



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 28, 2011**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (See Below)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>30 Edith Street</b>	Case No.: <b>2010.0084V</b>
Cross Street(s): <b>Grant Avenue</b>	Building Permit: <b>2008 1231 9407</b>
Block /Lot No.: <b>0077/004</b>	Applicant/Agent: <b>Albert Costa</b>
Zoning District(s): <b>RH-3 / 40-X</b>	Telephone: <b>(415) 986-0101</b>
Area Plan:	E-Mail: <b><a href="mailto:albert@tbrownarchitect.com">albert@tbrownarchitect.com</a></b>

### PROJECT DESCRIPTION

**RENOTICE:** This case was previously heard on July 27 and August 24, 2011; however, a new public hearing has been scheduled to address a required variance from the exposure requirement (Section 140) of the Planning Code (see below).

The proposal is to construct a rear, side, and third floor addition to the existing two-story, one-family dwelling. The proposed rear addition will extend to within three (3) feet of the rear property line and second story bay windows will extend to the rear property line. On July 22, 2010, the Planning Commission conducted a Discretionary Review hearing to consider the project, which proposed a fourth floor addition to the building. The Commission took Discretionary review and ruled that the height of the building shall not exceed 33 feet.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 15 feet. The proposed rear addition would encroach approximately 12 feet into the required rear yard and result in a rear yard of 3 feet; therefore, the project requires a variance.

**PER SECTION 140 OF THE PLANNING CODE** all dwelling units must face on a public street 25 feet in width or a conforming rear yard. The proposal will increase the size of one dwelling unit and create two dwelling units that do not face a public street 25 feet wide or a conforming rear yard; therefore, the project requires a variance.

**PER SECTION 188 OF THE PLANNING CODE** expansion of a noncomplying structure that increases the structure's degree of noncompliance is prohibited. The existing building encroaches into the required rear yard; therefore, the project requires a variance.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Rick Crawford** Telephone: **(415) 558-6358** E-Mail: **[rick.crawford@sfgov.org](mailto:rick.crawford@sfgov.org)**

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2010.0084V.pdf>**

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On January 8, 2010, the Department issued the required Section 311/312 notification for this project (expired February 7, 2010).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

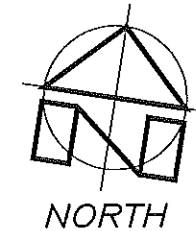
## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at



EDGARDO PLACE (12.33' R/W)



LEGEND

CLR. CLEAR OF PROPERTY LINE  
OV. OVER PROPERTY LINE  
BLDG. BUILDING  
CONC. CONCRETE  
R/W RIGHT OF WAY

SURVEY REFERENCE

THAT CERTAIN GRANT DEED RECORDED MAY 7, 2007,  
IN REEL J385, IMAGE 0078, OFFICIAL RECORDS.

BASIS OF SURVEY

1. CITY OF SAN FRANCISCO MONUMENT MAP NO. 8 ON FILE  
IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.
2. BLOCK DIAGRAM OF 50 VARA BLOCK 104 DATED  
FEBRUARY 17, 1909, ON FILE IN THE OFFICE OF  
THE CITY AND COUNTY SURVEYOR.

GENERAL NOTES

1. DETAILS NEAR PROPERTY LINES MAY NOT BE TO SCALE.
2. ALL PROPERTY LINE ANGLES ARE 90 DEGREES  
UNLESS NOTED OTHERWISE.
3. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.



SURV. DD

DRW. JP

CHK. BR

BOUNDARY SURVEY  
OF A PORTION OF ASSESSOR'S  
BLOCK NO. 77  
FOR WILLIAM BERNARD  
SAN FRANCISCO CALIFORNIA

MARTIN M. RON ASSOCIATES  
LAND SURVEYORS  
859 HARRISON STREET, SUITE 200  
SAN FRANCISCO, CA 94107  
TEL (415) 543-4500 FAX (415) 543-6255

SCALE: 1"=10'

DATE: 10-22-10

SHEET 1

OF 1

JOB NO.  
S-7535

GRANT AVENUE

2 STORY BLDG.  
OVERHANG

DRIVEWAY

6" CURB

CONCRETE WALK

0.40' CLR.  
@ TOP  
OF WALL

0.18' OV.  
@ TOP OF WALL  
ON LINE @  
TOP OF WALL

WOOD FENCE  
6" CONC. WALL  
40.00'  
YARD AREA

0.16' CLR.  
@ TOP OF WALL

0.37' CLR. @  
BLDG. OVERHANG  
@ 1ST STORY  
0.24' CLR.  
@ ROOF

2.9' OV.  
@ BLDG.

0.21' CLR. @  
BLDG., 4'± UP  
0.28' CLR. @  
BLDG. FOUNDATION,  
4'± UP

NUMEROUS  
WINDOWS  
THIS FACE

0.3'±  
OV. @  
TOP OF  
WALL

0.04' CLR. @  
BLDG., 4' UP  
0.06' OV.  
@ ROOF

FOUND NAIL @  
BLDG. CORNER,  
6' UP  
0.50' CLR.  
@ NAIL  
0.52' CLR.  
@ ROOF

4 STORY  
OVER CARPORT  
WOOD FRAME  
BUILDING  
LOT 5

1 STORY  
OVER GARAGE  
WOOD FRAME  
BUILDING  
"30 EDITH STREET"  
LOT 4

2 STORY  
OVER GARAGE  
WOOD FRAME  
BUILDING  
LOT 3

0.08' OV.  
@ ROOF  
0.42' OV.  
@ BLDG.

0.43' CLR. @ TACK  
0.40' CLR. @ ROOF

SET TACK @  
BLDG. CORNER,  
4' UP  
2.59' CLR.  
@ TACK

BAY WINDOW  
NOT SHOWN  
40.00'  
PROPERTY  
LINE, TYPICAL

SET TACK @ BLDG.  
CORNER, 4' UP  
2.48' CLR. @ TACK

0.56' OV.  
@ WALL,  
4' UP

2.60' CLR.  
@ WALL  
2.57' CLR.  
@ WALL

0.30' CLR. @ BLDG.  
STEP, 10'± UP  
0.34' CLR.  
@ ROOF

0.56' CLR. @  
BLDG., 4' UP

2ND STORY  
BALCONY  
W/CARPORT  
BELOW

DRIVEWAY

6" CURB

DRIVEWAY

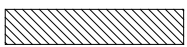
DRIVEWAY

EDITH STREET (17.50' R/W)

DEMOLITION MATRIX  
PER SECTION 317 OF THE PLANNING CODE

1. 50% OF THE SUM OF THE FRONT FACADE & REAR FACADE MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL (GRADE LEVEL)
- (E) FRONT FACADE + (E) REAR FACADE = 30' 2" + 30' 2" = 60' 4"
- 50% OF 60' 4" =  $\frac{50 \times 60.33}{100}$  = 30.165 (30' 2")
- REMOVAL: FRONT FACADE + REAR FACADE = 2' 0" + 20' 0" = 22' 0"
- 22' 0" < Allowable 50% (30' 2") ————— O. K.
2. 65% OF THE SUM OF ALL THE EXTERIOR WALLS MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL (GRADE LEVEL)
- (E) EXTERIOR WALLS: FRONT + REAR + EAST + WEST = 30' 2" + 30' 2" + 50' 3" + 50' 3" = 160' 10"
- 65% OF 160' 10" =  $\frac{65 \times 160.833}{100}$  = 104.541 Feet (104' 6  $\frac{1}{2}$ ")
- REMOVAL OF EXTERIOR WALL:  
FRONT + REAR + EAST = 2' 0" + 20' 0" + 39'  $\frac{1}{2}$ " = 61'  $\frac{1}{2}$ "
- 61'  $\frac{1}{2}$ " < Allowable 65% (104' 6  $\frac{1}{2}$ ") ————— O. K.
3. 50% OF THE VERTICAL ENVELOPE ELEMENTS MEASURED IN SQUARE FEET OF THE ACTUAL SURFACE AREA
- EXISTING VERTICAL ENVELOPE ELEMENTS:  
FRONT + REAR + EAST + WEST = 613.5 + 649.23 + 1036.66 + 1113.6 = 3412.98 SQ. FT.
- 50% OF 3412.98 SQ. FT. =  $\frac{50 \times 3412.98}{100}$  = 1706.5 SQ. FT.
- REMOVAL:  
FRONT = 27.43 + 23.16 + 7.68 + 16.77 + 33.86 = 108.9 SQ. FT.  
REAR = 431.84 SQ. FT.  
EAST = 1036.66 - 74.81 - 58.16 = 903.69 SQ. FT.  
WEST = 86.00 SQ. FT.  
TOTAL = 1530.43 SQ. FT.
- 1530.43 SQ. FT. < Allowable 50% (1706.6 SQ. FT.) ————— O. K.
4. 50% OF THE HORIZONTAL ELEMENTS MEASURED IN SQUARE FEET OF THE ACTUAL SURFACE AREA
- EXISTING HORIZONTAL ELEMENTS:  
SECOND FLOOR (PLATE) + ROOF = 1441.7 + 1401.93 = 2843.63 SQ. FT.
- 50% OF 2843.63 SQ. FT. =  $\frac{50 \times 2843.63}{100}$  = 1421.81 SQ. FT.
- REMOVAL: ROOF PLATE = 1401.93 SQ. FT.
- 1401.93 SQ. FT. < Allowable 50% (1421.81 SQ. FT.) ————— O. K.

LEGEND



HATCHED AREA SHOWS EXISTING  
VERTICAL ENVELOPE ELEMENTS



HATCHED AREA SHOWS VERTICAL & HORIZONTAL  
ENVELOPE ELEMENTS TO BE REMOVED



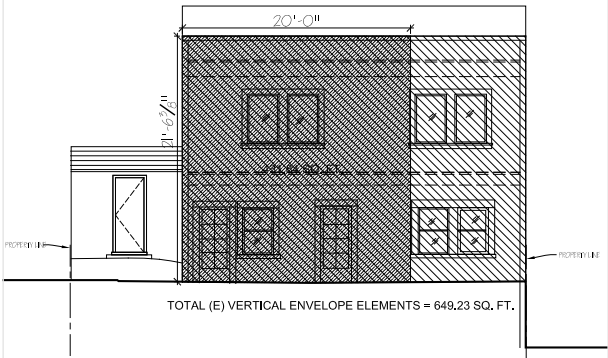
LINES SHOW EXISTING WALLS TO REMAIN



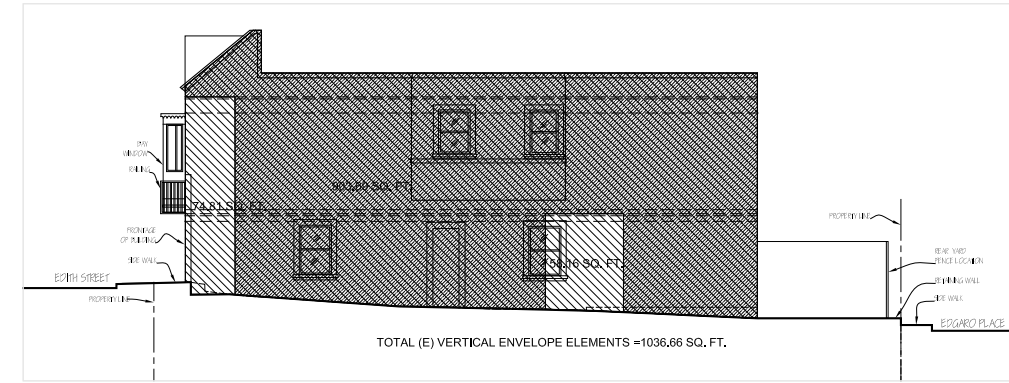
LINES SHOW EXISTING WALLS TO BE DEMOLISHED



