



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

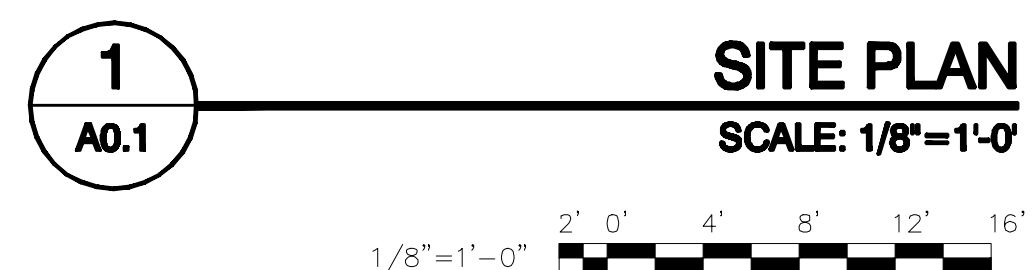
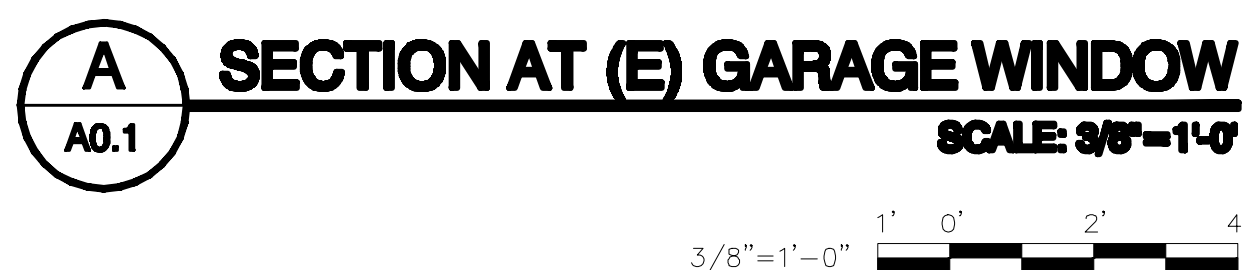
Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
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CA 94103-2479

Reception:
415.558.6378

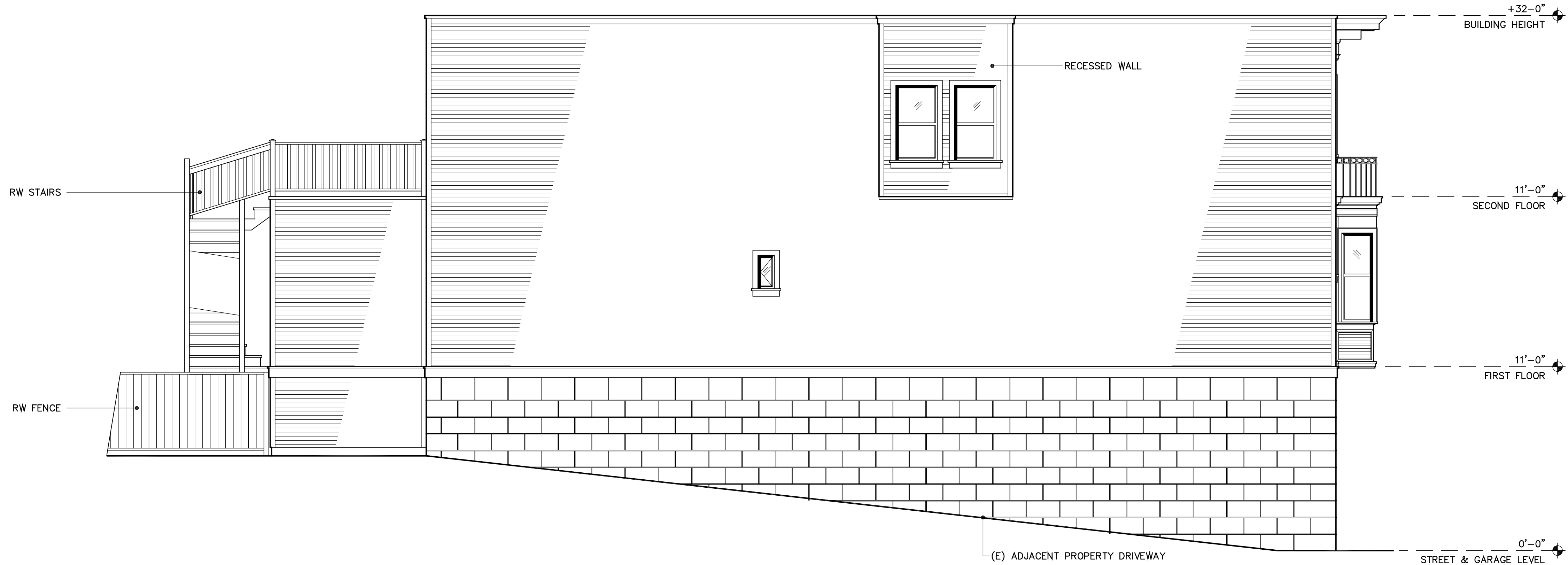
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Planning
Information:
415.558.6377



