



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 26, 2012**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Rear Yard)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>60 Fountain Street</b>	Case No.:	<b>2009.0446V</b>
Cross Street(s):	<b>24<sup>th</sup> and 25<sup>th</sup> Streets</b>	Building Permit:	<b>2009.06.16.0568</b>
Block /Lot No.:	<b>6501/010</b>	Applicant/Agent:	<b>Alan Martinez</b>
Zoning District(s):	<b>RH-2/ 40-X</b>	Telephone:	<b>(415) 626-9379</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>awmarch@mac.com</b>

### PROJECT DESCRIPTION

The subject property contains two detached single-family buildings. The subject building is an existing non-complying single-family building located at the rear of the property within the required rear yard. The project is to remove a majority of the exterior elements of the subject building and rebuild it at generally the same location.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 56 feet. The rearmost 32 feet of the subject building occupies space within the required rear yard; therefore the project requires a variance from the rear yard requirement of the Planning Code.

**PER SECTION 188 OF THE PLANNING CODE** no noncomplying structure that is voluntarily razed may thereafter be restored except in full conformity with the requirements of this Code. The subject building constitutes a non-complying structure. The project involves voluntarily razing and restoring a majority of the existing structure at the same location; therefore the project requires a non-complying structure variance.

### ADDITIONAL INFORMATION

#### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Adrian C. Putra** Telephone: **(415) 575-9079** E-Mail: **adrian.putra@sfgov.org**

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2009.0446V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On 8/28/12, the Department issued the required Section 311/312 notification for this project, which expires on 9/27/12.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6378**

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**415.558.6409**

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Information:  
**415.558.6377**



ALAN MARTINEZ  
ARCHITECT, INC

2298 THIRD ST.  
S. F. CA 94107  
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awmarch@mac.com

DEMOLITION & REPLACEMENT OF REAR UNIT

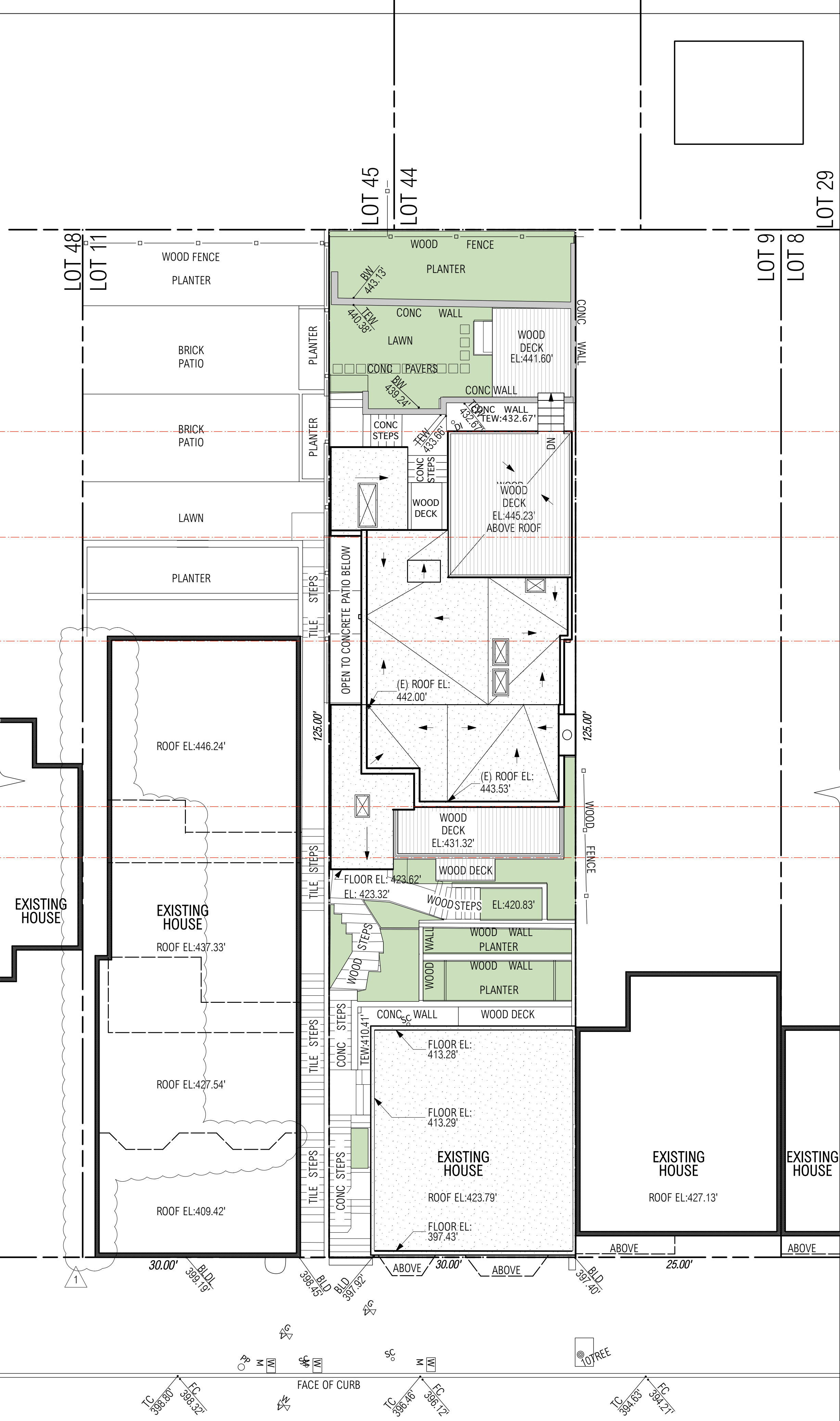
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SAN FRANCISCO, CALIFORNIA 94114  
OWNER'S NAME: JERRY REGAN

