



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

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NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 24, 2011**

Time: **Beginning at 9:30 AM**

Location: **Planning Department
1650 Mission Street, Suite 431**

Case Type: **Variances (Front Setback and Non-Complying Structure)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	197 Laidley Street	Case No.:	2008.1342V
Cross Street(s):	Harper/Fairmount	Building Permit:	2008.12.11.8300
Block /Lot No.:	6664/012	Applicant/Agent:	Tony Pantaleoni
Zoning District(s):	RH-1/40-X	Telephone:	(415) 495-4051
Area Plan:	N/A	E-Mail:	tony@kp-architects.com
PROJECT DESCRIPTION			
<p>The proposal is to create a three-story, single-family house on the subject corner lot by raising the overall height of the existing two and a half-story building by approximately 4 feet, 6 inches. Although the building height is increasing, the proposal will also decrease the depth of the third-story from 32 feet deep to 28 feet deep. This item has been continued from the March 23, 2011, Variance hearing and was subject to a Discretionary Review heard by the Planning Commission on July 21, 2011.</p> <p>PER SECTION 132 OF THE PLANNING CODE the subject property is required to maintain a front setback (along Laidley Street) of 15 feet, where 0 feet is currently provided. The proposed 4 feet, 6 inch height increase will be located partially in the required front setback; therefore, the project requires a variance from the front setback requirement of the Planning Code.</p> <p>PER SECTION 188 OF THE PLANNING CODE the existing single family home is required to maintain a front setback of 15 feet, where 0 feet is provided. The proposal increases the height to the portion of the building which does not comply with the front setback requirements; therefore, a variance is required.</p>			
ADDITIONAL INFORMATION			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF: Planner: Sharon Lai Telephone: (415) 575-9087 E-Mail: sharon.w.lai@sfgov.org</p>			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2008.1342V.pdf</p>			

中文詢問請電: 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification was conducted from March 9, 2011 to April 8, 2011.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

[illegible]

DEMOLITION CALC.

EXISTING WALL AREA CALCULATIONS

TOTAL EXISTING WALLS:

	EXTERIOR WALLS			INTERIOR WALLS		
	WALL LENGTH (FT.)	WALL HEIGHT (FT.)	WALL AREA (S.F.)	WALL LENGTH (FT.)	WALL HEIGHT (FT.)	WALL AREA (S.F.)
2ND FLOOR	116	9	1044	99.954	9	799.63
1ST FLOOR	128	9	1152	113.57	9	906.56
BASEMENT	128	9	1152	13.25	9	119.25
TOTAL	372		3348.00	226.77		1827.44

EXISTING WALLS TO BE REMOVED:

	EXTERIOR WALLS			INTERIOR WALLS		
	WALL LENGTH (FT.)	WALL HEIGHT (FT.)	WALL AREA (S.F.)	WALL LENGTH (FT.)	WALL HEIGHT (FT.)	WALL AREA (S.F.)
2ND FLOOR	69.58	9	626.22	99.954	9	799.63
1ST FLOOR	44	9	396	108.32	9	866.56
BASEMENT	0	9	0	2.46	9	22.14
TOTAL	113.58		1022.22	210.73		1688.33

EXISTING WALLS TO BE REMAIN:

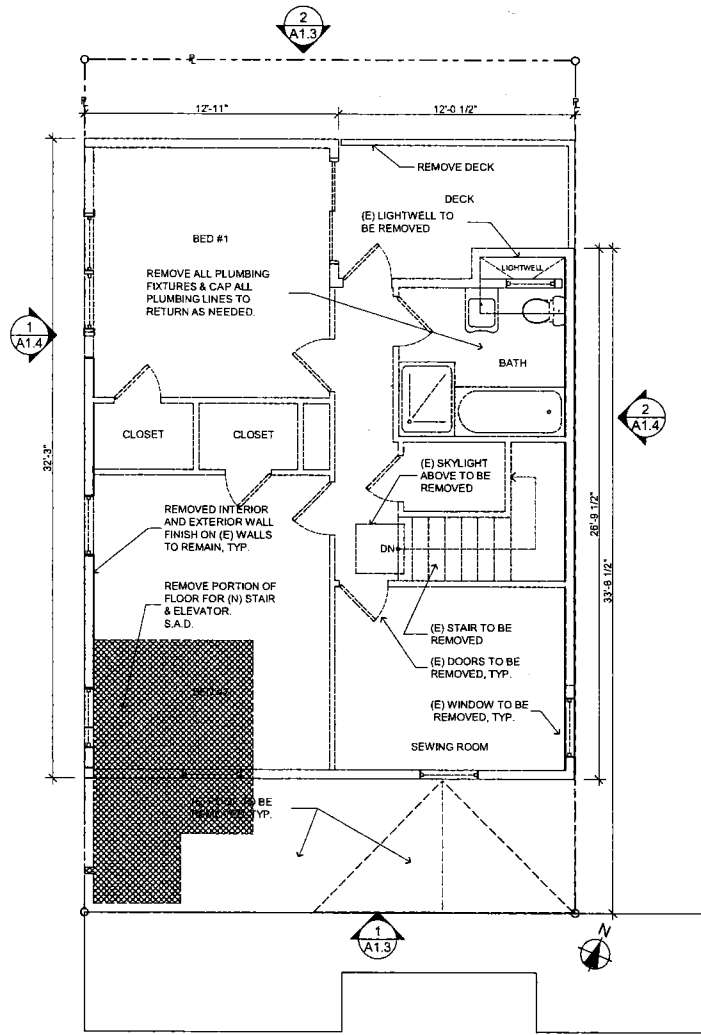
	EXTERIOR WALLS			INTERIOR WALLS		
	WALL LENGTH (FT.)	WALL HEIGHT (FT.)	WALL AREA (S.F.)	WALL LENGTH (FT.)	WALL HEIGHT (FT.)	WALL AREA (S.F.)
2ND FLOOR	46.42	9	417.78	0	9	0.00
1ST FLOOR	84	9	756	5.25	9	47.25
BASEMENT	128	9	1152	10.79	9	97.11
TOTAL	258.42		2325.78	16.04		144.36