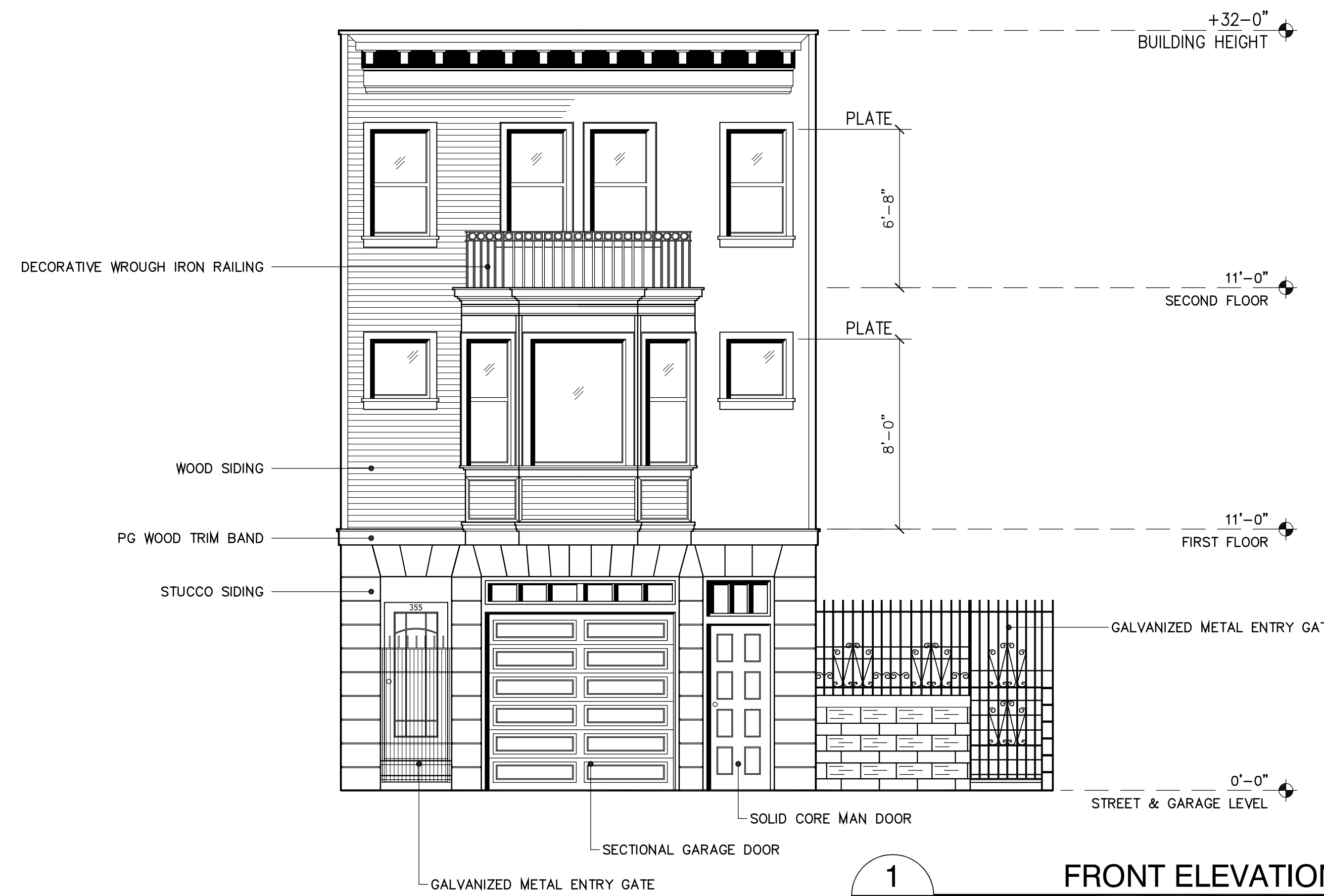
NOTE(S):

1. CITY INSPECTOR NORM GUTIERREZ HAS REQUESTED THAT ALL TENANT ITEMS BE REMOVED FROM THE COMMON AREA TO COMPLY WITH FIRE EGRESS AND CITY HOUSING CODES. TENANTS ARE REFUSING TO COMPLY AND AN ATTORNEY HAS BEEN RETAINED TO ENFORCE CODE COMPLIANCE.