Date:	6/5/09
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REV.	DATE
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2	11/11/10
4	12/1/11
5	5/1/12
7	8/7/12

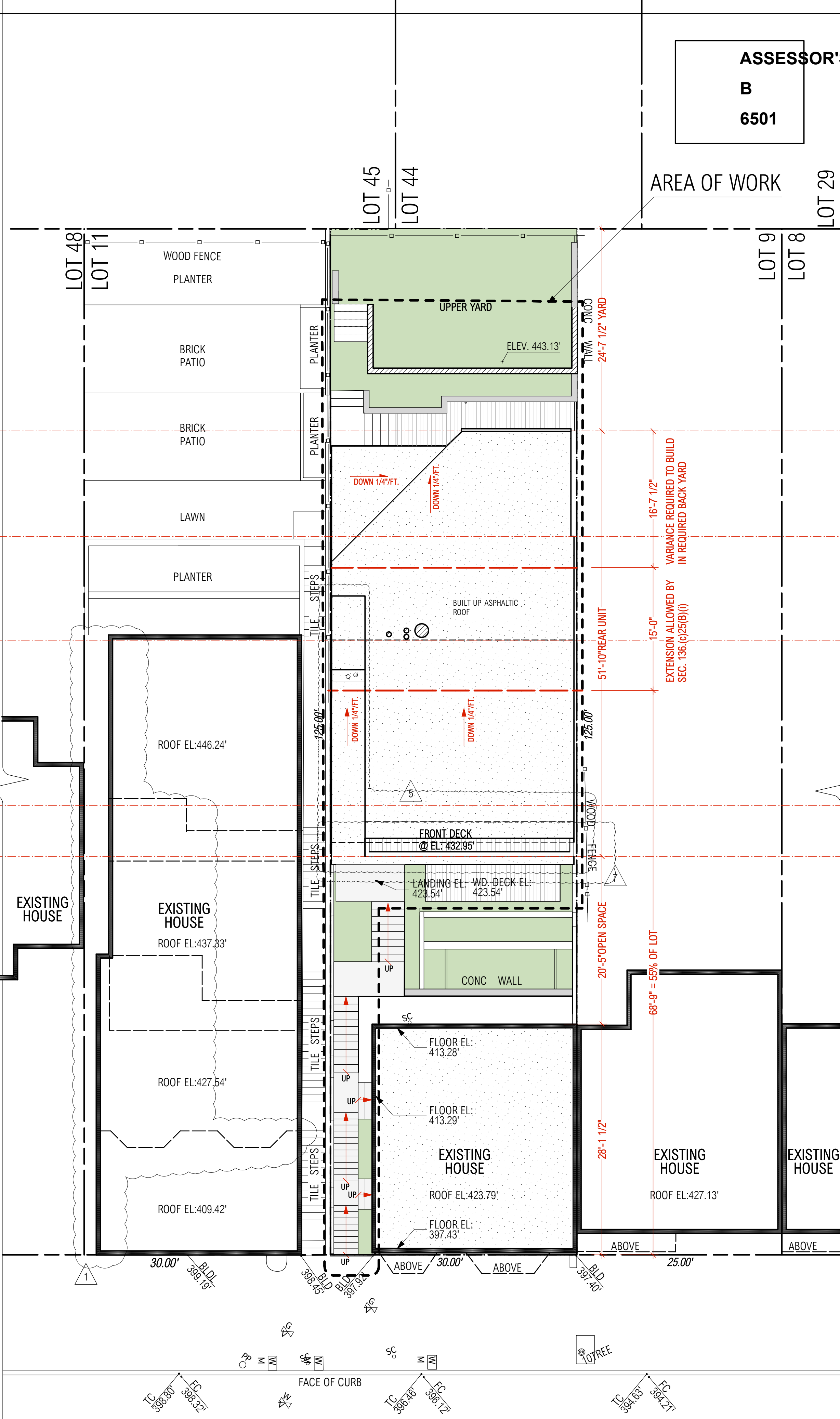
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ASSESSOR'S  
B  
6501

