



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 07, 2011**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	719 Sargent Street	Case No.:	2009.0737V
Cross Street(s):	Byxbee And Ralston Streets	Building Permit:	200808199510
Block / Lot No.:	7084/046	Applicant/Agent:	Frederic Chung
Zoning District(s):	RH-1 / 40-X	Telephone:	415-826-0606
Area Plan:	N/A	E-Mail:	frederick@mercuryengineer s.com

PROJECT DESCRIPTION

The proposal seeks to legalize the construction of a horizontal rear addition and staircase, and make numerous interior alterations, including the removal of an illegally constructed second kitchen. The project also includes new window replacements on the front façade.

PER SECTION 134 OF THE PLANNING CODE the Subject Property is required to maintain a rear yard of approximately 25'-0", measured parallel to the rear property line. The horizontal rear addition extends approximately 12'-3" beyond the existing (legal) single-family dwelling, and the rear staircase is located at the back of the horizontal rear addition, extending an additional seven feet (7'-0"). The addition and staircase together encroach approximately 14'-0" into the required rear yard, extending to within 11'-0" of the rear property line. This 14'-0" encroachment necessitates a rear yard variance, pursuant to Planning Code Section 134.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Elizabeth Watty** Telephone: **415-558-6620** Mail: elizabeth.watty@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2009.0737V.pdf>

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On September 29, 2011, the Department issued the required Section 311 notification for this project (expires October 29, 2011).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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REVISION:

DOCUMENT

ABBREVIATIONS

I. ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE, CITY AND COUNTY CODES AND ORDINANCES. ANY WORK FOUND IN THESE DRAWINGS NOT IN FORNANCE WITH ANY APPLICABLE CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCEMENT OF ANY RELATED WORK.

CODES USED:

- 2006 CALIFORNIA BUILDING CODE(CBC/UBC)
- 2006 CALIFORNIA PLUMBING CODE(CPC/UPC)
- 2006 CALIFORNIA ELECTRICAL CODE(CEC/UEC)
- 2006 CALIFORNIA MECHANICAL CODE(CMC/UMC)
- 2006 CALIFORNIA FIRE CODE(CFC)
- 2006 CALIFORNIA ENERGY CODE(CEC/T-24)

II. ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODE.

III. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL WORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

IV. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS.

V. ANY DEVIATION CAUSED BY THE FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS SHALL BE BROUGHT TO THE ATTENTION OF XIE. ANY DISCREPANCY NOT REPORTED TO XIE WILL ABSOLVE XIE FROM ANY LIABILITY.

VI. TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE PROVIDED.

VII. DO NOT SCALE THESE DRAWINGS. DIMENSIONS SHOWN ON PLANS OR DETAILS SHALL TAKE PRECEDENCE OVER SCALES SHOWN. ALL INTERDIMENSIONS ARE MEASURED TO FINISHED SURFACES AND ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR SHEATHING, U.N.O.

VIII. ALL WRITTEN DOCUMENTS REFERRED TO HEREWITH GOVERNING THE CONSTRUCTION OF THIS PROJECT SHALL BE THE CURRENT EDITION OF SAID DOCUMENTS.

IX. THESE GENERAL NOTES SHALL PERTAIN TO THIS PROJECT AS APPLICABLE. ADDITIONAL NOTES PERTAINING TO OTHER REQUIREMENTS MAY BE FOUND ON OTHER SHEETS.

