



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 26, 2014**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard Modification and Exposure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 436 O'Farrell St	Case No.: 2009.0258V
Cross Street(s): Jones/Taylor	Building Permit: 200808058406
Block / Lot No.: 0317/005	Applicant/Agent: Joseph Tsang
Zoning District(s): RC-4 / 80-130-T	Telephone: 415-385-0888
Area Plan: N/A	E-Mail: tsangjoseph@yahoo.com

PROJECT DESCRIPTION

The proposal is for a change of use to convert office space to nine (9) residential units in the existing five-story commercial building. Open space for the new units will be provided by a new roof deck (approximately 600 square feet). With the exception of the roof deck and associated guardrails no other exterior alterations are proposed as part of this project.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 15.5 feet beginning at the lowest story containing a dwelling unit. Pursuant to Planning Code Section 134(g), an exception to rear yard requirements for properties located in an RC-4 District and North of Market Residential Special Use District #1 may be granted if equivalent amounts of rear yard open space meeting certain criteria are provided. The existing building is built to the lot line at the ground floor and has a rear yard of approximately 11.5 feet beginning at the second floor. A code-complying amount of rear yard open space would be approximately 437.5 square feet, and the project proposes to provide approximately 600 square feet of open space on a new roof deck facing O'Farrell Street. As the existing rear yard does not meet the requirements of the Planning Code, the project requires a rear yard modification.

PER SECTION 140 OF THE PLANNING CODE every dwelling unit shall face directly on an open area consisting of a public street, public alley at least 25 feet in width, side yard at least 25 feet in width, or rear yard meeting the requirements of this Code. As four of the new dwelling units will face the non-conforming rear yard, the project requires a variance from the exposure requirement of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Pilar LaValley** Telephone: **415-575-9084** Mail: pilar.lavalley@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2009.0258V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Building Permit Application No. 2008.08.05.8406 is associated with this Variance request.

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES

1. Codes, Regulations and Standards All material and workmanship shall conform to the 2010 San Francisco Building Code (SFCB) which consists of the 2010 California Building Code (CBC) with San Francisco Amendments, along with the 2010 San Francisco Electrical Code (SFECEC), which consists of the 2010 California Electrical Code (CEC) with San Francisco Amendments, the 2010 San Francisco Energy Code (SFECEC), which consists of the 2010 California Energy Code, which is essentially the same as the 2010 California Energy Code, with no local amendments, the 2010 San Francisco Housing Code, the 2010 San Francisco Mechanical Code (SFMCC), which consists of the 2010 California Mechanical Code (CMC) with San Francisco Amendments, and the 2010 San Francisco Plumbing Code (SFPCC) consists of the 2010 California Plumbing Code (CPC) with San Francisco Amendments, along with the latest adopted edition of the Health and other applicable Codes, Amendments, Regulations, Government Standards and applicable Standards referenced in the Contract Documents. It is the Contractor's responsibility to construct this Project according to these Codes, Regulations and Standards. These Codes, Regulations and Standards shall be the responsibility of the Contractor and its Subcontractors from the responsibility of knowledge of the Contractor and its Subcontractors. The Contractor shall notify the Designer of all items contained in the Contract Documents that, in his opinion, do not meet Code requirements. Contractor will inform his Subcontractors of their mutual responsibility as licensed contractors to bid and construct according to these Documents and Code requirements. Contractor shall verify that any work performed after 09/01/13 complies with current adopted building codes. Conflicts shall be brought to the Architect's attention prior to commencement of the work. Architect shall be notified if any changes are made to the drawings and if work is performed under applicable codes other than specified on these drawings.

2. **Agreement with Drawing Convention and Level of Detailing** The Contractor agrees, by proceeding with construction and using these Construction Documents, that he/she has reviewed them in detail, understands them and agrees that the drawing conventions employed, the amount of detailing and level of detailing are appropriate and adequate to allow his/her satisfactory construction of the Project.

