



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 22, 2012**  
Time: **Beginning at 9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance (Lot Area and Rear Yard)**  
Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION   | APPLICATION INFORMATION   |
|--|---|
| Project Address: <b>537 Grove Street</b><br>Cross Street(s): <b>Laguna and Octavia</b><br>Block /Lot No.: <b>0807/023</b><br>Zoning District(s): <b>RTO / 40-X</b><br>Area Plan: <b>Market and Octavia</b> | Case No.: <b>2007.0432V</b><br>Building Permit: <b>none</b><br>Applicant/Agent: <b>Daniel Frattin</b><br>Telephone: <b>(415) 567-9000</b><br>E-Mail: <a href="mailto:dfrattin@reubenlaw.com">dfrattin@reubenlaw.com</a> |

### PROJECT DESCRIPTION

The proposal is to subdivide the lot into two lots, one fronting on Grove Street (Grove lot) and one fronting on Ivy Street (Ivy lot). The lot division would reduce the rear yard for the building under construction on the property to 12 feet. The lot area of the Grove lot would be 1,837.5 square feet. The lot area of the Ivy lot would be 1,312.5 square feet.

**PER SECTION 121(e)(2) OF THE PLANNING CODE**, the minimum lot area for the subject property is 2,500 square feet. The lot area of the Grove lot would be 1,837.5 square feet and the lot area of the Ivy lot would be 1,312.5 square feet.; therefore, the project requires a variance from the lot area requirement (121(e)(2)) of the Planning Code.

**PER SECTION 134 OF THE PLANNING CODE**, the subject property is required to maintain a rear yard equal to 45% of the depth of the lot, equal to 54 feet for the subject lot. The proposed lot division would reduce the rear yard for the building under construction on the property to 12 feet.; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Rick Crawford** Telephone: **(415) 558-6358** E-Mail: [rick.crawford@sfgov.org](mailto:rick.crawford@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2007.0432V.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.





(1.) 537 Grove Street

537 Grove Contextual Setting

Street View from the North at the sidewalk across Grove at 5'-6" eye Level



Front View from North

New 3rd floor addition w/15' upper and 8'-7" lower step back from the main facade. View from across Grove

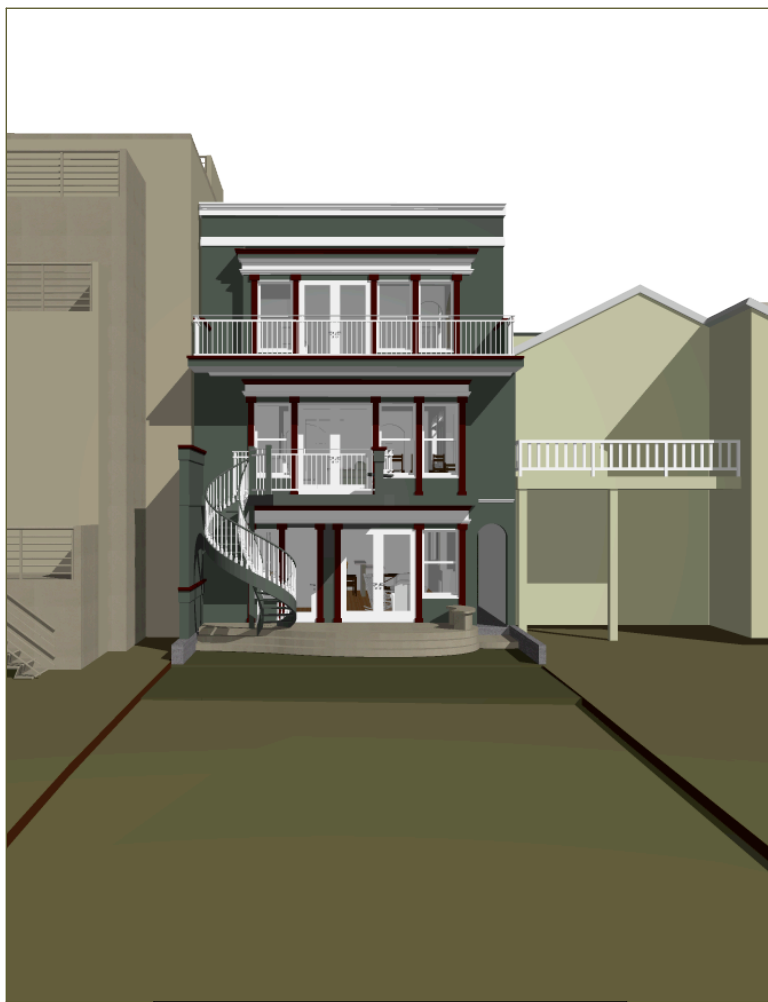
New addition to have 6" V-Groove T&G siding to differentiate the addition from the (E) facade that has traditional drop siding