AREA OF WORK



2 EXISTING SITE PLAN  
Scale: 1/8" = 1'-0"



1 NEW SITE PLAN  
Scale: 1/8" = 1'-0"

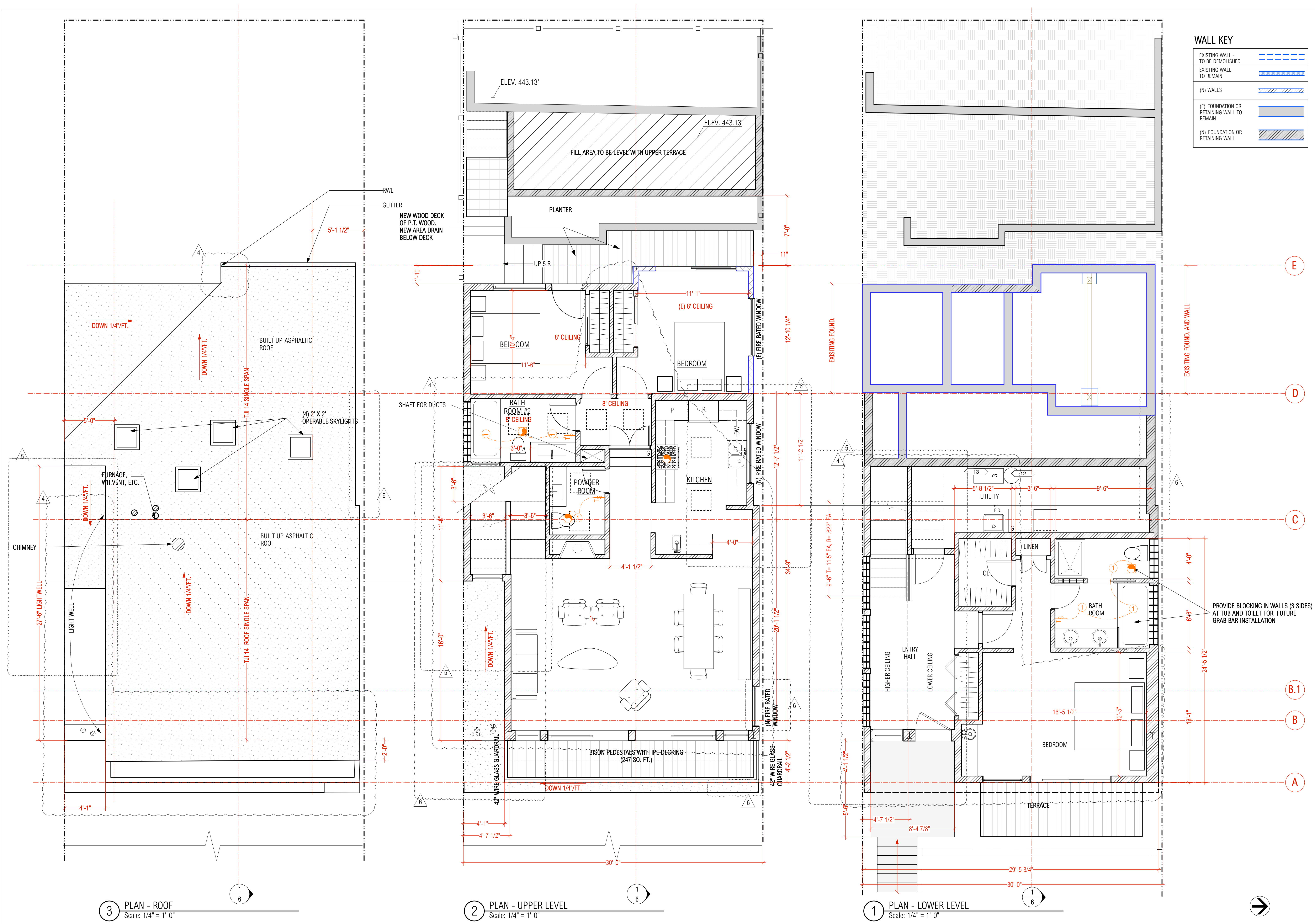




