



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

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NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 28, 2010**
Time: **Beginning at 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variances (Non-complying Structure, Rear Yard and Open Space)**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	356-358 Elizabeth Street	Case No.:	2009.0694V
Cross Street(s):	Sanchez/Vicksburg	Building Permit:	2009.06.23.1112
Block /Lot No.:	3652/026	Applicant/Agent:	Donna Schumacher
Zoning District(s):	RH-3/40-X	Telephone:	(415) 522-0230
Area Plan:	N/A	E-Mail:	donna@xaa.net

PROJECT DESCRIPTION

The project proposes to expand the existing 2-unit building by raising the height of the third floor and installing dormers. The construction at the second and third floor of the existing non-complying structure extends within the required rear yard, which triggers rear yard and non-complying structure variances. The further expansion within the required rear yard also lessens the open space and would therefore require an open space variance. A request for Discretionary Review was heard and denied on March 25, 2010, and the project as proposed was supported by the Planning Commission.

Section 188 of the Planning Code does not permit the intensification of a non-complying structure. The existing residence is a non-complying structure because it encroaches into the required rear yard setback. The proposed expansions will intensify the encroachment and is contrary to Section 188.

Section 134 of the Planning Code requires 45% (29-feet) of the lot depth be maintained as the rear yard, where currently 0-feet are provided. The proposed horizontal and vertical expansions at the second and third floor are within the required rear yard.

Section 135 of the Planning Code requires 133 square feet per unit of shared open space. The existing condition provides 245 square feet in open space and will reduce to 160 square feet, where 266 square feet is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon Lai** Telephone: **(415) 575-9087** E-Mail: sharon.w.lai@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2009.0694V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**



1 PHOTOGRAPH OF SITE



4 PHOTOGRAPH OF SITE



5 PHOTOGRAPH OF SITE



3 PHOTOGRAPH OF SITE



6 PHOTOGRAPH OF SITE



2 PHOTOGRAPH OF SITE

GENERAL MECHANICAL NOTES

1. VERIFY ALL EQUIPMENT SIZES BEFORE BEGINNING WORK. SEE ITEM ABOVE FOR ENERGY REQUIREMENTS.
2. CENTER ALL REGISTERS HORIZONTALLY OVER OPENING OR IN WALL PANEL WHERE THEY OCCUR, U.O.N.
3. VERIFY GAS/WATER/ELECTICAL STUB-OUTS AT ALL AIR HANDLERS, FURNACES, AIR CONDITIONERS AND ALL APPLIANCES OR SIMILAR EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS.
4. ALL WATER HEATERS SHALL BE SEISMICALLY BRACED.
5. ALL FAUCETS SHALL HAVE AIR CHAMBERS.
6. VENT DRYER TO OUTSIDE (THE ROOF WHERE POSSIBLE).
7. USE 2" THICK DUCT LINER BOARD IN FAU INTAKE, MECHANICALLY FASTEN IN PLACE.
8. USE 1" DUCT LINER MINIMUM 15'-0" FROM FAU.

GENERAL ELECTRICAL NOTES

1. VERIFY ALL ELECTRICAL, TELEPHONE, AND CATV REQUIREMENTS WITH OWNER BEFORE INITIATING ANY WORK ON THE PROJECT.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE PROPER ELECTRICAL SERVICE TO ALL APPLIANCES INCLUDING DISHWASHER, REFRIGERATOR, GARBAGE DISPOSAL, RANGE OVEN, RANGE HOOD, WASHER AND DRYER, WATER HEATER, FORCED AIR UNIT ETC.
3. INSTALL ELECTRICAL, TELEPHONE, AND TELEVISION WALL OUTLETS AT 12" FROM CENTERLINE OF COVER PLATE TO FINISH FLOOR EXCEPT AT COUNTER AREAS OR U.O.N.
4. INSTALL SWITCHES AND DIMMERS AT 48" ABOVE FINISH FLOOR TO CENTERLINE OF PLATE. VERIFY DIMENSIONS AT COUNTER CONDITIONS WITH ARCHITECT BEFORE INSTALLATION.
5. AT ALL PARTY WALLS ALL OPPOSING OUTLETS, JUNCTION BOXES, OR SIMILAR ITEMS INSTALLED IN WALLS SHALL BE STAGGERED BY ONE FULL STUD BAY, AND ELECTRICAL BOXES SHALL BE ACOUSTICALLY SEALED. AT ANY OTHER WALLS, STAGGER OUTLETS, ETC. BY ONE STUD BAY, MINIMUM.
6. ALL GARAGE, BATHROOM, KITCHEN, EXTERIOR AND OTHER WET LOCATION OUTLETS TO BE GFI.
7. ALL CLOSET LIGHTS TO BE RECESSED.
8. ONE EXTERIOR OUTLET TO BE PROVIDED, MINIMUM.

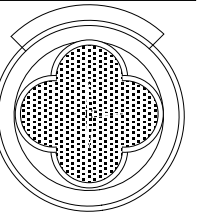
GENERAL NOTES

1. DIMENSIONS SHOWN IN PLAN ARE TO FACE OF STUD OR CONCRETE UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN IN ELEVATION ARE TO BE TOP OF PLATE OR TOPE OF SUBFLOOR IN SECTION OR ELEVATION UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS ON DRAWINGS WITH ACTUAL FIELD CONDITIONS.
2. VERIFY SMOKE DETECTORS IN EACH SLEEPING ROOM AND IN CORRIDORS GIVING ACCESS TO EACH SLEEPING AREA.
3. MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
 - A) MINIMUM ROOF/CEILING INSULATION R-30, CONCRETE SLAB INSULATION NOT REQUIRED.
 - B) MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13, USE R-19 WHERE POSSIBLE. ALL INSULATION TO MEET CEC QUALITY STANDARDS.
 - C) MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-19 WHERE POSSIBLE. CONCRETE SLAB INSULATION NOT REQUIRED.
 - D) INFILTRATION CONTROL.
 - 1) DOORS AND WINDOWS WEATHERSTRIPPED.
 - 2) EXHAUST SYSTEMS DAMPERED.
 - 3) DOORS AND WINDOWS CEC CERTIFIED AND LABELED.
 - 4) ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
 - E) LIGHTING- 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS AND BATHROOMS PER 1995 T24 STANDARD. IF MORE THAN ONE LIGHT IS PROVIDED IN BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT.
 - F) ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON ALL RECEPTACLE SWITCHES OR ELECTRICAL BASES ON EXTERIOR WALLS.
 - G) WATER HEATER BLANKET INSULATION (R-12 MIN). FIRST 20 FEET OF PIPES CLOSEST TO TANK INSULATED (R-3) MIN.).
 - H) GAS COOKING APPLIANCES MUST HAVE INTERMITTENT IGNITION DEVICES.
4. ALL NEW WINDOWS, FRENCH DOORS, & SKYLIGHTS TO BE WOOD FRAME, DUAL GLAZED, LOW-E AND FULLY WEATHERSTRIPPED.
5. 1/2" MINIMUM THICKNESS GYPSUM BOARD. WATER RESISTANT GYP. WB. AROUND TUB AND TO 8'-0" HEIGHT IN BATH AND SHOWER AREA. 5/8" TYPE X GYPSUM BOARD AT BOTH SIDES OF PROPERTY LINE AND SEPARATION WALLS.