AB	ANCHOR BOLT	TFR	MANUFACTURER
BEAT	BEAT	MAX	MAXIMUM
BN	BLOCK NAILING	MIN	MINIMUM
BLK	BLOCK OR BLOCKIN	MTL	METAL
CBC	CALIFORNIA BUILDING CODE	NEU	NEW
CLG	CEILING	NTS	NOT TO SCALE
OC	CENTER TO CENTER	OH	OPPOSITE FACE
COL	COLUMN	FLYUD	PLYWOOD
CONC	CONCRETE	FSI	POUNDS PER SQ INCH
CONT	CONTINUOUS	PDF	PRESSURE TREATED
Ø	DIAMETER	PT	DOUGLAS FIR PRESURE TREATED
DF	EXTERIOR FIR	(R)	RETICEL
EN	EDGE NAILING	(REL)	REL
EXT	EXTERIOR	SAD	SEALANT
FIN	FIELD NAILING	SUP	SUPPLIED BY OWNER
FINI	FINISH	SWS	SHEAR WALL SCHEDULE
FLO	FLOOR	SHG	SHEET
FOF	FACE OF CONCRETE	SHG	SHEATHING
FTG	FOOTING	SHG	SHEET
GTP	GYP	STL	STEEL
GLB	GLUED, PRESURE	STD	STANDARD
GLB	GLUED, PRESURE	STD	STEEL
LAM	LAMINATED BEAM	THD	TO BE DETERMINED
LF	LEAF	THD	THREAD
HEF	HEADER	TOP	TOP OF BEAM, ETC
HEF	HEADER	T & B	TONGUE & GROOVE
HORIZ	HORIZONTAL	T & B	TOP & BOTTOM
HD	HOLD DOWN	(TTP)	TYPICAL
ICBO	INTERNATIONAL CODE	UBC	UNIFORM BUILDING CODE
INT	INTERIOR	UN	UNLESS NOTED OTHERWISE
JOIST	JOIST	VERT	VERTICAL
LAG	LAG SCREW	W/	WITH
LAG	LAG SCREW	W/	WELDED WIRE FABRIC
MB	MACHINE BOLT		

PROPERTY DATA

SCOPE OF WORK

● OWNER: CHIANG CHAN CHI & YEE SAN R

● ADDRESS: 119 SARGENT STREET
SAN FRANCISCO, CA 94132

● BLOCK 1084 LOT 046

● ZONING: RH-1

● OCCUPANCY GROUP: R-3

● CONSTRUCTION TYPE: V-N

● NUMBER OF STORIES: (E) ONE HABITABLE STORY PLUS ONE GROUND FLR OVER (E) BASEMENT

● PROPOSED:

LEGALITY THE (N)DEN, (N) WARDROBE & FULL BATH &

HALF BATHMET & (N)BAR AREA W/INK & (N)FAMILY RT ON G/FL

LEGALITY (N) SOCIAL, MUSIC, COMPUTER MEDIA ROOM,

CHILDREN PLAYROOM, GYM ROOM & STORAGE AT LOWER

BASEMENT LEVEL.