3. Conflicts In the event of a conflict between the plans, specifications, and/or manufacturers' literature, the more stringent requirement shall govern.

4. Existing Condition Discrepancies Report to the Architect any discrepancies between the existing conditions and the drawings, prior to proceeding with the work.

5. Dimensions The Contractor shall verify all dimensions and site conditions before starting work. The Architect shall be notified of any discrepancies. **DO NOT SCALE THE DRAWINGS.** Field-verify all dimensions. Conditions not shown or foreseen may alter new work shown and may require additional work. Contractor shall provide verification of dimensions and conditions shown prior to commencement of new work.

6. Replacement of Decayed and Damaged Items The Contractor shall review and assess the condition of all items exposed to view after demolition, including, but not limited to, framing members, joists, studs, blocking, beams, plates, concrete elements, connectors, fasteners, siding, sheathing, flashing, gutters, rainwater leaders, building papers, trim, utility elements, electrical, plumbing and other items, to determine existence of decay, deterioration, damage or other unsuitability. Replace or repair such items as directed by the Architect.

7. Determinations and Statements by Building Inspector Determinations and statements by the Building Inspector or other authorities shall not imply permission to deviate from the Contract Documents. Refer any such discrepancies to the Architect for interpretation or clarification.

8. Temporary Bracing/Safety The design adequacy and safety of the erection bracing abhorring and temporary supports is the sole responsibility of the Contractor. Observation visits to the job site by the Designer shall not include inspection or approval of above items. Jobsite safety, safety training and OSHA-required provisions are the Contractor's responsibility. The Architect has made no provision in these documents for construction technique or OSHA requirements during construction.

9. Superintendent The Owner and the Contractor, by their mutual contract for construction, shall provide for and insure that there is a full-time, qualified Superintendent at the job site at all times during construction and until Final Walkthrough or until the Architect and Owner agree, in writing, that no on-site supervision is required of the Contractor.

10. Utilities Underground utilities and other items are to be coordinated with the local power companies, as required. Verify all utility data and locations prior to commencing any work. The locations of the utilities which may be shown on these plans are based on the best information available; however, the Architect and Owner assume no responsibility for the accuracy of such information, or for the omission of any information. The Contractor shall cooperate with all utility companies and other contractors working within the limits of construction. The Contractor shall telephone the appropriate utilities before beginning any underground work. The Contractor shall be aware of the possibility of unknown underground items and to exercise care.

1.1. Note to Building Inspector Accept no ink or pencil correction to these drawings. All changes shall be made to the Contract Documents by the Architect, with prints submitted by the Architect of Record for Final Building Department stamps and issuance (This includes handwritten notes by the Building Department). The Architect and Owner assume no responsibility for alterations to these Documents not in accordance with this requirement.

12. Changes to Construction Documents The Architect and Owner shall be held harmless for all changes not in accordance with General Requirements/General Conditions procedure. All users of these documents agree, by using said Documents, to hold the Architect, Lawson Willard Architecture, and the Owner, harmless for any and all work that does not conform specifically to these Documents, the California Building Code, applicable local ordinances and accepted standards of good craftsmanship. Only Documents approved by the Building Department having jurisdiction are to be used for construction, on this Project only. (See Item #1 and #11 above, and the General Requirements and General Conditions of the Specifications).

13. Use of Documents These Documents shall not be used in whole or in part for any work other than at the locations indicated in the Documents.

14. Work Hours Construction activity shall not commence prior to 7:00 AM nor continue after 8:00 PM, Monday through Sunday. Noise generating activities (hand operated tools such as hammers, power tools such as saws and drills, heavy equipment or delivery vehicles) shall not begin before 7:00 AM nor continue after 8:00 PM, Monday through Sunday. No construction activity is allowed on legal holidays unless approved by both the Central Permit Bureau and the Owner.