PRINCIPAL PORTION CALCULATION PER S.F.B.C. SEC. 103.3

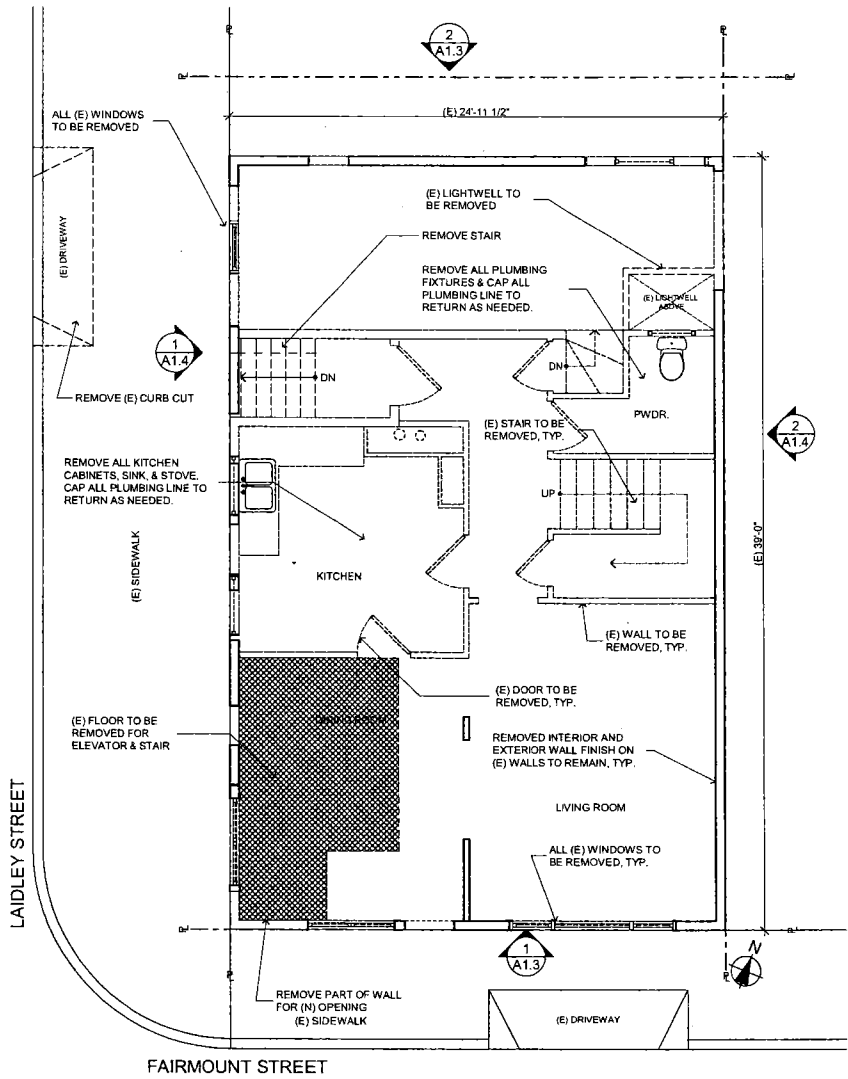
	TOTAL (E) ELEMENTS (S.F.)			(E) ELEMENTS TO BE REMOVED (S.F.)		
	BUILDING ENVELOPE	INTERIOR ELEMENTS	INTERIOR ELEMENTS	BUILDING ENVELOPE	INTERIOR ELEMENTS	INTERIOR ELEMENTS
2ND FLOOR	1044	728.15	670	626.22	93.39	90
1ST FLOOR	1152	168.47	915	396	189	90
BASEMENT	1152	0	915	0	0	22.14
TOTAL	3348.00	896.62	2500.00	1022.22	282.39	180.00

BUILDING ENVELOPE (EXTERIOR WALLS, ROOF AND INTERIOR BEARING ELEMENTS):
TOTAL AREA = 4244.62 S.F.
REMOVED AREA = 1304.61 S.F.
30.74% < 50%