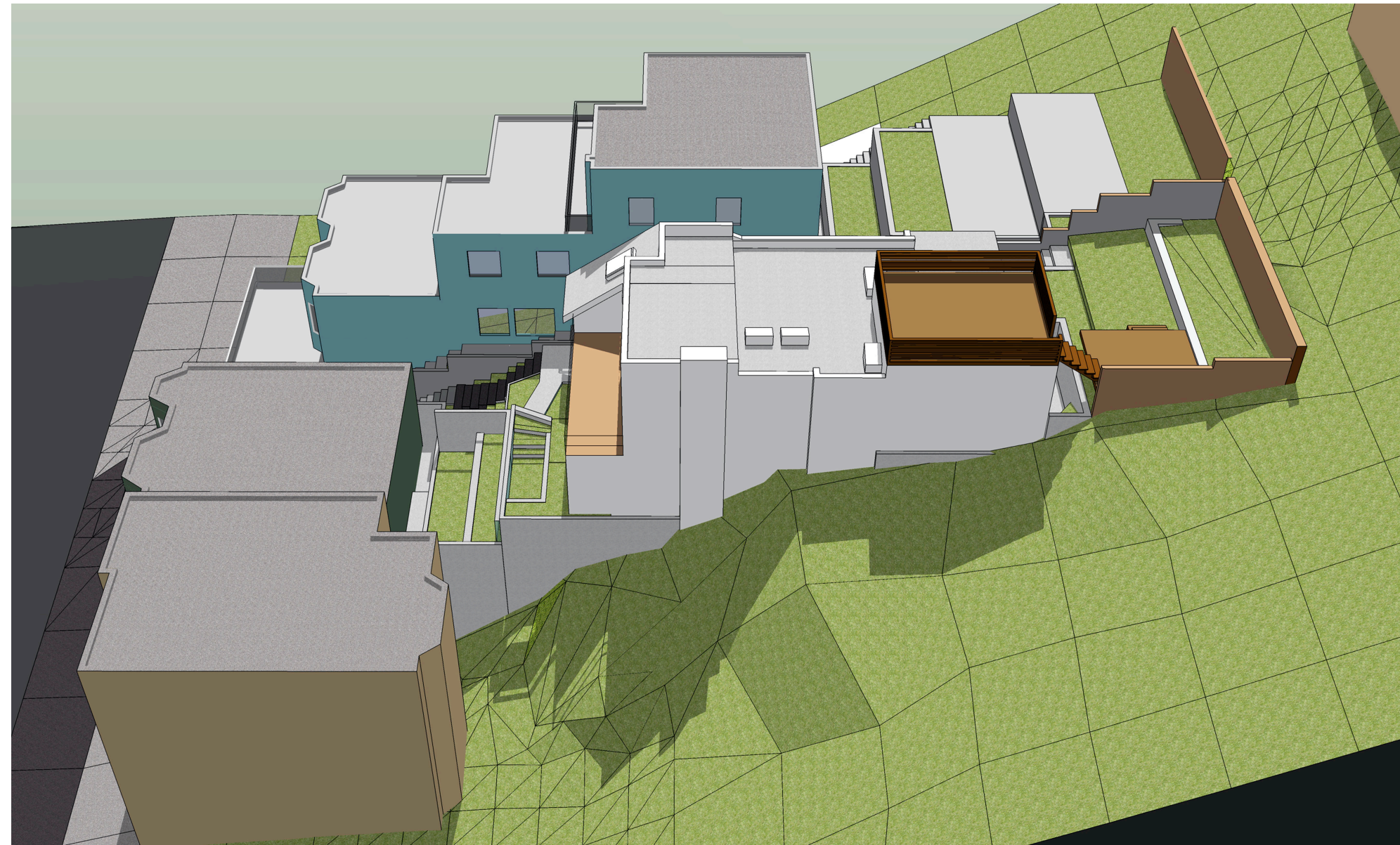
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