6. PLUMBING FIXTURES & FITTINGS TO BE SELECTED BY OWNER. MINIMUM 1/6 GAL/FLUSH TOILET, 3 GAL/MIN. AT SHOWER HEAD, 2.75 GAL/MIN AT LAVATORY.
7. ALL CONSTRUCTION SHALL CONFORM TO THE 1997 UNIFORM BUILDING CODE, 1997 UNIFORM MECHANICAL CODE, 1994 PLUMBING CODE, 1993 NATIONAL ELECTRICAL CODE, AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
8. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
9. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.
10. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
11. COORDINATE ALL DETAILS WITH SHEAR WALLS AND ENCASED STRUCTURAL POSTS AS REQUIRED BY THE STRUCTURAL DRAWINGS.
12. WINDOW SIZES AND DOOR HEAD HEIGHTS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ROUGH OPENING SIZES.
13. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
14. VERIFY ALL ARCHITECTURAL DETAILS WITH STRUCTURAL AND MECHANICAL/ELECTRICAL DRAWINGS BEFORE THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
15. SEALANT, CAULKING, AND FLASHING, ETC., LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
16. ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC., SHALL BE FULLY VENTILATED.
17. PROVIDE WOOD BACKING FOR ALL TOWEL BARS, SHELF BRACKETS, ETC



X: ARCHITECTURE/ ART
DONNA SCHUMACHER
282 LILY STREET
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415-552-0520
SCHUMACHERXAA.NET



DRAWING LIST

- A0.1 COVER SHEET
- A0.2 SITE PLAN
- A0.3 (E) 1ST/2ND PLANS
- A0.4 (E) 3RD/R/F PLANS
- A0.5 (E) NORTH/SOUTH ELEV
- A0.6 (E) EAST ELEV
- A0.7 (E) WEST ELEV
- A1.1 NEW 2ND/3RD FLR
- A1.2 NEW 4TH FLR/ R/F
- A2.1 SOUTH ELEVATION
- A2.2 NORTH ELEVATION
- A2.3 EAST ELEVATION
- A2.4 WEST ELEVATION
- A3.1 SECTION A/B
- A3.2 SECTION C/D