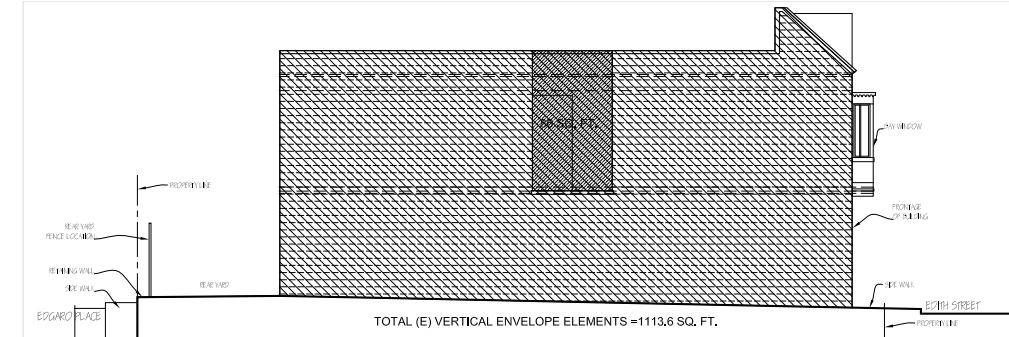
EXISTING CONDITIONS ELEVATION ON EDITH STREET  
1/8" = 1'-0"



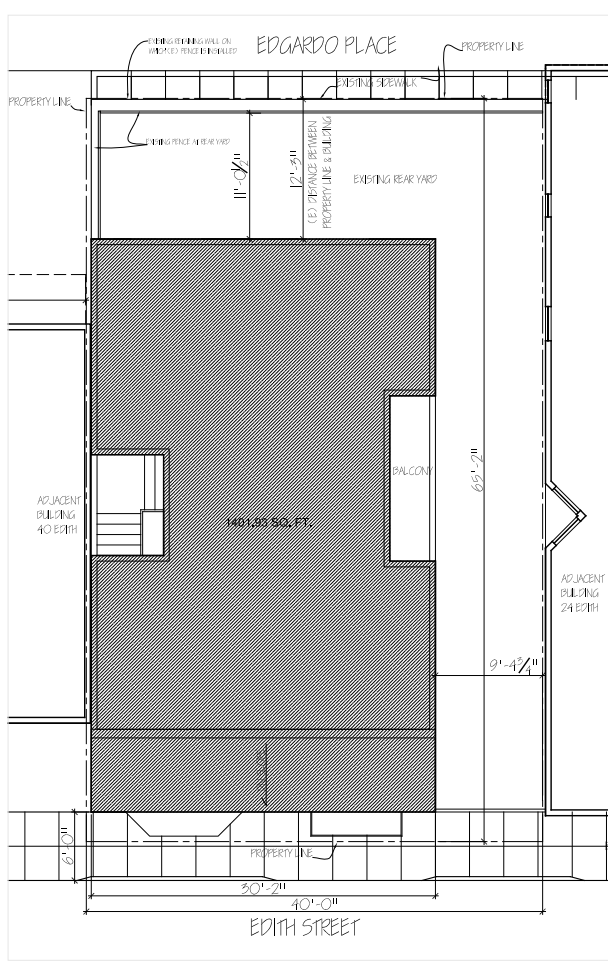
EXISTING CONDITIONS ELEVATION ON EDGARO PLACE  
1/8" = 1'-0"



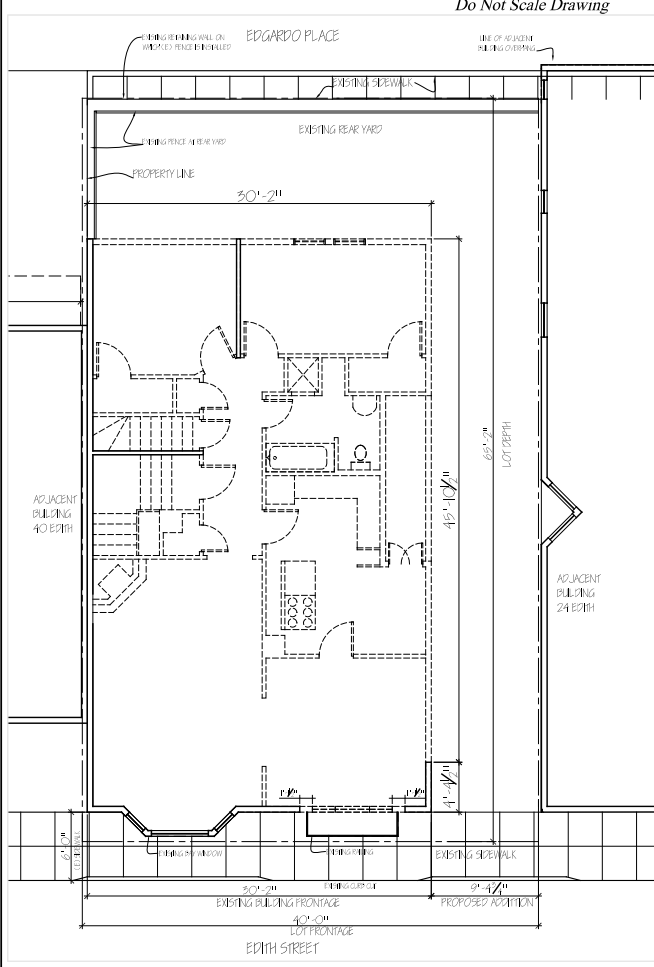
EXISTING CONDITIONS EAST SIDE ELEVATION  
1/8" = 1'-0"



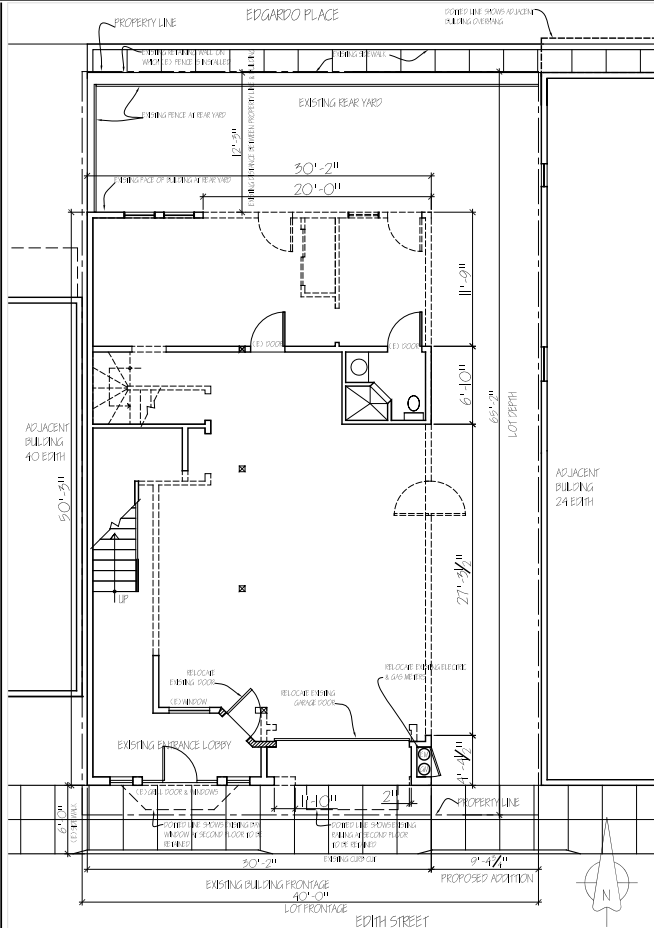
EXISTING CONDITIONS WEST SIDE ELEVATION  
1/8" = 1'-0"



EXISTING CONDITIONS ROOF PLAN  
1/8" = 1'-0"



EXISTING CONDITIONS SECOND FLOOR PLAN  
1/8" = 1'-0"



EXISTING CONDITIONS FIRST FLOOR PLAN  
1/8" = 1'-0"

30 EDITH  
STREET

SAN FRANCISCO, CA

No.	Issue	Date
1.	ISSUED FOR REVIEW	10-24-08
2.	ISSUED FOR REVIEW 2	05-01-09
3.	ISSUED FOR REVIEW 3	08-24-10
4.	ISSUED FOR REVIEW 4	09-15-10
5.	ISSUED FOR REVIEW 5	10-26-10



**Theodore Brown & Partners Inc**  
Architecture 1620 Montgomery Street  
Interior Design Suite 320  
Planning San Francisco, CA 94111  
Tel 415 986 0101

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Scale AS NOTED Date 04-05-2011

Job Number

Description

DEMOLITION MATRIX  
SHEET

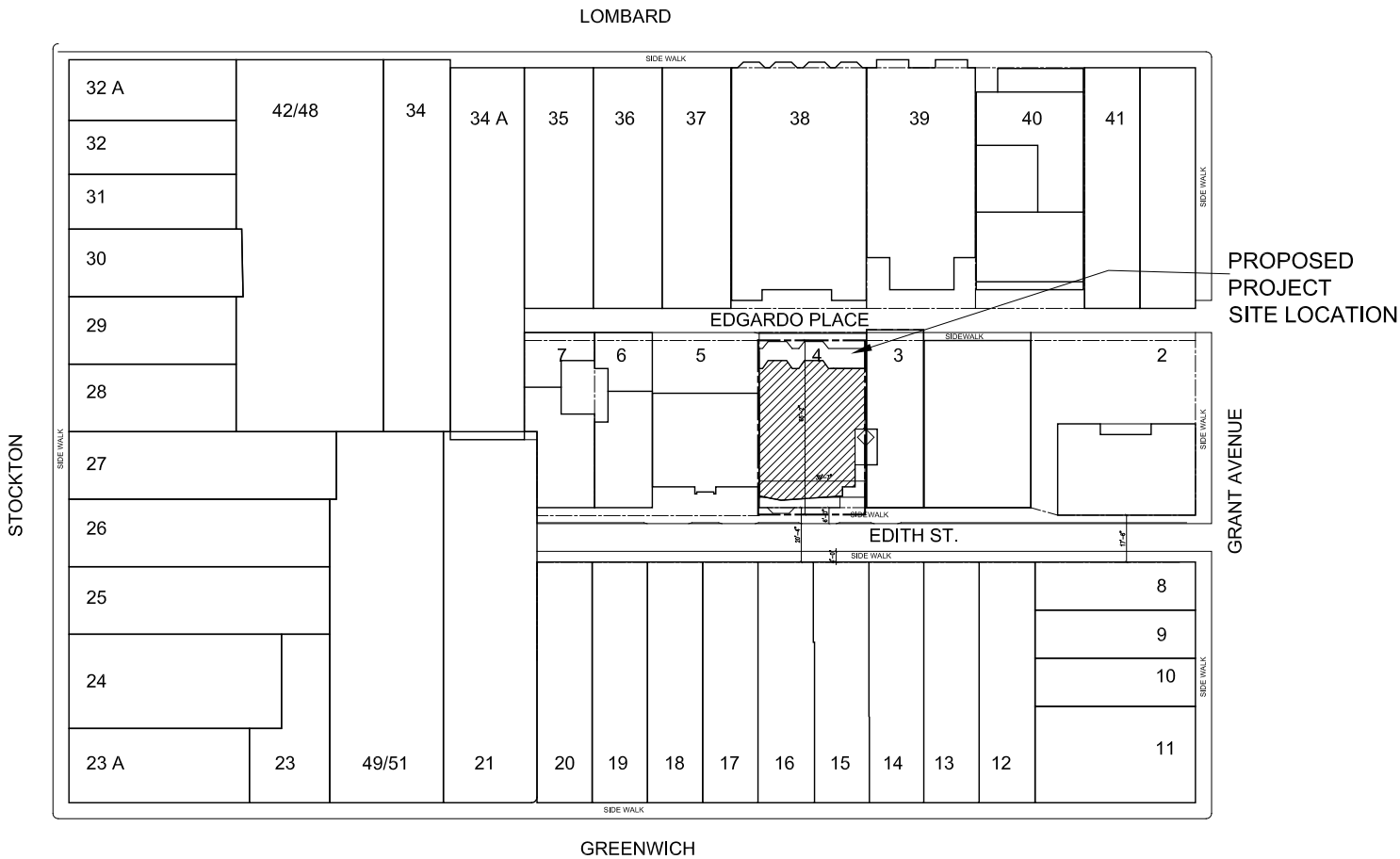
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A 1.1