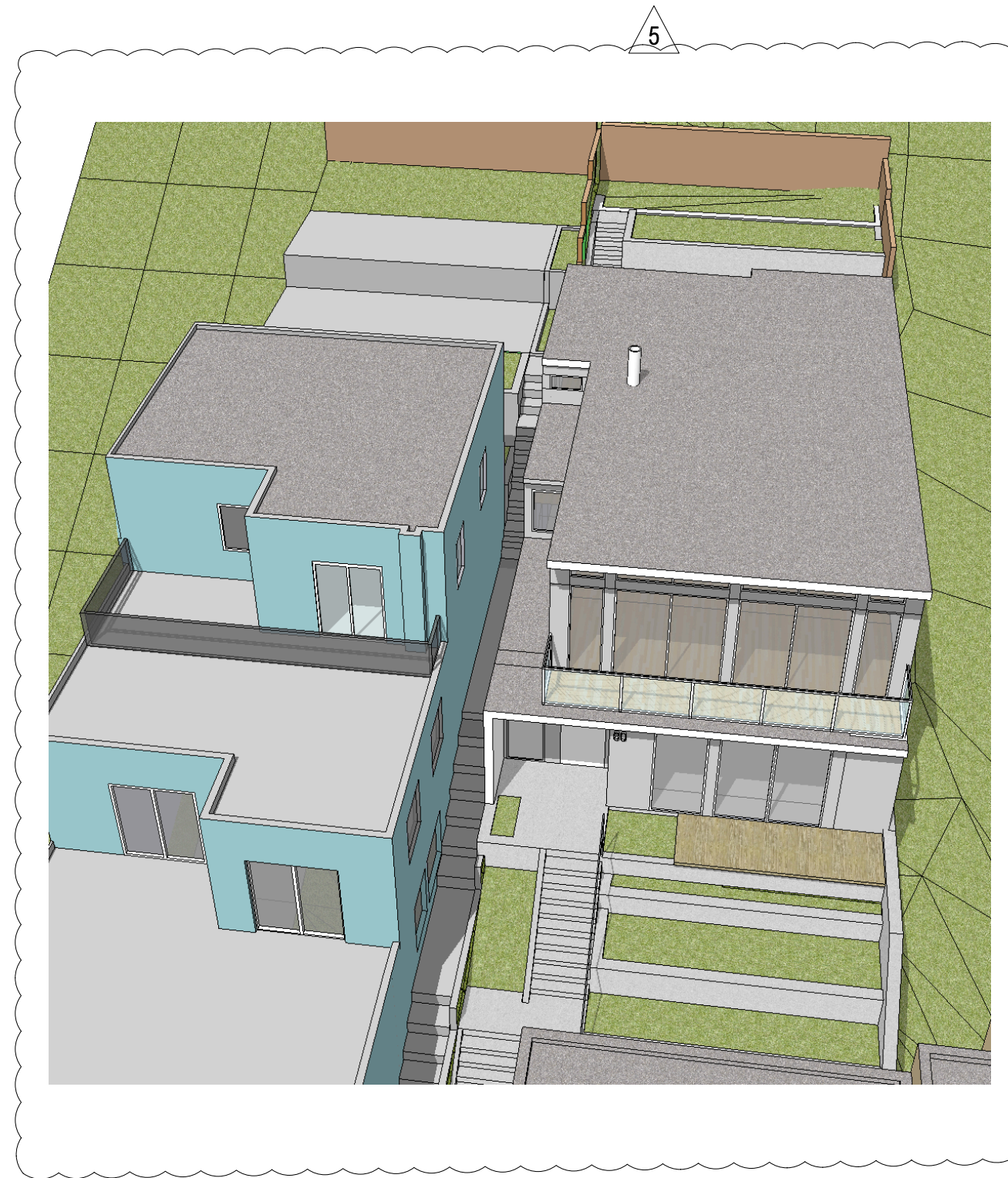
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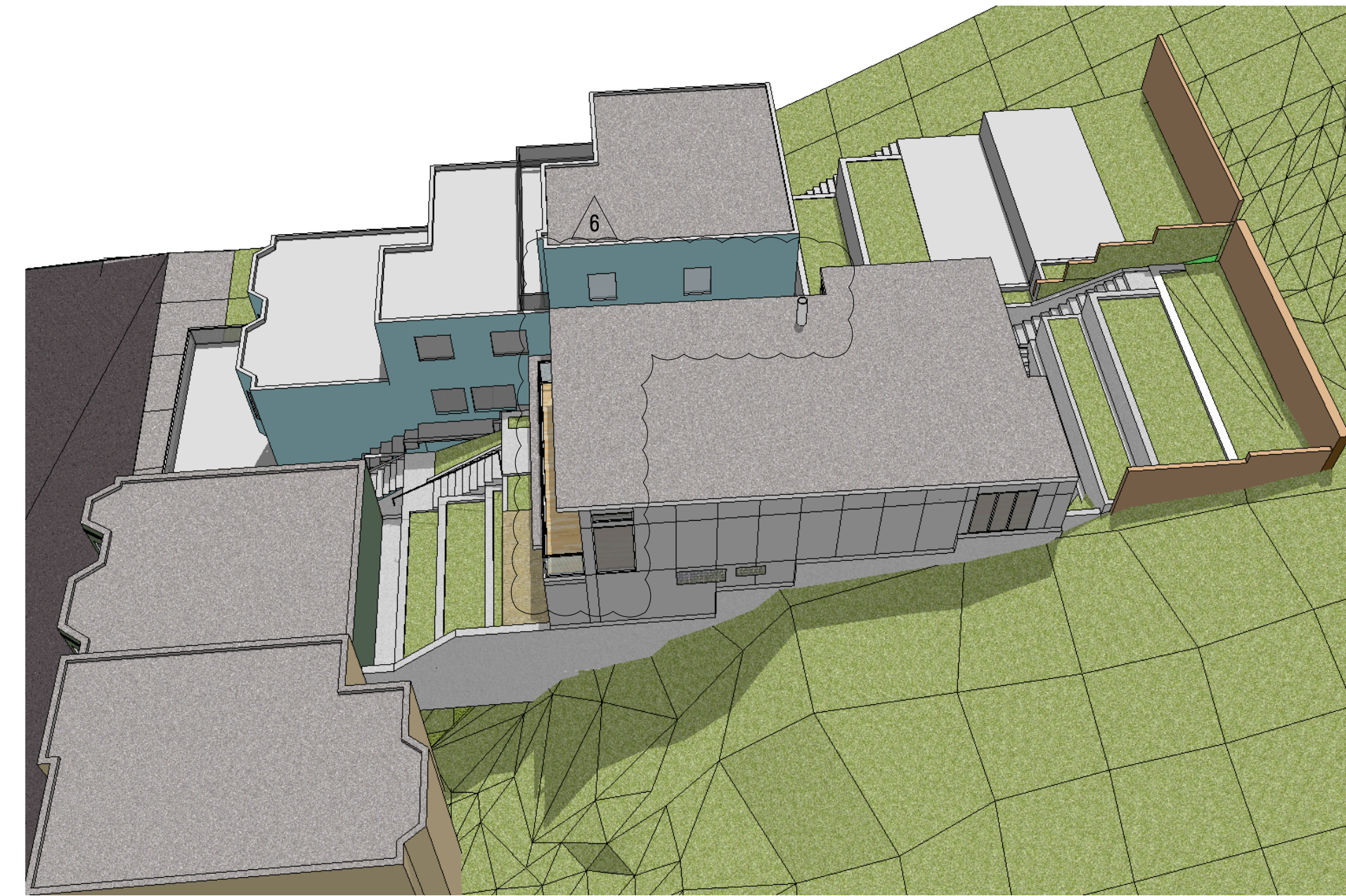




