



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 27, 2013**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	3120 23rd Street	Case No.:	2009.0810V
Cross Street(s):	Folsom/Shotwell Street	Building Permit:	200908265600
Block / Lot No.:	3638/018	Applicant/Agent:	Vincent Labiano Abello
Zoning District(s):	RH-3 / 40-X	Telephone:	415-819-3990
Area Plan:	Eastern Neighborhoods	E-Mail:	vpla@hotmail.com

PROJECT DESCRIPTION

The proposal is to extend the fourth story approximately nine feet to the rear to provide a third bedroom and expansion of an existing bedroom on the fourth floor of a four-story, two-unit building.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain the last 10 feet of building depth permitted on the subject lot to a height of 30 feet given that the required rear yard was reduced by averaging. The proposed addition would extend the last nine feet of building depth to a height of 40 feet and would be 17'-3" from the rear property line; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Diego Sanchez** Telephone: **415-575-9082** Mail: diego.sanchez@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2009.0810V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

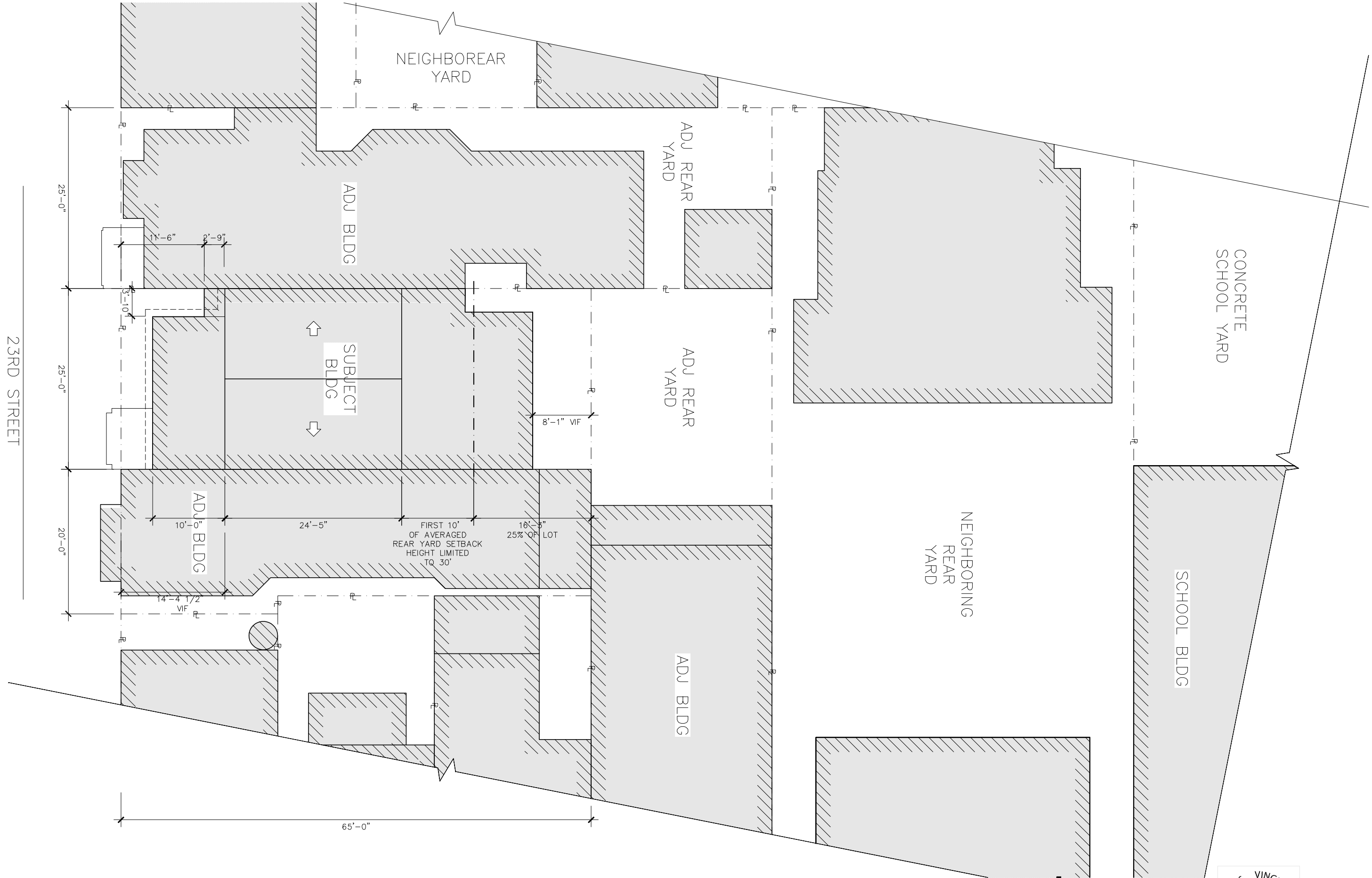
ABOUT THIS NOTICE

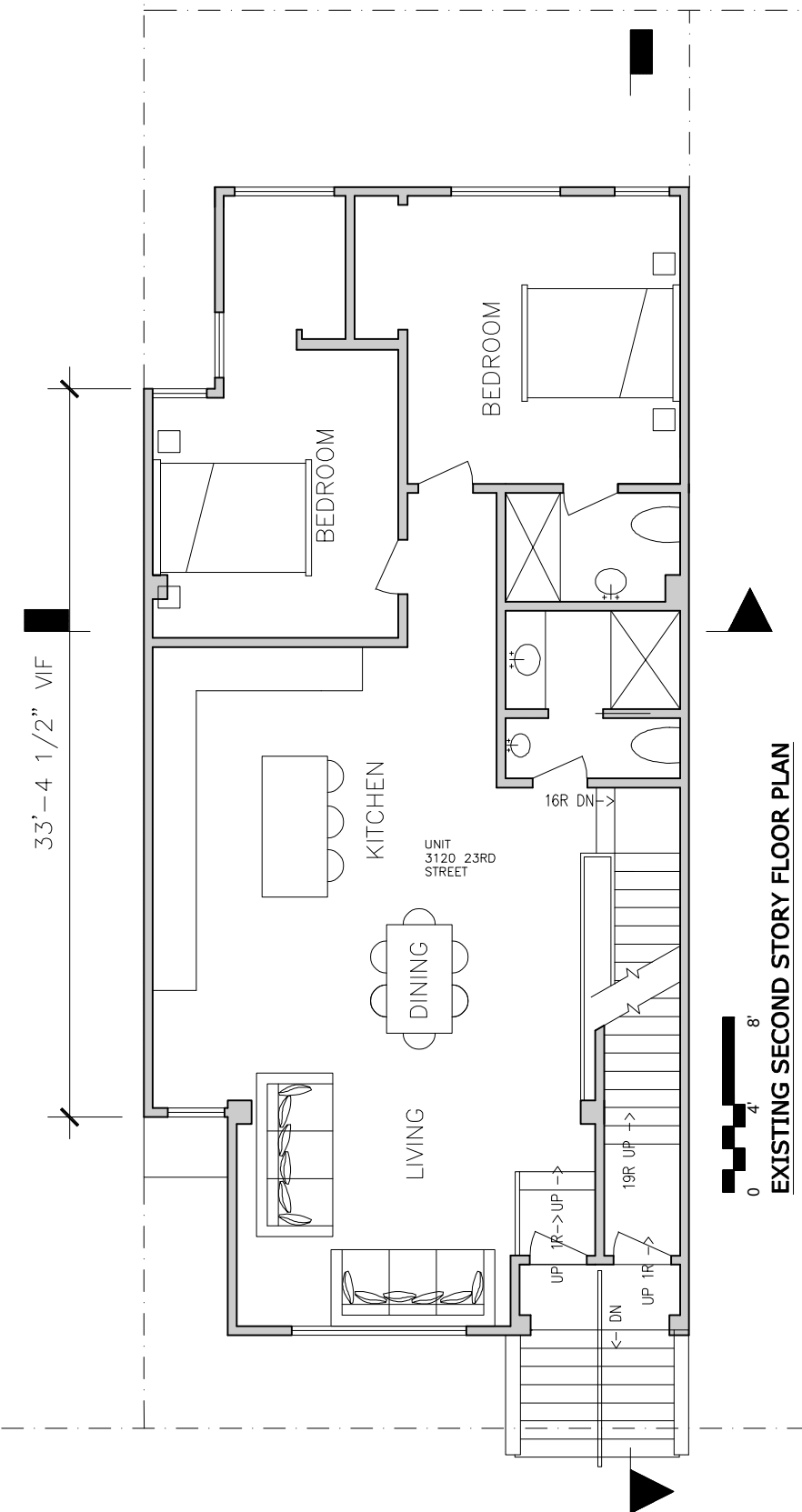
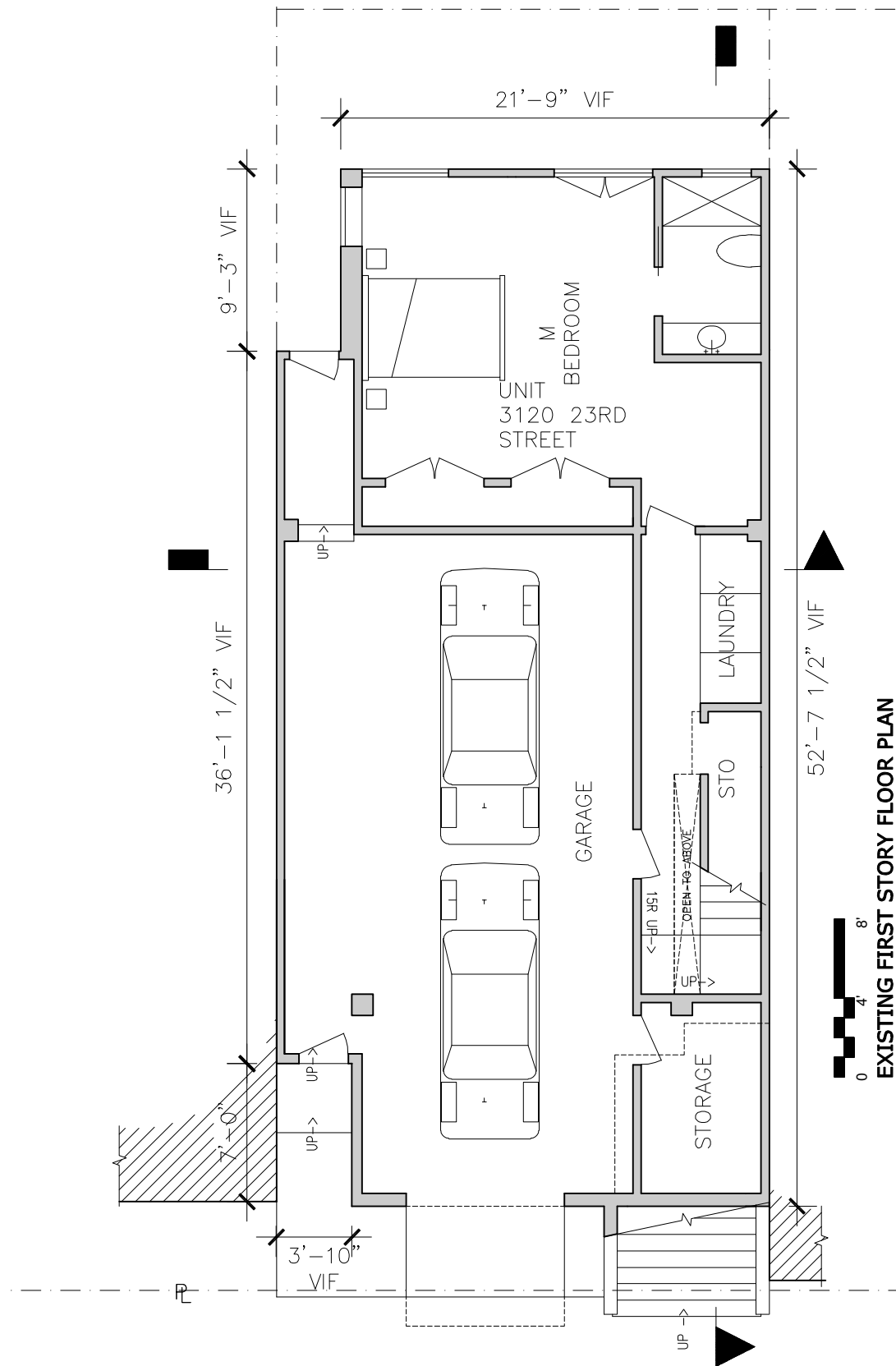
The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

