



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

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The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



1 4 / 1 4a
Macondray Lane
San Francisco
CA

APN: Lot 025A; Block 0120

A R C

1256 Howard Street
SAN FRANCISCO
CALIFORNIA
94103

O: 415.308.4062
F: 415.922.0203
bob50@pacbell.net

F09 ARIAL VIEW BLOCK 0120 - nts



14; 14A MACONDRA Y LANE



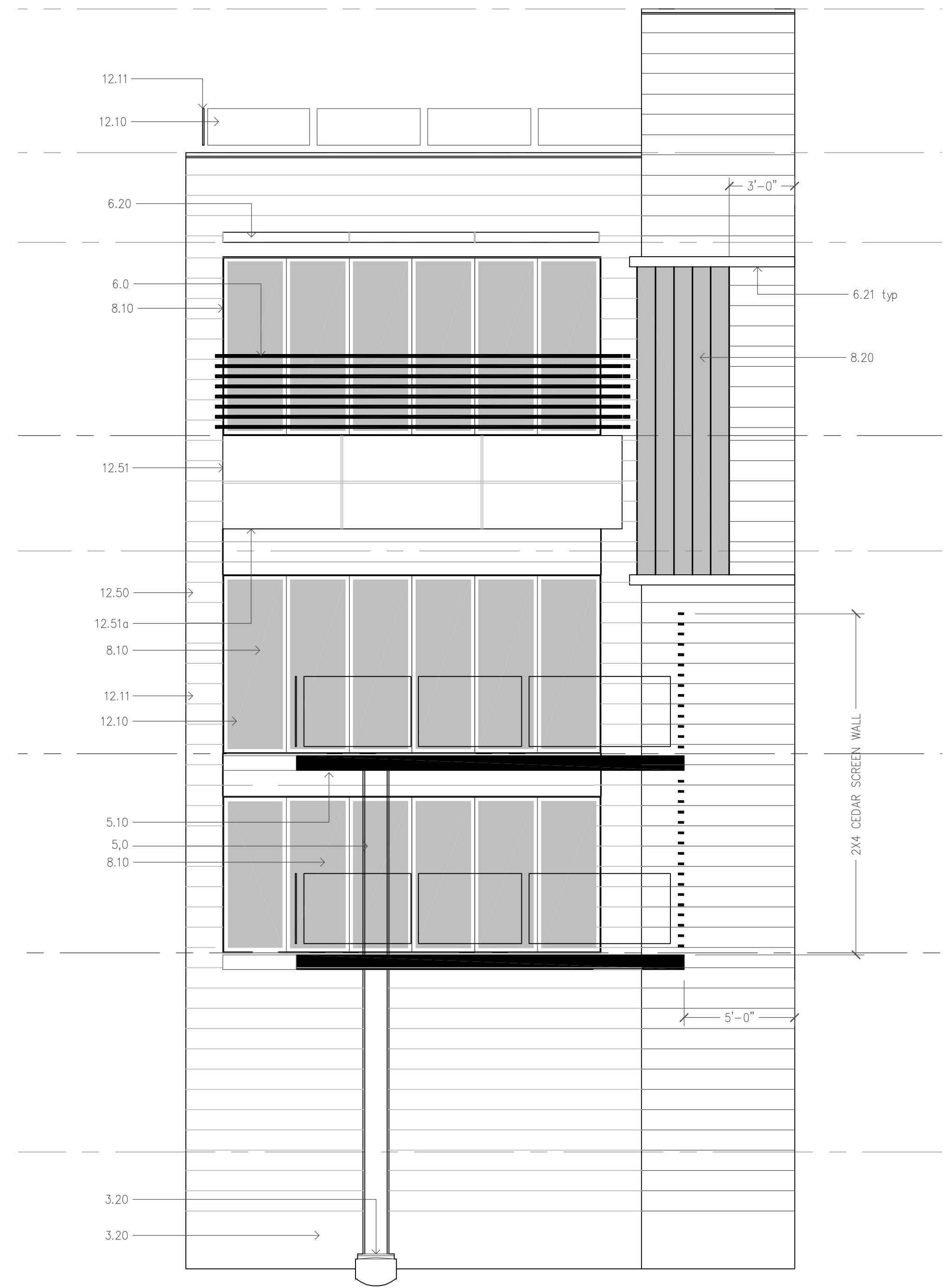
14; 14A MACONDRA Y LANE

Sheet:	project photography
Project No:	
Scale:	NOTED
Date:	
Revision:	0

A 0.2



A 1.0



01000 GENERAL
03000 CONCRETE
3.10 (N) LANDING; Void formed concrete landing and stairs to grade. Maximum riser 7.75", minimum tread depth 11"
3.20 (N) FOUNDATION SYSTEM; Engineered foundation
3.21 (N) PIER; Deck Footing, RE: Engineering for design requirements

05000 STEEL
5.0 (N) DECK COLUMN; Wide Flange steel column; part of fire rated deck and deck framing
5.10 (N) DECK; Steel Floor Decking with Concrete slab topping and tile finish, conforming with current UL Standards for 1 hour rated assembly

06000 WOOD AND PLASTIC
6.10 (N) WOOD DECK; 24" square modular hardwood deck system erected atop level stools provided by manufacturer. Coordinate stools with roof waterproofing system
6.20 (N) SOLAR SHADE; Match (E) Solar shades located on South Face of residence
6.21 (N) TRIM; Cedar KD clear
6.30 (N) ROOF; Provide re-sloped roof with minimum slope of 2% to single outlet as located on roof plan.