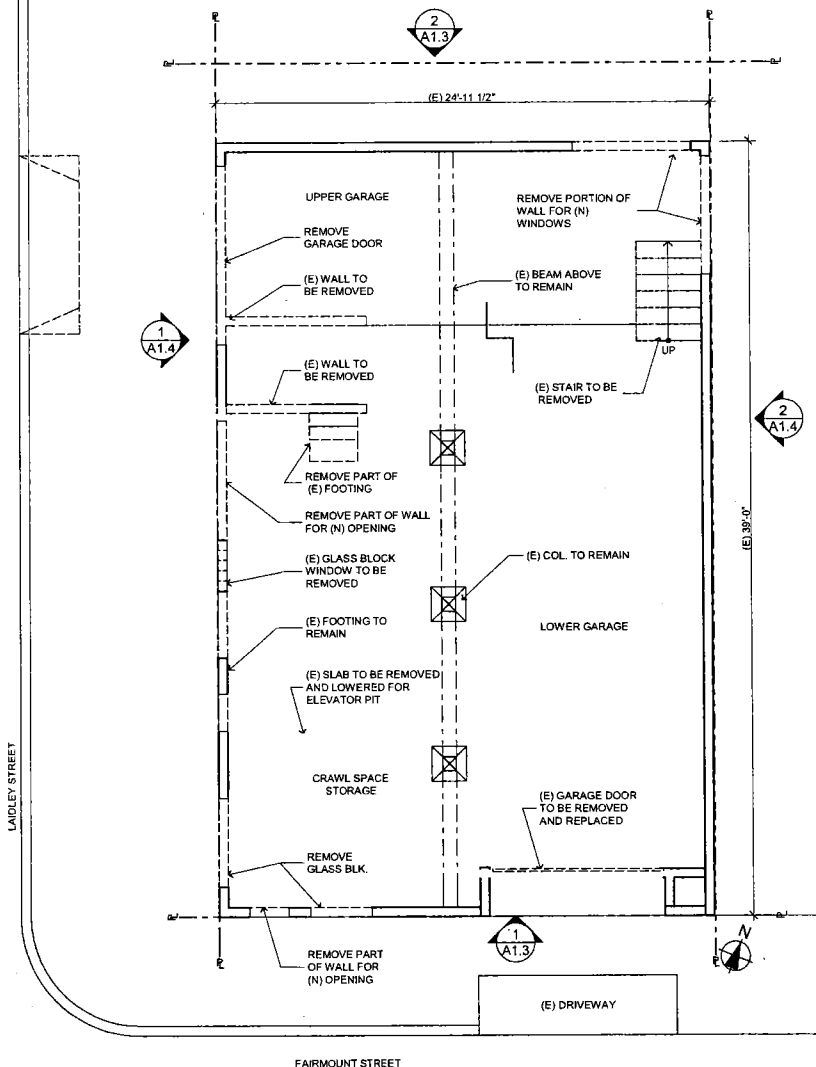
INTERIOR ELEMENTS (INTERIOR WALLS AND FLOOR):
TOTAL AREA = 4327.44 S.F.
REMOVED AREA = 1868.33 S.F.
43.17% < 50%



5 (E) 2nd Floor Plan
A1.2 1/4" = 1'-0"



4 (E) 1st Floor Plan
A1.2 1/4" = 1'-0"



3 (E) Basement Plan
A1.2 1/4" = 1'-0"

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Pantaleoni
Architects

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Revisions	By
Planning Revisions 02.11.08	MKG
Planning Revisions 11.23.10	CC
Planning Revisions 2.4.11	CC
Planning Revisions 2.18.11	CC

RENOVATION / ADDITION
197 LAIDLEY STREET
SAN FRANCISCO, CA

Sheet Title:
Site & City info:
(E) Demo. Plans & Calcs.
Basement and 1st Floor

Scale:
As Noted

Date:
12.11.08

Drawn By:
MKG

Job Number:
4-808

Sheet:

A1.2

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Revisions	By
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Planning Revisions 2.4.11	CC
Planning Revisions 2.18.11	CC

RENOVATION / ADDITION
197 LAIDLEY STREET
SAN FRANCISCO, CA

Sheet Title:
Site & City info:
(E) ELEVATIONS

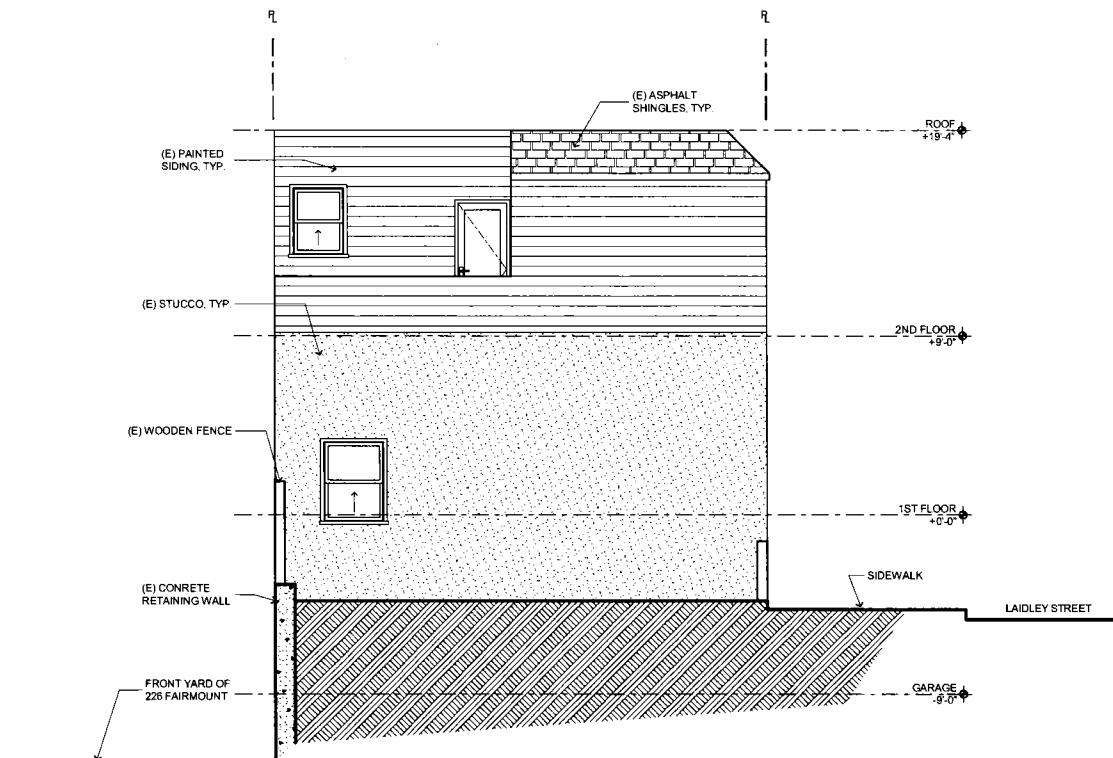
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As Noted