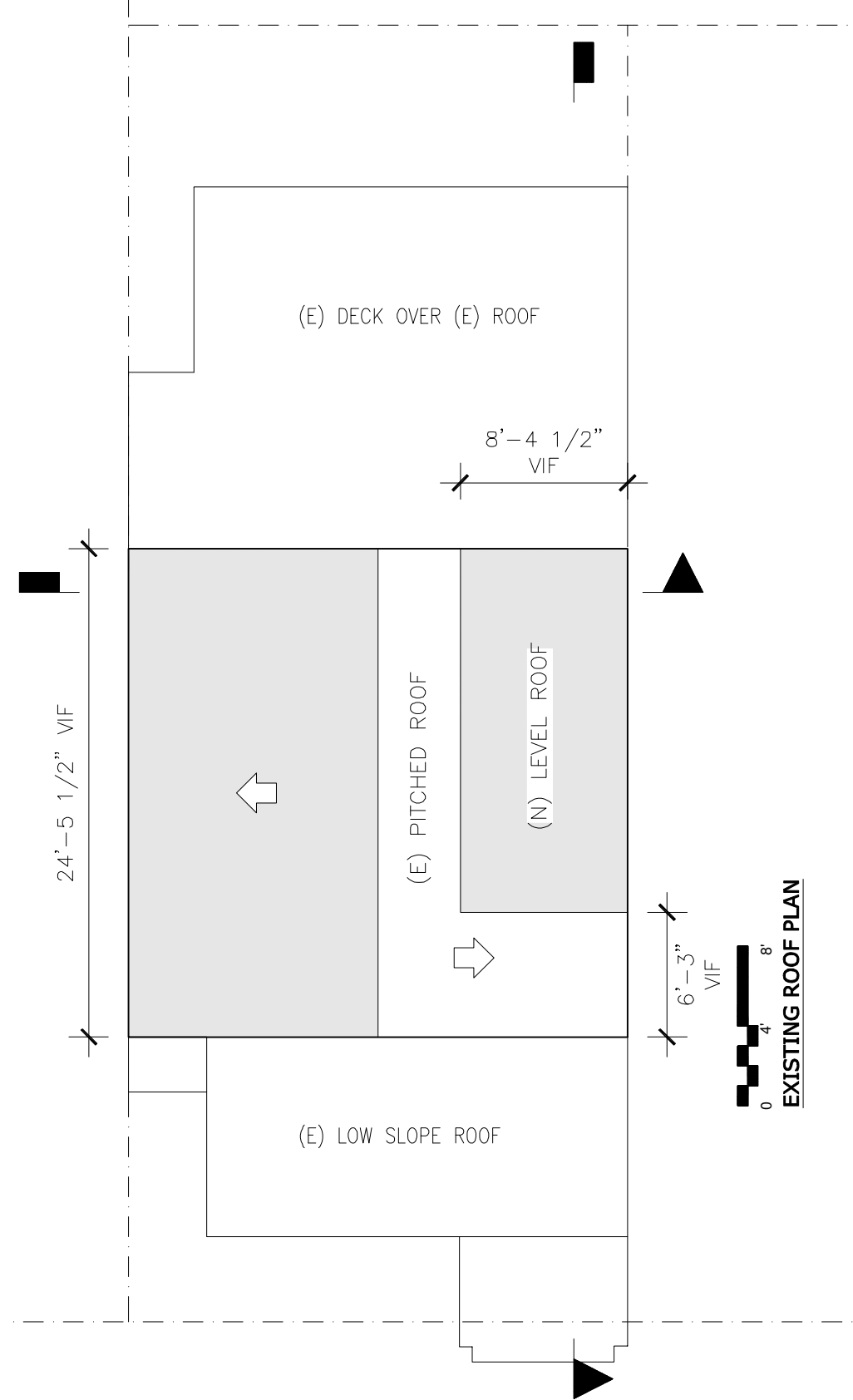
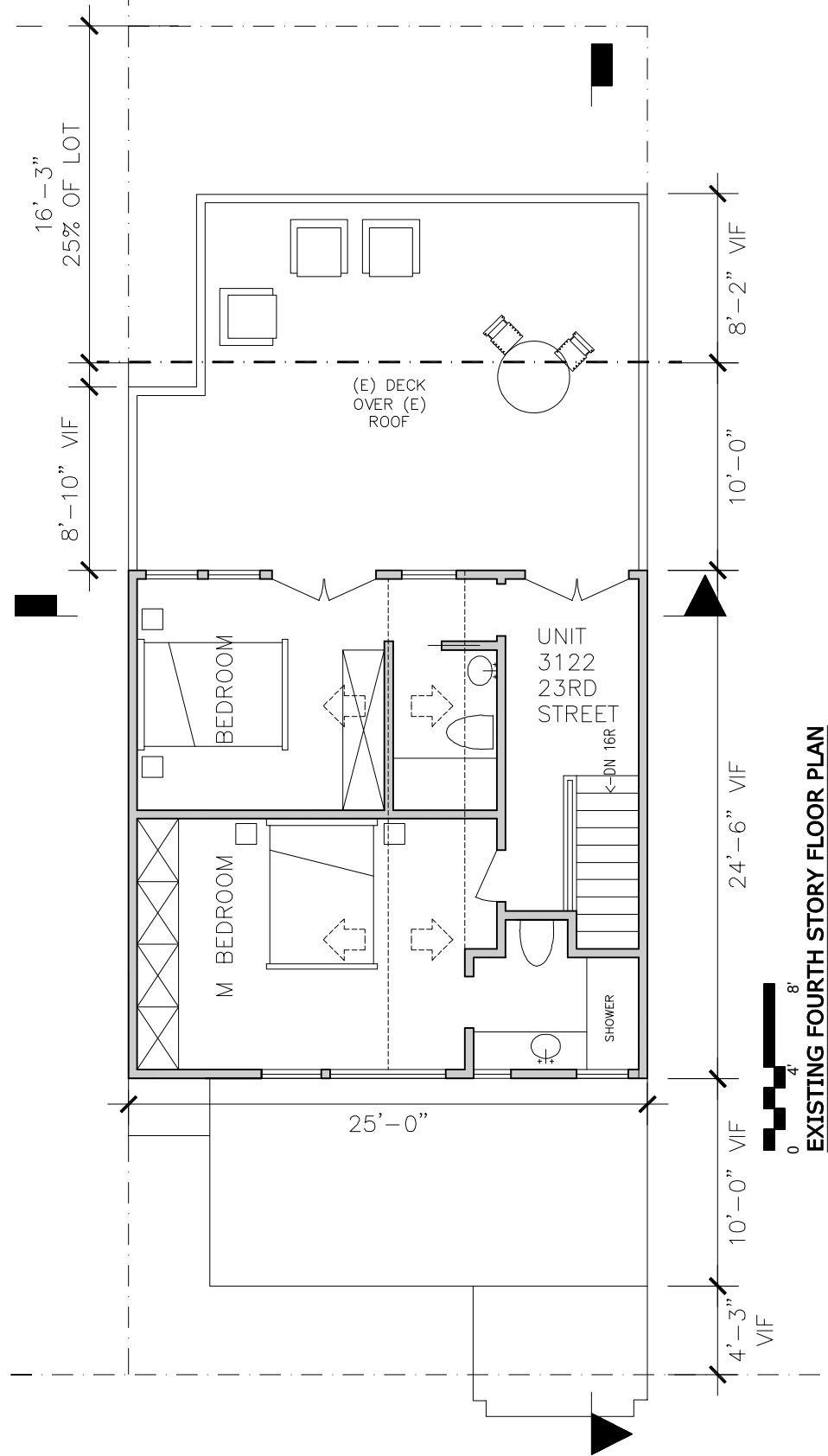
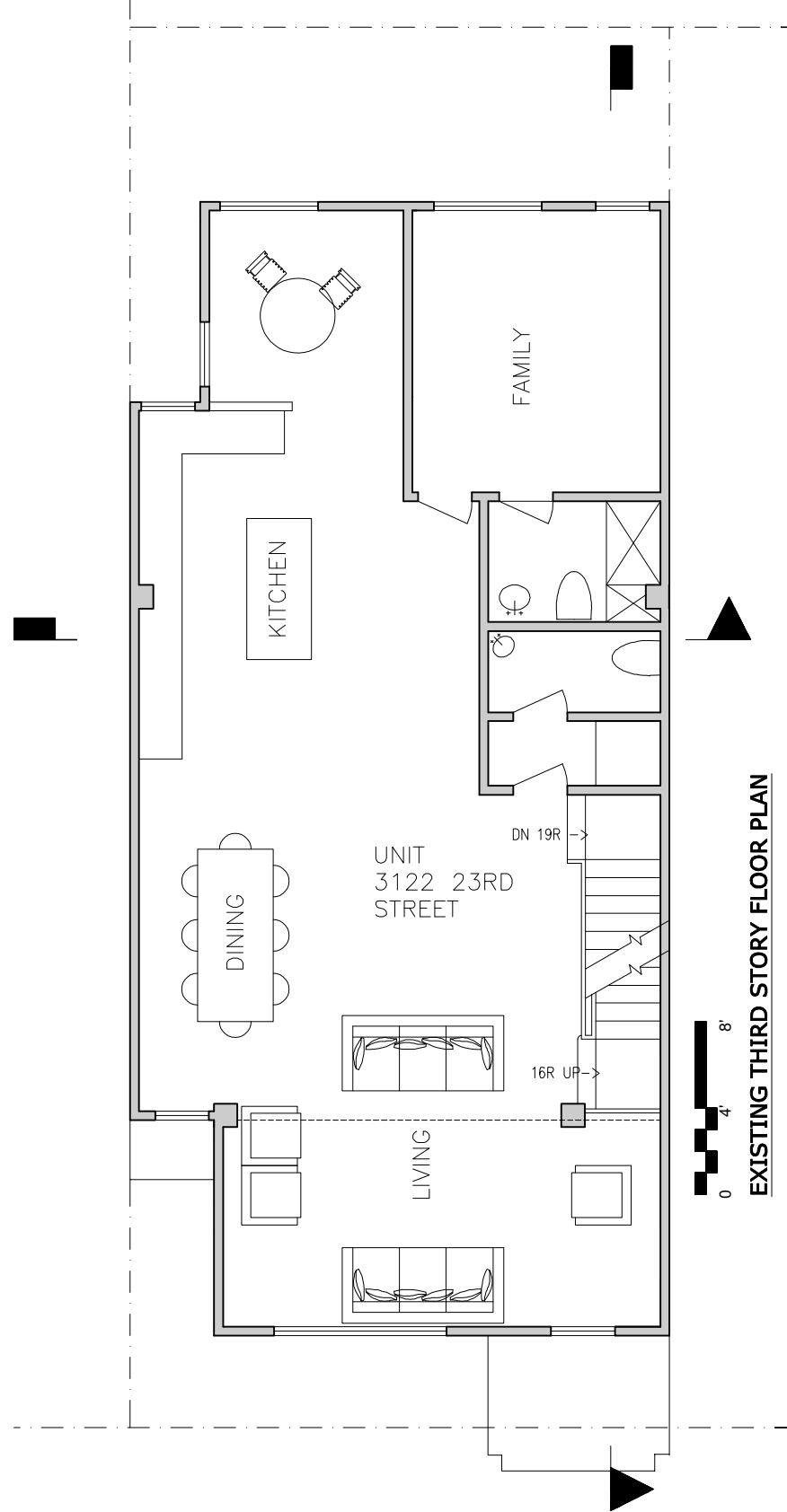
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