Main Body Color: SW Comfort Gray

Trim: SW Sea Salt

Replace with new wood windows

Restore & Repaint (E) Historical Facade



Rear View from South



Street View from North East

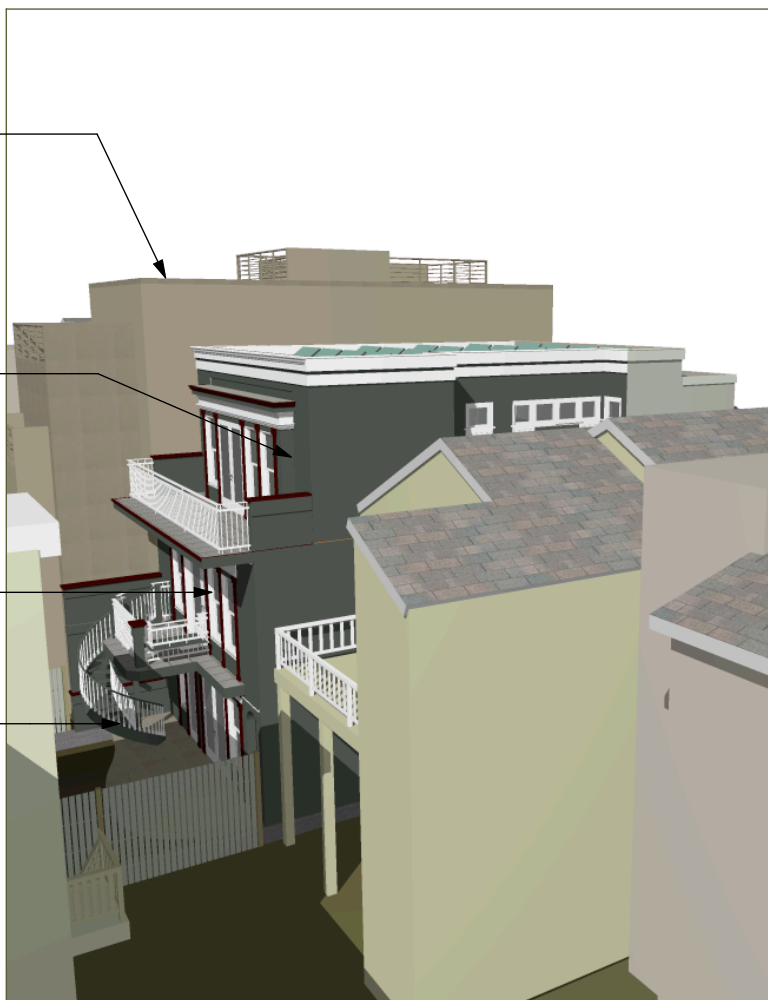
New structure proposed for adjacent lot to the west at 543 Grove

New Rear Facade, 6" V-Groove T&G Wood siding. Color to match existing

Aluminum clad wood doors and windows with true profile extruded clad molding

New metal spiral stair

NOTE: The exterior cladding for the new construction area of the structure will be painted 6" V-Groove T&G wood siding or an equivalent smooth finish cement board siding such as Hardie Board.