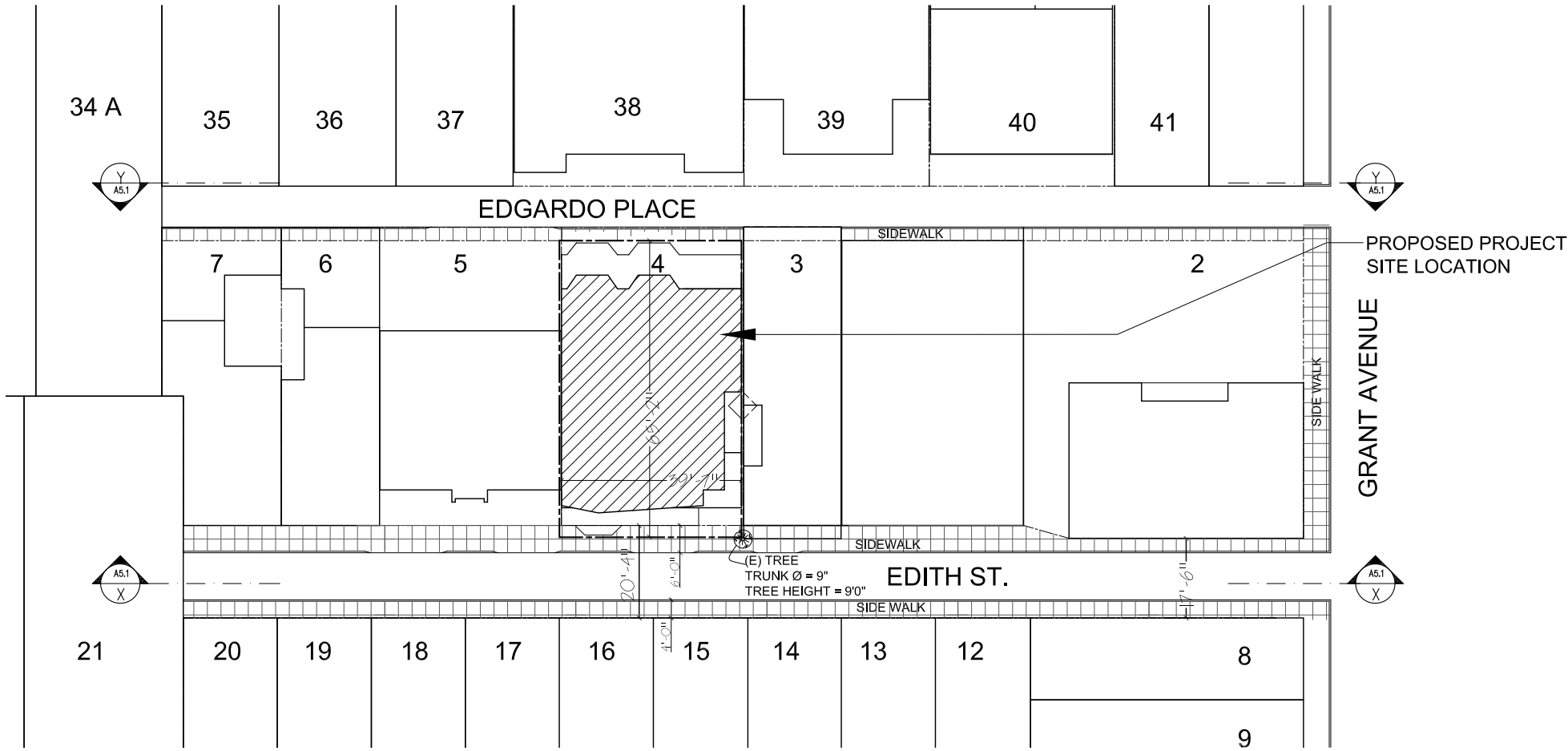
30 EDITH STREET

SAN FRANCISCO, CA

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2 CONTEXT PLAN  
1/32" = 1'-0"



1 SITE PLAN  
1/16" = 1'-0"



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Job Number

Description

CONTEXT PLAN  
& SITE PLAN

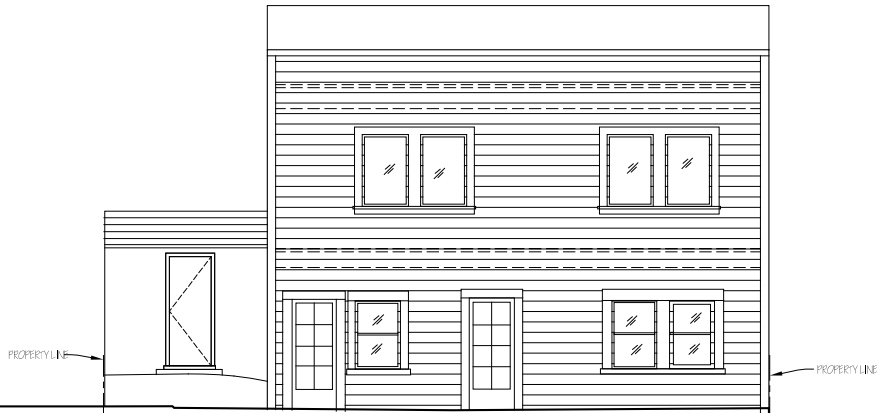
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A 2.0

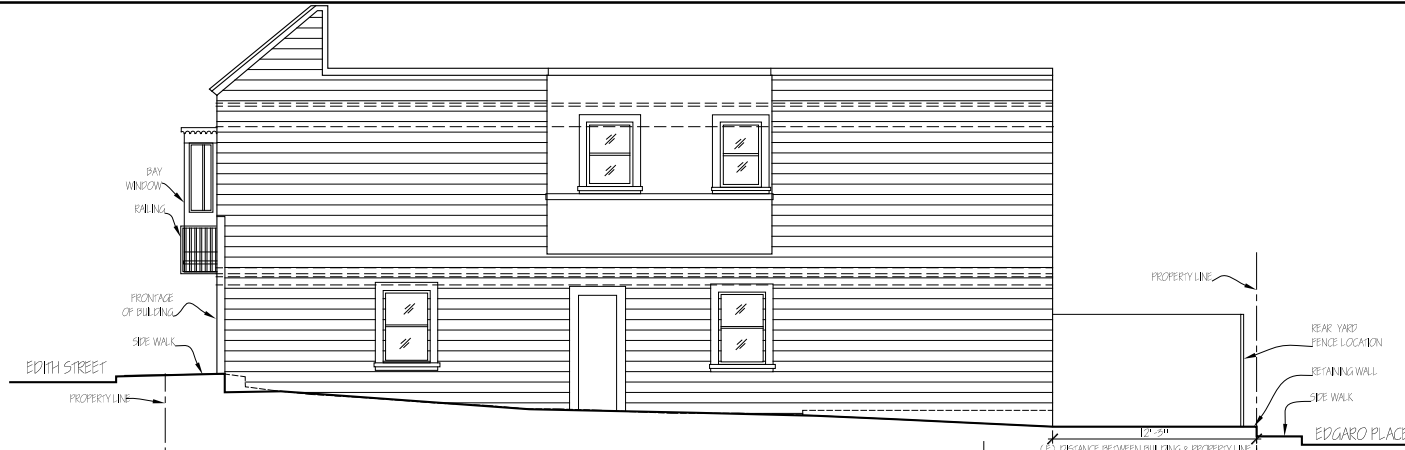




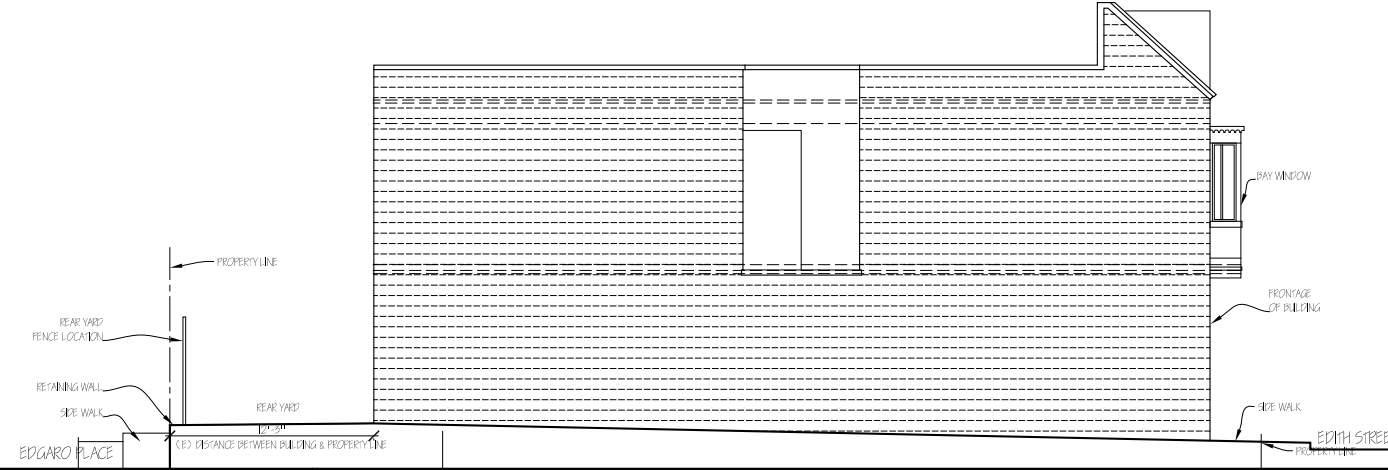
6 EXISTING CONDITIONS ELEVATION ON EDITH STREET  
1/8" = 1'-0"