● LOT SIZES: 25'-0" X 100'-0" = 2500 SF

● BUILDING AREA 975 SF

(E)BASEMENT AREA 1950 SF

(E)GROUND FLOOR AREA 1625 SF

(E)FIRST FLOOR AREA TOTAL (E) AREA= 4550 SF

SHEET INDEX

ARCHITECTURAL

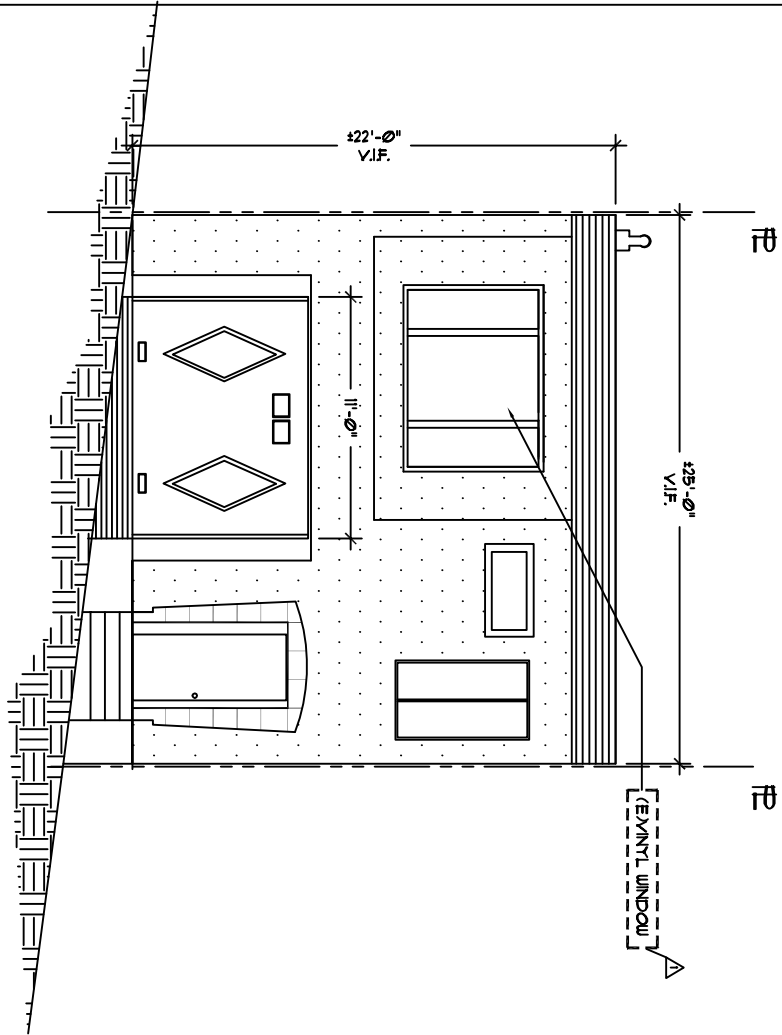
A10 GENERAL NOTES & ELEVATION PLANS

A20 PLOT PLAN

A30 EXISTING FLOOR PLAN

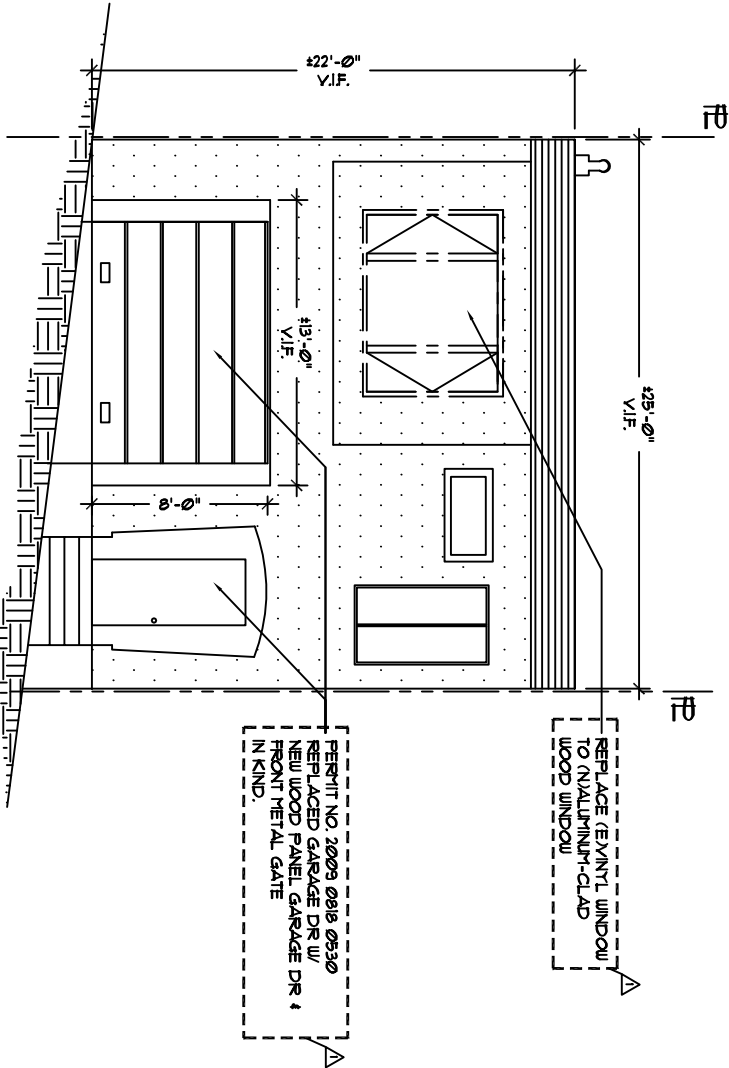
A40 EXISTING FLOOR PLAN & SECTION VIEW

A50 NEW PROPOSED FLOOR PLANS



(E)FRONT ELEVATION VIEW (NORTH)

SCALE 1/4"=1'-0"



(N)PROPOSED FRONT ELEVATION VIEW (NORTH)

SCALE 1/4"=1'-0"

CHIANG RESIDENCE
TELE: 415-692-0518

BLOCK 1084 LOT 046
119 SARGENT STREET
SAN FRANCISCO, CA 94132

Date: Sept 2011
Dwg Size: 24x36
Scale: A.N.