SITE PLAN PERMIT
DESIGN REVIEW 06.12.09

SITE PLAN PERMIT
DORMER REV. 1 07.14.09

DRC REV 2
11.11.09

DRC REV 3
12.09.09

VARIANCE REV 1
02.04.10

DISCRET. REV. ALT B
02.24.10

DISCRETIONARY REV.
03.17.10

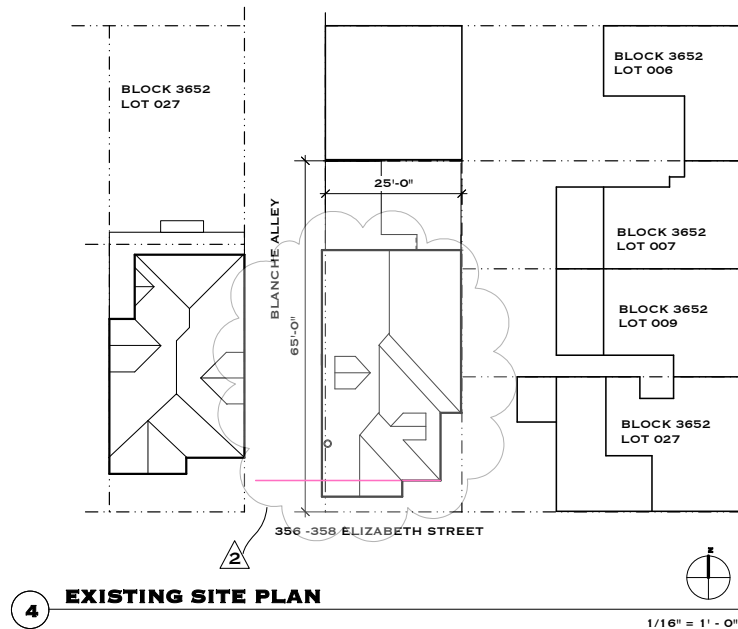
MCGLYNN
RESIDENCE

358 ELIZABETH
STREET
SAN FRANCISCO
94104

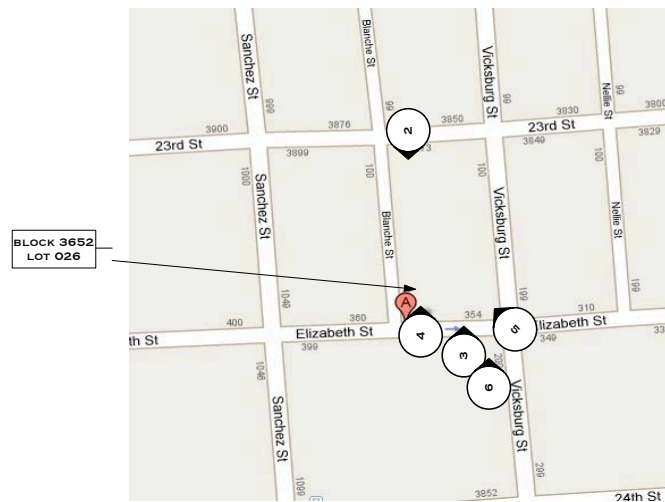
BLOCK 3652
LOT 026

PERMIT APPLICATION #
2009-06-23-1112

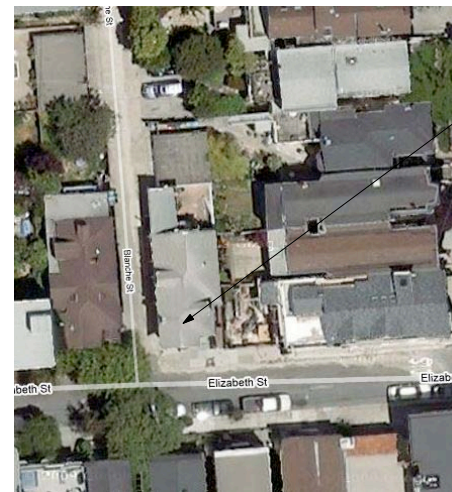
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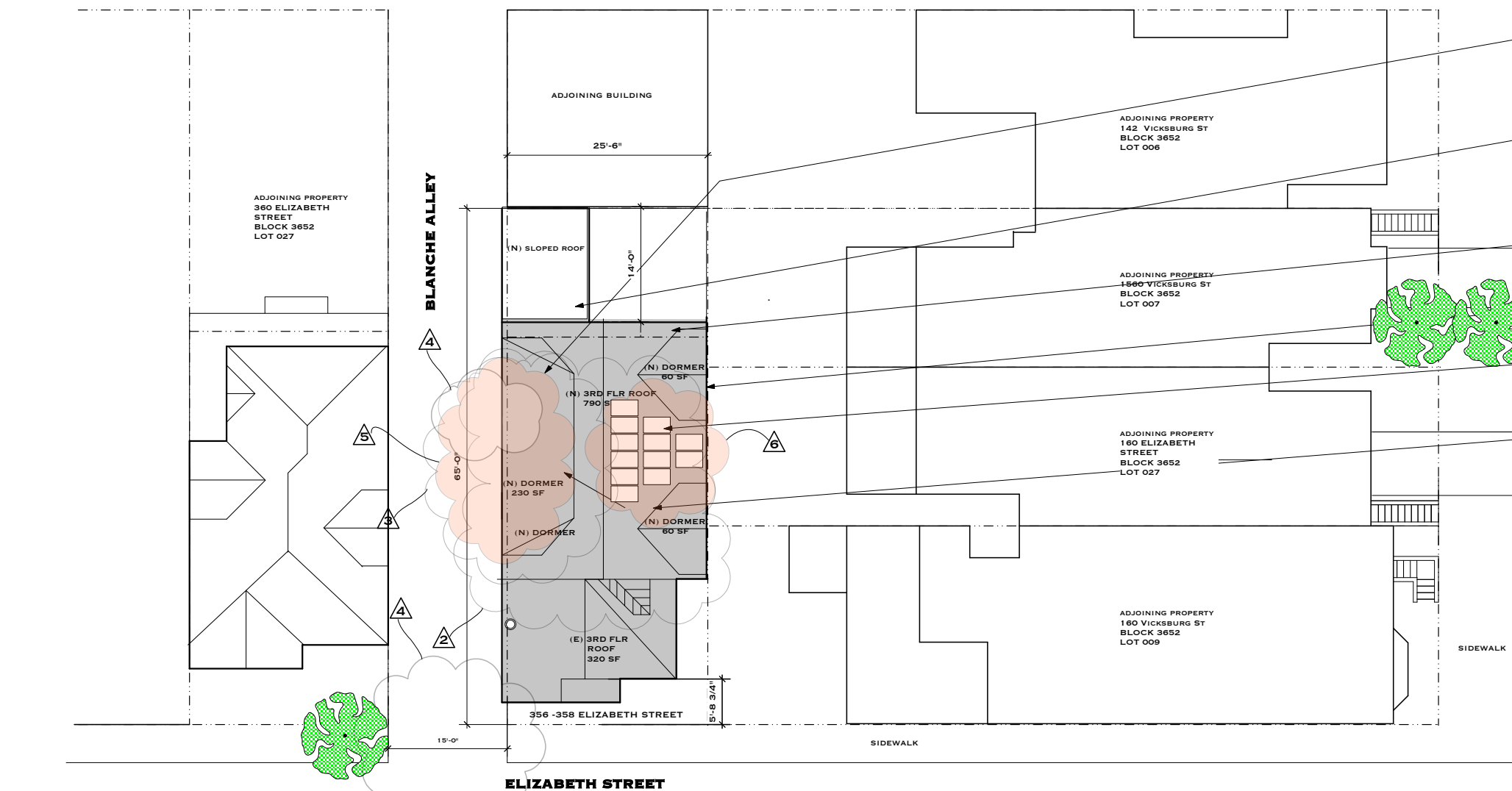
4 EXISTING SITE PLAN



3 PHOTO MAP



2 LOCATION MAP



1 SITE PLAN - PROPOSED

SUBJECT
PROPERTY

PROPOSED NEW DORMERS
350 SF \leq 32% OF TOTAL ROOF
(NEW & EXISTING BUT NOT
INCLUDING GARAGE)

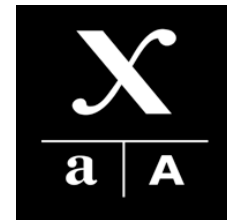
OPEN SPACE REQUIREMENT
SECTION 135
(E) OPEN SPACE 200SF
(N) OPEN SPACE 185 SF
REQUIRED OPEN SPACE 266 SF
OPEN SPACE VARIANCE
REQUIRED

REAR SET BACK 25% (16'-3")
SECTION 134.C.4.B
REAR YARD VARIANCE REQUIRED
3'-0" ENCROACHMENT INTO
REAR YARD SET BACK ON
FLOORS 2 AND 3.

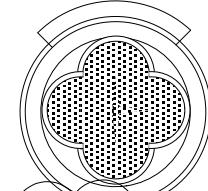
ENLARGEMENT TO NON
QUALIFYING STRUCTURE,
SECTION 188: TOTAL
ENLARGEMENT 246 SF ALL
FLOORS

(N) SOLAR PANELS

PROPOSED NEW ROOF
INDICATED BY TONE



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DRAWING LIST

- A0.1 COVER SHEET
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- A0.3 (E) 1ST/2ND PLANS
- A0.4 (E) 3RD/4TH PLANS
- A0.5 (E) NORTH/SOUTH ELEVATIONS
- A0.6 (E) EAST ELEVATIONS
- A0.7 (E) WEST ELEVATIONS

- A1.1 NEW 2ND/3RD FLOOR
- A1.2 NEW 4TH FLOOR/REAR

- A2.1 SOUTH ELEVATION
- A2.2 NORTH ELEVATION
- A2.3 EAST ELEVATION
- A2.4 WEST ELEVATION

- A3.1 SECTION A/B
- A3.2 SECTION C/D

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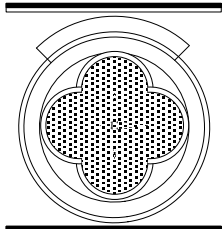
BLOCK 3652
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A0.2



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DRAWING LIST

- A0.1 COVER SHEET
- A0.2 SITE PLAN
- A0.3 (E) 1ST/2ND PLANS
- A0.4 (E) 3RD/RF PLANS
- A0.5 (E) NORTH/SOUTH ELEVS
- A0.6 (E) EAST ELEVS
- A0.7 (E) WEST ELEVS
- A1.1 NEW 2ND/3RD FLR
- A1.2 NEW 4TH FLR/ RF
- A2.1 SOUTH ELEVATION
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- A2.4 WEST ELEVATION
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DESIGN REVIEW 06.12.09**

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**2 DRC REV 2
11.11.09**

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A0.5



NORTH ELEVATION- EXISTING CONDITIONS

5

1/4" = 1' - 0"



SOUTH ELEVATION- EXISTING CONDITIONS

6

1/4" = 1' - 0"

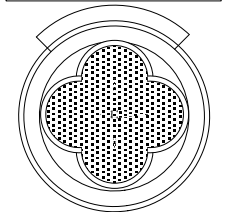


7 EAST ELEVATION- EXISTING CONDITIONS

1/4" = 1' - 0"



