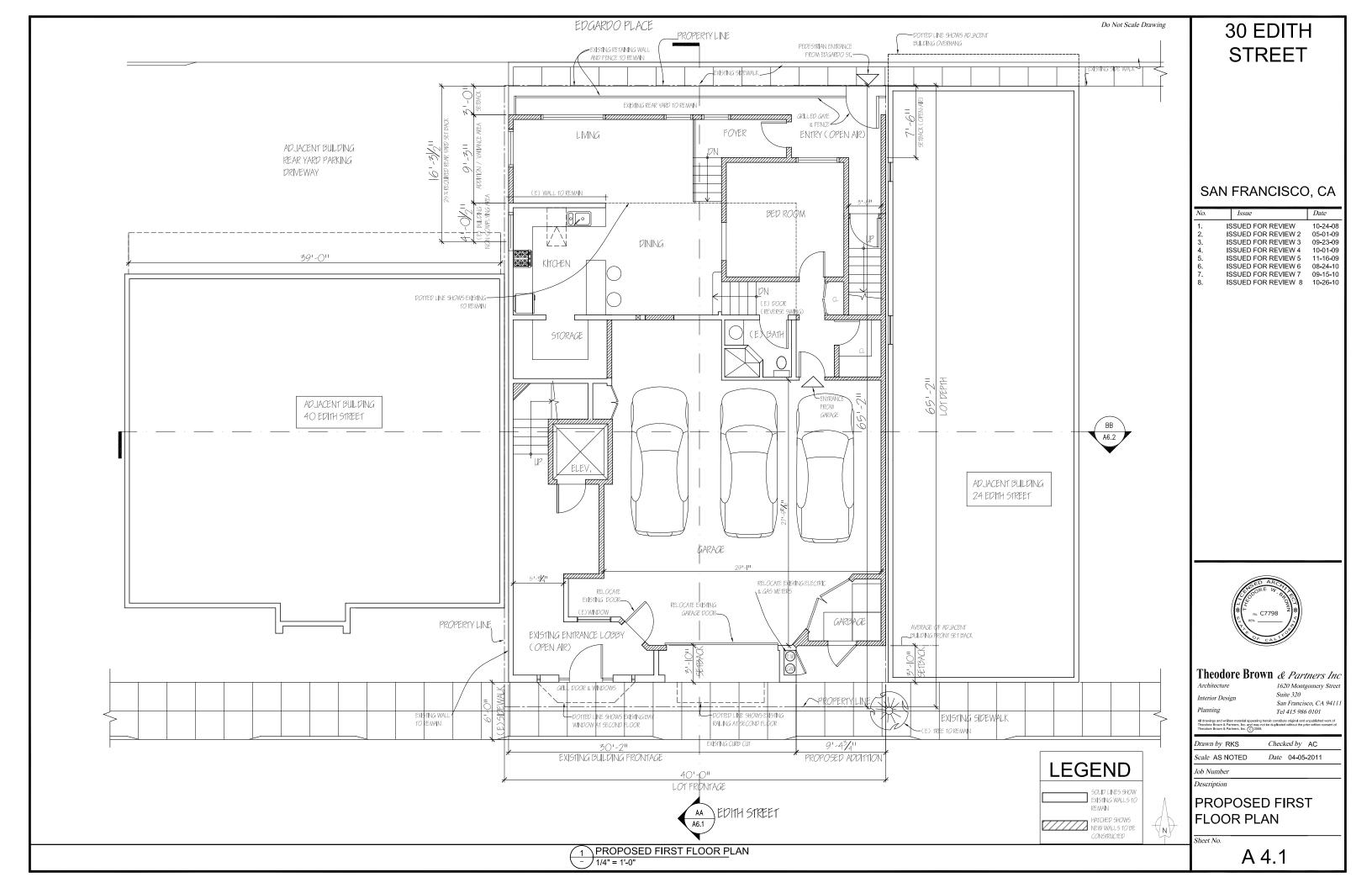
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