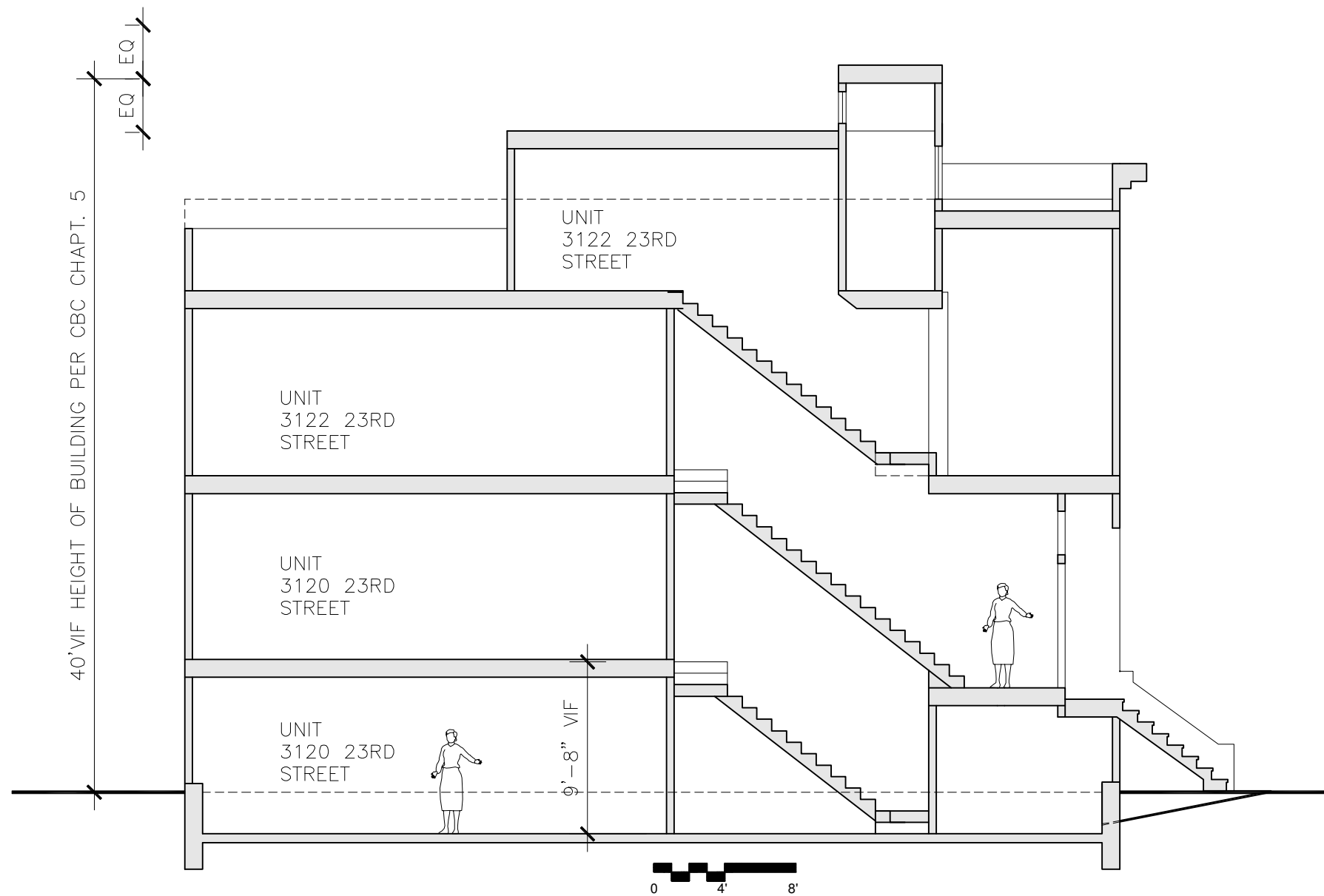
<div><div><div><div><div><div></div><div>SITE ADDRESS</div></div><div><div>3120-3122 23RD STREET</div><div>SAN FRANCISCO, CA</div></div><div><div>BLOCK: 3638</div><div>LOT: 018</div></div></div><div><div><div>CLASSIFICATION</div><div>OCCUPANCY: R-2</div><div>ZONNING: RH-3</div></div></div><div><div><div>DESCRIPTION OF SCOPE OF WORK:</div><div>ADDITION AT TOP FLOOR</div></div></div></div></div></div>	<div><div><div><div>OWNER:</div><div>DERMOT BARRY</div><div>1770 GOLDEN GATE AVENUE</div><div>SAN FRANCISCO, CA 94110</div><div>(415) 987-8986</div><div>dermotbarry7@gmail.com</div></div><div><div>ARCHITECT:</div><div>V. LABIANO ABELLO, ARCHITECTS</div><div>149¹/₂ PRENTISS STREET</div><div>SAN FRANCISCO, CA 94110</div><div>TEL. 415 819 3990</div><div>E: VPLA@HOTMAIL.COM</div></div><div><div>ENGINEER:</div><div>KEVIN O'CONNOR</div><div>K. O'C. ENGINEERING</div><div>3401 LAWTON STREET</div><div>SAN FRANCISCO, CA 94112</div><div>(415) 665-5223</div><div>KEVINO@KOCENGINEERING.COM</div></div><div><div>CONTRACTOR:</div><div>BARRY CONSTRUCTION</div><div>1770 GOLDEN GATE AVENUE</div><div>SAN FRANCISCO, CA 94110</div><div>(415) 987-8986</div><div>dermotbarry7@gmail.com</div></div><div><div>MUNICIPALITY:</div><div>BUILDING DEPARTMENT</div><div>CITY & COUNTY OF SAN FRANCISCO</div><div>1660 MISSION STREET</div><div>SAN FRANCISCO, CA 94103</div><div>TEL: 415 558 6088</div></div></div></div>	
<div>SITE INFORMATION</div>		
<div><div><div><div><div><div></div><div>BASIC BUILDING CODE DATA:</div></div><div><div>ALL WORK TO CONFORM WITH CURRENT 2010 SAN FRANCISCO BUILDING CODE, INCLUDING THE CURRENT CALIFORNIA BUILDING CODE WITH THE CURRENT SAN FRANCISCO AMMENDMENTS.</div></div></div></div></div></div>		<div><div>CS PROJECT INFORMATION</div><div>1 EXISTING SITE PLANS</div><div>2 EXISTING FLOOR PLANS</div><div>3 EXISTING FLOOR PLANS</div><div>4 EXISTING SECTIONS</div><div>5 EXISTING ELEVATIONS</div><div>6 EXISTING ELEVATIONS</div><div>7 PROPOSED SITE PLAN</div><div>8 PROPOSED FLOOR PLANS</div><div>9 PROPOSED SECTIONS</div><div>10 PROPOSED ELEVATIONS</div><div>11 PROPOSED ELEVATIONS</div></div>
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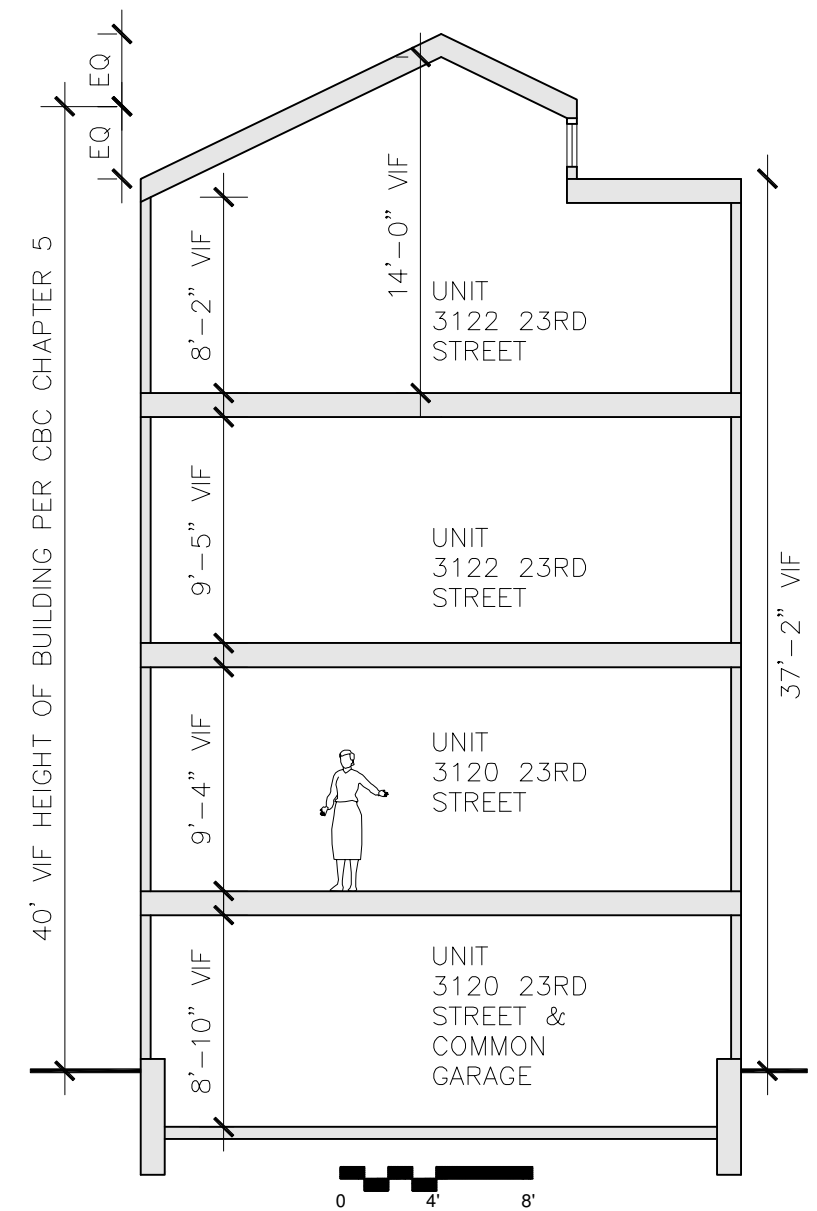