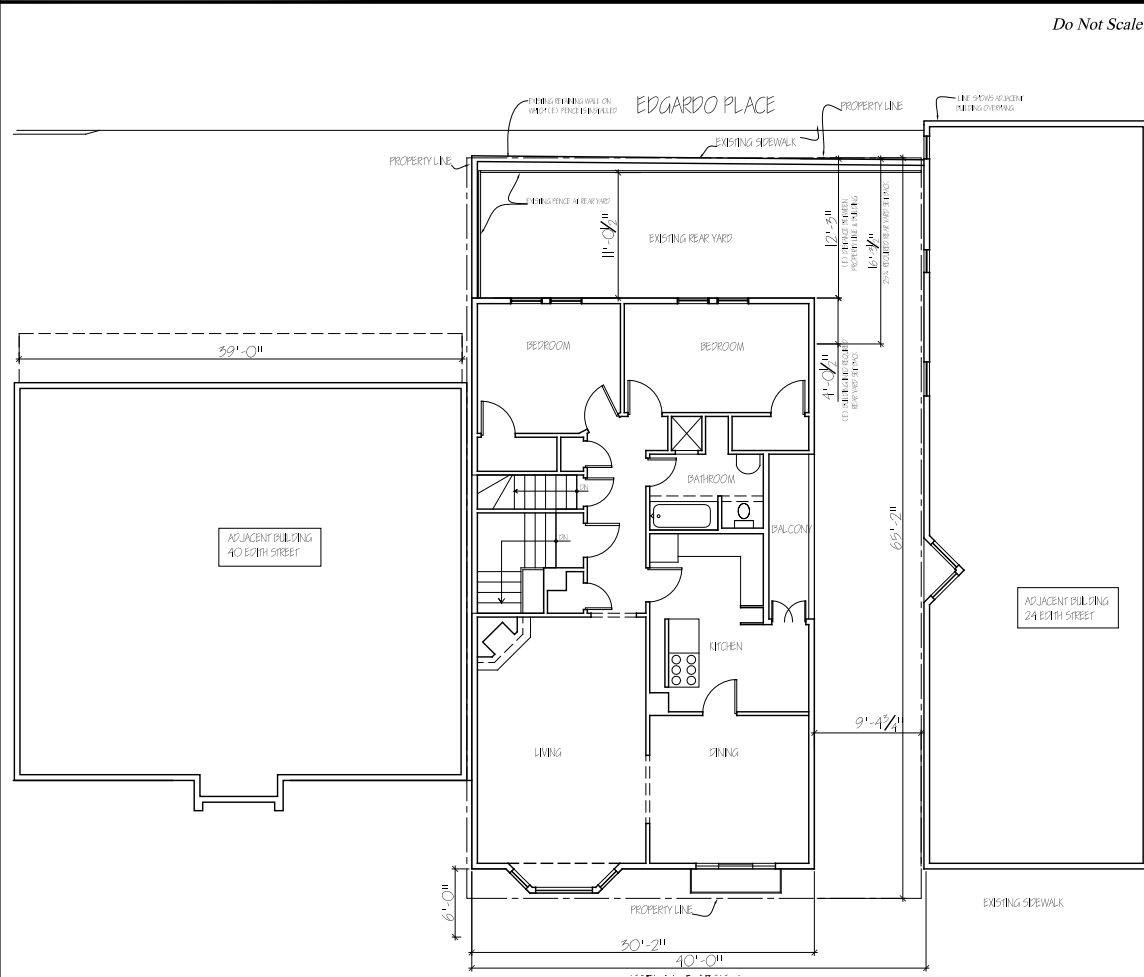
5 EXISTING CONDITIONS ELEVATION ON EDGARDO PLACE  
1/8" = 1'-0"



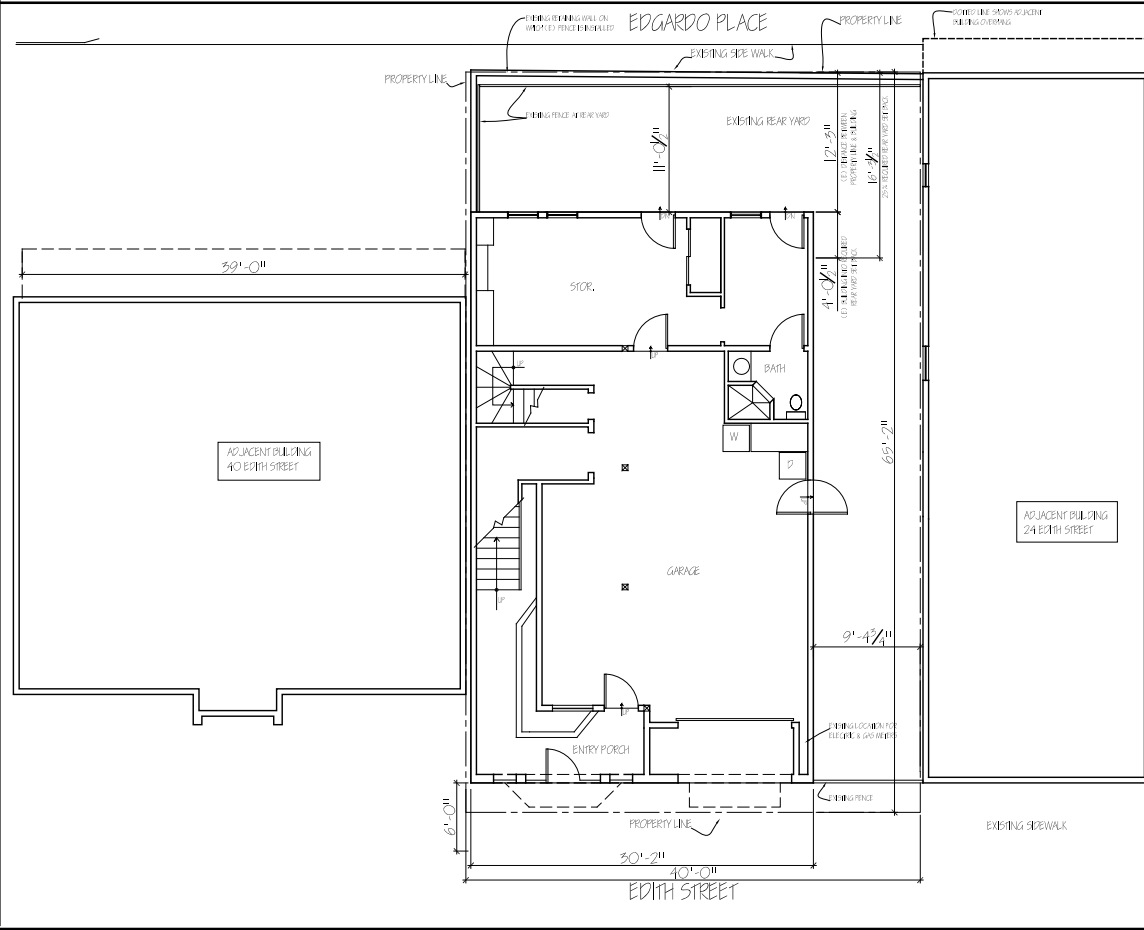
4 EXISTING CONDITIONS EAST SIDE ELEVATION  
1/8" = 1'-0"



3 EXISTING CONDITIONS WEST SIDE ELEVATION  
1/8" = 1'-0"



2 EXISTING CONDITIONS SECOND FLOOR PLAN  
1/8" = 1'-0"



1 EXISTING CONDITIONS FIRST FLOOR PLAN  
1/8" = 1'-0"

Do Not Scale Drawing

30 EDITH STREET

SAN FRANCISCO, CA

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Job Number

Description

EXISTING CONDITIONS  
PLANS & ELEVATIONS

Sheet No.