Date:
12.11.08

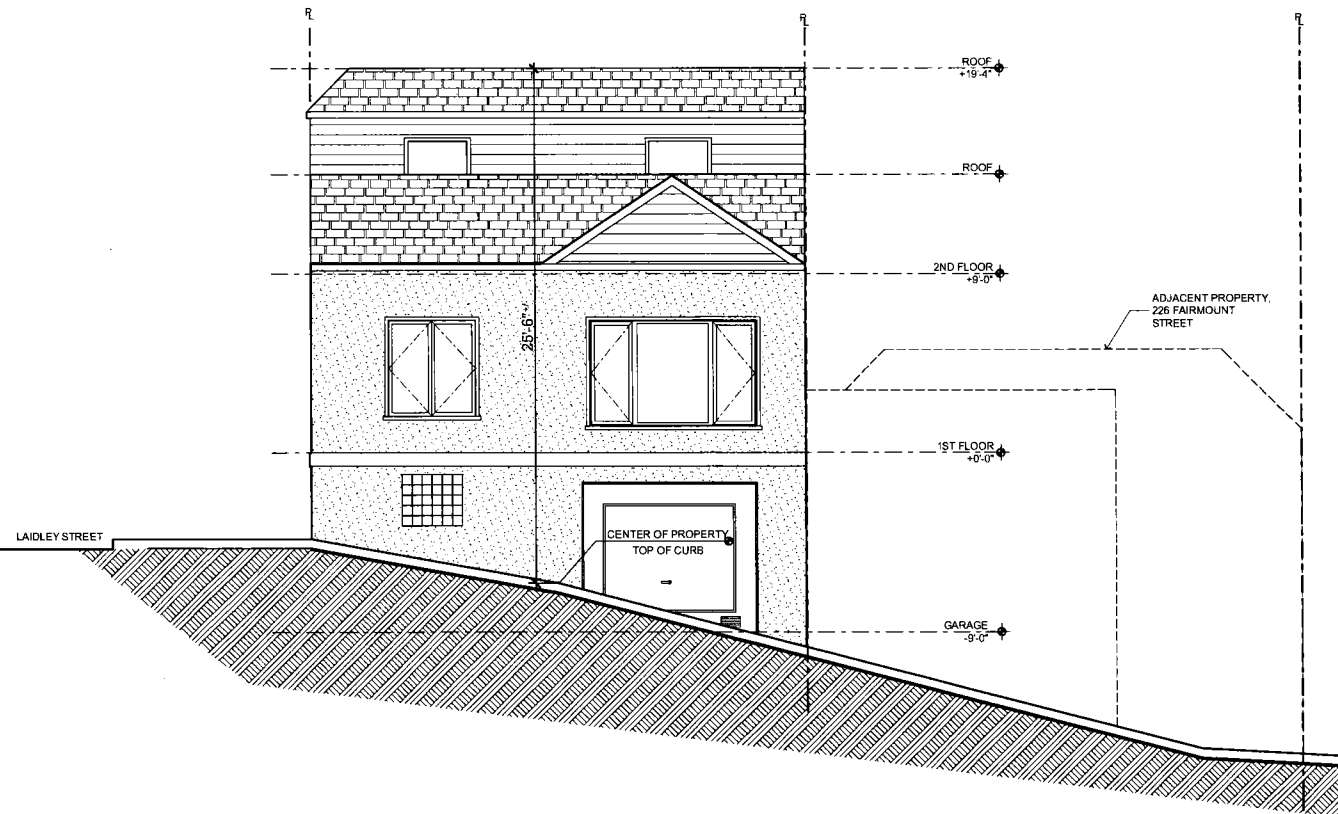
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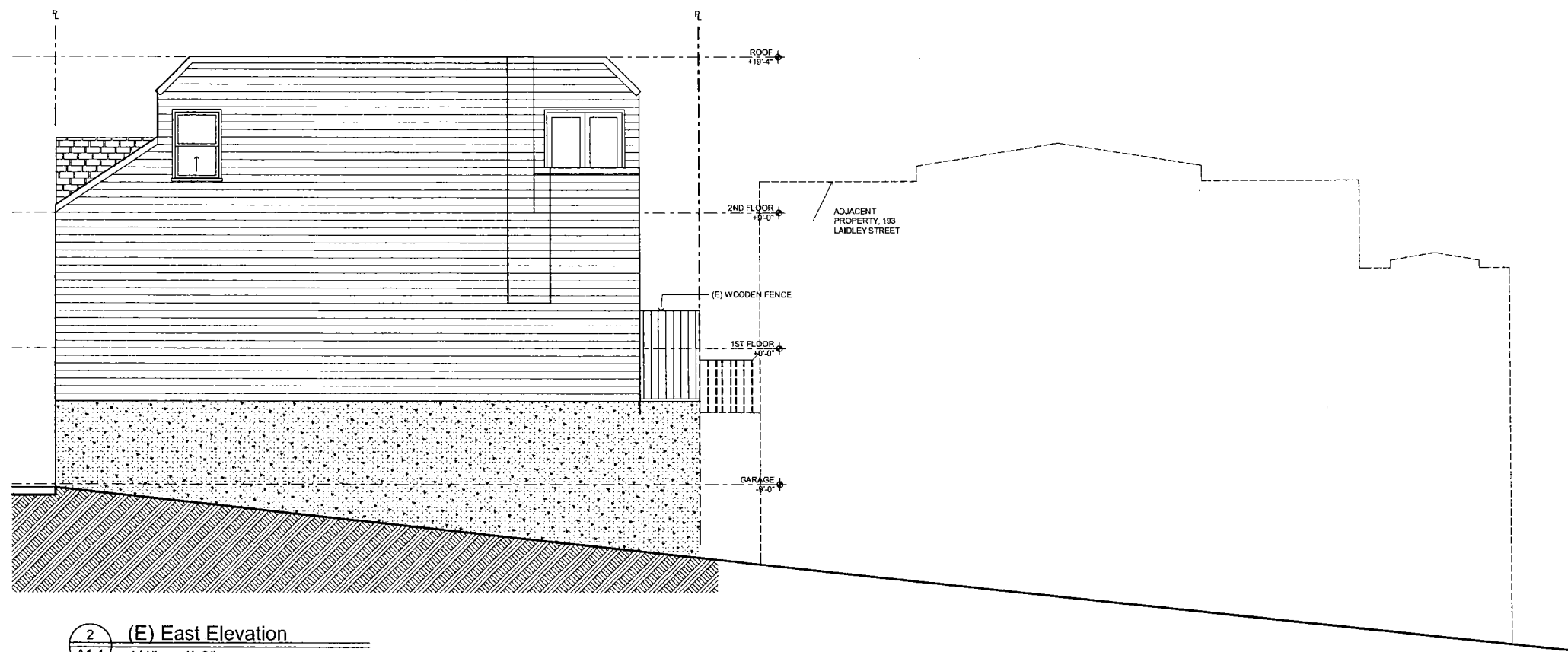
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A1.3