ABBREVIATIONS

°	And Angle	F.T.	Fire Treated	P.NL	Panel
°	At	FR	Foot OR Feet	PR	Pr
°	Centerline	FTG	Footing	PTD	Point
°	Copyright	FURR	Furring	PTD	Painted
°	Degrees	FUT	Future	PTN	Partition
Ø	Diameter	GA	Gauge	Q.T.	Quarry Tile
#	Number/Pound	GALV.	Galvanized		
	Square Feet	G.B.	Grab Bar	R.	Riser
	Parallel	G.C.	General Contractor	R.A.	Return Air
	Perpendicular	G.D.	Garbage Disposal	RAD	Radius
	Plus or Minus	GENL	General	REFL	Reflected Ceiling Plan
	Property Line	G.F.C.I.	Ground Fault Circuit Interruption	R.D.	Rod Drain
ARV.	Above	G.R.G.	Glass Reinforced Gypsum	REC	Recessed
AFC	Air Condition	GL	Glass	REF	Reference OR Refrigerator
ACOUS.	Acoustical	GND.	Ground	R.F.NF	Reinforced
A.D.	Area Drain	G.N.	Guardrail	REM.	Remaining
AD.	Additional	GR	Grade	REQ.	Required
ADJ.	Adjustable	GP	Grade	RES	Resilient
ADJA.	Adjacent	GP BD.	Gypsum Board	R.F.T.	Retaining
A.F.F.	Above Finished Floor	H.B.	Hose Bib	REV.	Revised / Revision
AL	Aluminum	H.C.	Hollow Core	RFG.	Refrigerator
AP	Access Panel	HD	Head	RFL	Reflected
APPROX.	Approximate	HDBD	Hard Board	RGTR	Register
ANCH.	Anchor	HDR	Hard Board	RND.	Round
ARCH.	Architectural	HDW	Hardware	R.O.	Radius Opening
ASPH	Asphalt	HDWD.	Hardwood	R.P.	Radius Point
AUTO.	Automatic	HT	Height	R.W.L.	Rain Water Leader
		H.M.	Hollow Metal		
BD.	Board	HOR.	Horizontal	S.	South
BEL.	Below	H.F.T.	High Point	SAN.	Sanitary
BLDG.	Building	H.R.	Handrail	SCHD.	Schedule
B.K.	Block	H.R.	Hour	SECT.	Section
B.M.	Beam	H.V.A.C.	Heating, Ventilating, Air Conditioning	S.E.D	See Electrical Drawings
B.M.	Brick Module	H.W.	Hot Water	S.F.P.D.	See Fire Protection Drawings
BRT.	Bottom	I.D	Inside Diameter/Dimension	S.F.D.	See Finish Drawings
BRK.	Brick	IN.	Inch	S.F.	See Finish Drawings
B.U.R.	Built Up Roofing	INC.	Inches	S.F.NF	See Finish Drawings
BSMT.	Basement	INCL.	Included (in)	SHLF.	Shelf
		INFO.	Information	SHR.	Shower
C.	Carpet	INSUL	Insulation	SHT.	Sheet
CAB	Cabinet	INT.	Interior	SIM.	Similar
CAT	Category	INTER.	Intermediate	SK.	Sliding
CEM	Cement	J-BOX	Joint Box	S.L.	Sink
CER.	Ceramic	JAN	Janitor	S.L.D.	See Landscape Drawings
C.G.	Corner Guard	JST.	Joint	S.M.D.	See Mechanical Drawings
C.I.P.	Cast in Place	JT.	Joint	S.N.	See Note
C.J.	Control Joint	KIT.	Kitchen	S.P.D.	See Plumbing Drawings
CJG	Ceiling	K.K.	Kick Plate	SPEC.	Specification
CLG	Caulking	K.P.	Knockout	SPEKR.	Speaker
CLO.	Closet	K.O.	Knockout	SQ.	Square
CLR.	Clear	L	Length	S.S.	Stainless Steel
CMU	Concrete Masonry Unit	L	Laminare	S.S.D.	See Structural Drawings
CNR.	Counter	LAM.	Laminate	S.T.C.	See Transmission Coefficient
COL	Column	LAV.	Lavatory	STD.	Standard
CONC.	Concrete	LG.	Long	STL.	Steel
CONSTR.	Construction	LF.	Linear Foot	STOR.	Storage
CONTR.	Contractor	LFT.	Low Point	STRUCT.	Structure
CPI.	Carpet	LT.	Light	STR.	Structural
C.T.	Ceramic Tile	LT FIXT.	Light Fixture	SUSP	Suspend (ed)
CTR.	Center	M	Meter	SW.	Shear Wall