A 3.0

## 30 EDITH STREET

## SAN FRANCISCO, CA

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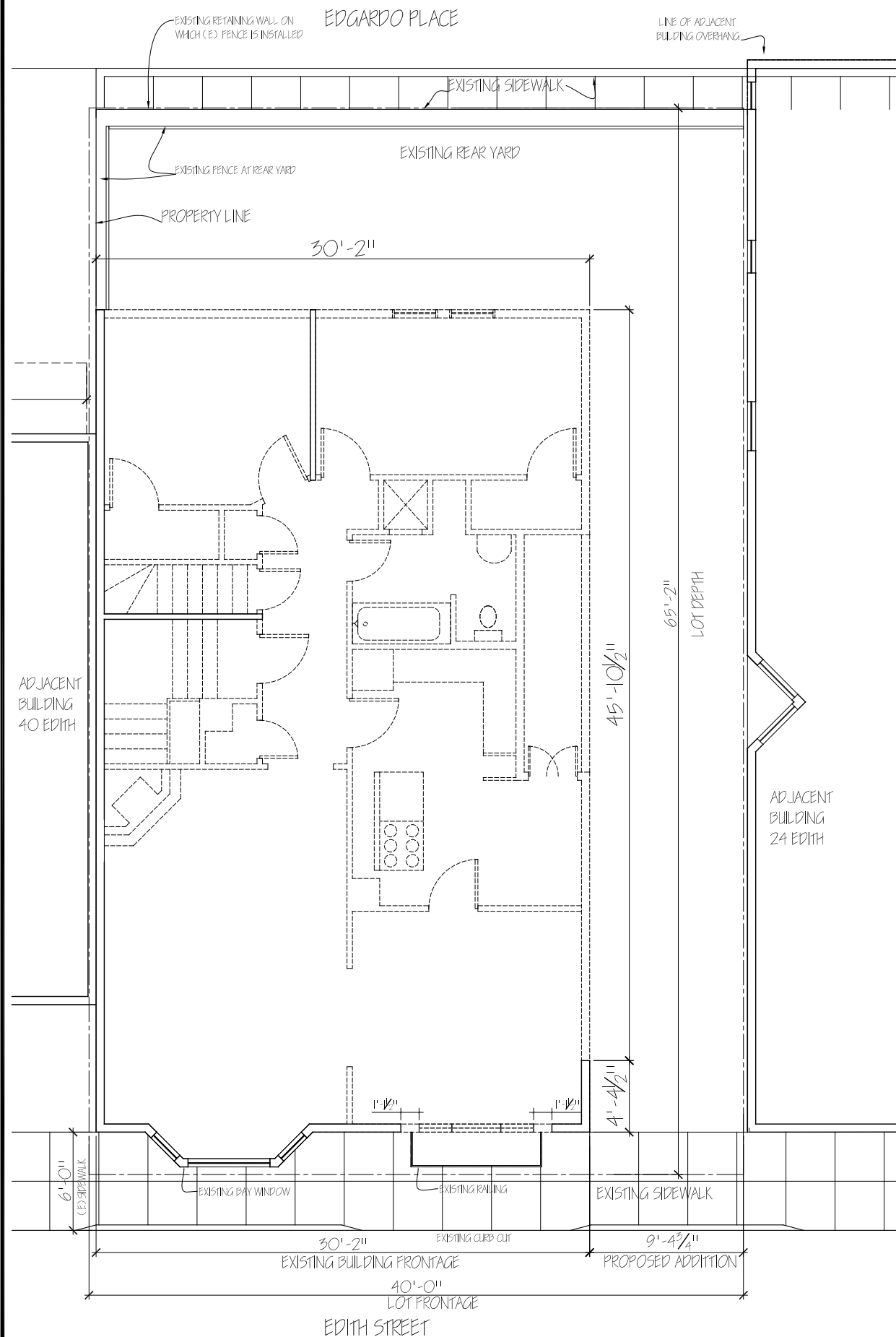
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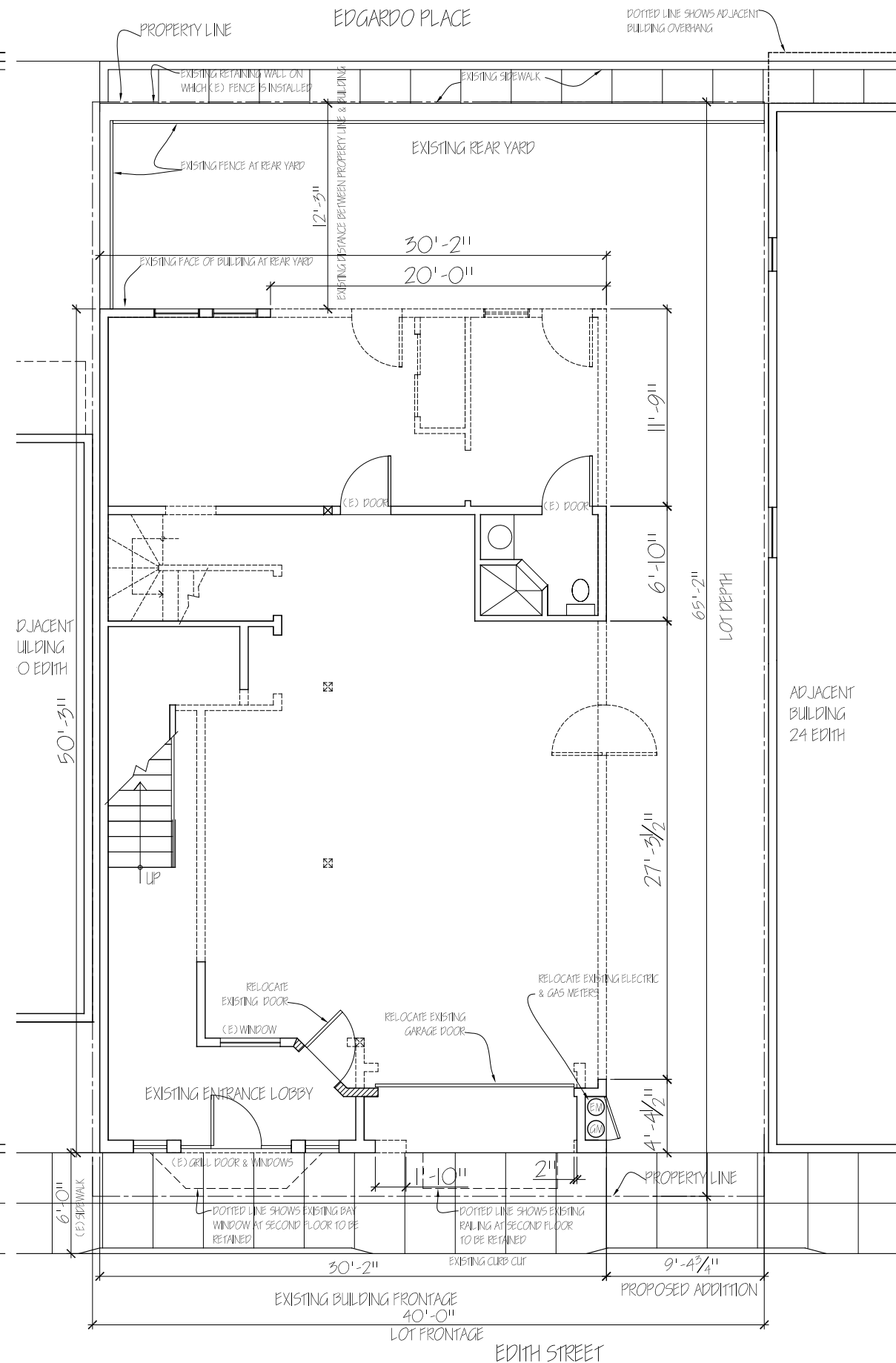
## DEMOLITION PLANS

Sheet No.

A 3.1

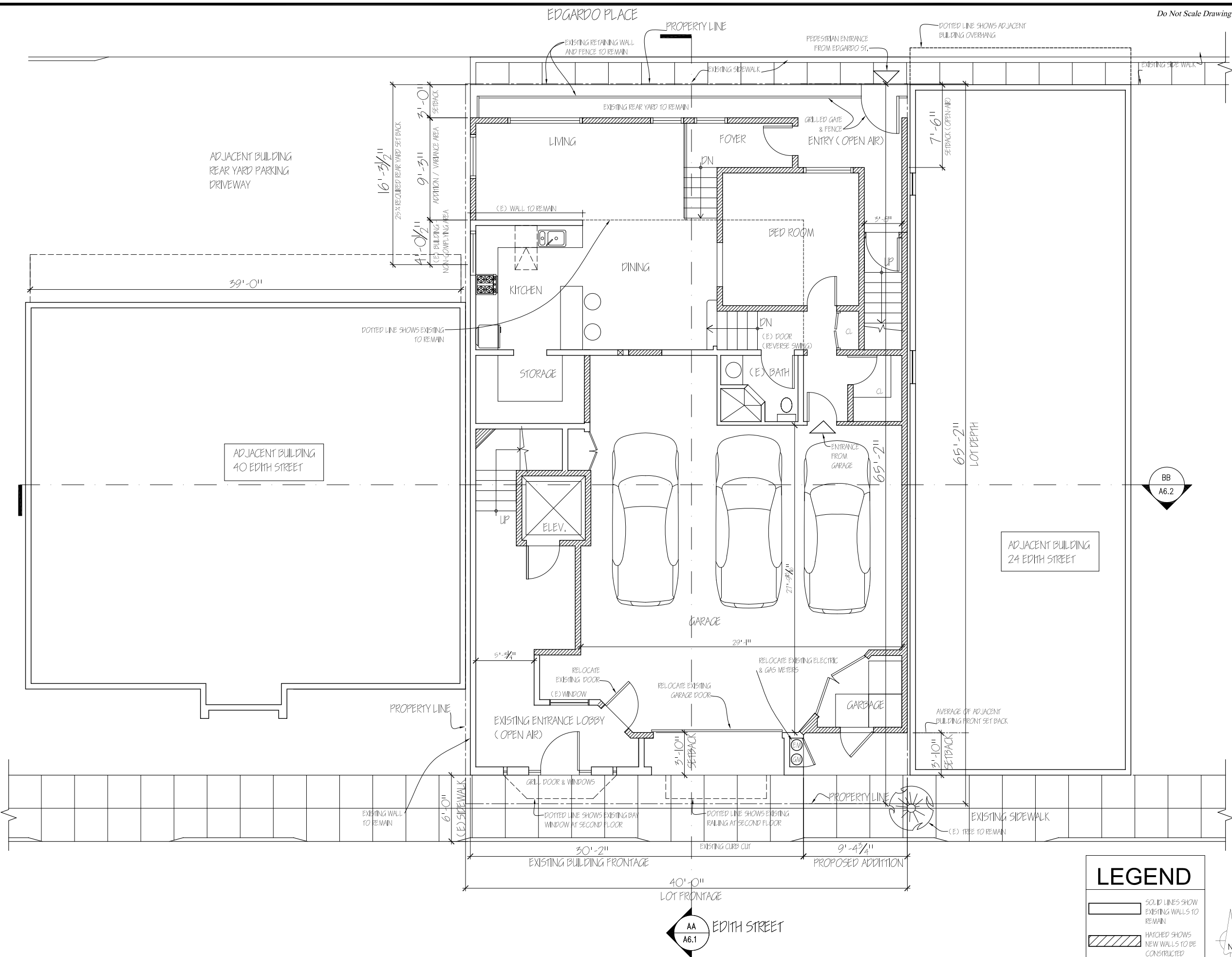


**2 SECOND FLOOR DEMOLITION PLAN**  
1/4" = 1'-0"



**1 FIRST FLOOR DEMOLITION PLAN**  
1/4" = 1'-0"





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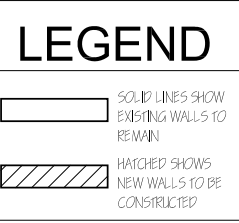
Job Number

Description

PROPOSED FIRST FLOOR PLAN

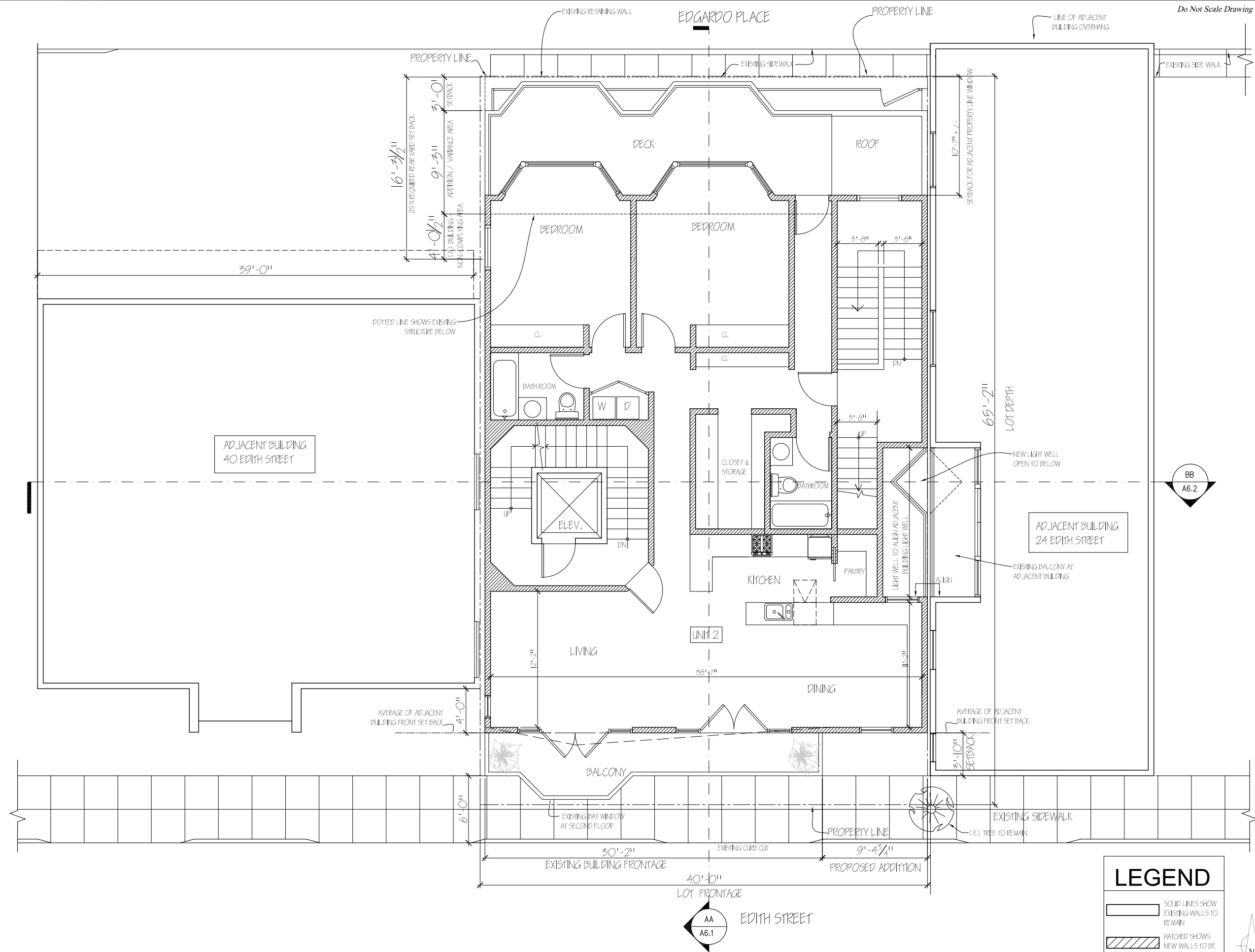
Sheet No.