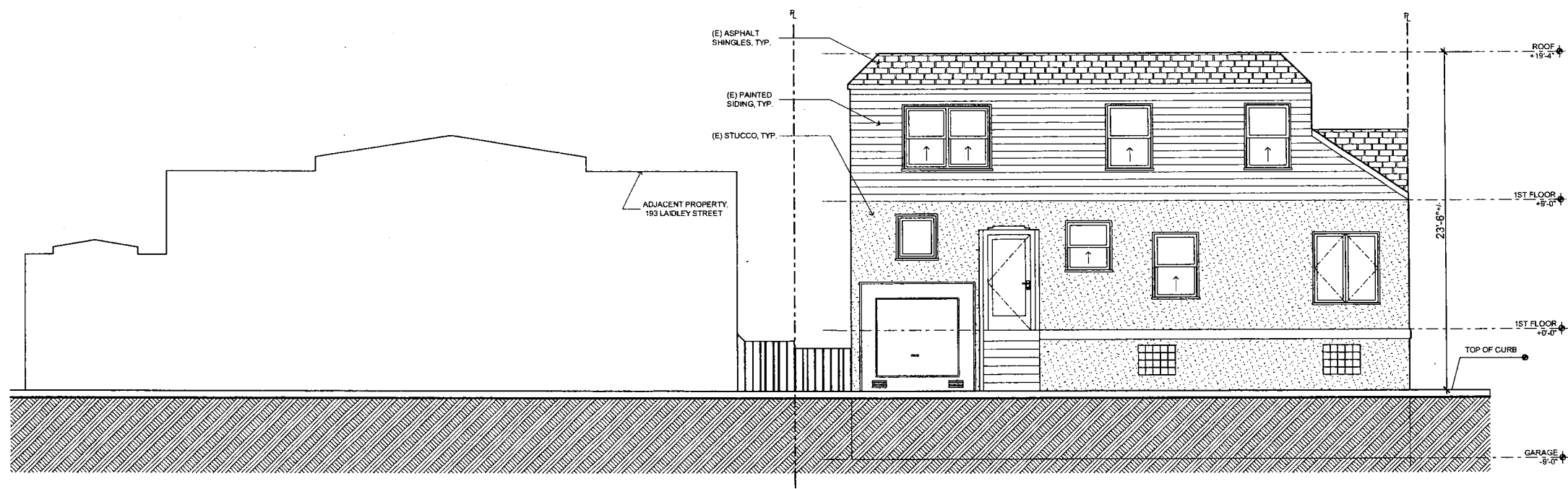
2 (E) North Elevation
A1.3 1/4" = 1'-0"



1 (E) South Elevation - Fairmount
A1.3 1/4" = 1'-0"



2 (E) East Elevation
A1.4 1/4" = 1'-0"



1 (E) West Elevation - Laidley St
A1.4 1/4" = 1'-0"

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Planning Revisions 11.23.10	CC
Planning Revisions 2.4.11	CC
Planning Revisions 2.18.11	CC

RENOVATION / ADDITION
197 LAIDLEY STREET
SAN FRANCISCO, CA

Sheet Title:
Site & City info:
(E) ELEVATIONS

Scale:
As Noted

Date:
12.11.08

Drawn By:
MKG

Job Number:
4-808

Sheet:
A1.4

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Planning Revisions 2.4.11	CC
Planning Revisions 2.18.11	CC