CTS.	Countersunk	MM	Millimeter	SQ.	Square Yards
C.W.	Cold Water Outlet	MACH.	Machine	SYM.	Symmetrical
		MAINT.	Maintenance	SYS.	System
D.	Double	MAT.	Material		
DEPT.	Department	MAS.	Masonry	T.	Tread
DET./DTL	Detail	MAX.	Maximum	T-24	Title 24
DIA	Diameter	M.D.F.	Medium Density Fiber Board	T&G	Tongue & Groove
DISP.	Dispersion	MECH	Mechanical	T.B.D.	To Be Determined
D.N.	Down	MEMB.	Membrane	TEL	Telephone
D.O.	Door Opening	M.E.P.	Mechanical, Electrical, Plumbing	TEMP.	Tempered
D.P.	Dimension Point	MTL	Metal	TERR.	Terrazzo
DR.	Drain	MTL/MTL	Manufacturing	T.O.	Top of
DRN.	Drain	MH.	Manhole	T.O.C.	Top of Curb
D.S.	Downspout	MIC.	Microwave	T.O.C.	Top of Concrete
D.W.	Dishwasher	MID.	Middle	T.O.C.	Top of (ing)
DWG.	Drawings	MIN.	Minimum	T.O.P.	Top of Pavement OR
DWR.	Drawer	MIRR.	Mirror	T.O.P.	Top of Parapet
		MISC.	Miscellaneous	T.O.P.L.	Top of Plate
E	East	M.O.	Masonry Opening	T.O.S.	Top of Slab
(E)	Existing	MTD.	Mounted	T.O.STL.	Top of Steel
E.A.	Each	MUL.	Mullion	T.O.W.	Top of Wall
E.J.	Expansion Joint			T.P.D.	Toilet Paper Dispenser
E.L.	Elevation	N	New	TV	Television
ELEC.	Electrical	N	North	T.W.	Top of Wall
ELEV.	Elevator	N.C.	Not In Contact	TYP.	Typical
EMER.	Emergency	NO	Number		
ENCL.	Enclosure	NOM.	Nominal	U.B.C.	Uniform Building Code
ENGR.	Engineering	N.T.S.	Not To Scale	U.C.	Under Counter
E.P.	Electrical Panelboard	O.A.	Overall	U.L.	Underwriters Laboratory
EQ.	Equal	O.C.	On Center	UNF.	Unfinished
E.Q.	Equipment	O.D.	Outside Diameter/Outside Dimension	U.O.N.	Unless Otherwise Noted
E.W.C.	Electric Water Cooler				
EXP	Expansion	O.F.C.I.	Owner Furnished Contractor Installed	VAR.	Varies
EXP.	Exposed	O.F.	Overflow	V	Vapor Barrier
EXT.	Exterior	O.F.O.	Overflow	V.C.T.	Vinyl Composition Tile
EXT.	Exterior	O.F.O.I.	Owner Furnished Owner Installed	V.E.T.	Vener
F.	Fabric	OFL	Overflow Leader	VERT.	Vertical
F.A.	Fire Alarm	O.F.O.I.	Owner Furnished Owner Installed	VEST.	Vestibule
F.D.	Fire Alarm			V.F.	Vent in Field
FDN.	Foundation	O.H.	Over Head	VOL.	Volum
F.E.	Fire Extinguisher	OPNG.	Opening	V.P.	Venerse Plaster
F.F.	Fire Extinguisher	OPP	Opposite		
F.F.C.	Fire Extinguisher Cabinet	OPSH.	Opposite Hand	W	West OR Width
F.H.C.	Fire Hose Cabinet	O.S.B.	Oriented Strand Board	W/	With
F.H.	Finish	OVHD.	Overhead	WC	Water Closet
F.H.	Finish	OZ.	Ounce	W.C.	Water Closing
FL.	Flare			W.D.	Window
FL/FLR	Flashing	P	Paint	WDW	Window
FLASH.	Flashing	PAV	Paving	W.F.	Wood Flooring
FLUOR.	Fluorescent	PERP.	Perpendicular	W.H.	Water Heater
F.O.B.	Face of Building	P.G.	Paint Grade	W/O	Without
F.O.C.	Face of Concrete	PL	Plate	W.P.	Waterproof
F.O.F.	Face of Finish	P.L.A.M.	Plastic Laminate	WPT.	Work Point
F.O.S.	Face of Stud	PLAS.	Plaster	W.R.	Water Resistant
F.P.	Fireproof (ing)	PLYWD.	PLYWOOD	WSC.	Wainscot
F.R.	Fire Retardant	PUB.	Plumbing	WT	Weight
F.S.	Full Size	POLG.	Polished	W.W.F.	Welded Wire Fabric