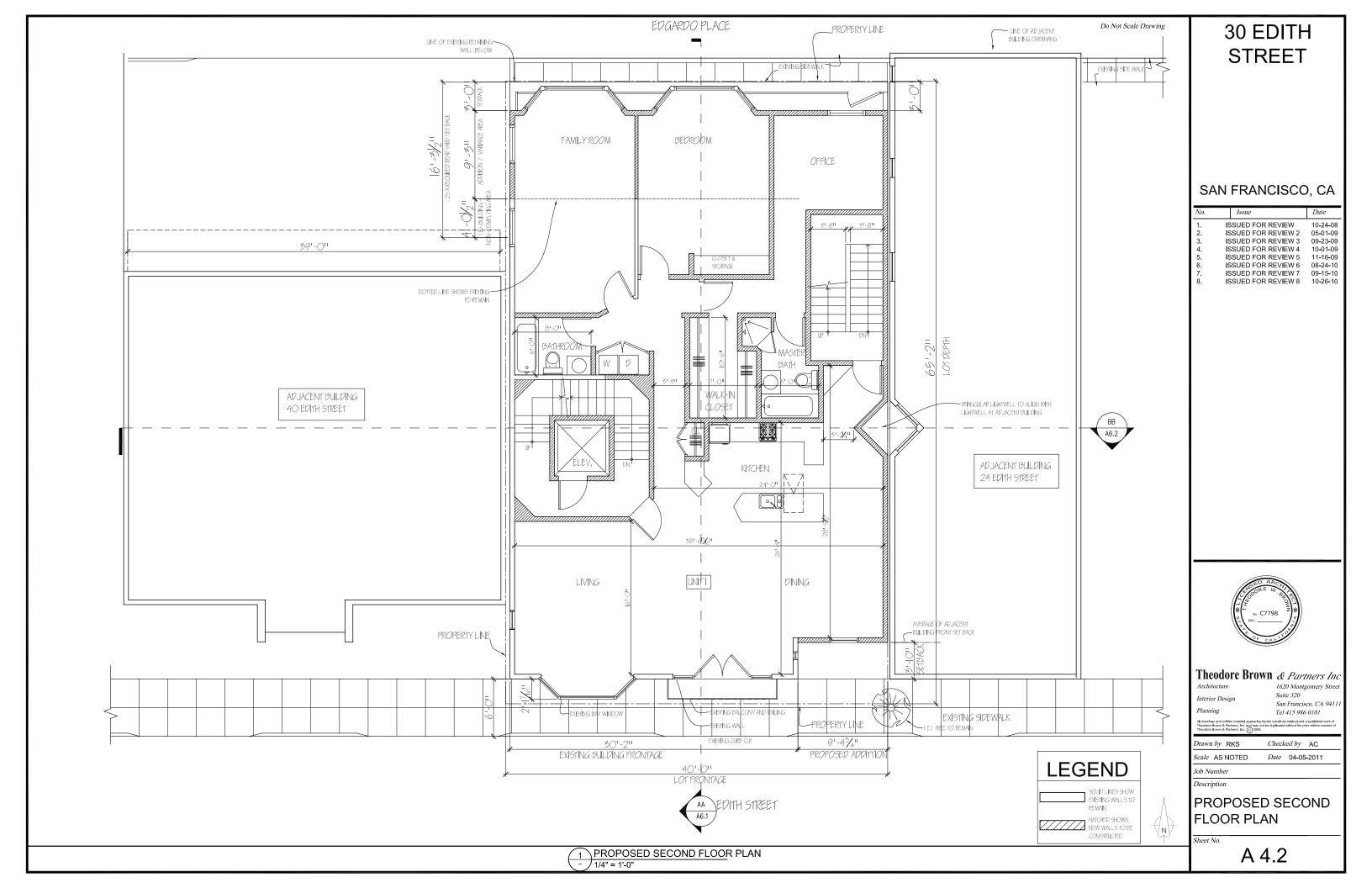


