MEMO

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Planning Information: 415.558.6377

UNIT	DESCRIPTION	EXISTING	PROPOSED
UNIT 14a UNIT 14a	COMMON AREA LEVEL ONE AREA PRIVATE OUTDOOR SPACE	188.75SF 650.00SF 73.00SF	237.5SF 715.00SF 210.00SF
	SUBTOTAL	839.00SF	952.00SFSF
UNIT 14 UNIT 14 UNIT 14	COMMON AREA LEVEL ONE AREA LEVEL TWO AREA PRIVATE OUTDOOR SPACE	00.00SF 839.00SF 839.00SF 119.25SF	49.00SF 904.00SF 904.00SF 210.00SF
	SUBTOTAL	1678.00SF	1857.00SF
	COMBINED TOTAL	2517.00SF	2809.00SF
UNITS 14a; 14	ROOF DECK	00.00SF	500SF
LOT AREA		1375.00SF	NC

D6 Area Summary

OCCUPANCY CLASSIFICATION ZONING CLASSIFICATION BUILDING TYPE APN:

R3 RM2 V 0120;025A

G6 Project Data

16000	ELECTRICAL	15000 M	ECHANICAL
\$ \$ \$ O D 3	Wall Switch; O = occupancy; D = dimmer 3 = Three way	(WSA)	
⊕ gfi	Ground-fault Circuit Interrupter duplex Refer to A0.2; 16.03 Circuitry	(WRA)	(WSA) Wall Supply Air Register
€ 18 gfi	Wall Receptacle mount ht numeral / apha - type		(WRA) Wall return Air Register
dc	Low Voltage outlet apha - type Fluorescent fixture, per section 119(d)		Sanitary Tee - rough-in
	Recessed ceiling fixture - fluorescent Recessed ceiling fixture - incandesent	+ + + + + + + + + + + + + + + + + + + +	Cold Water - Domestic - rough-in height specified
	Recessed ceiling fixture - low voltage Ceiling fixture rough - low voltage	+ + + 	Hot Water - Domestic - rough-in height specified
X	Ceiling fixture rough in box - incandescent	+ 18+	Natural Gas valve rough-in hight specified
\bigcirc	125cfm min/ Ceiling Fan / fluorescent light	0H 1-181-	Hose Bibb (hb) rough in hight specified
+	Wall Mounted light fixture exterior to comply with sec. 119(d) rough in box - elevation	01000.02	2 ABBREVIATIONS
	Surface mounted fluoresent troffer as per 119(d)	CL	CENTER LINE
SD	Smoke Detector; refer to A0.2 note 1.02 for requirements. Refer to floor plans for locations	DC DF DG (E) FAU GFI	DATA - COMMUNICATION DOUGLAS FIR DECOMPOSED GRANITE EXISTING FORCED AIR HEATER GROUND FAULT CIRCUIT
	DENOTES DIRECTION	GLS	INTERRUPTER GLASS

- DENOTES REFERENCE TOP INDICATES DETAIL BOTTOM SHEET REFERENCE

DENOTES CUT LOCATION

L 6 Symbols

2006 CALIFORNIA BUILDING CODE, 2006 CALIFORNIA MECHANICAL AND PLUMBING CODES, 2006 TITLE 24 CODES, 2006 NATIONAL ELECTRICAL CODE, WITH SAN FRANCISCO AMENDMENTS, SAN FRANCISCO PUBLIC WORKS STANDARDS

L11 Codes & Inspections

TEMP TEMPERED GLASS

TYP TYPICAL

UNO UNLESS NOTED OTHERWISE

TREAD

MINIMUM

PLANTING AREA

WATER HEATER

WATER PROOF

SHEET METAL SCREW

RETURN AIR SUPPLY AIR

GALVANIZED SHEET METAL

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Signature St Chestriats

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D 11 Vicinity Map 14; 14a Macondray Lane San Francisco, California

Rear addition of units 14, 14a including enclosed spiral stair from ground to roof, accessing each (E)) floor and roof

2 new rear decks for units 14, 14a off (E) living spaces and shared 500 sf roof top deck

(N) Complete Unit 14 Kitchen and (N) Master suite including master bath and walk in closet