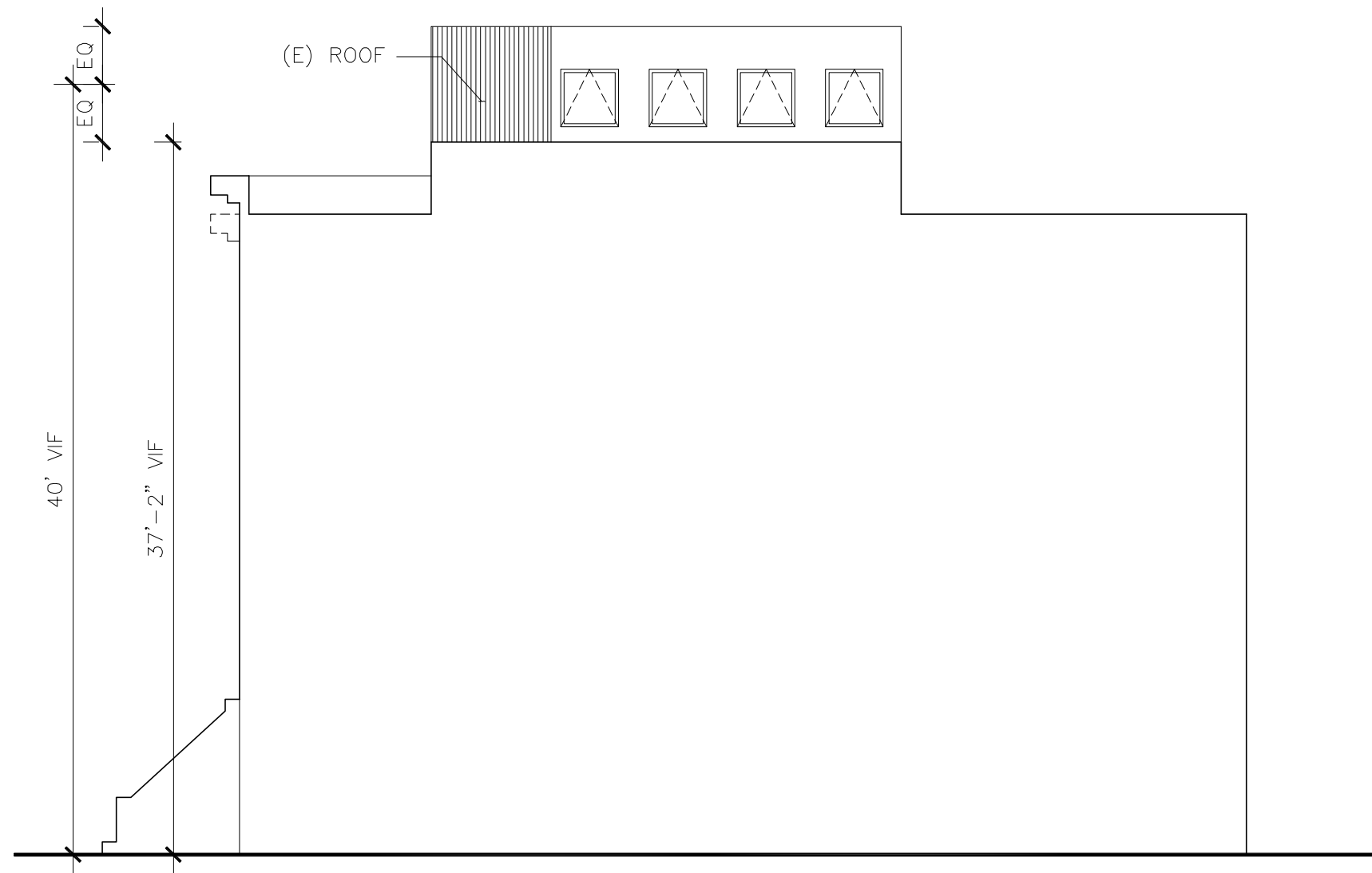




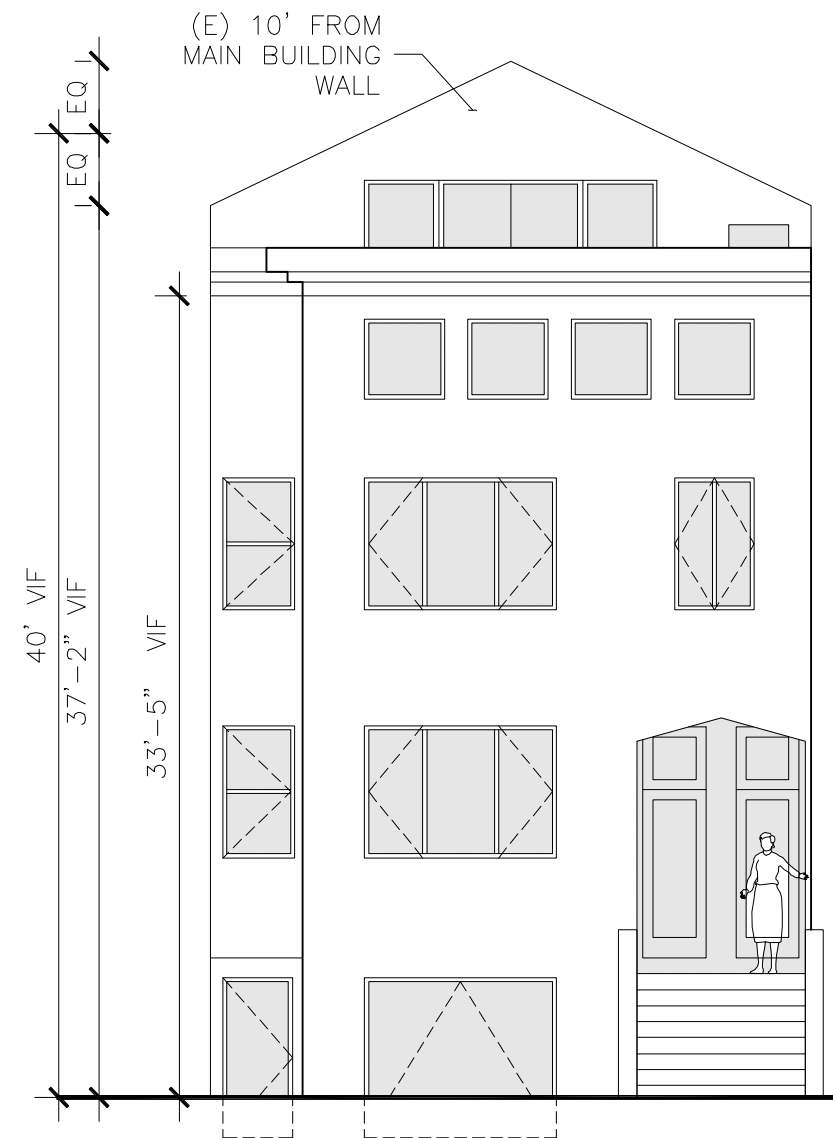
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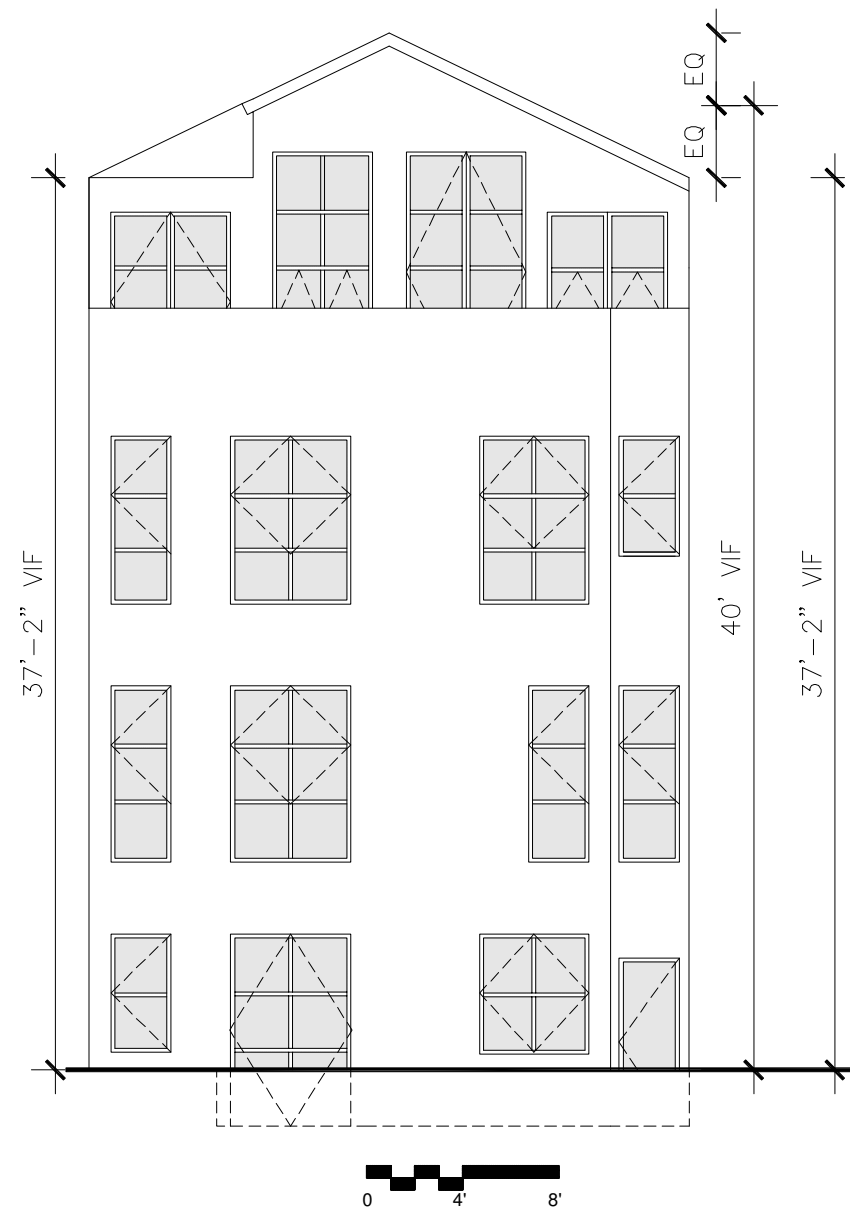