A 4.1



## A 4.2

1 PROPOSED SECOND FLOOR PLAN  
- 1/4" = 1'-0"



# 30 EDITH STREET

## SAN FRANCISCO, CA

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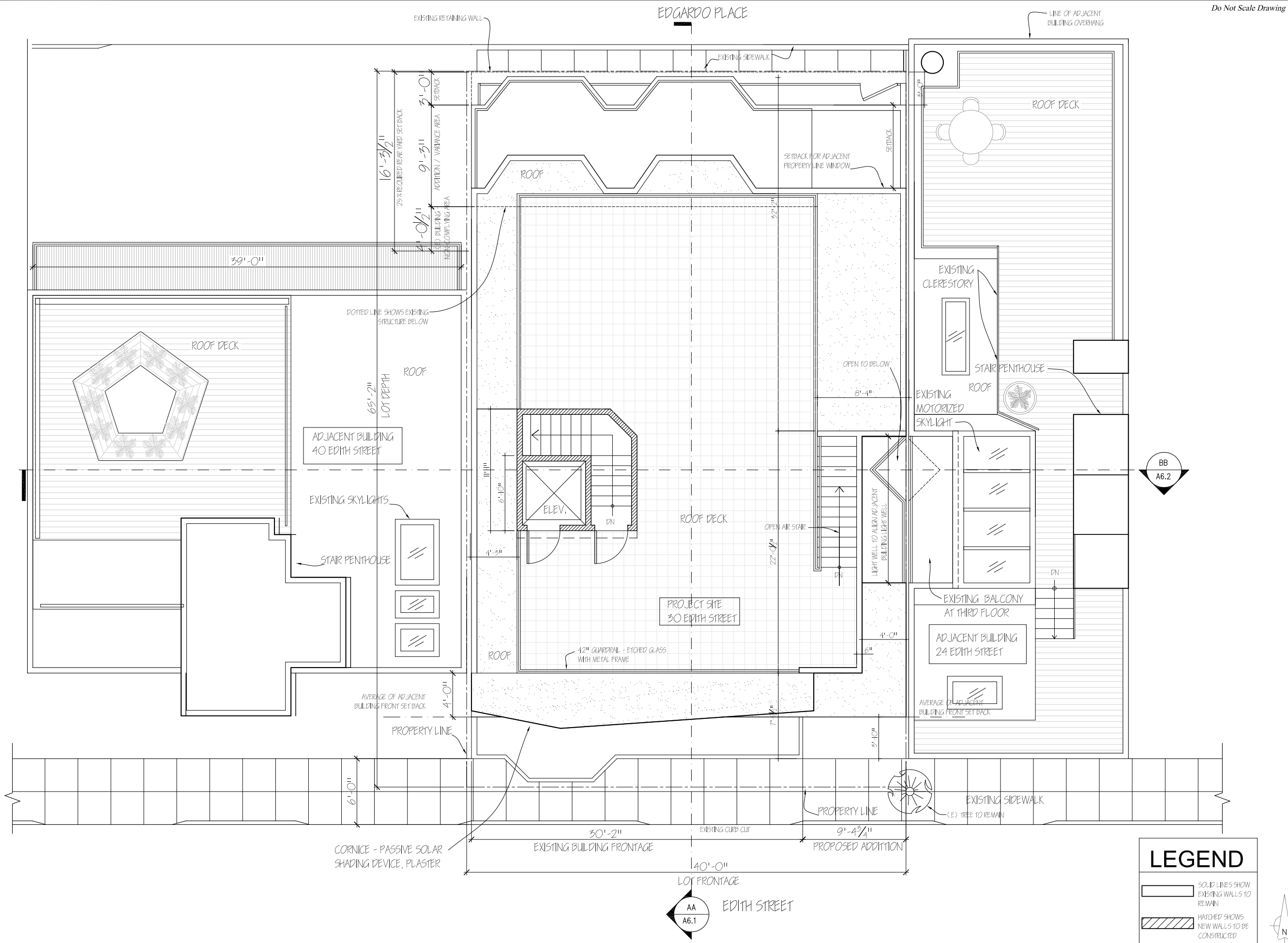
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Description  
**PROPOSED THIRD FLOOR PLAN**  
Sheet No.

# A 4.3

1 - PROPOSED THIRD FLOOR PLAN  
1/4" = 1'-0"



30 EDITH STREET

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**PROPOSED ROOF PLAN**

Sheet No.

**A 4.5**

**1** PROPOSED ROOF PLAN  
1/4" = 1'-0"

30 EDITH STREET

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3.	ISSUED FOR REVIEW 3	09-23-09
4.	ISSUED FOR REVIEW 4	10-01-09
5.	ISSUED FOR REVIEW 5	11-16-09
6.	ISSUED FOR REVIEW 6	11-23-09
7.	ISSUED FOR REVIEW 7	08-24-10
8.	ISSUED FOR REVIEW 8	09-15-10
9.	ISSUED FOR REVIEW 9	10-26-10



2 ELEVATION - XX TAKEN ALONG EDITH STREET  
3/32" = 1'-0"



1 ELEVATION - YY TAKEN ALONG EDGARDO PLACE  
3/32" = 1'-0"



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Scale AS NOTED Date 04-05-2011

Job Number

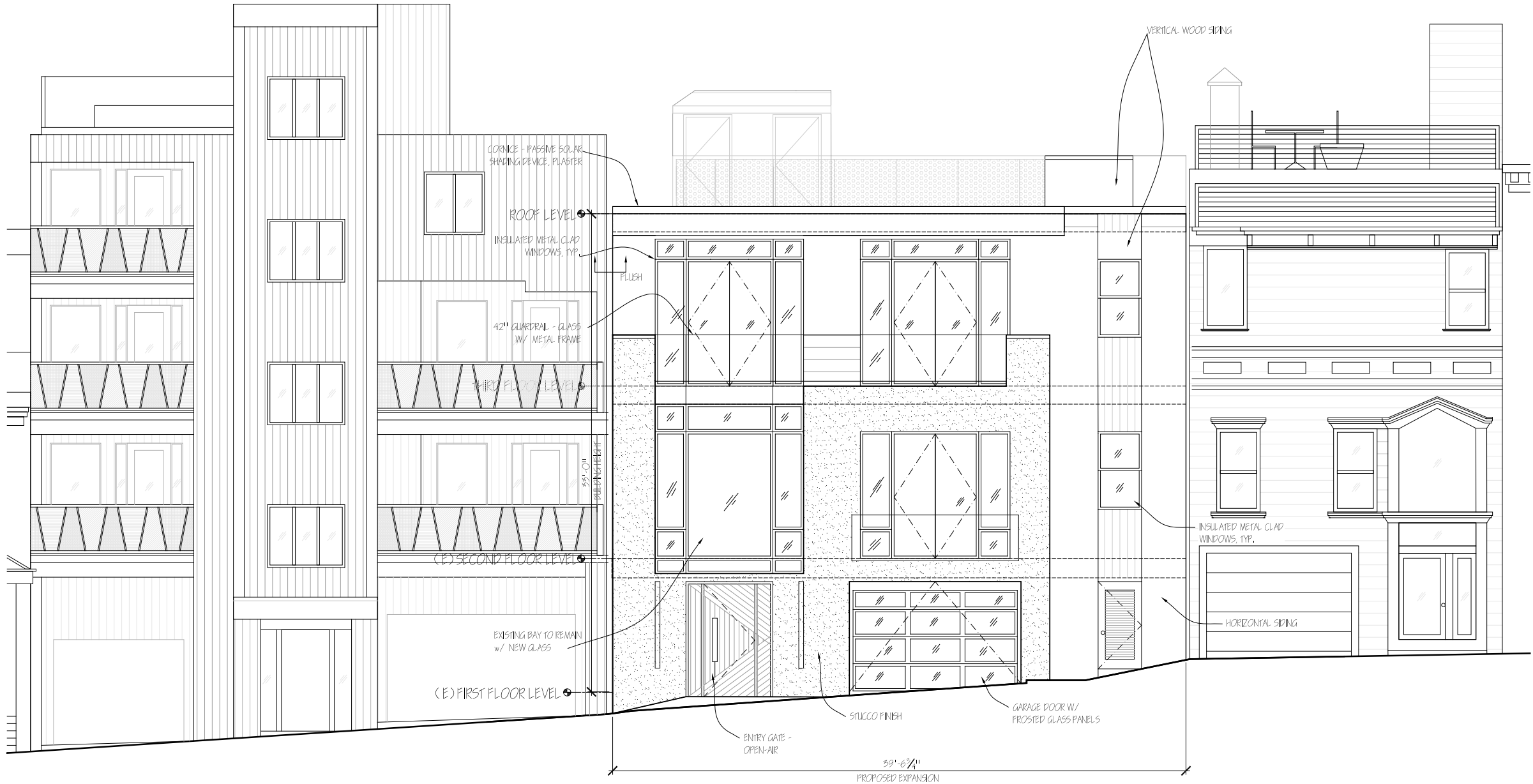
Description  
ELEVATION ALONG  
EDITH STREET &  
EDGARDO PLACE

Sheet No.