F11 Project Scope

S1	Civil Survey
A0.1 A.02 A0.3 A0.4	Cover Sheet, Project Notes Project Photography Spair Spair
A1.0	Site Plan
A2.1 A2.2 A2.3 A2.4	Floor Plan - Level One (Unit 14a) Floor Plan - Level Two (Unit 14) Floor Plan - Level Three (unit 14) Roof Plan
A3.1 A3.2 A3.3	Building Elevations Building Elevations Building Elevations

K11 Contents

14/14a
Macondray Lane
San Francisco
CA

APN: Lot 025A; Block 0120

ARC

1256 Howard Street
SAN FRANCISCO
CALIFORNIA
94103

O:415.308.4062 F:415.922.0203 bob50@pacbell.net

Sheet: Index, Abbreviations, Vicinity map
Scope of Work

Project No:

Scale: NONE

Date: 12.30.09

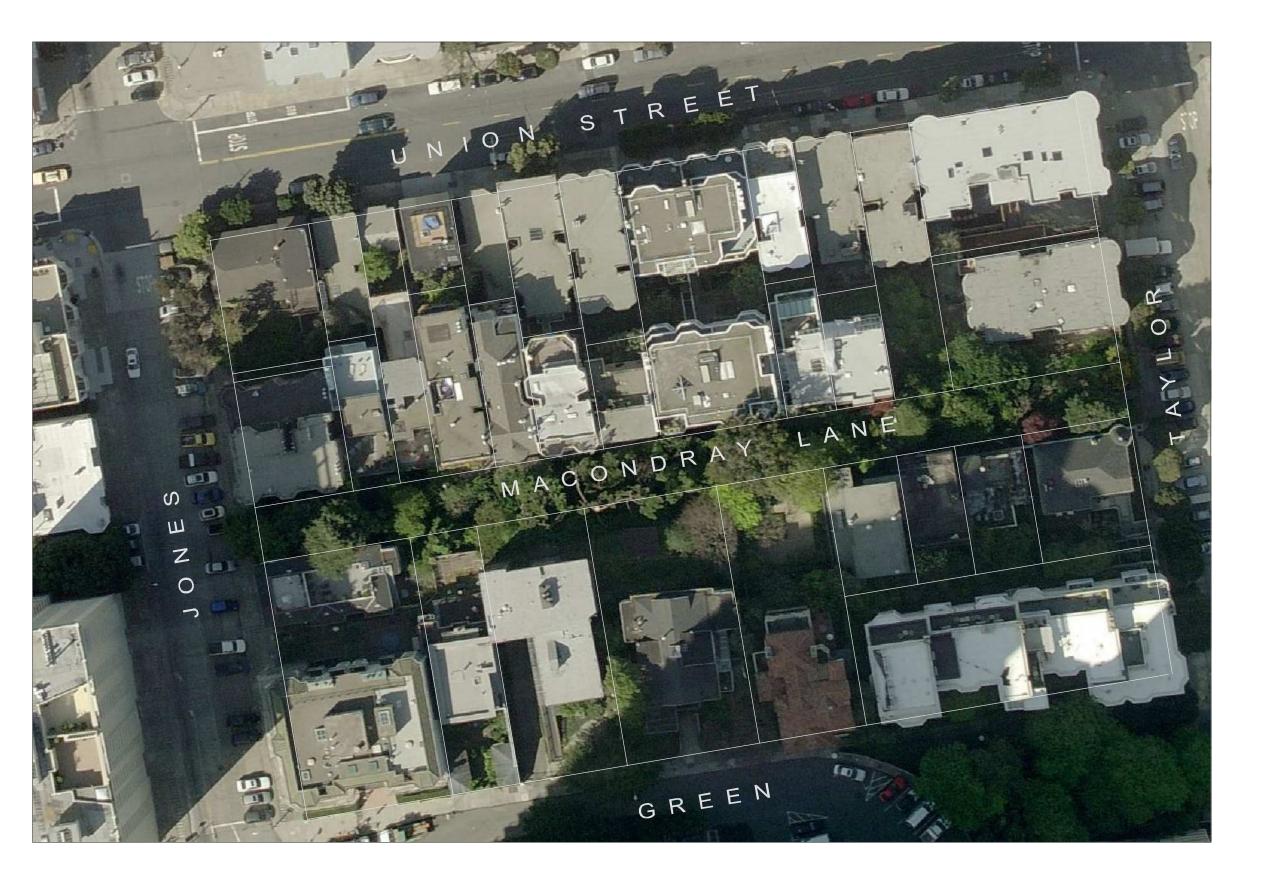
Revision: 03.23.10 - reduce deck and stair sizes