4 EXISTING HOUSE - OVERHEAD VIEW FROM NORTH



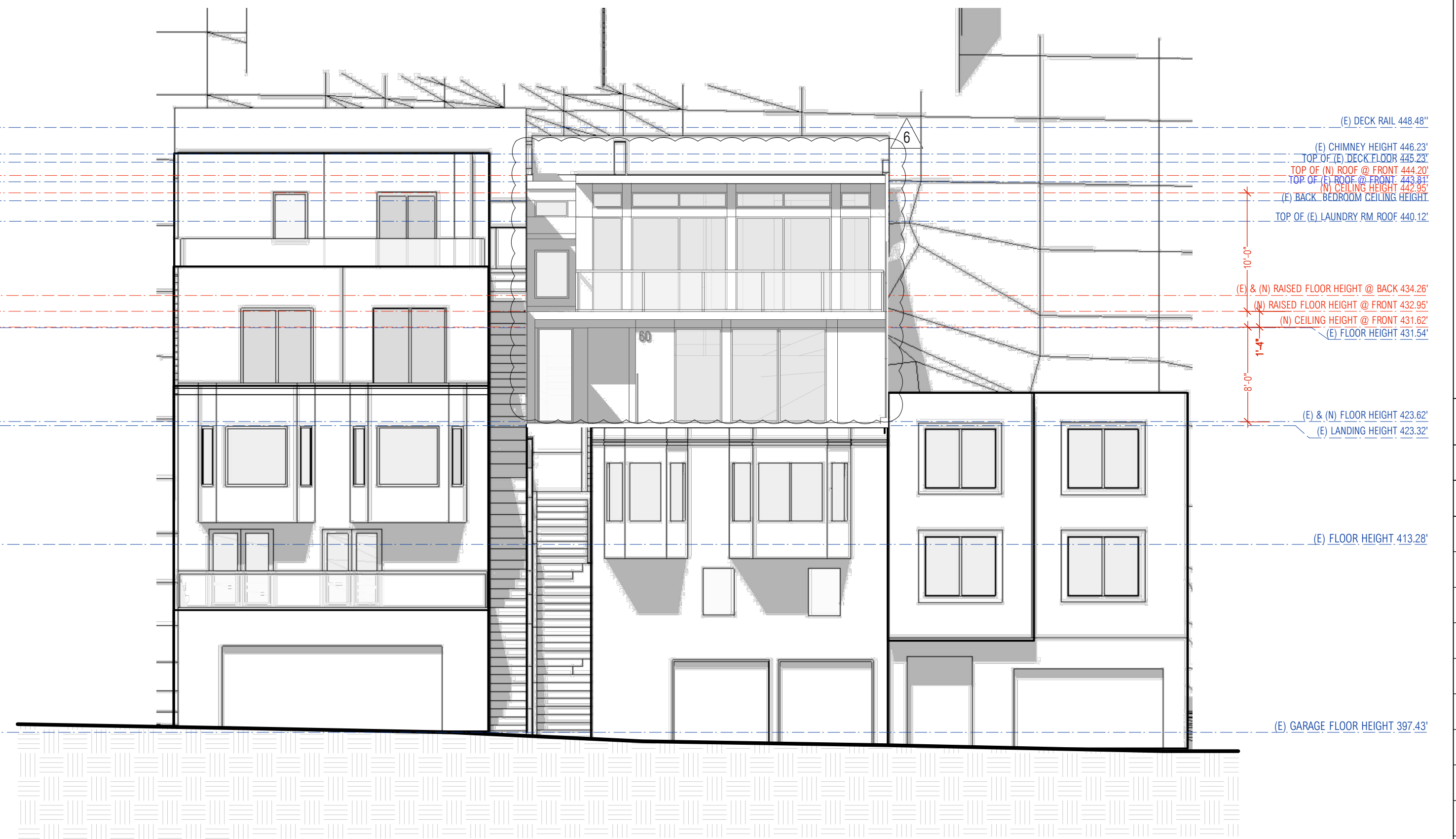
3B NEW HOUSE -VIEW OF LIGHTWELL & WINDOWS