6.40 (N) WALL; Wood framed, 5/8" Type X level five Drywall. Conform with local jurisdiction requirements for all new property line walls

07000 THERMAL MOISTURE
7.0 All new work to meet or exceed current minimum energy standards as adopted by CBC; T24
7.30 (N) ROOF; Provide 20 year Class A Balasted Built-up Bituthene Roof. Coordinate roofing with deck stool manufacture at proposed deck area.

08000 DOOR AND WINDOW
8.0 All new exterior doors or doors between conditioned and no-conditioned spaces to meet or exceed minimum requires as defined by current CBC
8.20 (N) GLASS WINDOW; Use 10" clear channel glass installed as detailed in the drawings

12000 FURNISHINGS
12.10 (N) GLASS GUARD; clear tempered glass deck guard, 42" A.F.F. use stainless steel attachment system for frameless rail system
12.11 (N) GLASS GUARD; Fire Rated, clear tempered glass deck guard, 42" A.F.F. use stainless steel attachment system for frameless rail system
12.30 (N) STAIRS; Wood tread steel frames spiral stairs minimum diameter 6.0', as in double helix stairs manufactured by York
12.50 (N) RAIN SCREEN SIDING; Precision Concrete 11" horizontal siding as specified by Swiss Pearl to match front elevation.
12.51 (N) RAIN SCREEN SIDING; Precision Concrete panel siding as specified by Swiss Pearl to match front elevation
12.51a (N) Fire rated soffit
15000 MECHANICAL
15.30 (N) ROOF DRAIN; Provide 4" silent cast iron daylight roof leader from scupper to storm drain connection at rear of home