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A0.6 (E) EAST ELEVS
A0.7 (E) WEST ELEVS

A1.1 NEW 2ND/3RD FLR
A1.2 NEW 4TH FLR/ RF

A2.1 SOUTH ELEVATION
A2.2 NORTH ELEVATION
A2.3 EAST ELEVATION
A2.4 WEST ELEVATION

A3.1 SECTION A/B
A3.2 SECTION C/D

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DORMER REV. 1 07.14.09**

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11.11.09**

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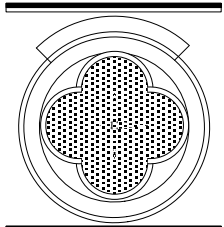
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A1.2 NEW 4TH FLR/ RF

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02.24.10

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03.17.10

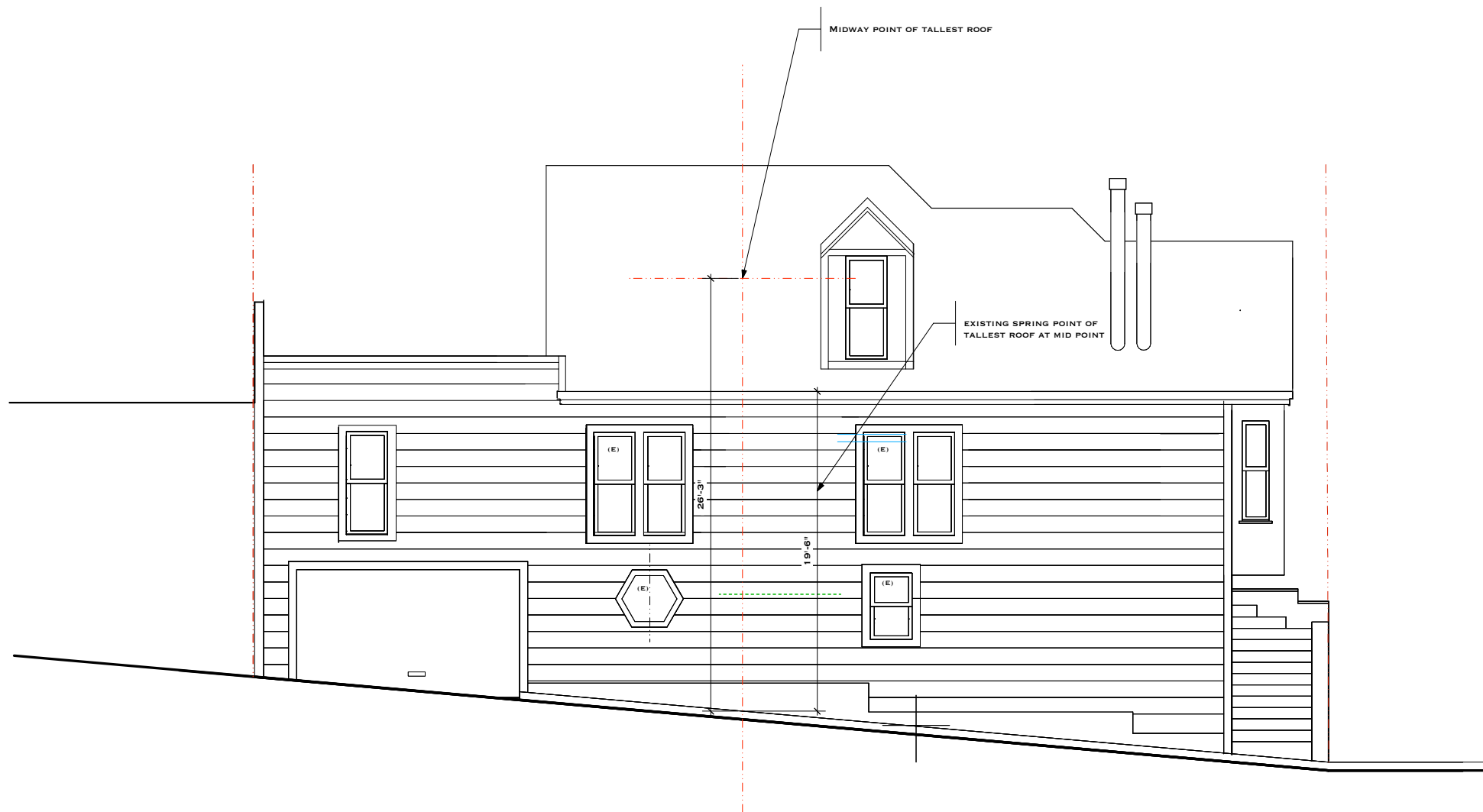
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A0.7



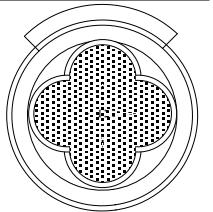
8

WEST ELEVATION- EXISTING CONDITIONS

1/4" = 1' - 0"



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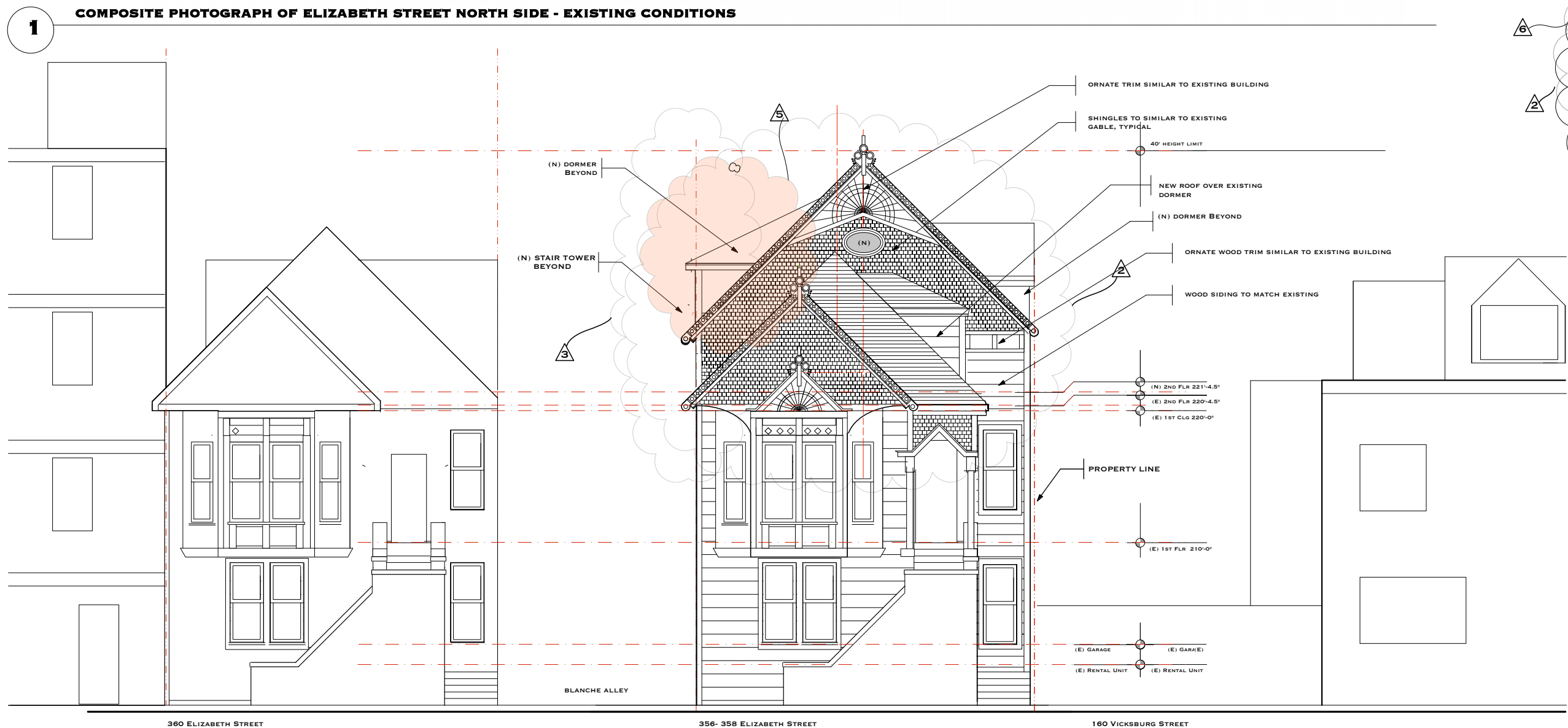
358 ELIZABETH
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94104