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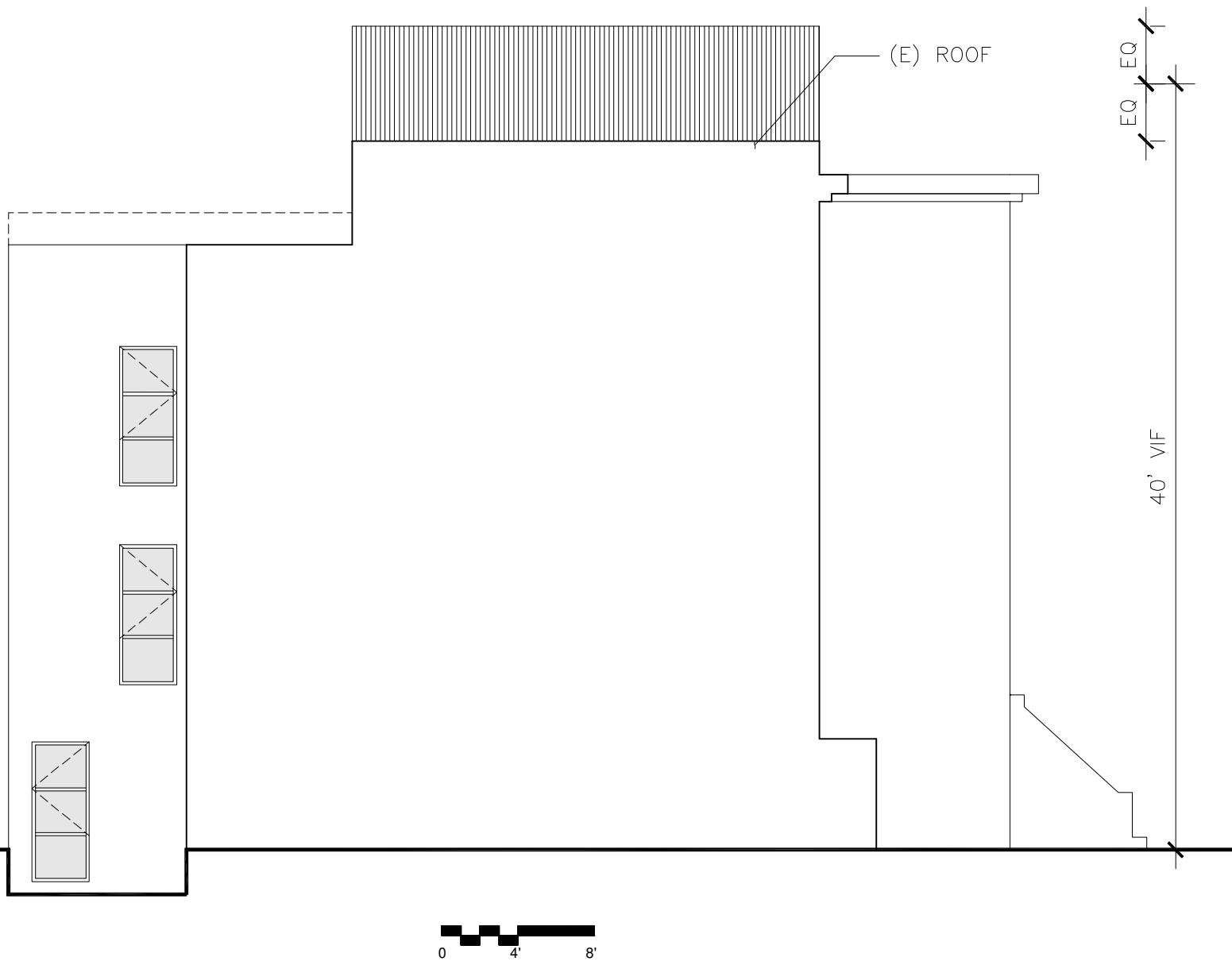
EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION