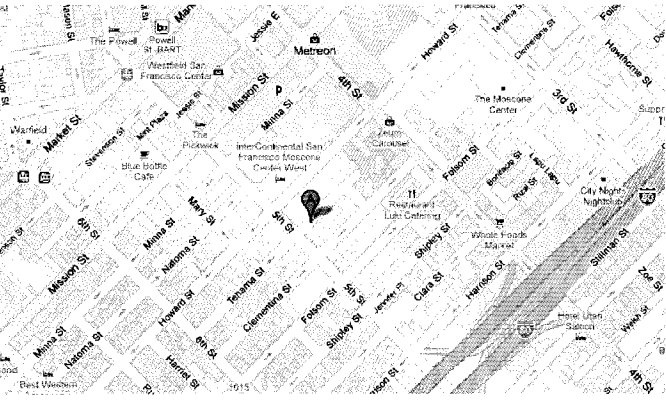
SYMBOLS

	Dimension to Face of Framing		Waterproof Outlet
	Dimension to Centerline		Wall Mounted Light Fixture
	Dimension to Face of Finish		Ceiling Mounted Light Fixture
	Detail Reference Marker		Recessed Ceiling Light Fixture
	Interior Elevation Marker		Recessed Ceiling Directional Light Fixture
	Cross Section Marker		Wall Mounted Low Voltage Light Fixture
	Interior Elevation Marker		Recessed Ceiling Low Voltage Light Fixture
	Window Marker - See Window Schedule		Recessed Ceiling Directional Low Voltage Light Fixture
	Door Marker - See Door Schedule		Wall Mounted Fluorescent Light Fixture
	Align Building Elements		Ceiling Mounted Fluorescent Light Fixture
	Sheet Note Marker		Recessed Ceiling Fluorescent Light Fixture
	Fixture Marker - See Fixture Schedule		Fluorescent Strip Light Fixture
	Elevation Datum Point		Under-Cabinet Mounted Fluorescent Strip Light Fixture
	Spot Elevation		Recessed Ceiling Exhaust Fan
	Drawing Revision		Recessed Ceiling Exhaust Fan/Fluorescent Light Combo
	Switch		Thermostat
	Switch with Occupancy Sensor		Telephone Receptacle
	3 Way Switch		Data Receptacle
	4 Way Switch		Telephone & Data Receptacle
	Dimmer Switch		Cable / Satellite Television Receptacle
	Dimmer Switch with Occupancy Sensor		Wall Mounted Speaker
	3 Way Dimmer Switch		Ceiling Mounted Speaker
	4 Way Dimmer Switch		Door Bell
	Door Switch		Smoke Detector
	Duplex Outlet		Sprinkler Head
	Quadruplex Outlet		Cold Water Outlet
	Switched Outlet		Hose Bib
	Floor Duplex Outlet		Natural Gas Outlet
	220 Volt Outlet		Garage Door Opener
	Ground Fault Interrupter Circuit, Mounted @ 42" A.F.F., U.O.N.		