BLOCK 3652
LOT 026

PERMIT APPLICATION #
2009-06-23-1112

A2.1

COMPOSITE PHOTOGRAPH OF ELIZABETH STREET NORTH SIDE - EXISTING CONDITIONS



SOUTH ELEVATION - PROPOSED

ELIZABETH STREET

1/4" = 1' - 0"



2 STREET PHOTOGRAPH - EXISTING CONDITIONS
OPPOSITE SIDE OF ELIZABETH

X

a | A

X: architecture/ art

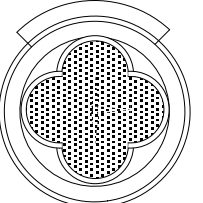
DONNA SCHUMACHER

288 LILY STREET

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- DRAWING LIST**
- A0.1 COVER SHEET
 - A0.2 SITE PLAN
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- SITE PLAN PERMIT**
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- SITE PLAN PERMIT**
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- DISCRETIONARY REV.**
03.17.10

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RESIDENCE

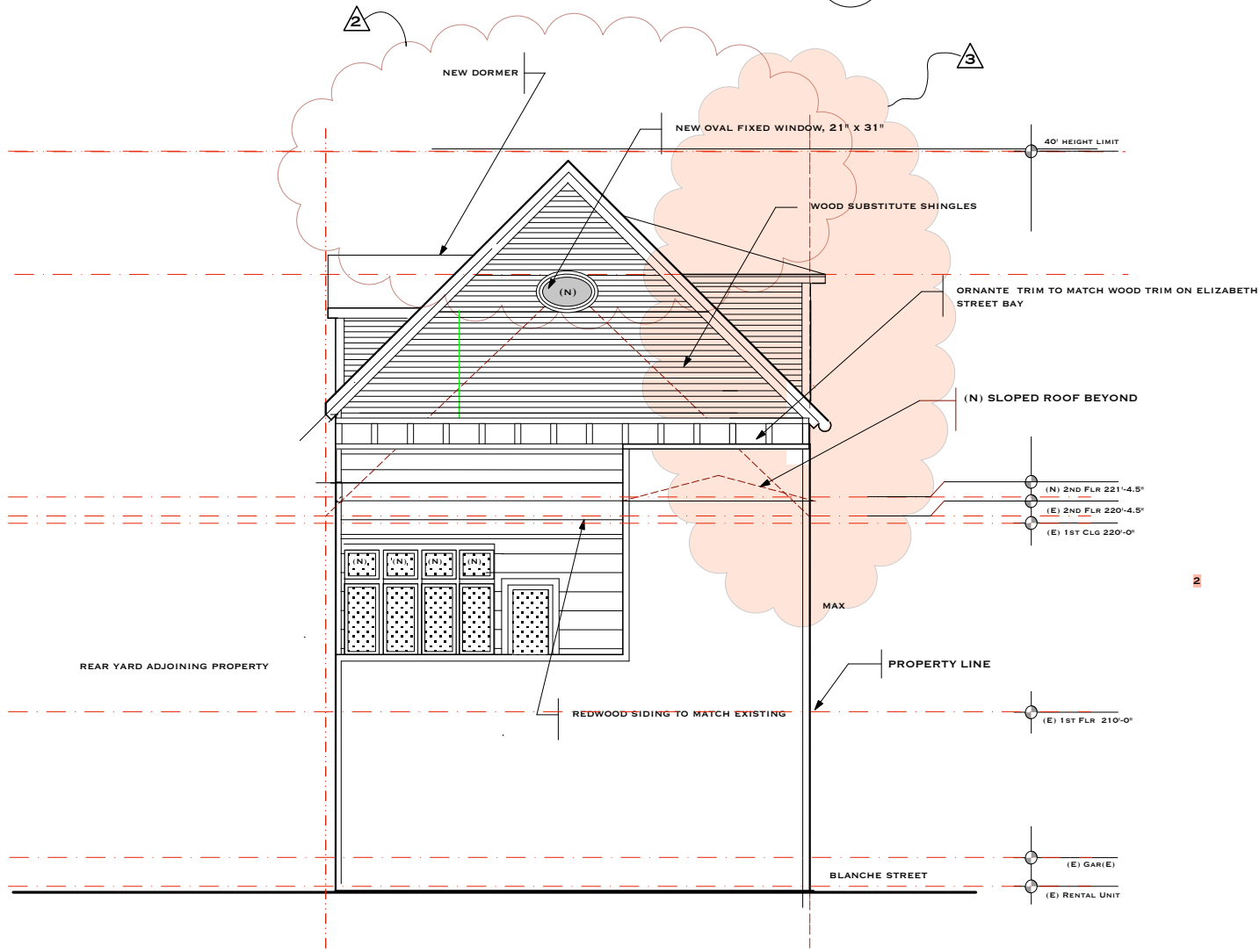
358 ELIZABETH STREET

SAN FRANCISCO 94104

BLOCK 3652 LOT 026

PERMIT APPLICATION # 2009-06-23-1112

A2.2

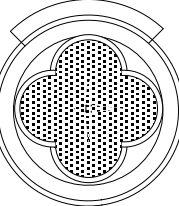


1 NORTH ELEVATION - PROPOSED

1/4" = 1' - 0"