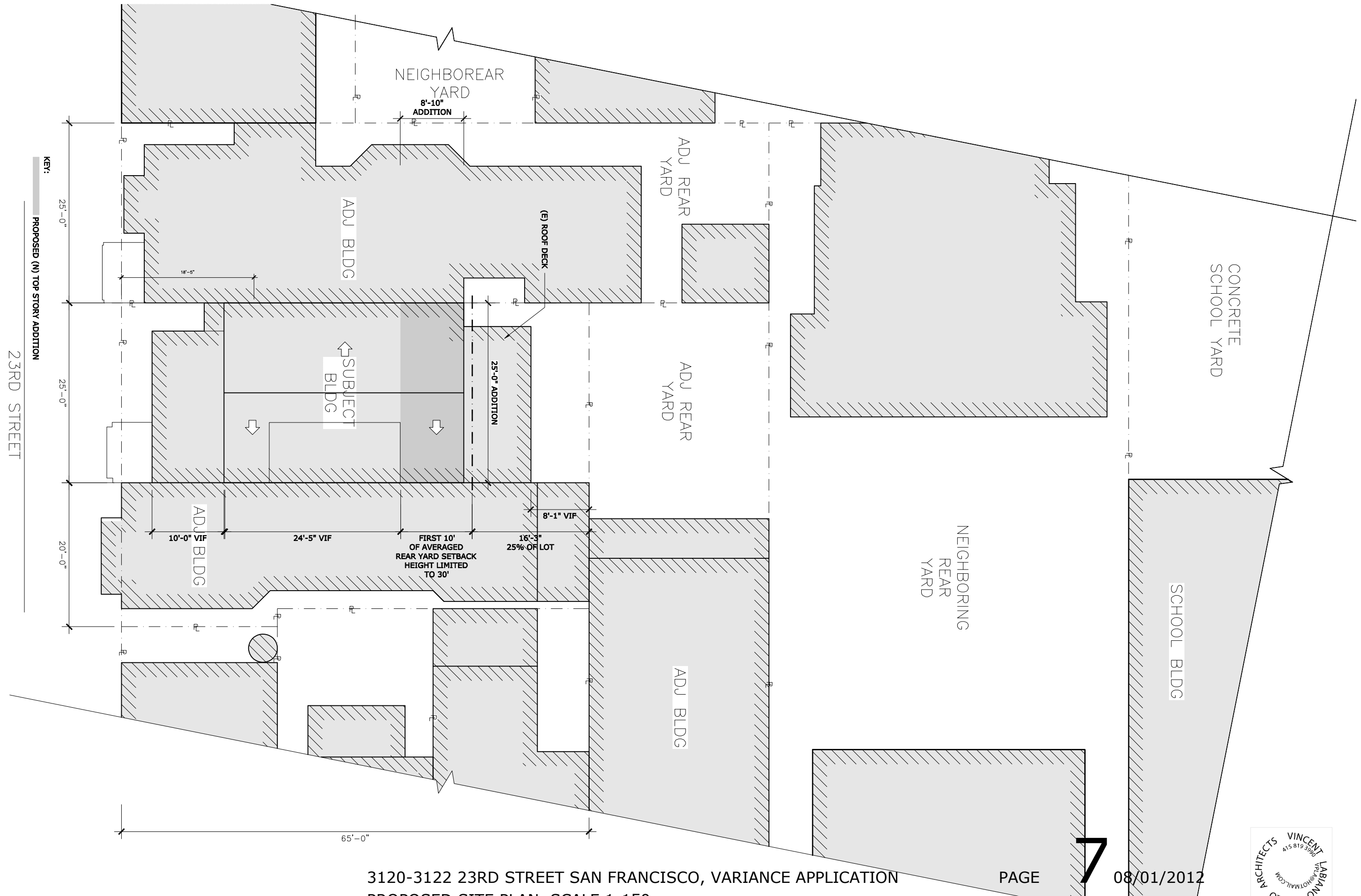


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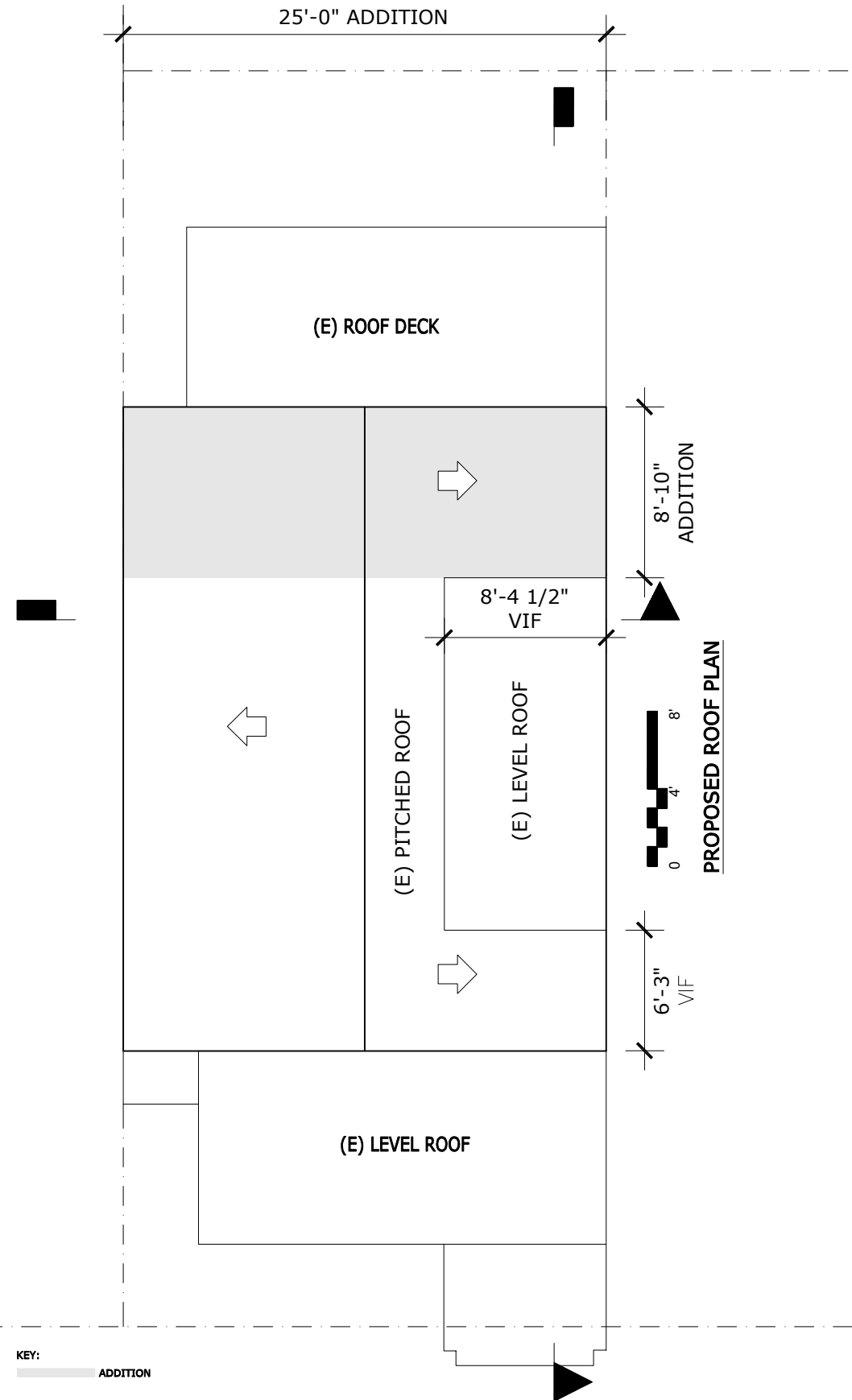