PROJECT DIRECTORY

Owner:	Naranjibhai Patel 106 Sixth Street San Francisco, CA 94103	
Architect:	Lawson Willard, AIA Lawson Willard Architecture 2147 Union Street San Francisco, CA 94123	Phone: 415.674.1102 Fax: 415.276.3775 Email: lw@lawsonwillard.com Web: www.lawsonwillard.com

AREA MAP



PROJECT DATA

Project Name:	436 O'FARRELL STREET
Site Address:	436 O'FARRELL STREET SAN FRANCISCO, CALIFORNIA 94102
Block Number / Lot Number:	0317 / 005
Zoning Designation:	RC-4
Occupancy Classification:	B (EXISTING) B & RZ (PROPOSED)
Number of Stories:	6 Stories Above 1 Basement
Automatic Fire Sprinklers:	Yes
Lot Area:	1,750 sf
Setbacks:	
Front =	Average of Adjacent Lots
Side =	0'-0"
Rear =	25% of 62'-6" @ 15'-8"
Existing / Proposed Height:	62'-6" Above Street Level (no change)

SCOPE OF WORK

- CONVERSION OF 9 OFFICE SPACES INTO 9 RESIDENTIAL UNITS
- ADDITION OF 9 CLASS-ONE OFF-STREET BICYCLE PARKING SPACES IN EXISTING BASEMENT, PER PLANNING DEPARTMENT REQUIREMENTS
- ADDITION OF (N) ROOF DECK, PER PLANNING DEPARTMENT REQUIREMENTS
- ADDITION OF STREET TREE, PER PLANNING DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS REQUIREMENTS

DRAWING INDEX

ARCHITECTURAL

A0.00 COVER SHEET

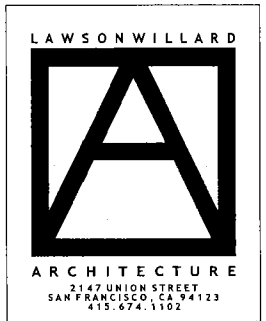
A1.00 SITE PLAN
A1.01 SITE PHOTOS

A1.10 EXISTING BASEMENT AND FIRST FLOOR PLANS
A1.11 EXISTING SECOND, THIRD, AND FOURTH FLOOR PLANS
A1.12 EXISTING FIFTH FLOOR AND SIXTH FLOOR PENTHOUSE PLANS

A2.01 PROPOSED SECOND, THIRD, AND FOURTH FLOOR PLANS
A2.02 PROPOSED FIFTH FLOOR AND SIXTH FLOOR PENTHOUSE PLANS

A3.00 EXISTING EXTERIOR ELEVATIONS

A3.10 BUILDING SECTIONS



C. LAWSON WILLARD

License No. C 26756

436 O'FARRELL STREET

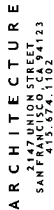
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COVER SHEET

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Professional Engineer Seal for the State of California, License No. 96972, dated 9/2/01.