X: ARCHITECTURE/ART
DONNA SCHWABER
385 LILY STREET
SAN FRANCISCO, CA 94102
415-523-0250
SCHWABERXAA.NET



DRAWING LIST

A0.1 COVER SHEET
A0.2 SITE PLAN
A0.3 (E) 1ST/2ND PLANS
A0.4 (E) 3RD/4TH PLANS
A0.5 (E) NORTH/SOUTH ELEVATIONS
A0.6 (E) EAST ELEVATIONS
A0.7 (E) WEST ELEVATIONS

A1.1 NEW 2ND/3RD FLR
A1.2 NEW 4TH FLR/RF

A2.1 SOUTH ELEVATION
A2.2 NORTH ELEVATION
A2.3 EAST ELEVATION
A2.4 WEST ELEVATION

A3.1 SECTION A/B
A3.2 SECTION C/D

**SITE PLAN PERMIT
DESIGN REVIEW 06.12.09**

**1 SITE PLAN PERMIT
DORMER REV. 1 07.14.09**

**2 DRC REV 2
11.11.09**

**3 DRC REV 3
12.09.09**

**4 VARIANCE REV 1
02.04.10**

**5 DISCRET. REV. ALT B
02.24.10**

**6 DISCRETIONARY REV.
03.17.10**

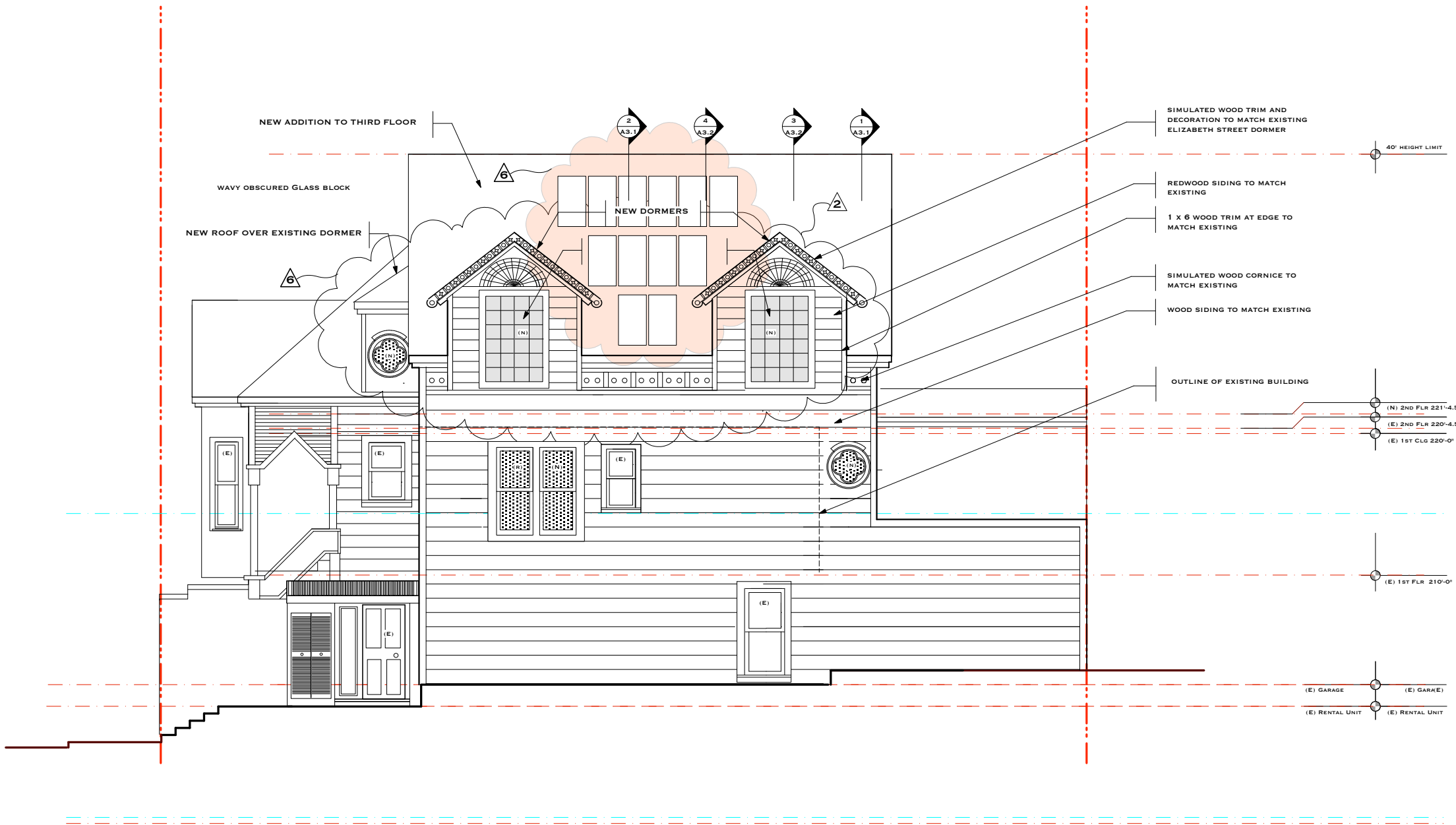
**MCGLYNN
RESIDENCE**

358 ELIZABETH
STREET
SAN FRANCISCO
94104

BLOCK 3652
LOT 026

PERMIT APPLICATION #
2009-06-23-1112

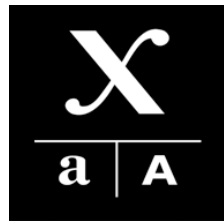
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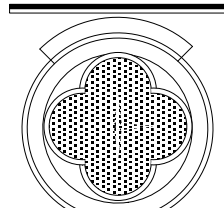
1

EAST ELEVATION - PROPOSED

1/4" = 1' - 0"



X|a|A ARCHITECTURE/ART
DONNA SCHUMAGHER
265 LILY STREET
SAN FRANCISCO, CA 94102
415-823-0230
SCHUMAGHER@XAA.NET



DRAWING LIST

- A0.1 COVER SHEET
- A0.2 SITE PLAN
- A0.3 (E) 1ST/2ND PLANS
- A0.4 (E) 3RD/4TH PLANS
- A0.5 (E) NORTH/SOUTH ELEVATIONS
- A0.6 (E) EAST ELEVATION
- A0.7 (E) WEST ELEVATION
- A1.1 NEW 2ND/3RD FLR
- A1.2 NEW 4TH FLR/RF
- A2.1 SOUTH ELEVATION
- A2.2 NORTH ELEVATION
- A2.3 EAST ELEVATION
- A2.4 WEST ELEVATION
- A3.1 SECTION A/B
- A3.2 SECTION C/D