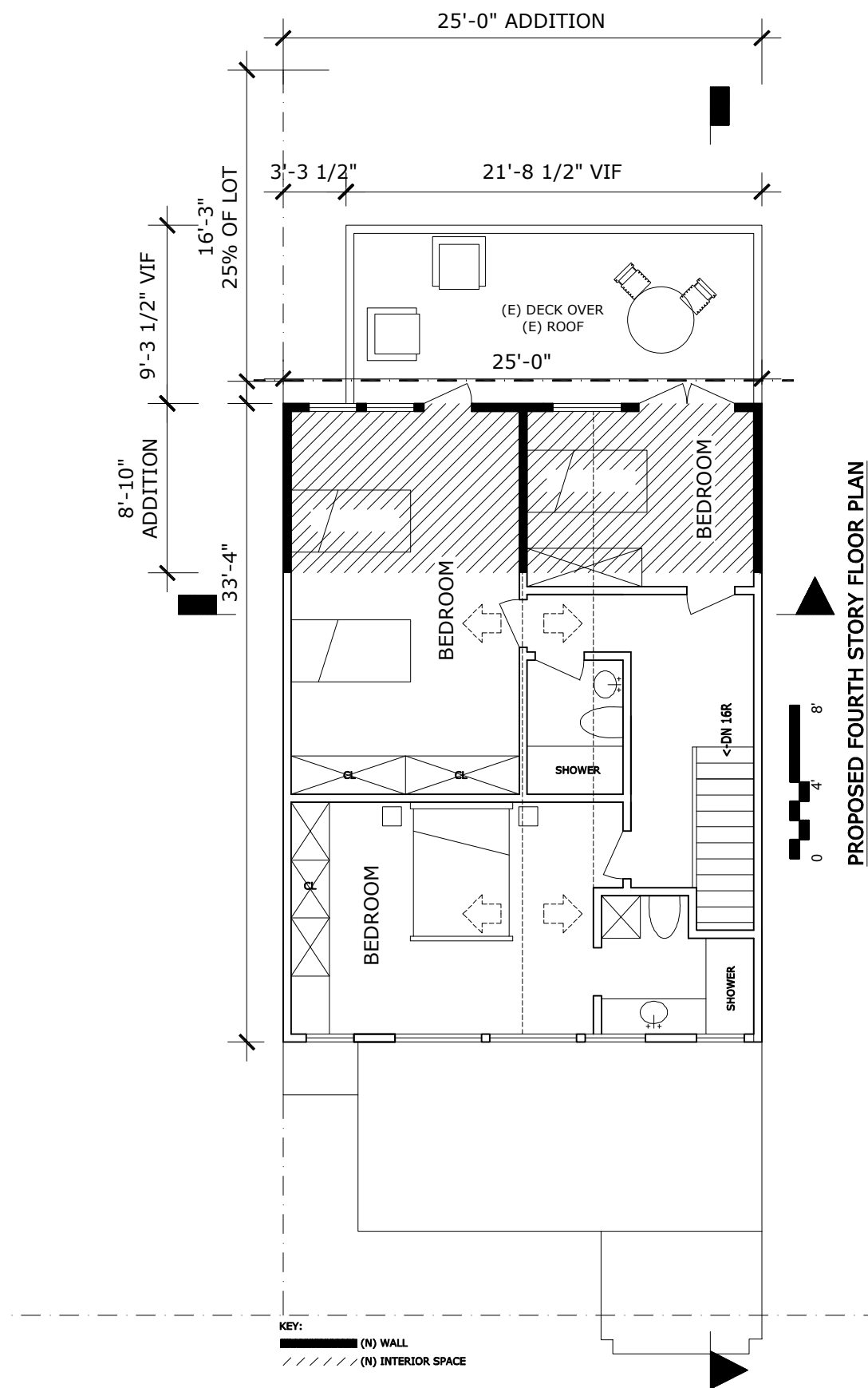
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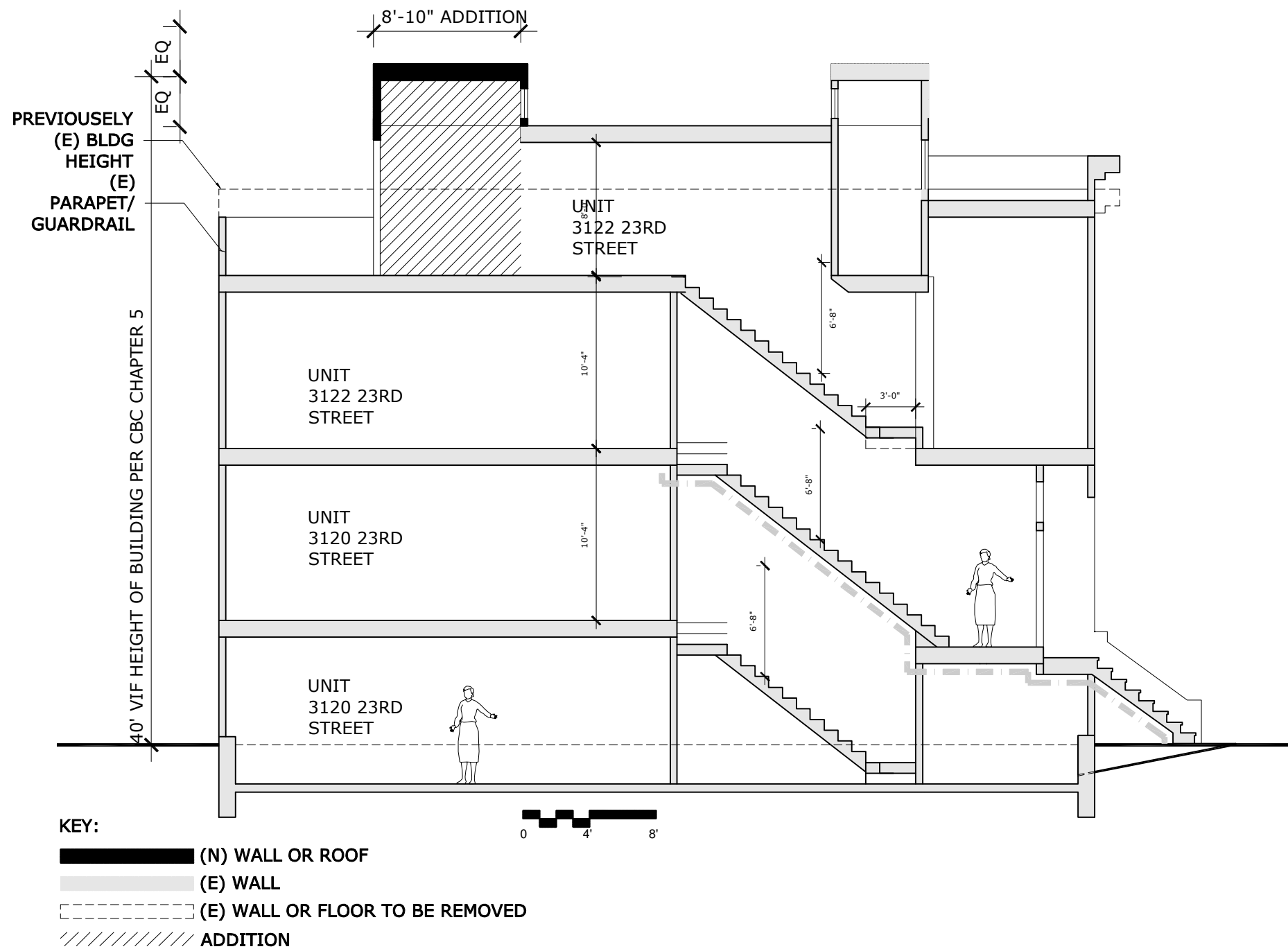