E. LAWSON WILLARD
License No. C 26756

436 O'FARRELL STREET
SAN FRANCISCO, CALIFORNIA 94102

REV. ISSUED FOR: _____ DATE: _____

PLANNING CODE VARIANCE 10/15/13

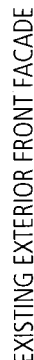
SITE PHOTOS

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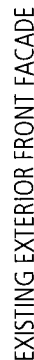
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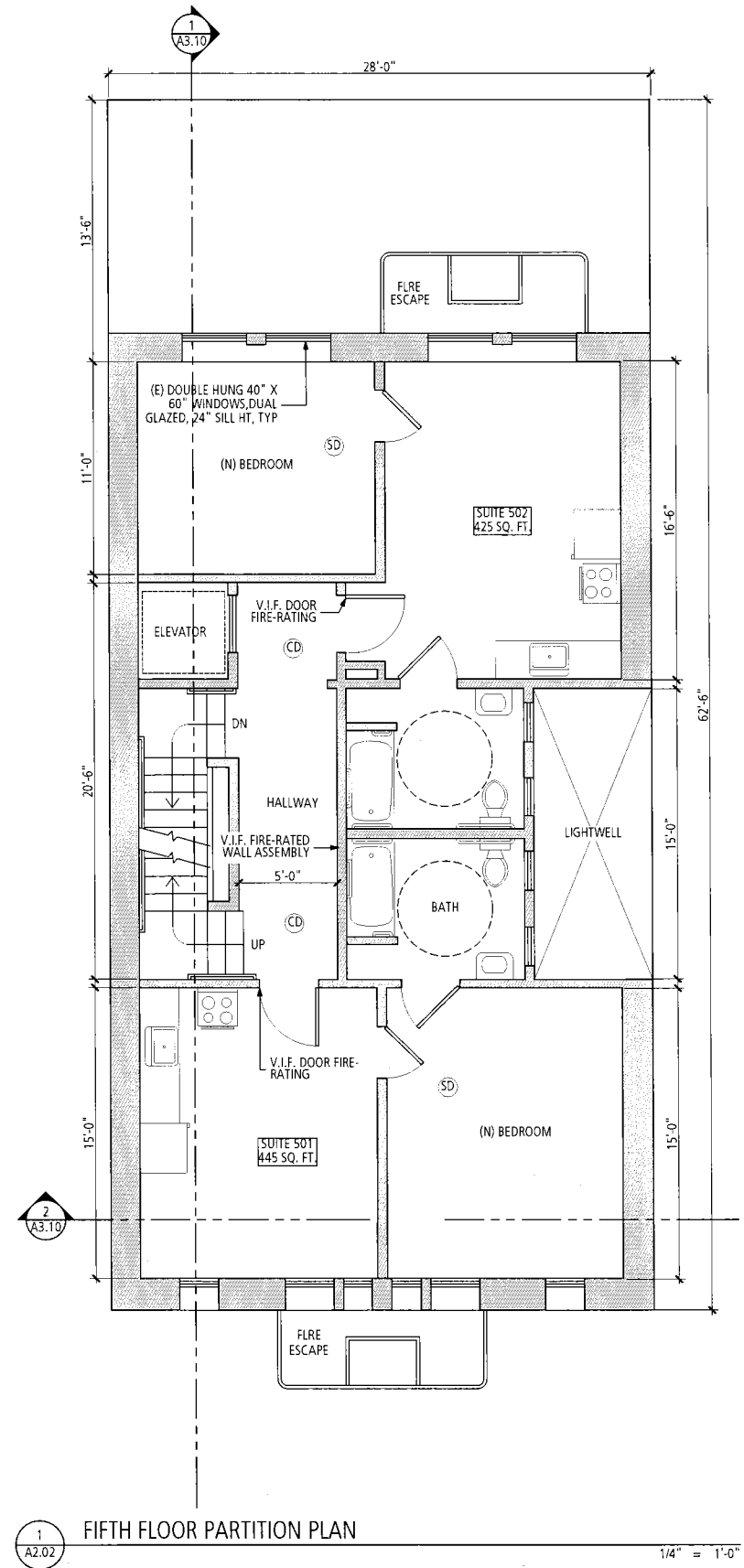
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430 O'FAIRALL STREET
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436 O'FARRELL STREET
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**EXISTING
EXTERIOR
ELEVATIONS**

A3.00

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