2 LEFT ELEVATION
A4.1 SCALE: 1/4"=1'-0"

THESE EXISTING BUILDING ELEVATIONS ARE PROVIDED FOR INFORMATION ONLY. THERE WILL BE NO ADDITIONS OR ALTERATIONS TO THE EXTERIOR OF THE BUILDING.



1 FRONT ELEVATION
A4.1 SCALE: 1/4"=1'-0"

CADD SOURCE INC.
2836 Deepark Drive
Walnut Creek, California 94598
Office: (925) 270-0938
Fax: (925) 465-8160

Designer: Date: 02/01/10

Owner/Project:
**Fernandez
Legalize
and
Remodel
Existing
570 SF
Garage
IN-LAW
Unit**

355 Capp Street
San Francisco, California 94110
T: (415) 300-8670

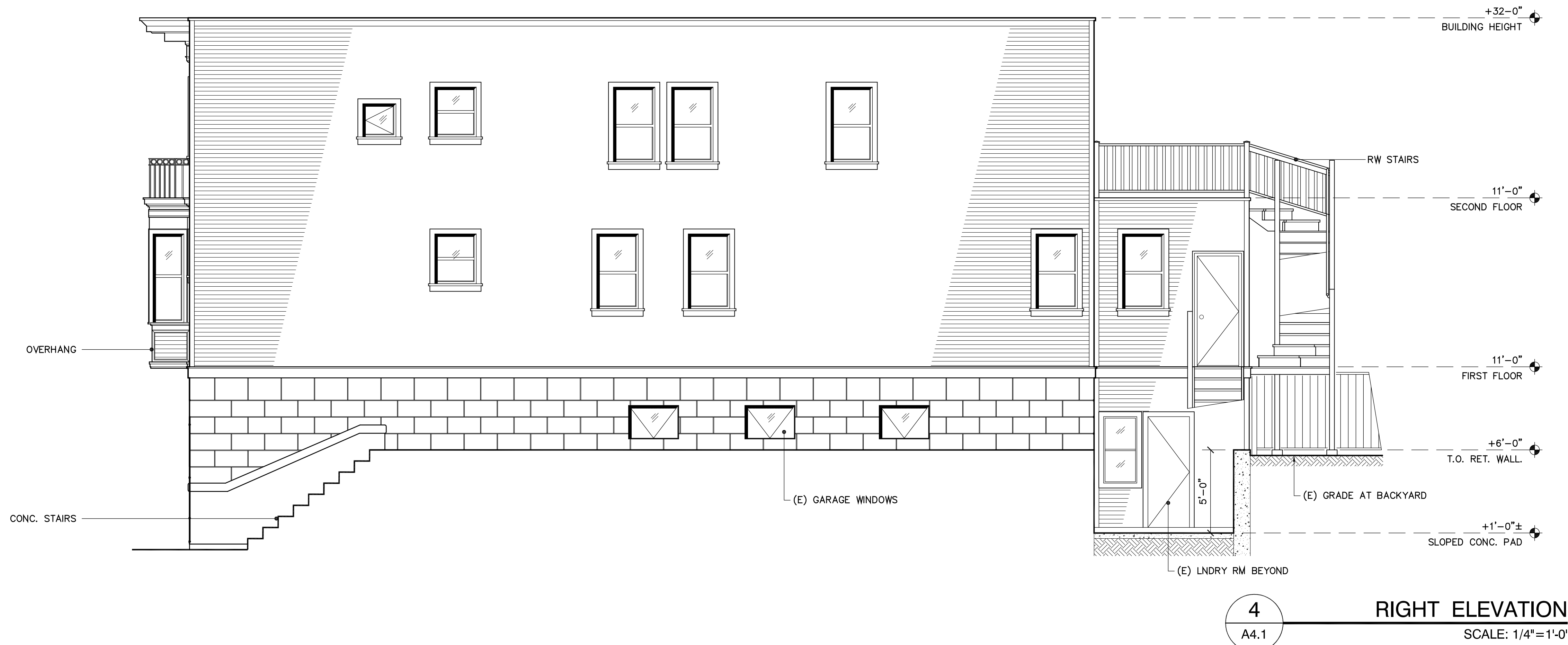
Scope of Project:
Legalize and remodel existing
residential garage unit as constructed
by previous owner.