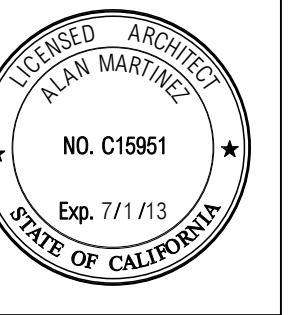
3 NEW HOUSE - OVERHEAD VIEW FROM NORTH



2 EXISTING HOUSE - EAST ELEVATION FROM STREET  
Scale: 1/8" = 1'-0"



1 NEW HOUSE - EAST ELEVATION FROM STREET  
Scale: 1/8" = 1'-0"



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NEIGHBOR'S HOUSE  
TO THE SOUTH  
(66 FOUNTAIN)

ROOF ELEV: 446.24'

COMPOSITION  
SHINGLE ROOFING

CEMENT PLASTER, TYP.

WOOD WINDOWS

STEEL TUBE GUARDRAIL

NEIGHBOR'S HOUSE  
TO THE SOUTH  
(66 FOUNTAIN)

ROOF ELEV: 446.24'

PAINTED WOOD DOOR

WALLS BEYOND

CHIMNEY

ROOF OVERHANG

GREY HARDIPANEL

GSM FLASHING

PANEL JOINTS

MILGARD 8" X 8" SL DRS.- ALUM.-  
WHITE

RAILING - WIRE GLASS IN STEEL FRAME  
OR WIRE RAIL IN STEEL FRAME

MILGARD PICTURE WINDOWS  
- ALUM.- WHITE

CONCRETE FOUNDATION

(E) CHIMNEY HEIGHT 446.23'

TOP OF (N) ROOF 444.20'

TOP OF (E) PARAPET @ FRONT 443.81'

(N) CEILING HEIGHT 442.95'

10'-0"

(N) RAISED FLOOR HEIGHT 432.95'

(N) CEILING HEIGHT 431.62'

(E) FLOOR HEIGHT 431.54'

8'-0"

(E) FLOOR HEIGHT 423.62'

2 EXISTING HOUSE - EAST ELEVATION  
Scale: 1/4" = 1'-0"

WOOD DECK  
GUARDRAIL

ALUM. WINDOWS

ROOF ELEV: 446.24'

CEMENT PLASTER, TYP.

NEIGHBOR'S HOUSE  
TO THE SOUTH  
(66 FOUNTAIN)

1 NEW HOUSE - EAST ELEVATION  
Scale: 1/4" = 1'-0"

NEIGHBOR'S HOUSE  
TO THE SOUTH  
(66 FOUNTAIN)

ROOF ELEV: 446.24'

GREY HARDIPANEL

RWL

MILGARD 48" X 63" SLIDER WINDOW -  
ALUM.- WHITE

ALUM CLAD, WHITE 3' X 8' FRENCH DR.