A 0.1

14; 14A MACONDRAY LANE



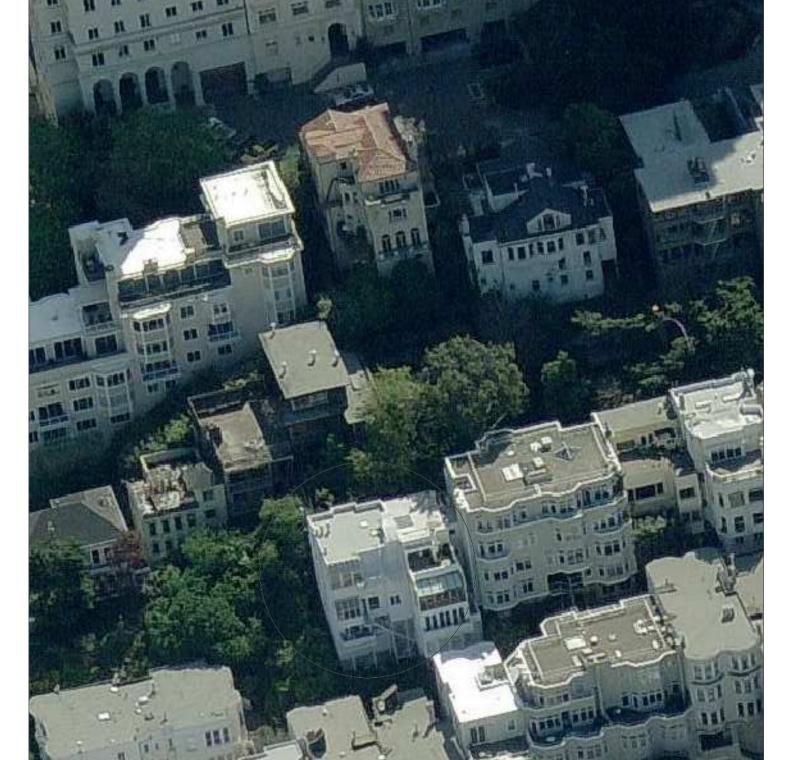
14; 14A MACONDRAY LANE



F09 ARIAL VIEW BLOCK 0120







14; 14A MACONDRAY LANE

			4a
Maco San	ndra	ay L	_ane
San	Fr	a n c	isco
			CA

APN: Lot 025A; Block 0120

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Sheet: project photography

Project No:
Scale: NOTED

Date:

Revision: 0

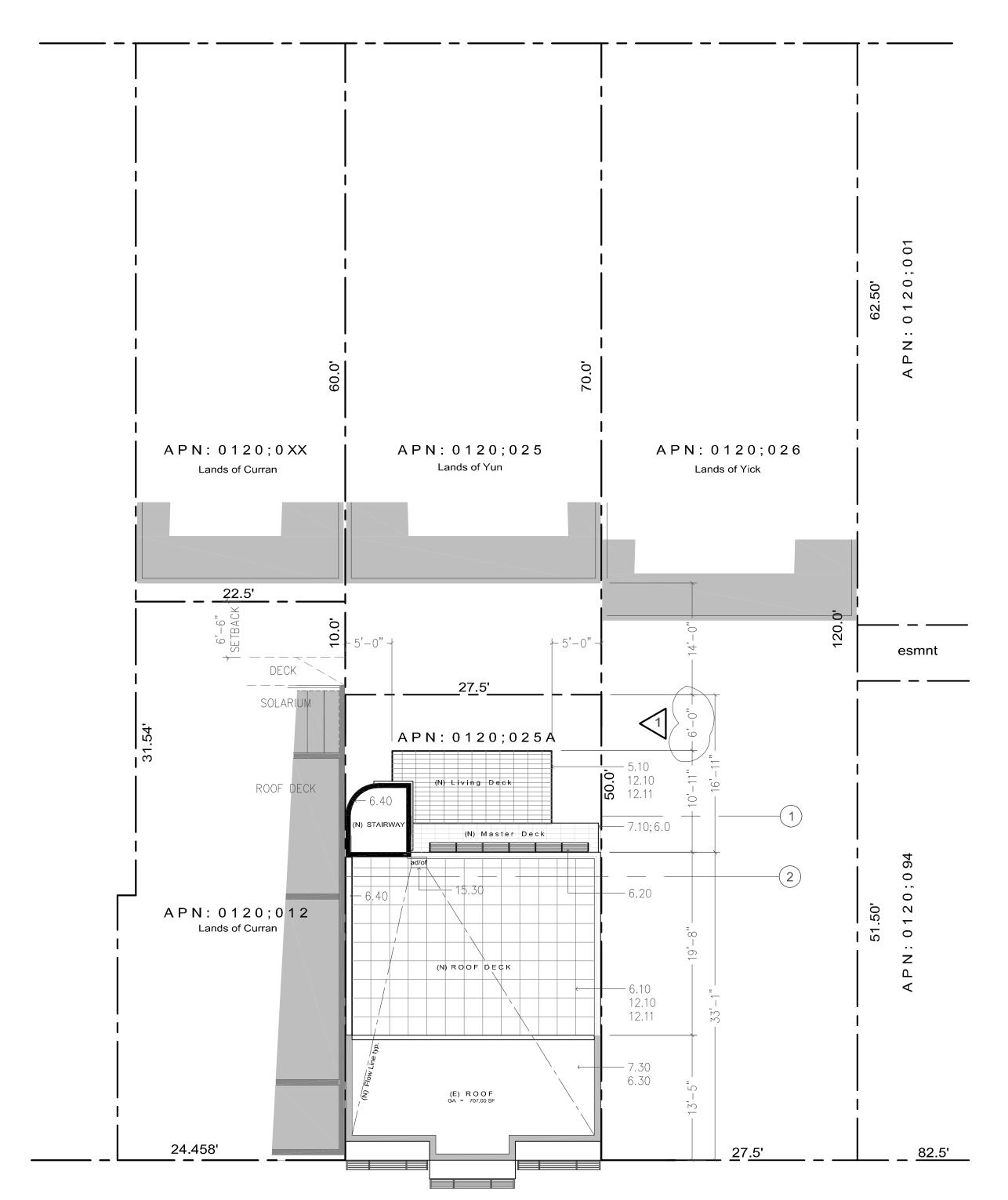
A 0.2

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UNION STREET

10

11



01000 GENERAL

05000 STEEL

5.0 (N) DECK COLUMN; Wide Flange steel column; part of fire rated deck and deck framing 5.10 (N) DECK; Steel Floor Decking with Concrete slab topping and tile finish, conforming with current UL Standards for 1 hour rated assembly

06000 WOOD AND PLASTIC 6.0 (N) CEDAR GUARD; maximum open space

3.75", minimum hight from finish floor or deck 42" 6.10 (N) WOOD DECK; 24" square modular hardwood deck system errected atop level stools provided by manufactiurer. Coordiante stools with roof waterproofing system 6.20 (N) SOLAR SHADE; Match (E) Solar shades located on South Face of residence 6.30 (N) ROOF; Provide re-sloped roof with minimu slope of 2% to single outlet as located on

6.40 (N) WALL; Wood framed, 5/8" Type X level five Drywall. Conform with local jurisdiction requirements for all new property line walls 6.41 (N) WALL; Wood framed, 5/8" level 5

Drywall. use green wall in all wet rooms. 07000 THERMAL MOISTURE 7.0 All new work to meet or exceed current minimum energy standards as adopted by CBC;

7.10 (N) WOOD DECK; P.T. Wood framed deck with WP Memebrane and associated architectural flashings with thick set tile finish sloped to drain

7.30 (N) ROOF; Provide 20 year Class A Balasted Built-up Bituthene Roof. Coorinate roofing with deck stool manufacture at proposed deck area.

08000 DOOR AND WINDOW 8.20 (N) GLASS WINDOW; Use 10" clear channel glass installed as detailed in the drawings.

09000 FINISH

12000 FURNISHINGS

12.10 (N) GLASS GUARD; clear tempered glass deck guard, 42" A.F.F. use stainless steel attachement system for frameless rail system 12.11 (N) GLASS GUARD; Fire Rated, clear tempered glass deck guard, 42" A.F.F. use stainless steel attachment system for frameless rail system

15000 MECHANICAL

15.30 (N) ROOF DRAIN; Provide 4" silent cast iron daylight roof leader from scupper to storm drain connection at rear of home