30 EDITH STREET

SAN FRANCISCO, CA

No.	Issue	Date
1.	ISSUED FOR REVIEW	10-24-08
2.	ISSUED FOR REVIEW 2	05-01-09
3.	ISSUED FOR REVIEW 3	09-14-09
4.	ISSUED FOR REVIEW 4	09-23-09
5.	ISSUED FOR REVIEW 5	10-01-09
6.	ISSUED FOR REVIEW 6	11-16-09
7.	ISSUED FOR REVIEW 7	11-23-09
8.	ISSUED FOR REVIEW 8	08-24-10
9.	ISSUED FOR REVIEW 9	09-15-10
10.	ISSUED FOR REVIEW 10	10-26-10



1 FRONT ELEVATION AT EDITH STREET  
1/4" = 1'-0"



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Job Number

Description

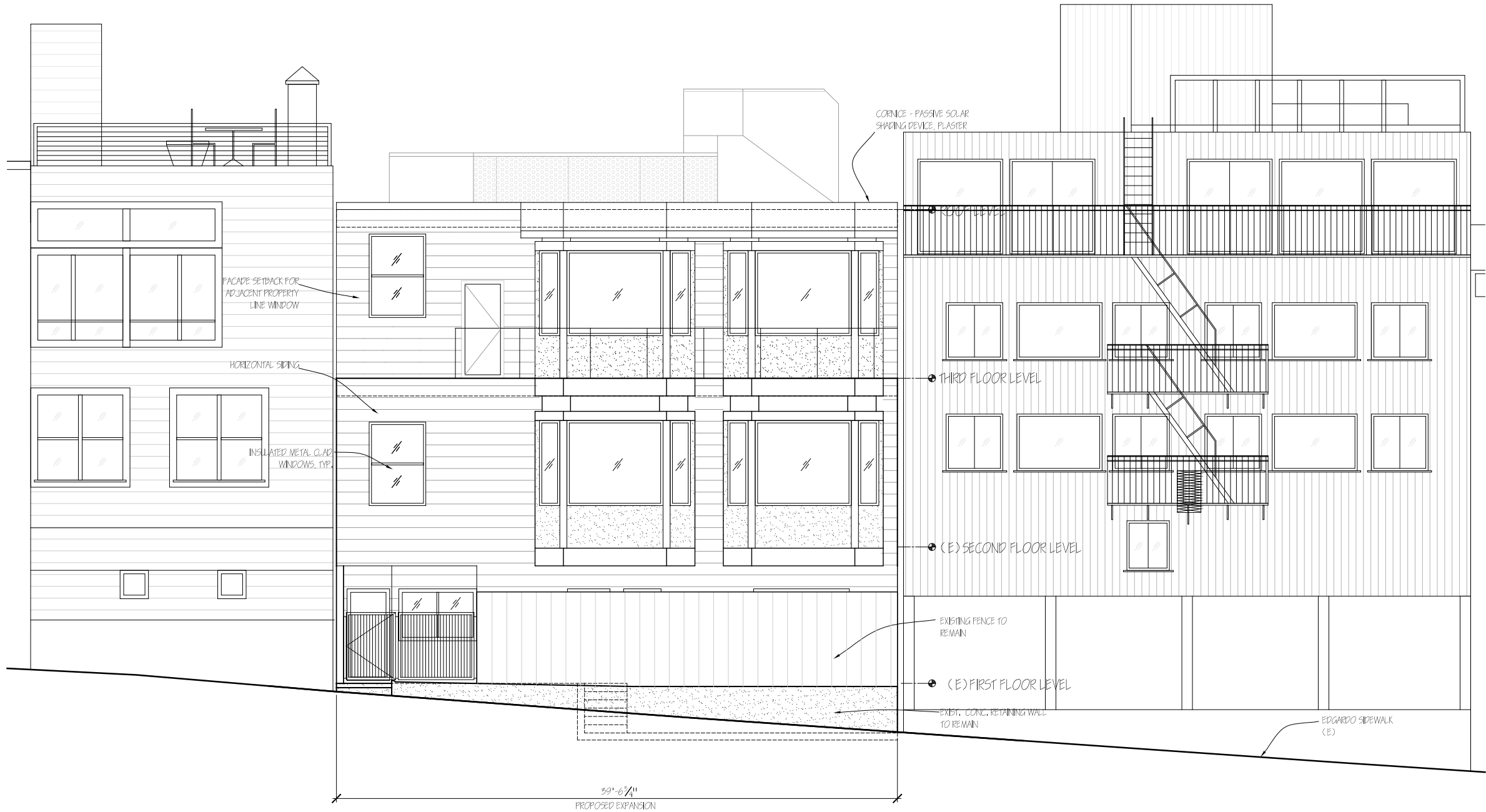
**PROPOSED  
FRONT ELEVATION**

Sheet No.

30 EDITH STREET

SAN FRANCISCO, CA

No.	Issue	Date
1.	ISSUED FOR REVIEW	10-24-08
2.	ISSUED FOR REVIEW 2	05-01-09
3.	ISSUED FOR REVIEW 3	09-23-09
4.	ISSUED FOR REVIEW 4	10-01-09
5.	ISSUED FOR REVIEW 5	11-16-09
6.	ISSUED FOR REVIEW 6	11-23-09
7.	ISSUED FOR REVIEW 7	08-24-10
8.	ISSUED FOR REVIEW 8	09-15-10
9.	ISSUED FOR REVIEW 9	10-26-10



1 BACK ELEVATION ON EDGARDO PLACE  
1/4" = 1'-0"



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Scale AS NOTED Date 04-05-2011

Job Number

Description  
**PROPOSED  
BACK ELEVATION**

Sheet No.

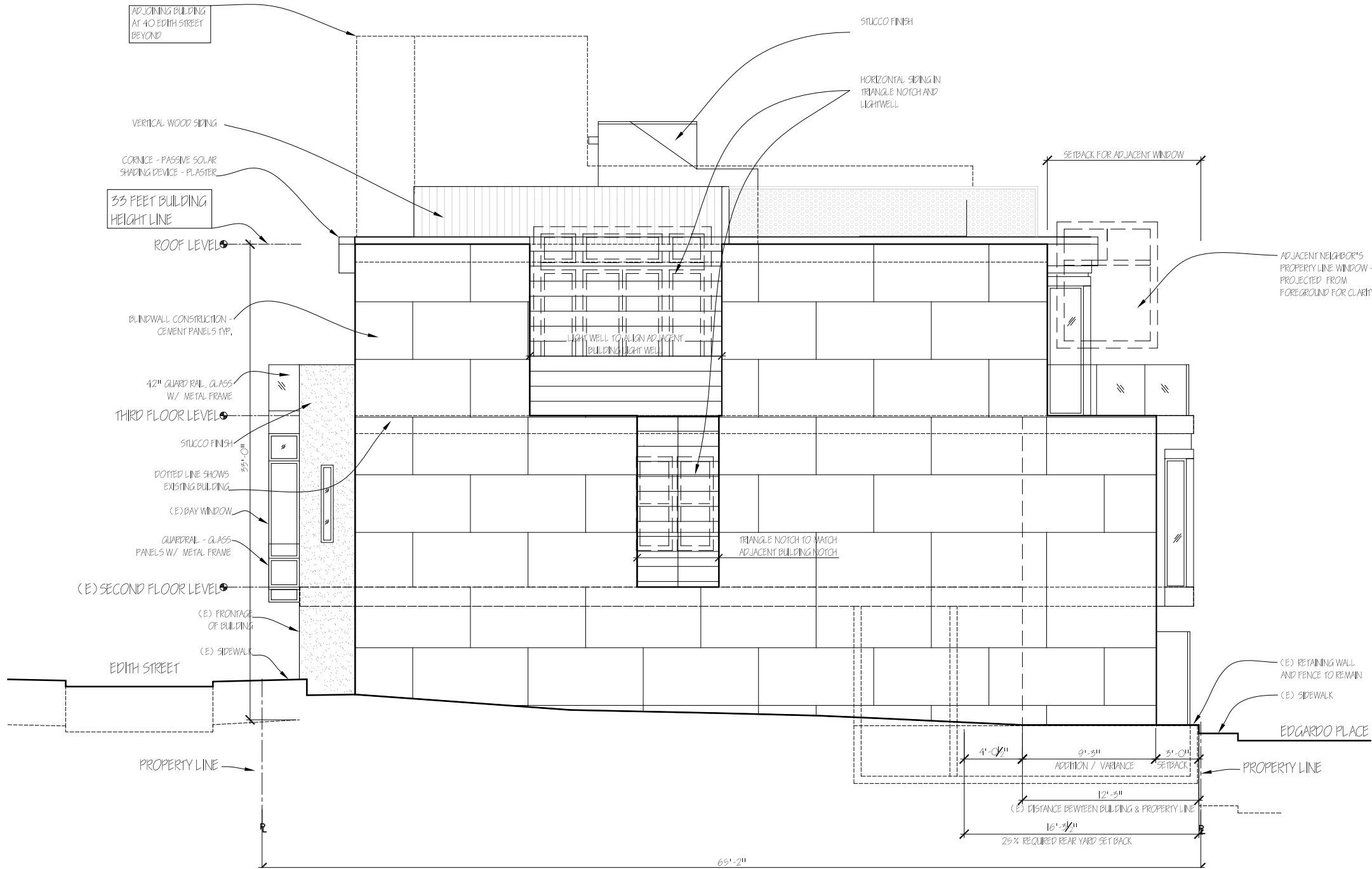
A 5.3



30 EDITH STREET

SAN FRANCISCO, CA

No.	Issue	Date
1.	ISSUED FOR REVIEW	10-24-08
2.	ISSUED FOR REVIEW 2	05-01-09
3.	ISSUED FOR REVIEW 3	09-14-09
4.	ISSUED FOR REVIEW 4	09-23-09
5.	ISSUED FOR REVIEW 5	10-01-09
6.	ISSUED FOR REVIEW 6	11-16-09
7.	ISSUED FOR REVIEW 7	11-23-09
8.	ISSUED FOR REVIEW 8	08-24-10
9.	ISSUED FOR REVIEW 9	09-15-10
10.	ISSUED FOR REVIEW 10	10-26-10



1 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



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Job Number

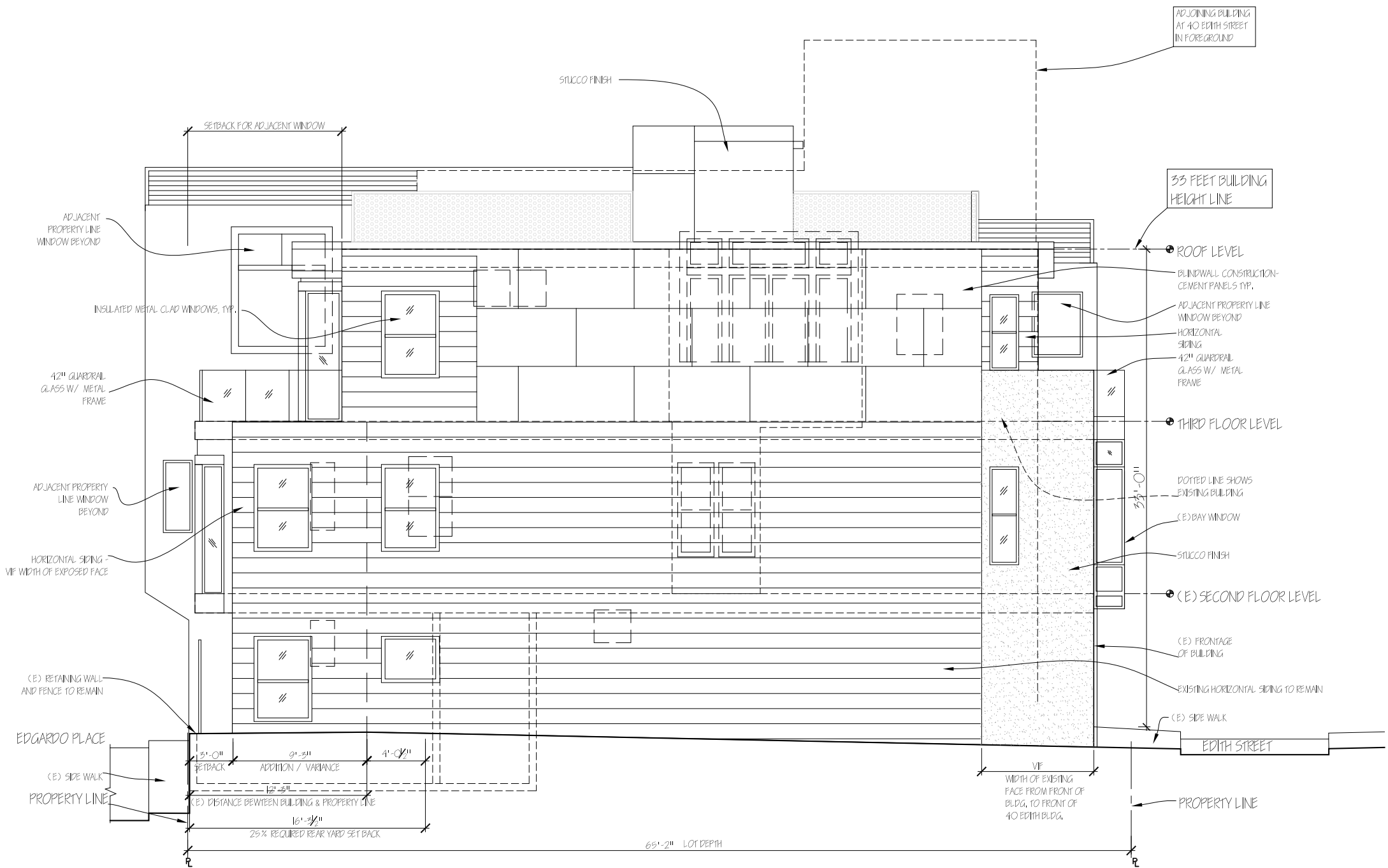
Description  
**PROPOSED  
EAST ELEVATION**

Sheet No.