FLOOR PLAN

SHEET

A-1

OF 1 SHEET

BYXBEE STREET

BLOCK 1084 LOT 046
719 SARGENT STREET
SAN FRANCISCO, CA 94132

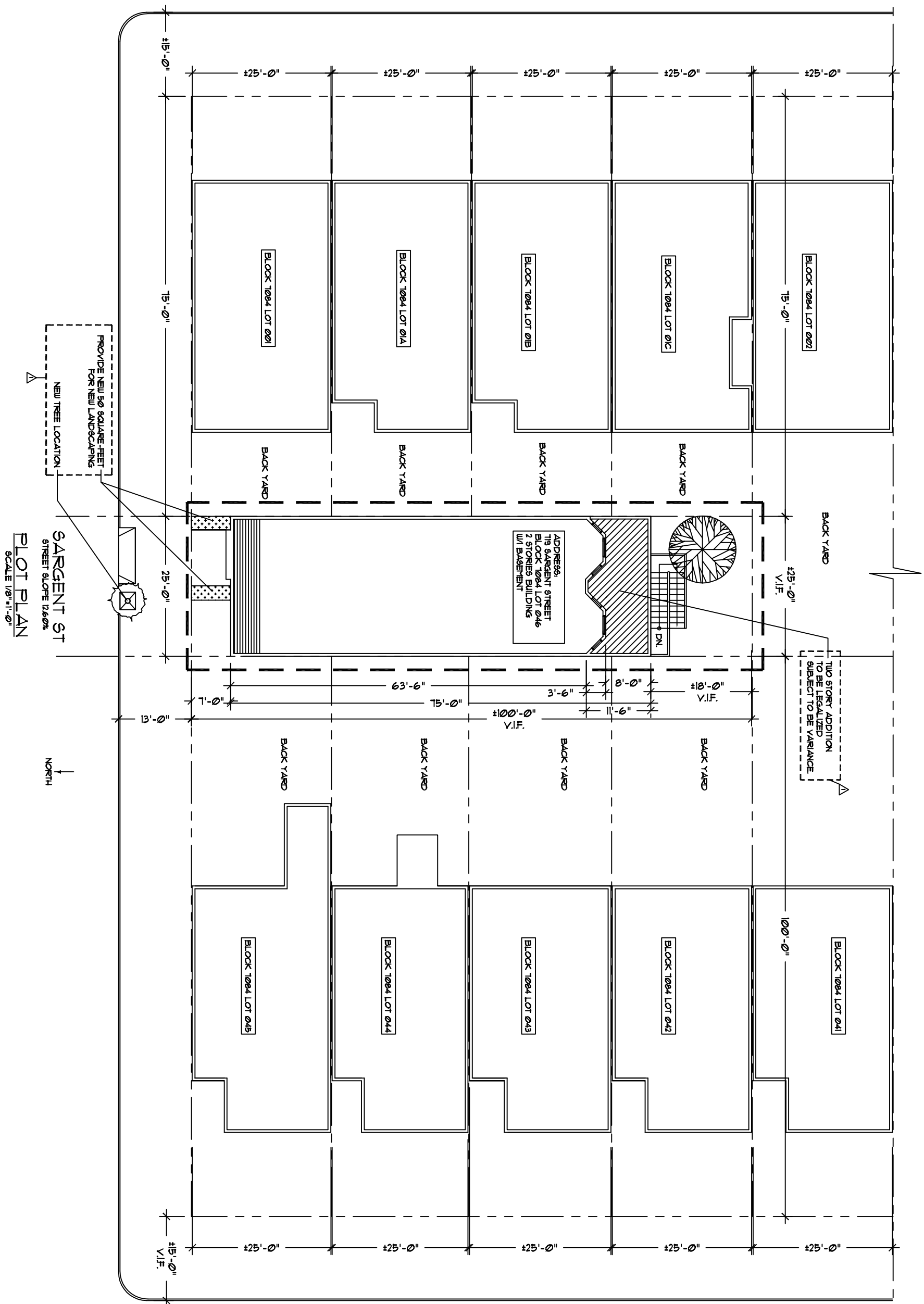
PLOT PLAN

SARGENT ST
STREET SLOPE 12.60%
PLOT PLAN

A-2

OF 2 SHEET

Date:	Sept 2011
Dwg Size:	24x36
Scale:	A.N.