RENOVATION / ADDITION
197 LAIDLEY STREET
SAN FRANCISCO, CA

Sheet Title:
Floor Plans:
FLOOR PLANS

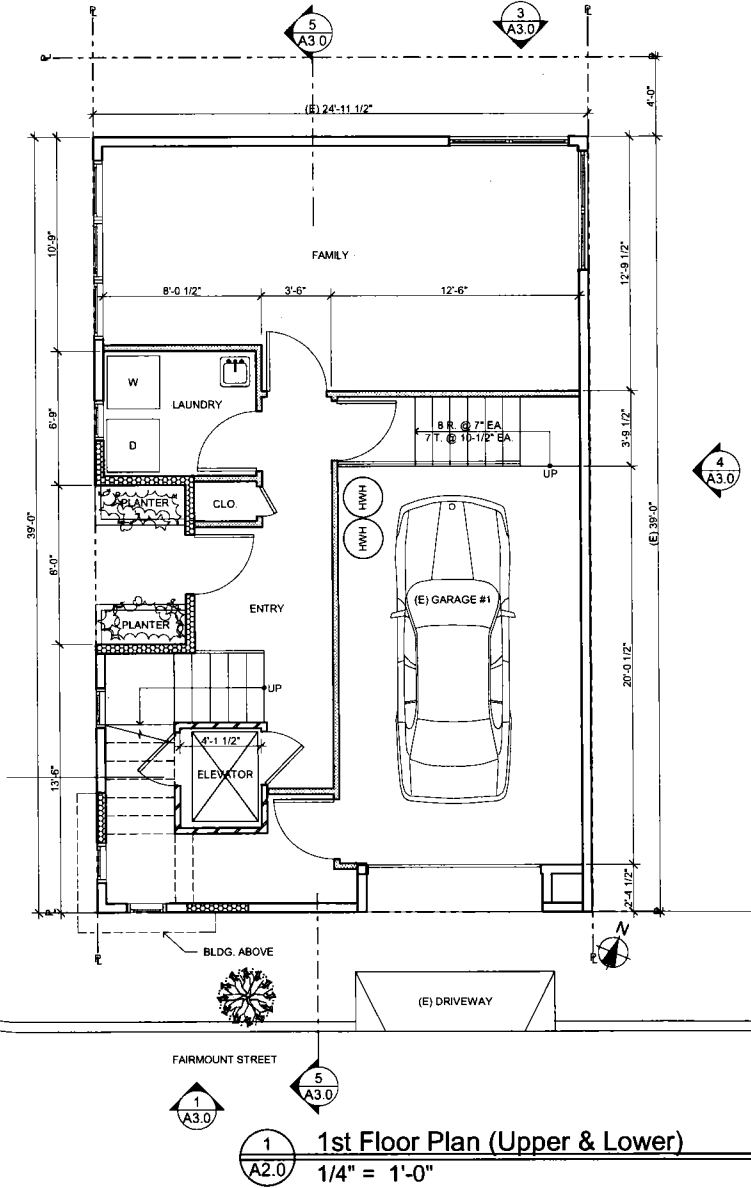