16000 ELECTRICAL

14/14a Macondray Lane San Francisco

APN: Lot 025A; Block 0120

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CA

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01000 WALL LEGENDS

EXISTING PLAN (E) WALL REMAINS

(E) WALL DEMOLISHED **NEW PLAN** (N) WALL (E) WALL REMAINS

01000.01 DRAWING LEGEND

EXISTING PLAN

DEMOLITION SCOPE

DOCUMENT AUTHOR: Robert J. King

SITE PLANS Sheet:

Project No: NOTED

12.30.09

03.23.10 - reduce deck and stair sizes

A 1.0

MACONDRAY LANE Right of Way = 35.0'

L 02 EXISTING SITE PLAN Scale 1/16":12" NORTH

APN 025A; 0120

UNION

GREEN

APN: 0120;025A

(E) ROOF AREA = 797,00,85

(E) DECK

E 02 LOT AND BLOCK MAP

MACONDRAY LANE

51 f &f

14, 14a MACONDRAY LANE

45/50

∠4

12

L 07 NEW SITE PLAN

11



01000 GENERAL 03000 CONCRETE

11

11

12

3.10 (N) LANDING; Void formed concrete landing and stairs to grade. Maximum riser 7.75", minimum tread depth 11" 3.20 (N) FOUNDAION SYSTEM; Engineered foundation 3.21 (N) PIER; Deck Footing, RE: Engineering

15

for design requirements

05000 STEEL

5.0 (N) DECK COLUMN; Wide Flange steel column; part of fire rated deck and deck framing 5.10 (N) DECK; Steel Floor Decking with Concrete slab topping and tile finish, conforming with current UL Standards for 1 hour rated assembly

06000 WOOD AND PLASTIC

6.10 (N) WOOD DECK; 24" square modular hardwood deck system errected atop level stools provided by manufactiurer. Coordiante stools with roof waterproofing system 6.20 (N) SOLAR SHADE; Match (E) Solar shades located on South Face of residence 6.21 (N) TRIM; Cedar KD clear 6.30 (N) ROOF; Provide re-sloped roof with minimu slope of 2% to single outlet as located on 6.40 (N) WALL; Wood framed, 5/8" Type X level five Drywall. Conform with local jurisdiction requirements for all new property line walls

07000 THERMAL MOISTURE

7.0 All new work to meet or exceed current minimum energy standards as adopted by CBC; T24

7.30 (N) ROOF; Provide 20 year Class A Balasted Built-up Bituthene Roof. Coorinate roofing with deck stool manufacture at proposed deck area.

08000 DOOR AND WINDOW

8.0 All new exterior doors or doors between conditioned and no-conditioned spaces to meet or exceed minimum requires as defined by current CBC 8.20 (N) GLASS WINDOW; Use 10" clear channel glass installed as detailed in the drawings

12000 FURNISHINGS

12.10 (N) GLASS GUARD; clear tempered glass deck guard, 42" A.F.F. use stainless steel attachement system for frameless rail system 12.11 (N) GLASS GUARD; Fire Rated, clear tempered glass deck guard, 42" A.F.F. use stainless steel attachment system for frameless rail system

12.30 (N) STAIRS; Wood tread steel frames spiral stairs minimum diameter 6.0', as in double helix stairs manufactured by York 12.50 (N) RAIN SCREEN SIDING; Precision Concrete 11" horizontal siding as specified by Swiss Pearl to match front elevation. 12.51 (N) RAIN SCREEN SIDING; Precision Concrete panel siding as specified by Swiss Pearl to match front elevation 12.51a (N) Fire rated soffit

15000 MECHANICAL 15.30 (N) ROOF DRAIN; Provide 4" silent cast iron daylight roof leader from scupper to storm drain connection at rear of home