(E) CHIMNEY HEIGHT 446.23'

TOP OF (E) DECK FLOOR 445.23'

TOP OF (N) ROOF @ FRONT 444.20'

HIGH POINT OF (N) ROOF @ BACK 443.43'

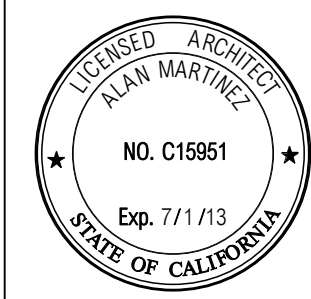
(E) BACK BEDROOM CEILING HEIGHT

TOP OF (E) LAUNDRY RM ROOF 440.12'

(E) & (N) RAISED FLOOR HEIGHT 434.26'

4 EXISTING HOUSE - WEST ELEVATION  
Scale: 1/4" = 1'-0"

3 NEW HOUSE - WEST ELEVATION  
Scale: 1/4" = 1'-0"



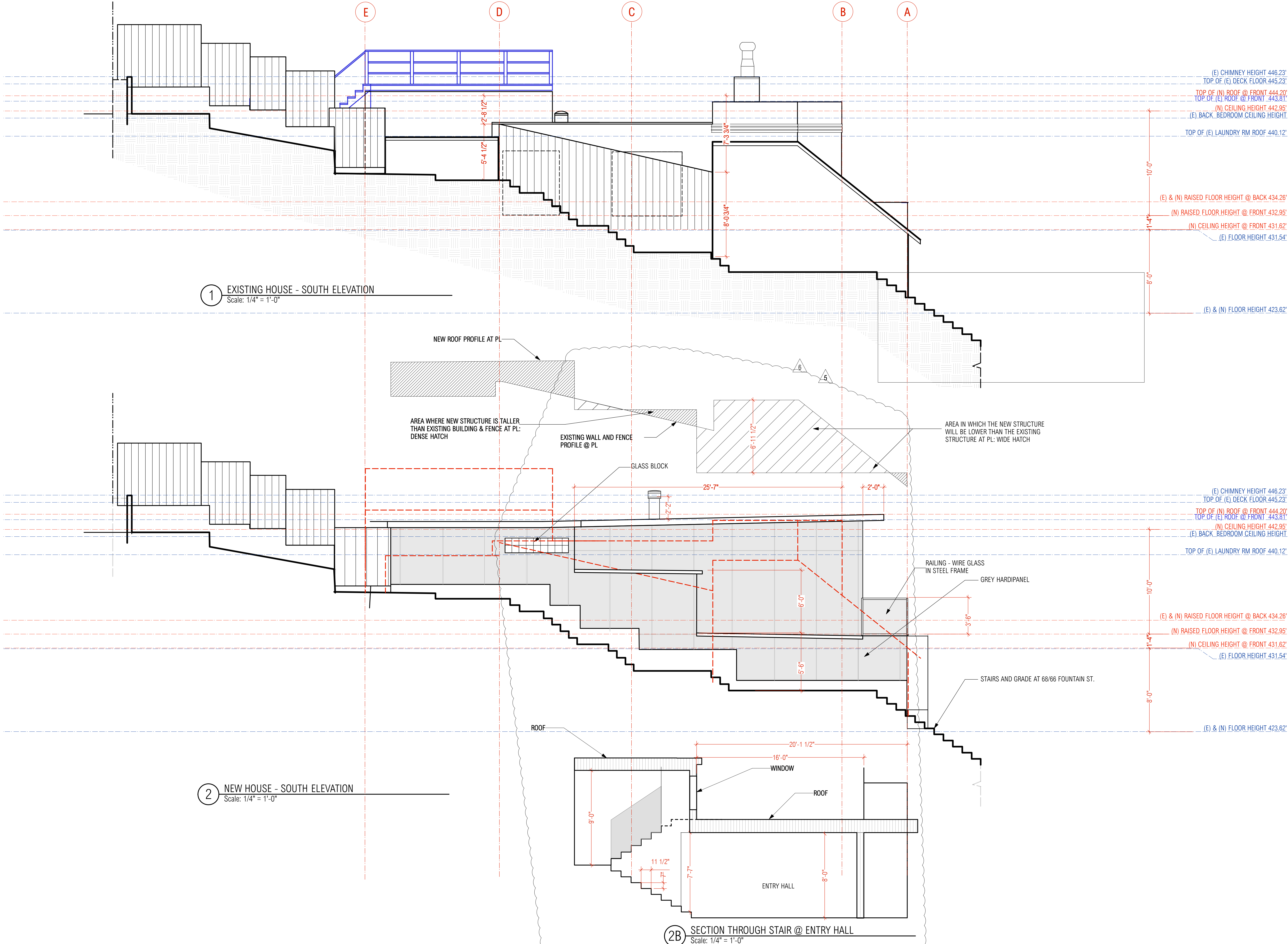
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