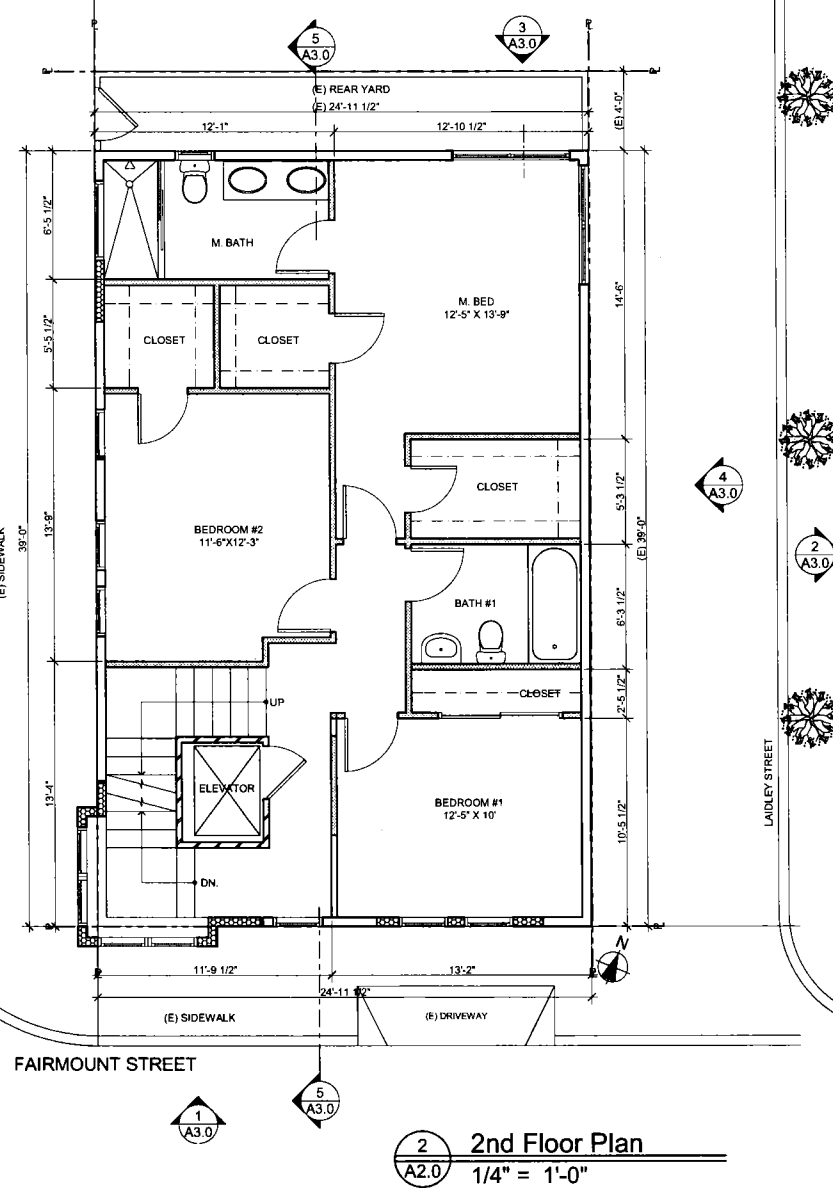
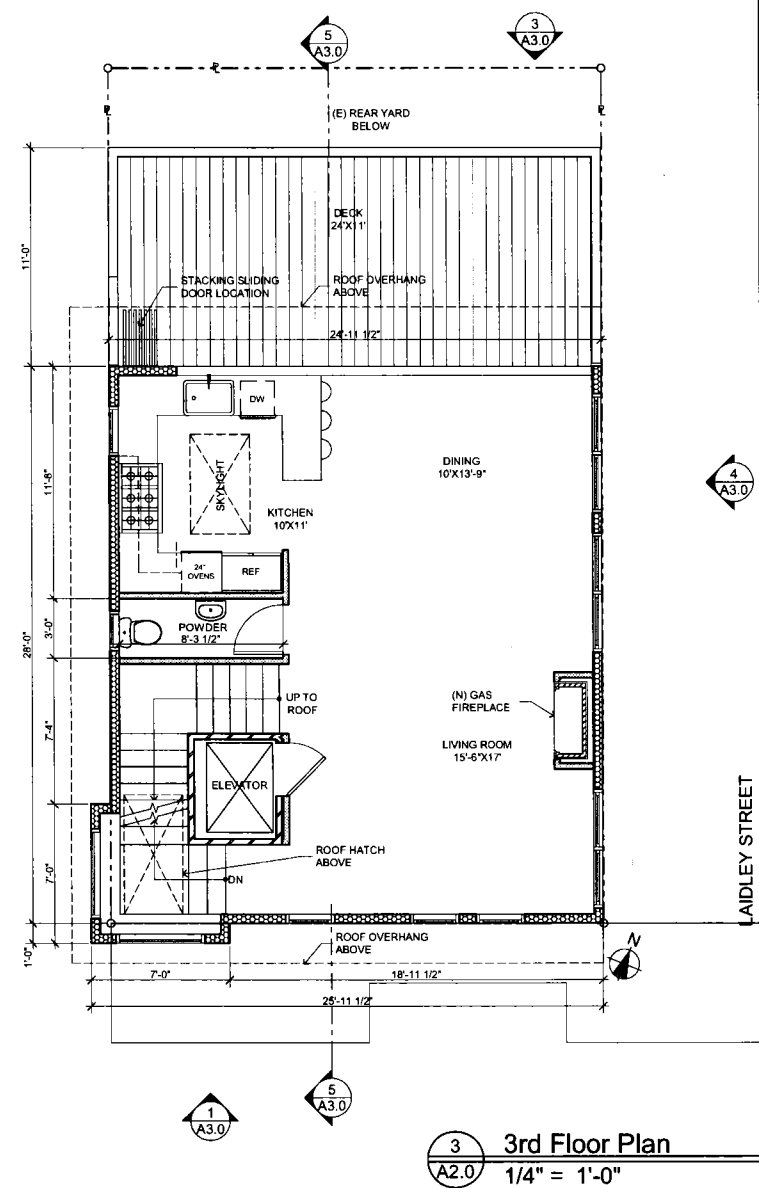
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As Noted