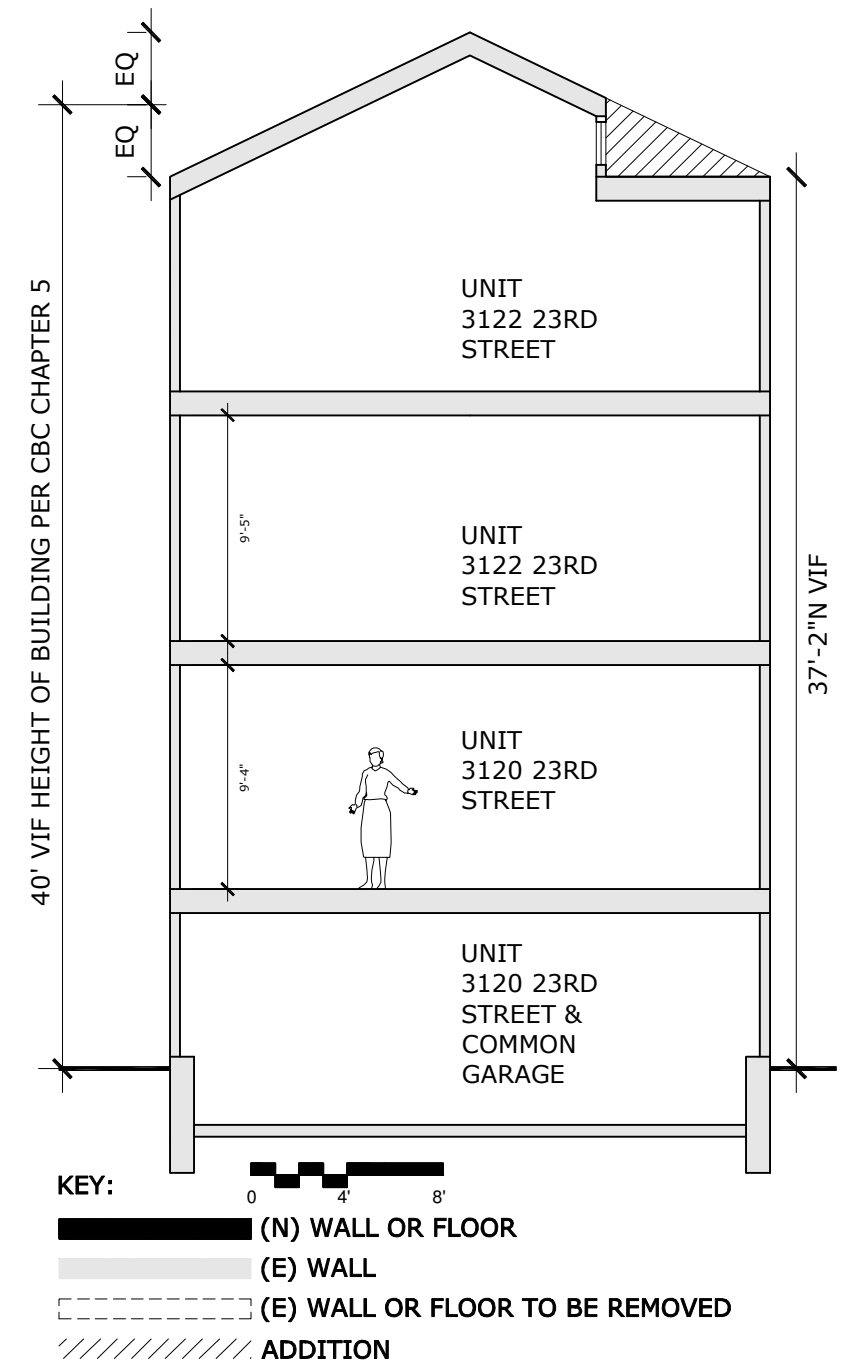
3120-3122 23RD STREET SAN FRANCISCO, VARIANCE APPLICATION
PROPOSED SITE PLAN, SCALE 1:150



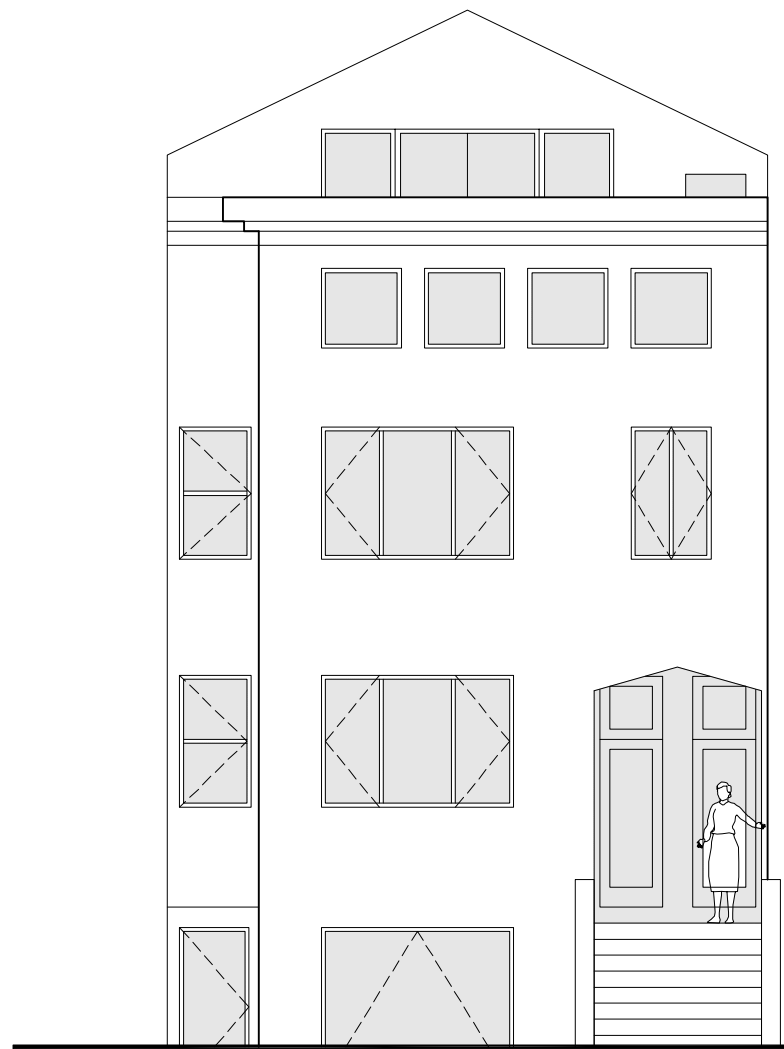




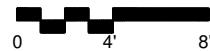
PROPOSED NORTH SOUTH SECTION



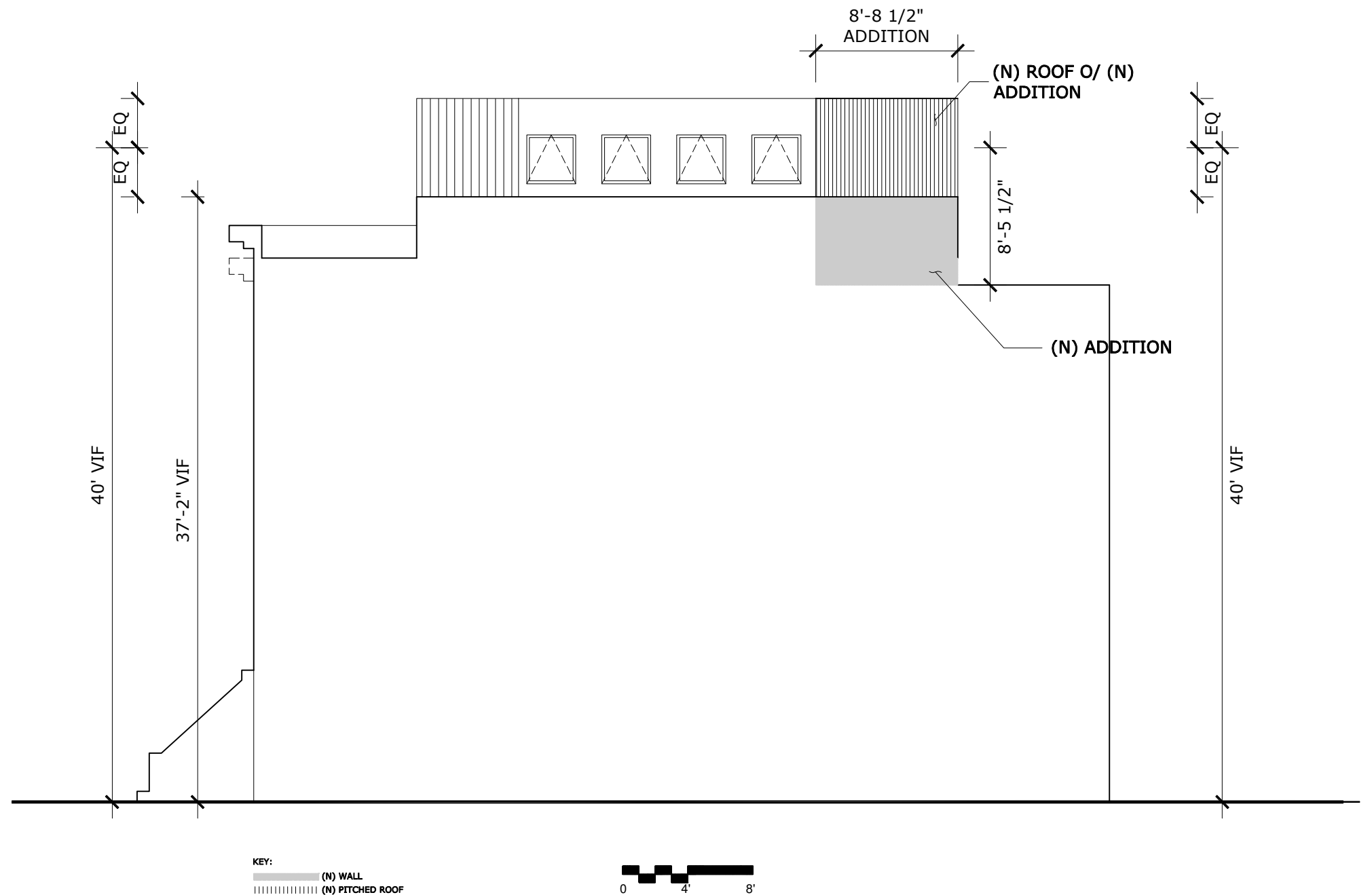
PROPOSED EAST WEST SECTION



NO CHANGES PROPOSED



PROPOSED SOUTH ELEVATION



PROPOSED EAST ELEVATION

3120-3122 23RD STREET SAN FRANCISCO, VARIANCE APPLICATION
PROPOSED BUILDING SECTIONS, 1/8" = 1'