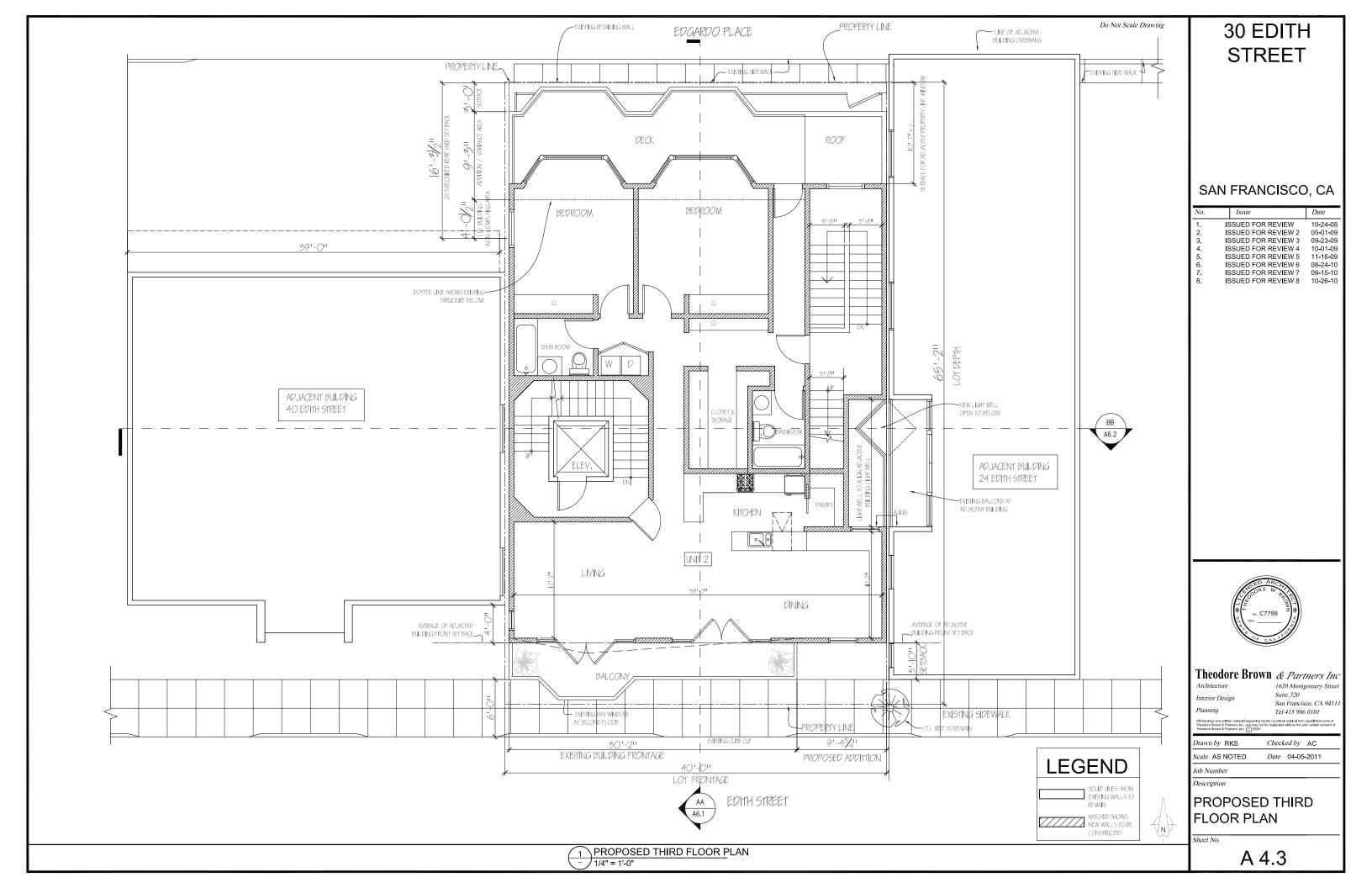


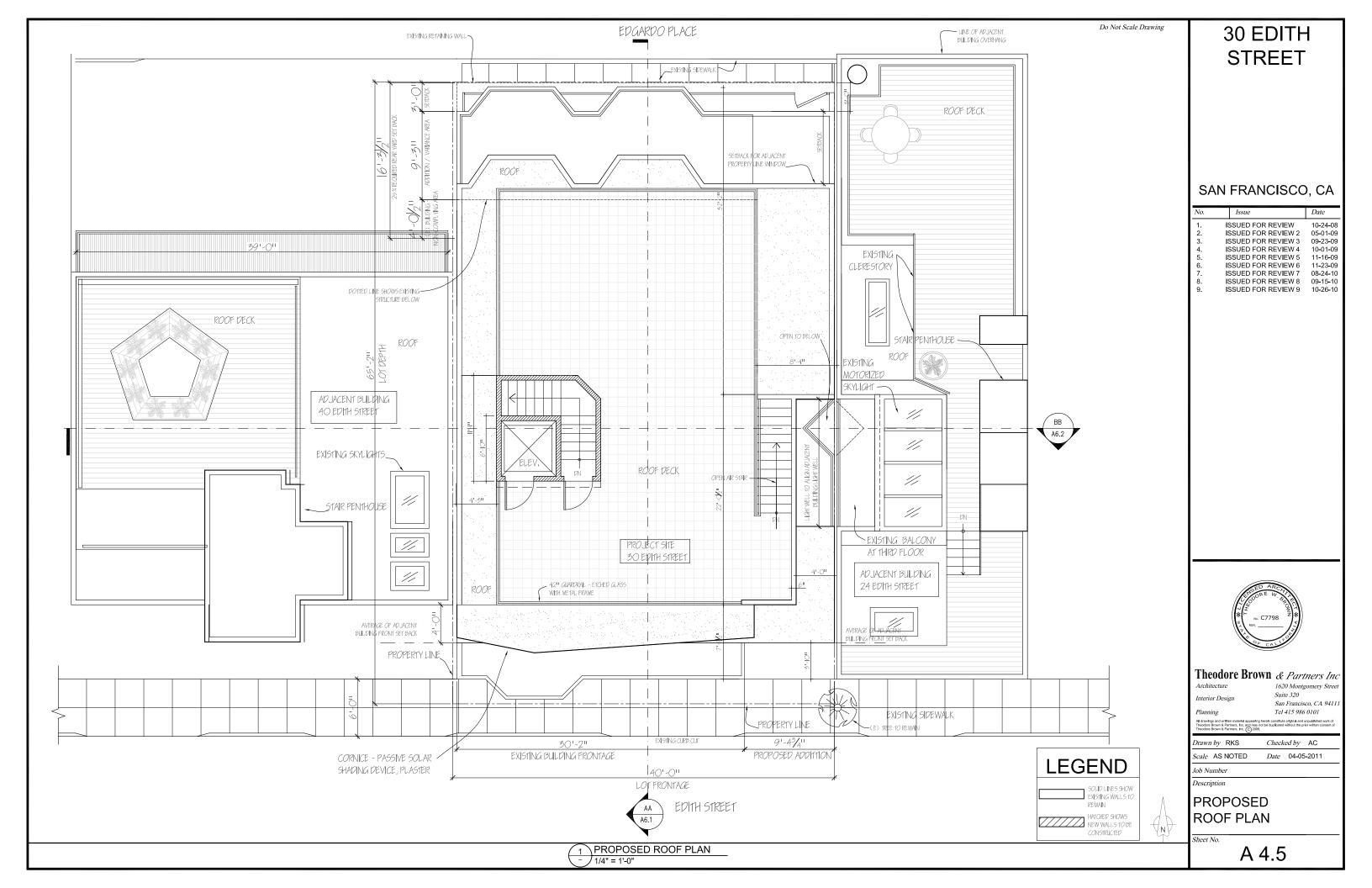






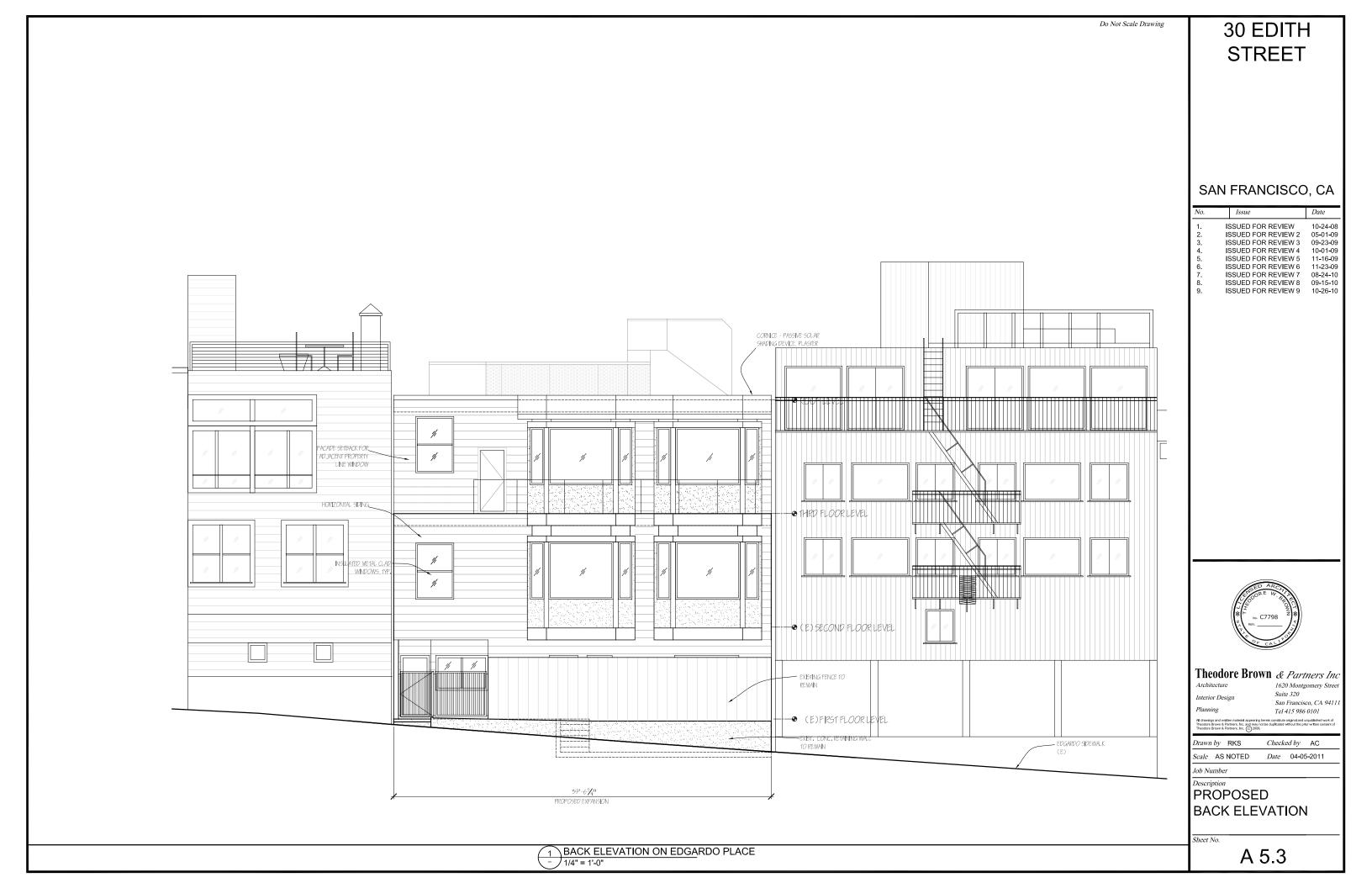














Theodore Brown & Partners Inc.

Architecture 1620 Montgomery Street