**SITE PLAN PERMIT
DESIGN REVIEW 06.12.09**

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03.17.10**

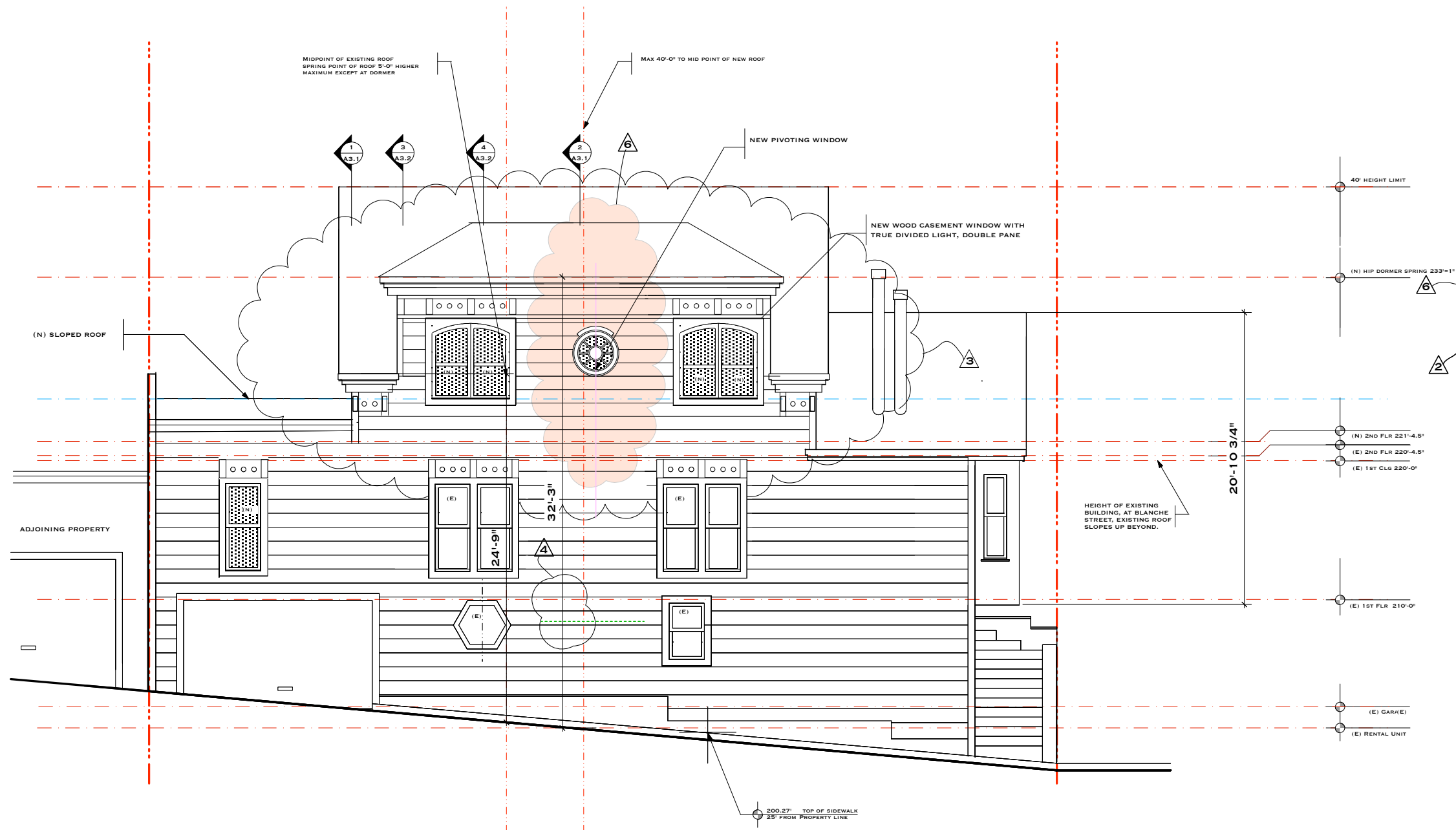
**MCGLYNN
RESIDENCE**

358 ELIZABETH
STREET
SAN FRANCISCO
94104

BLOCK 3652
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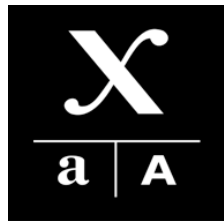
PERMIT APPLICATION #
2009-06-23-1112

A2.4

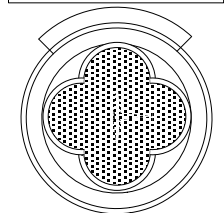


**1 WEST ELEVATION - PROPOSE
BLANCHE ST.**

1/4" = 1' - 0"



X: ARCHITECTURE/ ART
DORNA SCHUMACHER
282 LILY STREET
SAN FRANCISCO, CA 94102
415-623-0290
SCHUMACHERXAA.NET



DRAWING LIST

- A0.1 COVER SHEET
- A0.2 SITE PLAN
- A0.3 (E) 1ST/2ND PLANS
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- A0.5 (E) NORTH/SOUTH ELEV
- A0.6 (E) EAST ELEV
- A0.7 (E) WEST ELEV
- A1.1 NEW 2ND/3RD FLR
- A1.2 NEW 4TH FLR/ RF
- A2.1 SOUTH ELEVATION
- A2.2 NORTH ELEVATION
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- A2.4 WEST ELEVATION
- A3.1 SECTION A/B
- A3.2 SECTION C/D