△	
△	
△	
△	
△	
△	04/05/10 Requested Elevs
△	02/04/10 Variance
△	06/15/09 Planning Dept.
△	04/26/09 Planning Dept.
Issue:	Revision

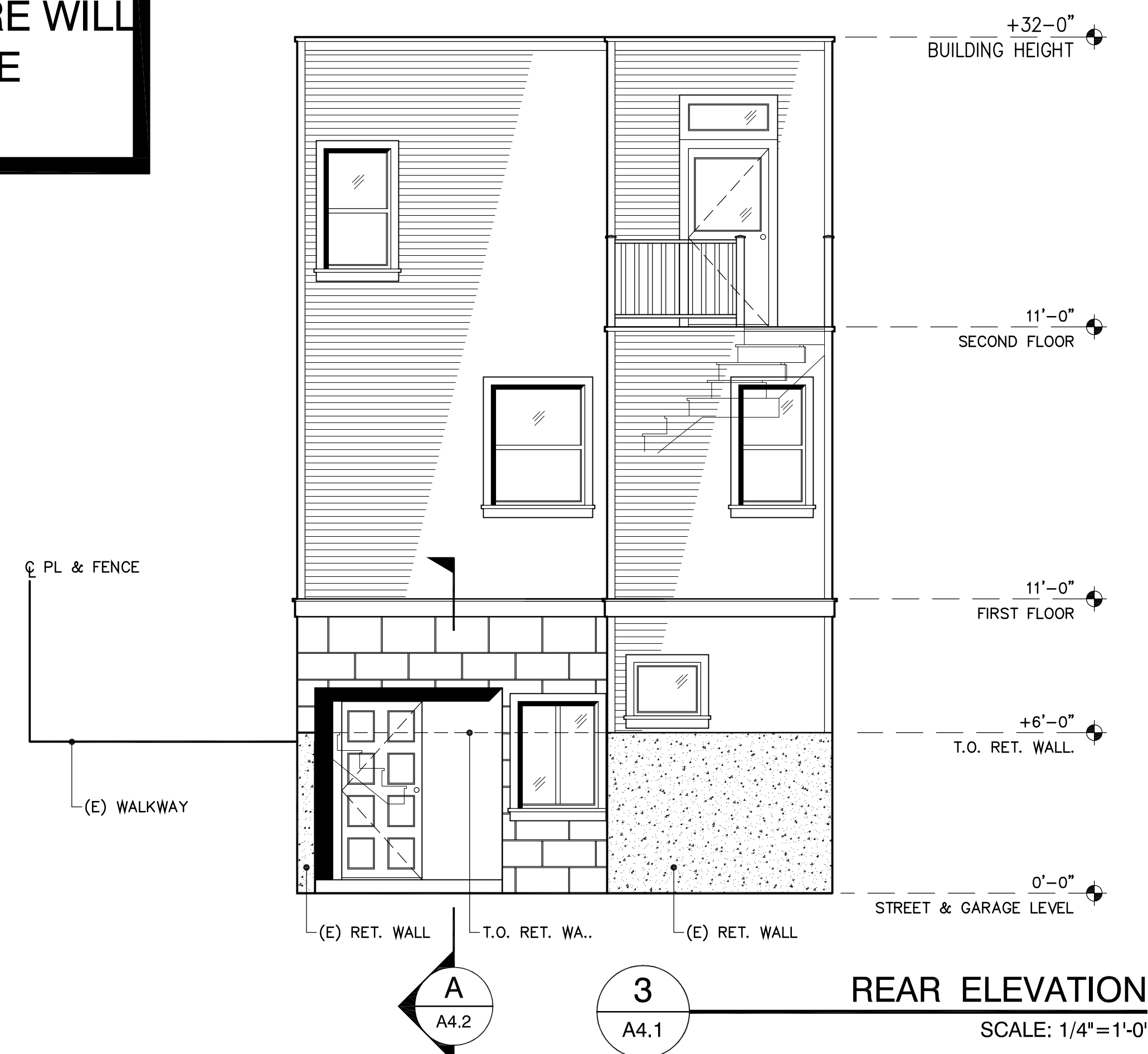
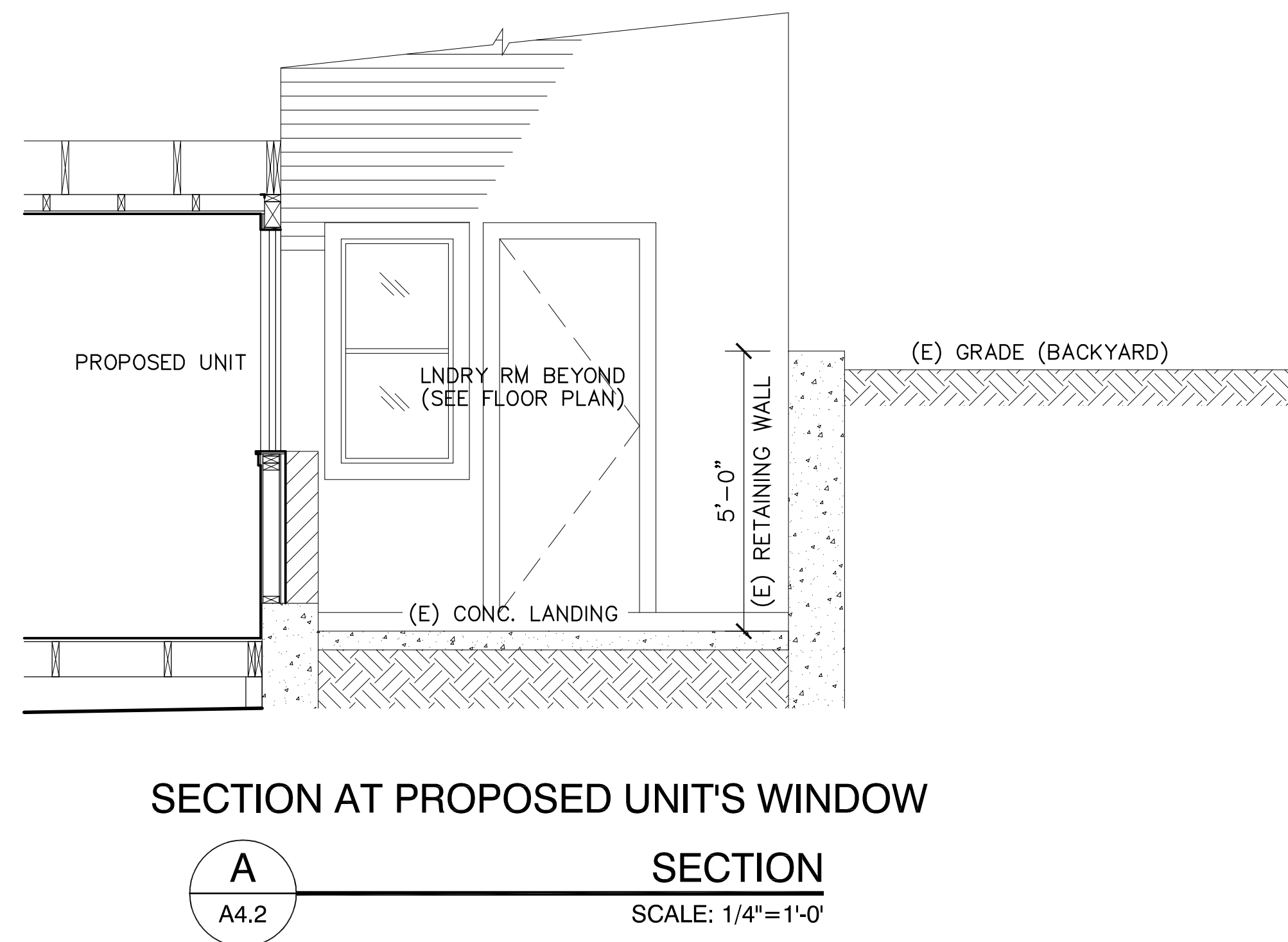
DESIGNED BY:	JF
CHECKED:	JF
DATE:	04/15/09
SCALE:	AS NOTED
JOB NO.	200901
SHEET:	

A4.1
X OF X

EXISTING BUILDING ELEVATIONS



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▲	06/15/09 Planning Dept.
▲	04/26/09 Planning Dept.
Issue:	Revision

DESIGNED BY: JF

CHECKED: JF

DATE: 04/15/09

SCALE: AS NOTED

JOB NO. 200901

SHEET:

A4.2

X OF X

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