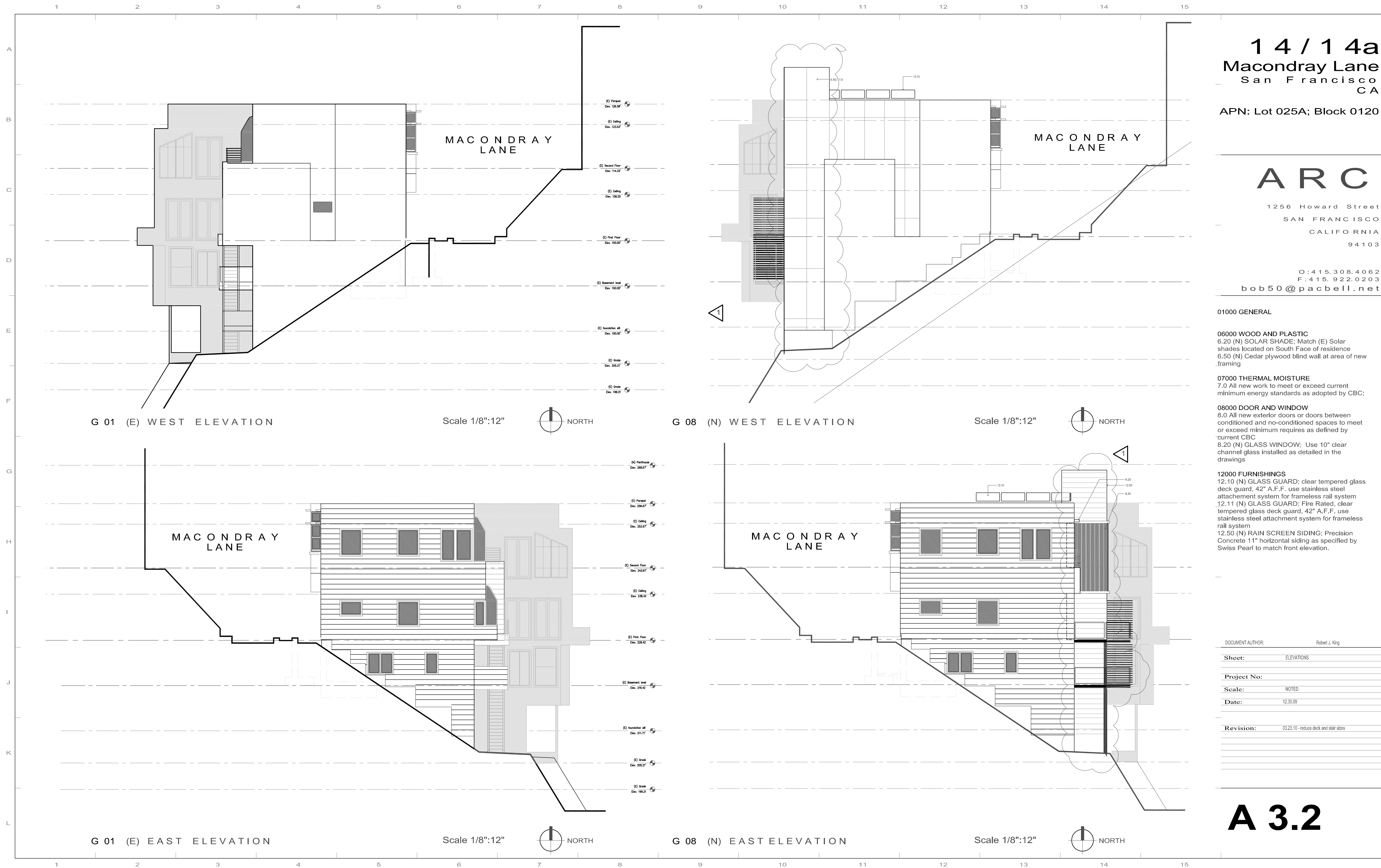
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F: 415.922.0203
bob50@pacbell.net

DOCUMENT AUTHOR:	Robert J. King
Sheet:	ELEVATIONS
Project No:	
Scale:	NOTED
Date:	12.30.09
Revision:	0