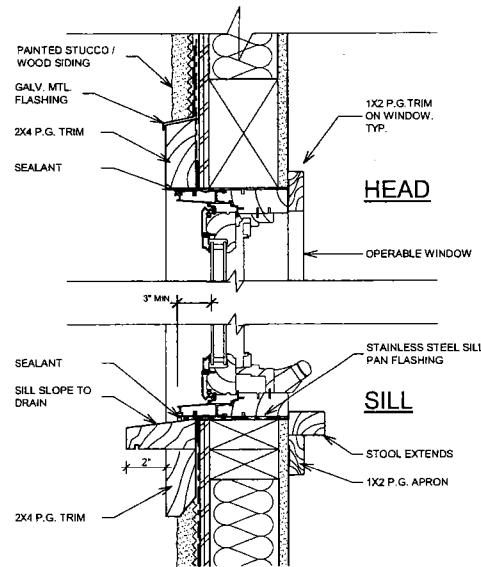
Date:
12.11.08

Drawn By:
MKG

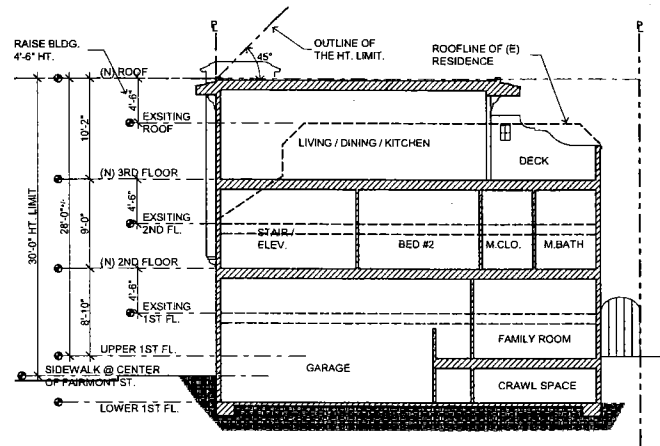
Job Number:
4-808

Sheet:
A2.0

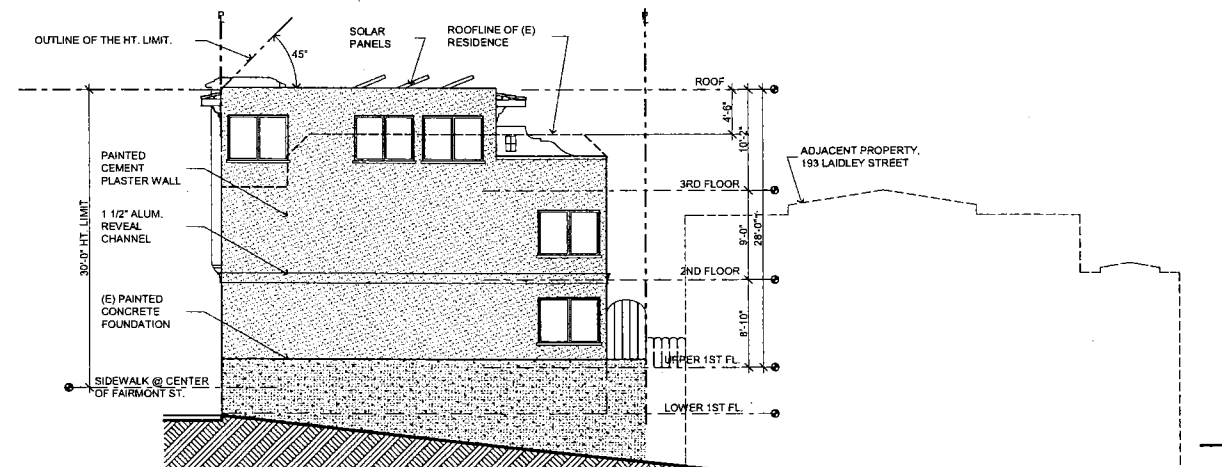




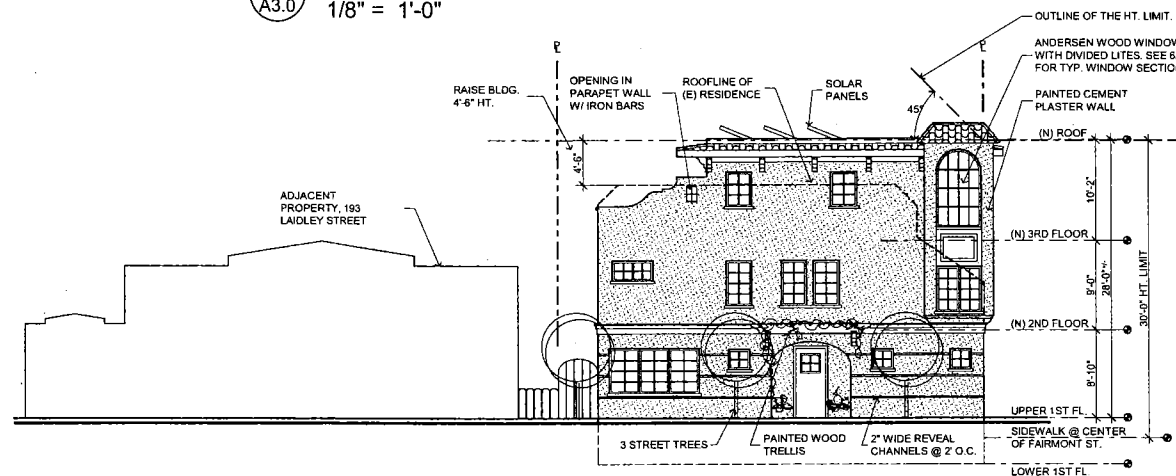
6 WINDOW DETAIL
A3.0 N.T.S.



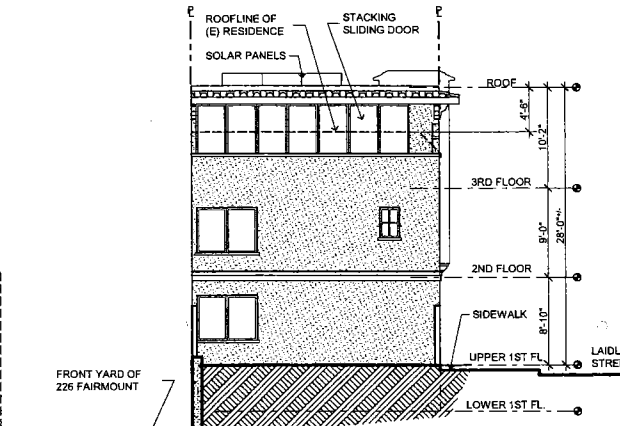
5 Building Section
A3.0 1/8" = 1'-0"



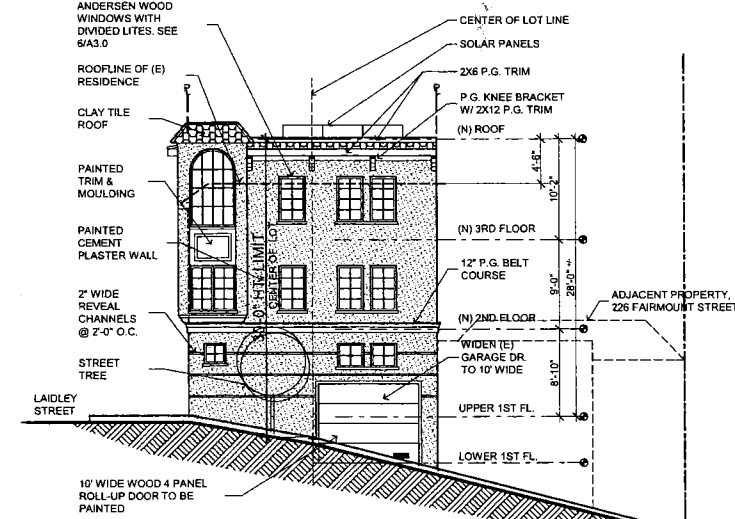
4 East Elevation
A3.0 1/8" = 1'-0"



2 West Elevation - Laidley Street
A3.0 1/8" = 1'-0"



3 North Elevation
A3.0 1/8" = 1'-0"



1 South Elevation - Fairmount Street
A3.0 1/8" = 1'-0"

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Planning Revisions 2.4.11	CC
Planning Revisions 2.18.11	CC

RENOVATION / ADDITION
197 LAIDLEY STREET
SAN FRANCISCO, CA

Sheet Title:
Elevations/ Sects.
ELEVATIONS

Scale:
As Noted

Date:
12.11.08

Drawn By:
MKG

Add Number:
4-808

Sheet:
A3.0