30 EDITH STREET

SAN FRANCISCO, CA

No.	Issue	Date
1.	ISSUED FOR REVIEW	10-24-08
2.	ISSUED FOR REVIEW 2	05-01-09
3.	ISSUED FOR REVIEW 3	09-23-09
4.	ISSUED FOR REVIEW 4	10-01-09
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6.	ISSUED FOR REVIEW 6	11-23-09
7.	ISSUED FOR REVIEW 7	08-24-10
8.	ISSUED FOR REVIEW 8	09-15-10
9.	ISSUED FOR REVIEW 9	10-26-10



1 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



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Scale: AS NOTED Date: 04-05-2011

Job Number

Description  
**PROPOSED  
WEST ELEVATION**

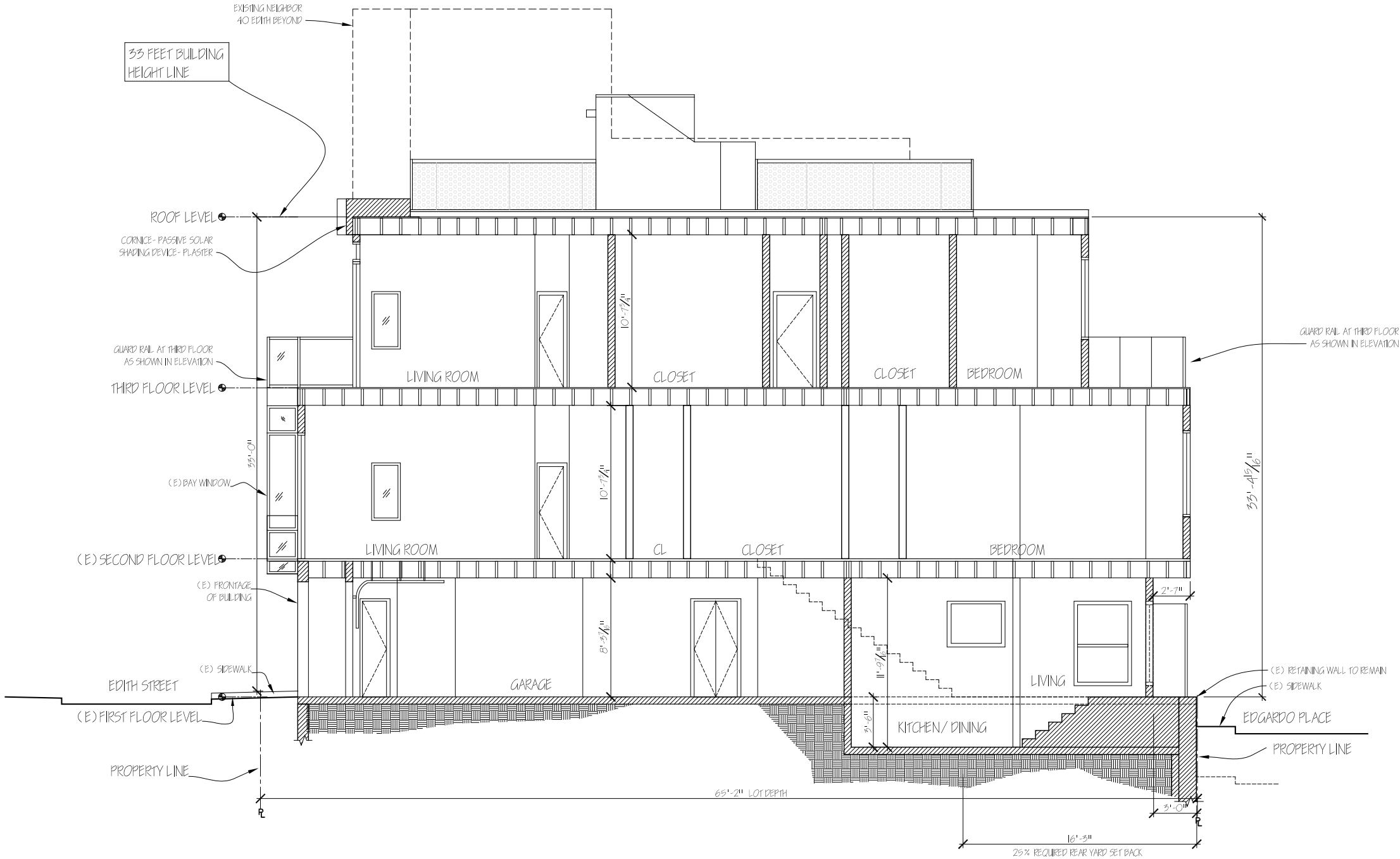
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A 5.5

30 EDITH STREET

SAN FRANCISCO, CA

No.	Issue	Date
1.	ISSUED FOR REVIEW	10-24-08
2.	ISSUED FOR REVIEW 2	05-01-09
3.	ISSUED FOR REVIEW 3	09-23-09
4.	ISSUED FOR REVIEW 4	10-01-09
5.	ISSUED FOR REVIEW 5	11-16-09
6.	ISSUED FOR REVIEW 6	11-23-09
7.	ISSUED FOR REVIEW 7	08-24-10
8.	ISSUED FOR REVIEW 8	09-15-10
9.	ISSUED FOR REVIEW 9	10-26-10



1 SECTION AA  
1/4" = 1'-0"



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Scale AS NOTED Date 04-05-2011

Job Number

Description  
**SECTION AA**

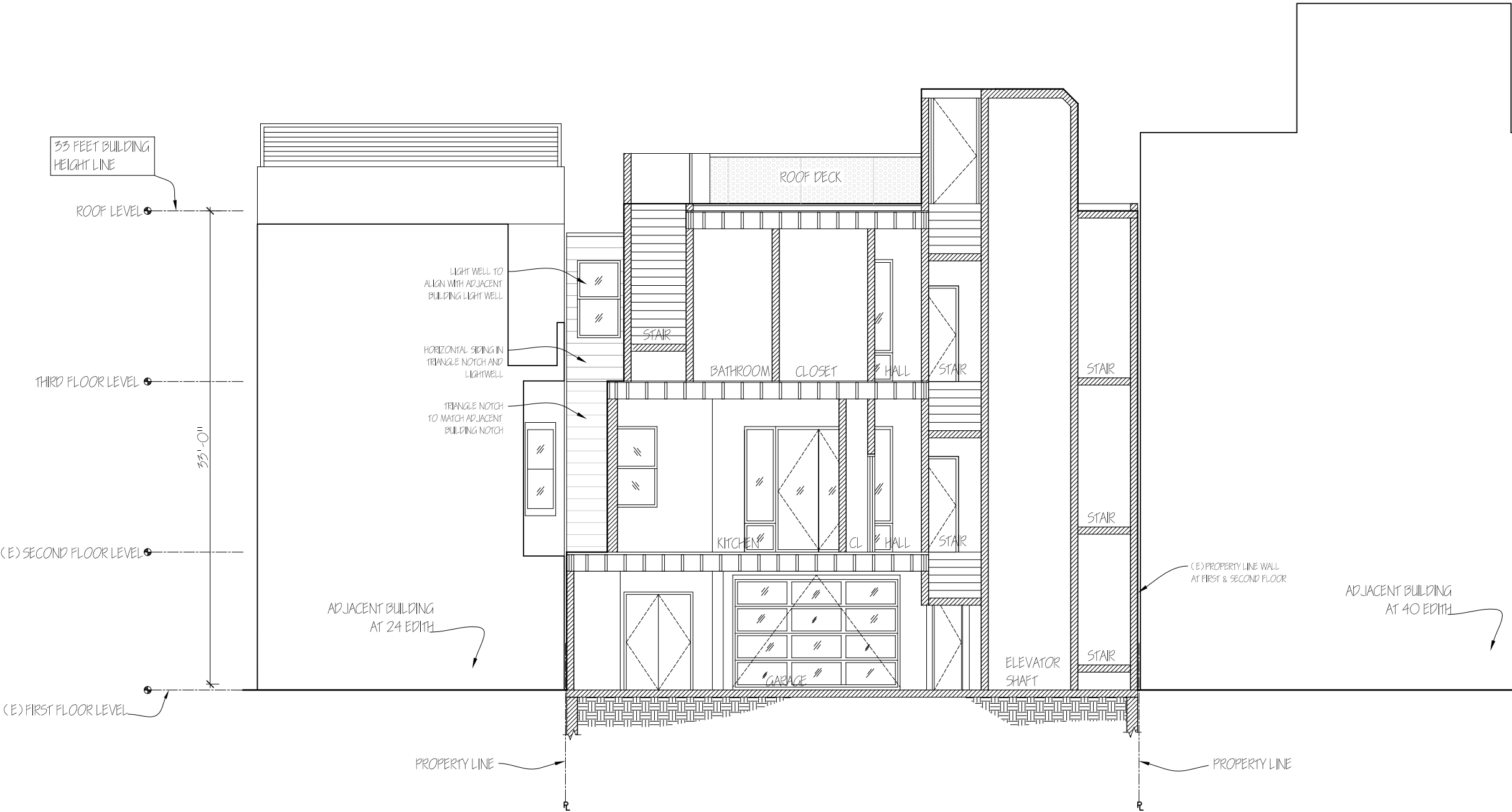
Sheet No.

A 6.1

30 EDITH STREET

SAN FRANCISCO, CA

No.	Issue	Date
1.	ISSUED FOR REVIEW	10-24-08
2.	ISSUED FOR REVIEW 2	05-01-09
3.	ISSUED FOR REVIEW 3	09-23-09
4.	ISSUED FOR REVIEW 4	10-01-09
5.	ISSUED FOR REVIEW 5	11-16-09
6.	ISSUED FOR REVIEW 6	08-24-10
7.	ISSUED FOR REVIEW 7	09-15-10
8.	ISSUED FOR REVIEW 8	10-26-10



1 SECTION BB  
- 1/4" = 1'-0"



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Job Number

Description  
**SECTION BB**

Sheet No.

A 6.2