14/14a Macondray Lane
San Francisco CA

APN: Lot 025A; Block 0120

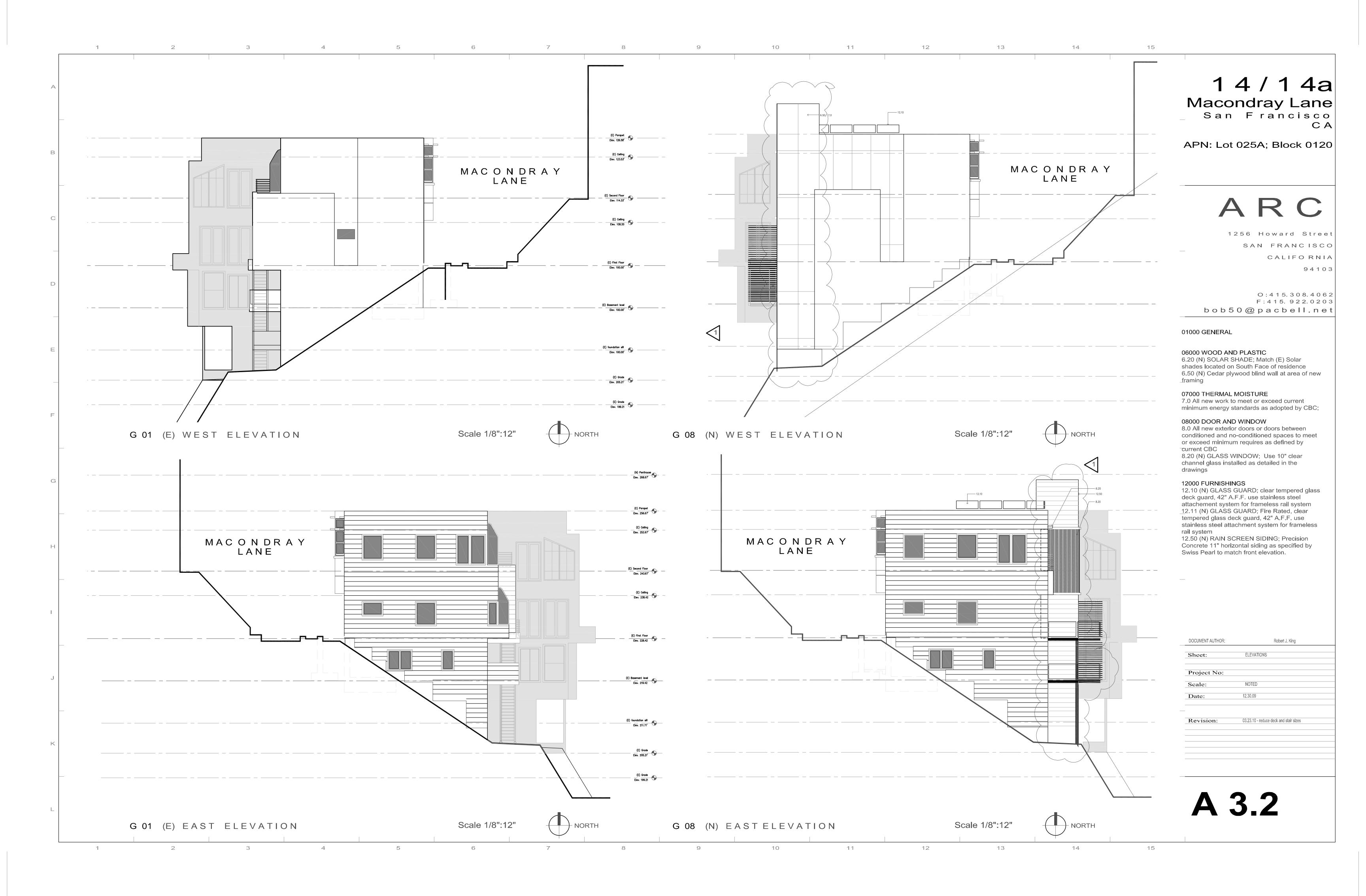
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DOCUMENT AUTHOR: Robert J. King ELEVATIONS Sheet: Project No: NOTED 12.30.09 Revision:

A 3.1



(2) Parapas:
Ber. 256.97

(3) Calling
Eve. 252.07

(4) Calling
Eve. 253.07

(5) Second Floar
Dev. 243.67

(6) Calling
Eve. 253.07

(7) Parapas:
Ber. 253.07

(8) Calling
Eve. 253.07

(9) Calling
Eve. 253.07

(1) Dev. 243.07

(2) Calling
Eve. 253.07

(3) Parapas:
Eve. 253.07

(4) Parapas:
Eve. 253.07

(5) Second Floar
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Eve. 253.07

G 01 (E) SOUTH ELEVATION
No changes proposed to front (reference only)

Scale 1/8":12" NORTH

14/14a Macondray Lane San Francisco CA

11

APN: Lot 025A; Block 0120

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DOCUMENT AUTHOR:

Sheet:

ELEVATIONS

Project No:

Scale:

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Date:

12.30.09

Revision: 0

A 3.3