SITE PLAN PERMIT
DESIGN REVIEW 06.12.09

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DORMER REV. 1 07.14.09

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DRC REV 3
12.09.09

VARIANCE REV 1
02.04.10

DISCRET. REV. ALT B
02.24.10

DISCRETIONARY. REV.
03.17.10

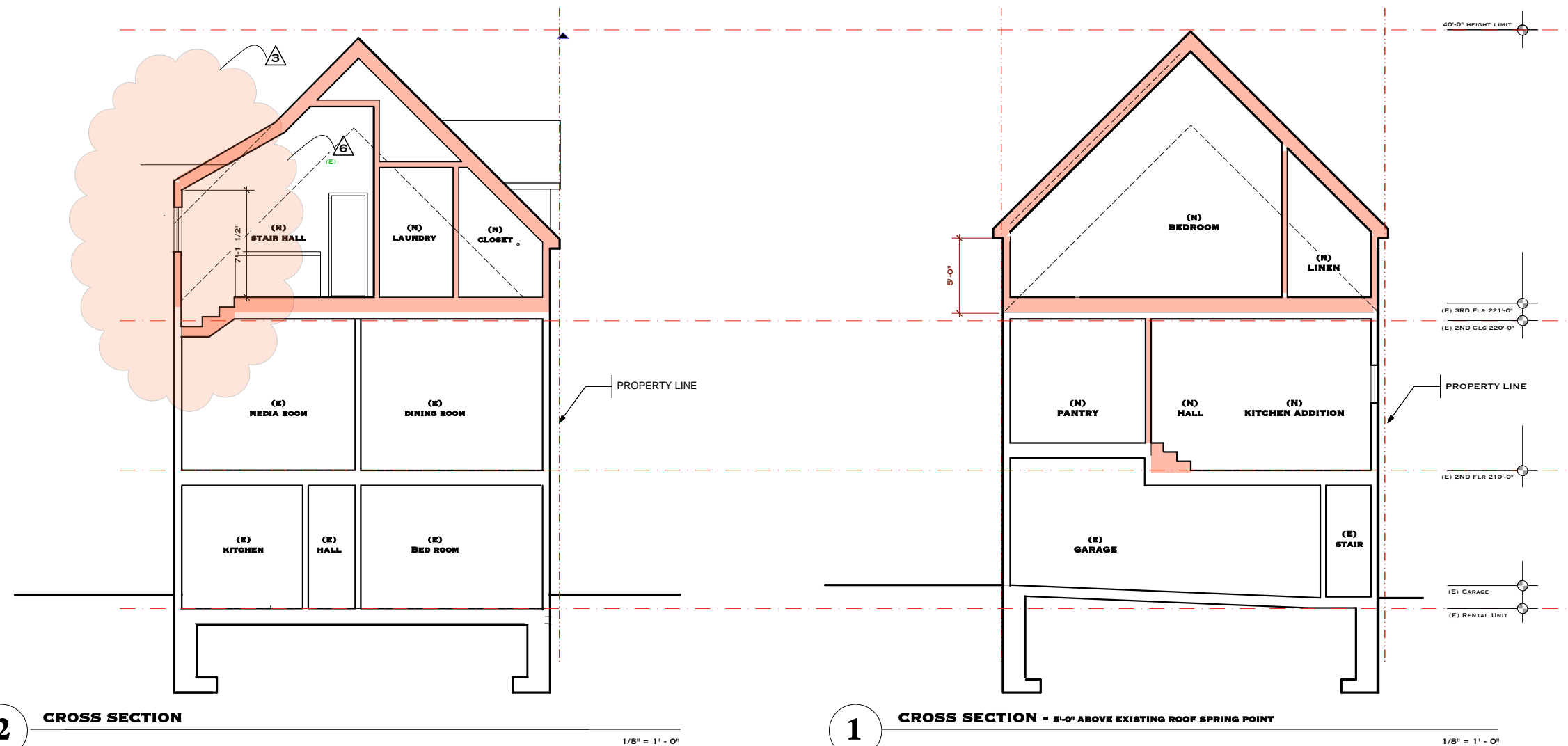
MCGLYNN
RESIDENCE

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94104

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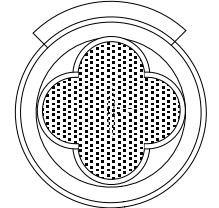
PERMIT APPLICATION #
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A3.1





X: ARCHITECTURE/ ART
DONNA SCHUMACHER
383 LILY STREET
SAN FRANCISCO, CA 94102
415-822-0230
SCHUMACHER@XAA.NET



DRAWING LIST

- A0.1 COVER SHEET
- A0.2 SITE PLAN
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- A0.4 (E) 3RD/RF PLNS
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- A0.6 (E) EAST ELEV
- A0.7 (E) WEST ELEV
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- A1.2 NEW 4TH FLR/ RF
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02.24.10**

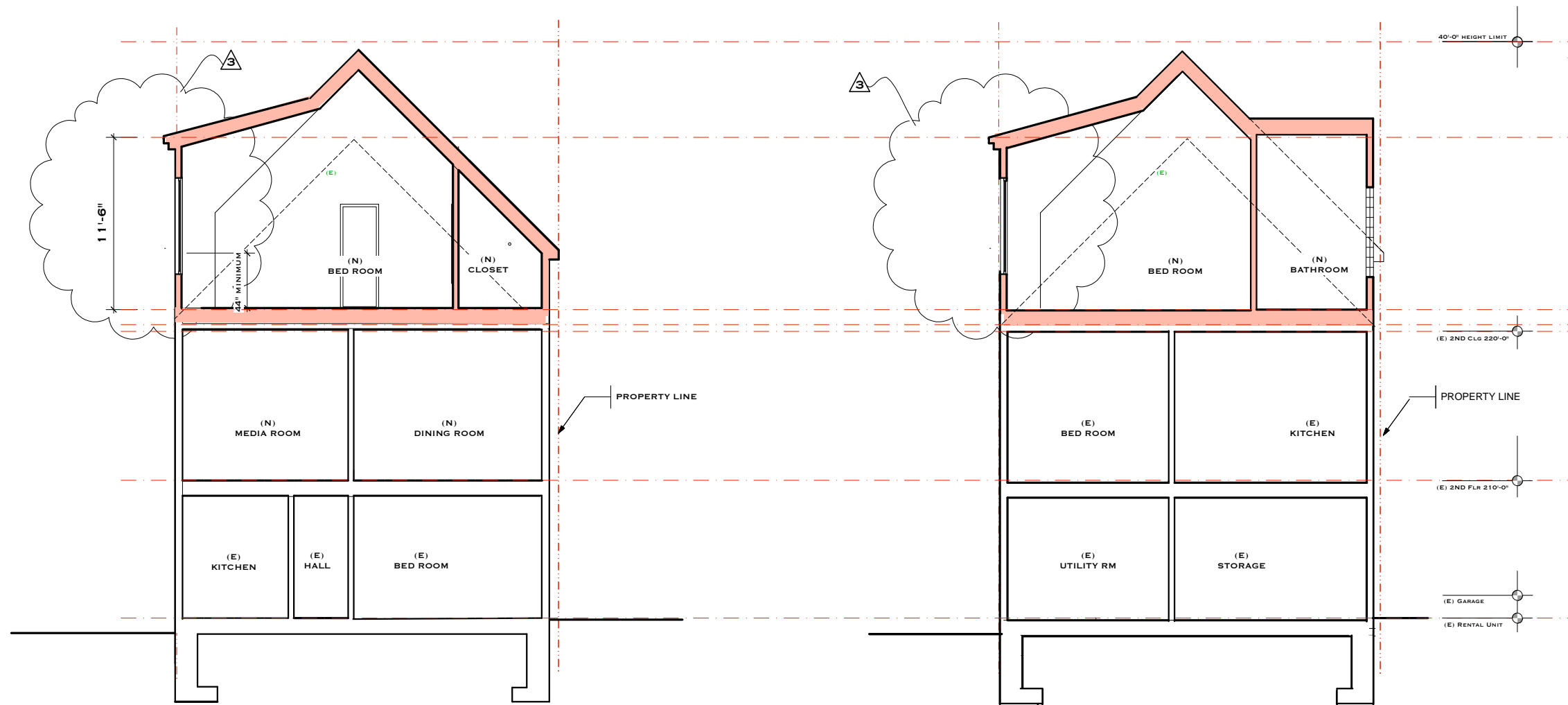
**6 DISCRETIONARY. REV.
03.17.10**

**MCGLYNN
RESIDENCE**

358 ELIZABETH
STREET
SAN FRANCISCO
94104

BLOCK 3652
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PERMIT APPLICATION #
2009-06-23-1112



4 CROSS SECTION W/ BED ROOM DORMER

1/8" = 1' - 0"

3 CROSS SECTION W/ BATH DORMER

1/8" = 1' - 0"