REVISION:

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TELE: 415-692-0518

BLOCK 1084 LOT 046
719 SARGENT STREET
SAN FRANCISCO, CA 94132

Date: Sept 2011

Dwg Size: 24x36

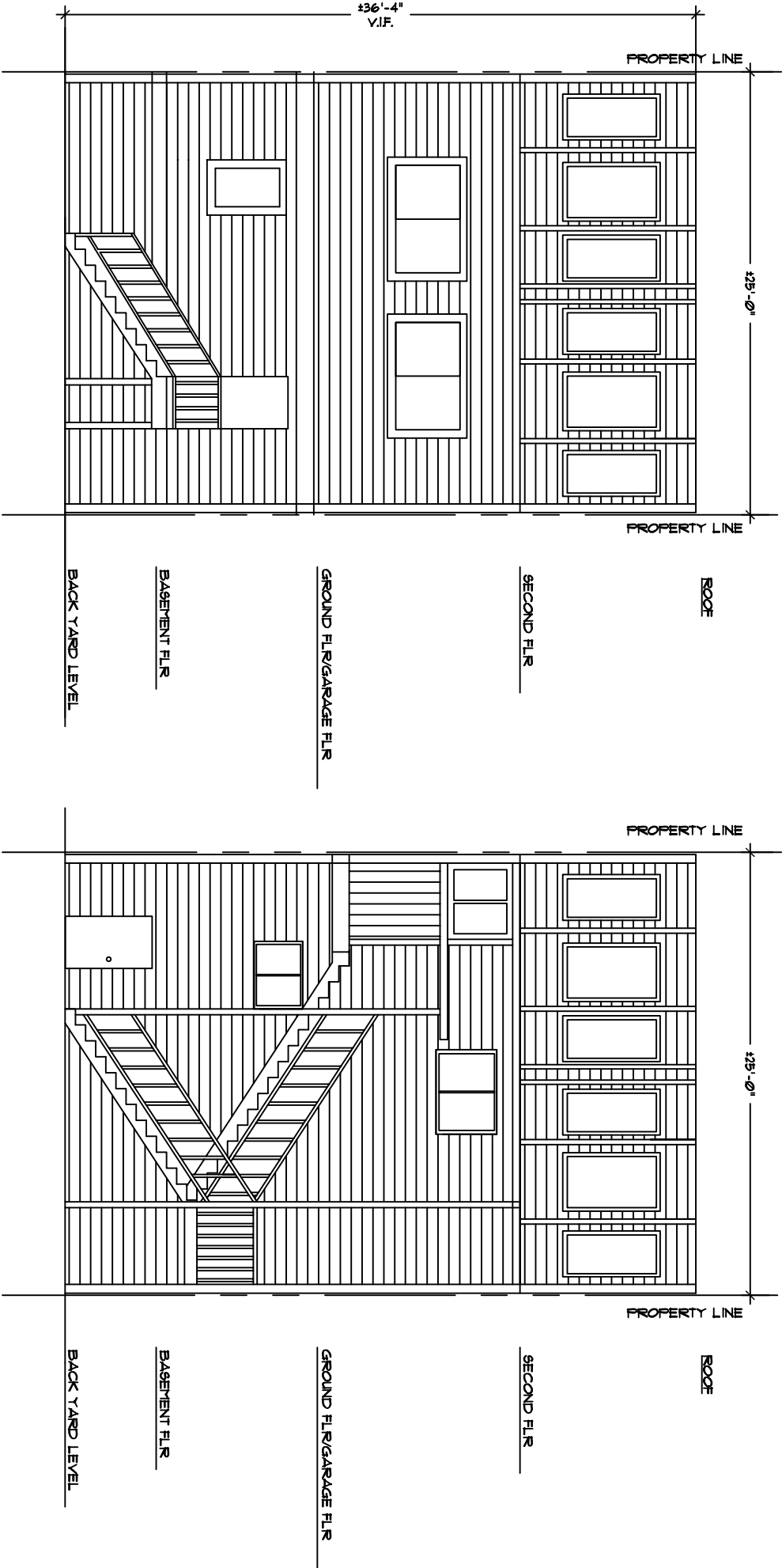
Scale: A.N.

ELEVATION VIEW

SHEET

A-6

OF 6 SHEET



IMAGINE THE ORIGINAL REAR YARD ELEVATION BACK AT 1980'S
SCALE 1/4"=1'-0"

AS BUILT REAR YARD ELEVATION VIEW
SCALE 1/4"=1'-0"