Interior Design San Francisco, CA 9411.
Planning Tel 415 986 0101

Il drawings and written material appearing herein constitute original and ung heodore Brown & Partners, Inc. and may not be duplicated without the prior heodore Brown & Partners, Inc. 2008.

 Drawn by
 RKS
 Checked by
 AC

 Scale
 AS NOTED
 Date
 04-05-2011

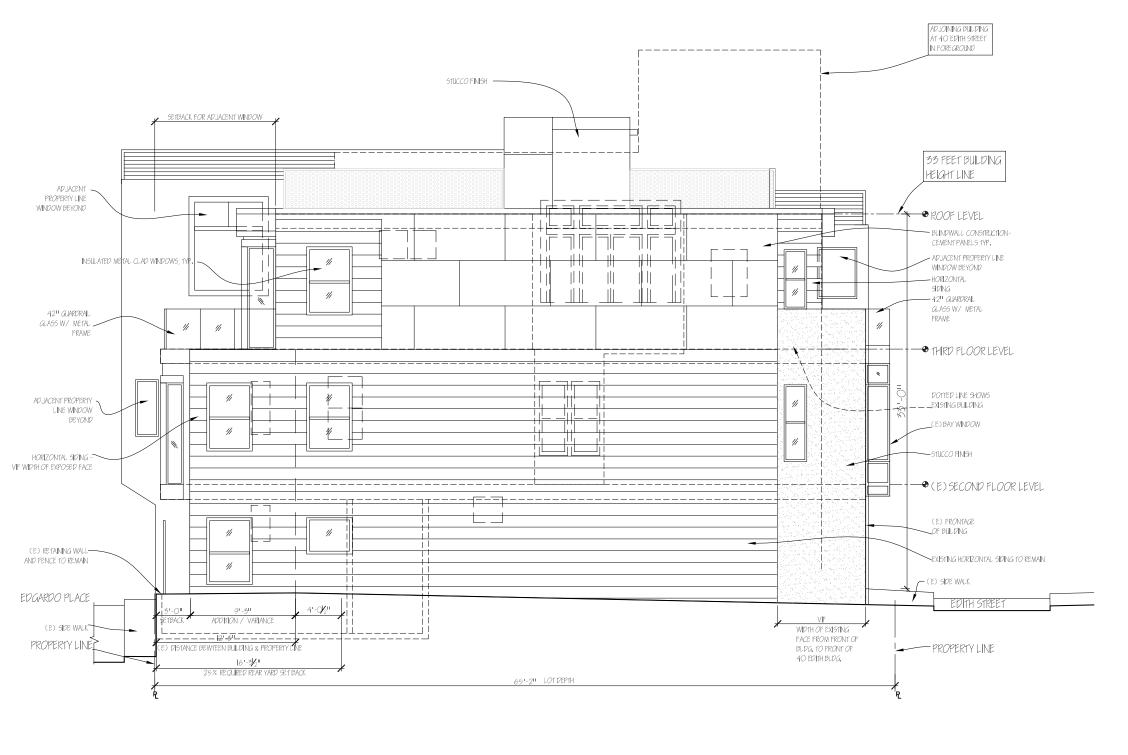
Job Number

Description

PROPOSED WEST ELEVATION

Sheet No.

A 5.5



\PROPOSED WEST ELEVATION

1/4" = 1'-0"