A 3.1



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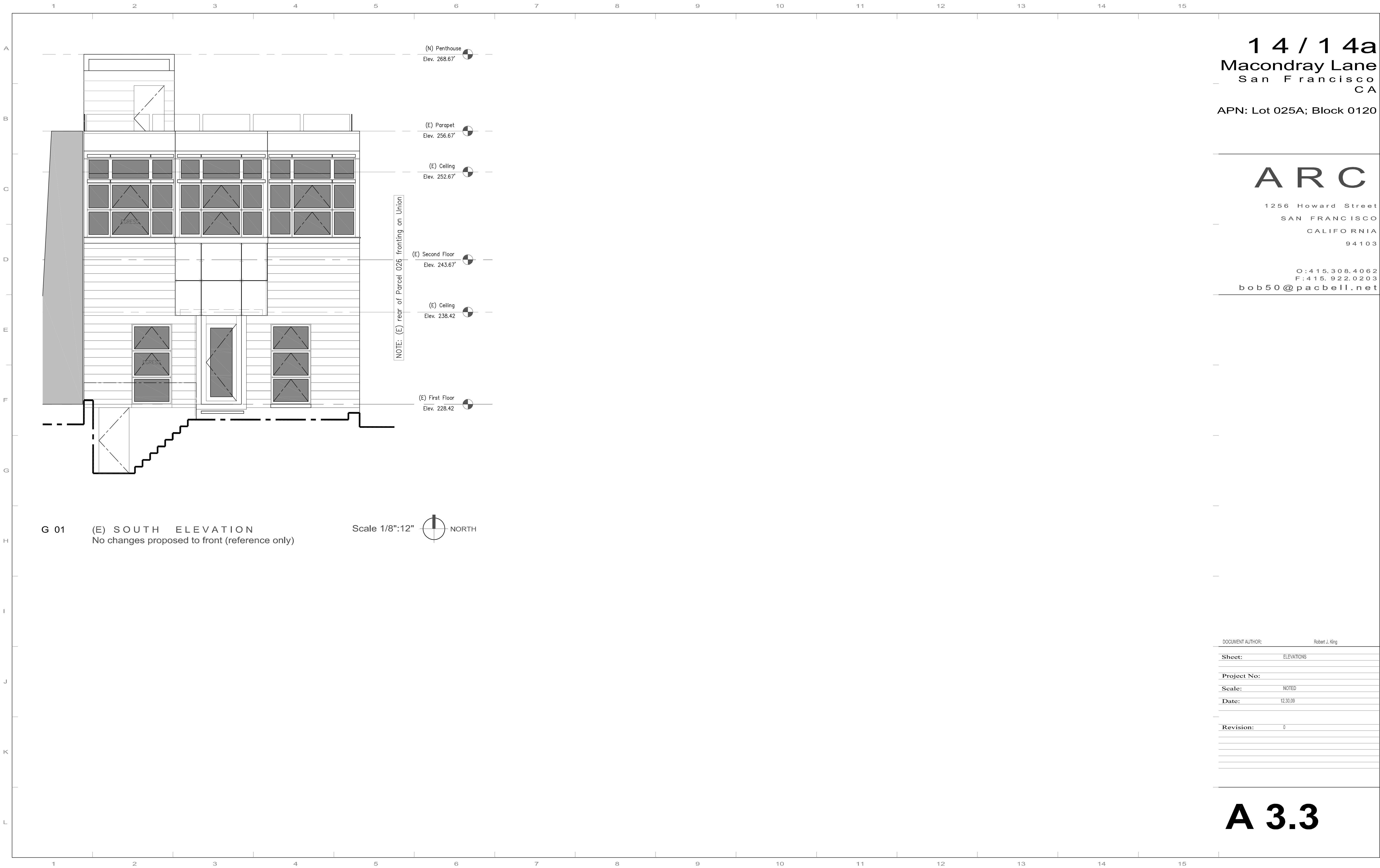
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ARC
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O: 415.308.4062
F: 415.922.0203
bob50@pacbell.net

- 01000 GENERAL
- 06000 WOOD AND PLASTIC
6.20 (N) SOLAR SHADE; Match (E) Solar shades located on South Face of residence
6.50 (N) Cedar plywood blind wall at area of new framing
- 07000 THERMAL MOISTURE
7.0 All new work to meet or exceed current minimum energy standards as adopted by CBC;
- 08000 DOOR AND WINDOW
8.0 All new exterior doors or doors between conditioned and no-conditioned spaces to meet or exceed minimum requires as defined by current CBC
8.20 (N) GLASS WINDOW; Use 10" clear channel glass installed as detailed in the drawings
- 12000 FURNISHINGS
12.10 (N) GLASS GUARD; clear tempered glass deck guard, 42" A.F.F. use stainless steel attachment system for frameless rail system
12.11 (N) GLASS GUARD; Fire Rated, clear tempered glass deck guard, 42" A.F.F. use stainless steel attachment system for frameless rail system
12.50 (N) RAIN SCREEN SIDING; Precision Concrete 11" horizontal siding as specified by Swiss Pearl to match front elevation.

DOCUMENT AUTHOR:	Robert J. King
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Project No:	
Scale:	NOTED
Date:	12.30.09
Revision:	03.23.10 - reduce deck and stair sizes

A 3.2



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A 3.3