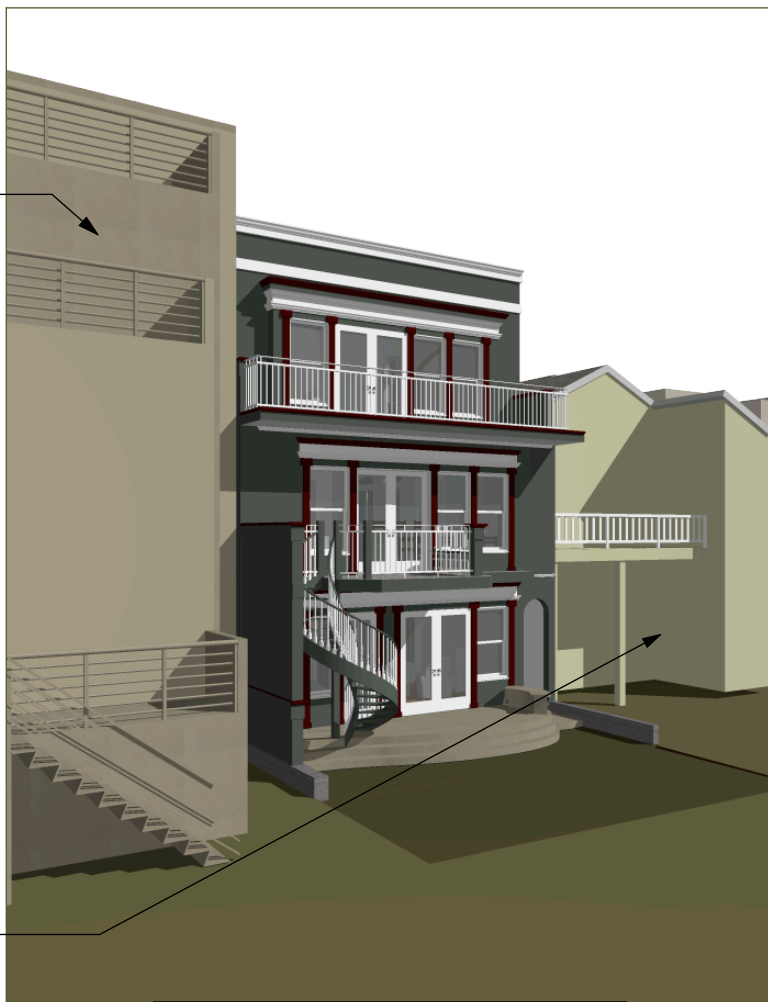
Rear View from Southeast



Street View from North West

New structure proposed for adjacent lot to the west

(E) House to the east at 531 Grove



Rear View from Southwest

| Project Data  |                      | APN 0807-023 |
|---|----------------------|--------------|
| <b>A. Governance</b>  |                      |              |
| Zoning District   |                      | RTO          |
| Proposed Occupancy  |                      | R3           |
| Allowable Height  |                      | 40 ft        |
| <b>B. Existing Site &amp; Structures Data</b>   |                      |              |
| <b>1) Site Data</b>   |                      |              |
| Existing Through Lot from Grove to Ivy Streets  |                      |              |
| Width   | 26.25 ft             |              |
| Depth   | 120 ft               |              |
| Existing Lot Area   | 3150 SF              |              |
| <b>2) Existing House Data</b>   |                      |              |
| Height (2-Story Structure)  | 24.25 ft to mid peak |              |
| Width   | 26 ft                |              |
| Depth   | 58'-4"               |              |
| Percentage of lot depth   | 49%                  |              |
| Construction Type   | V-B                  |              |
| <b>Units</b>  |                      |              |
| Living Area   | 2120 SF              |              |
| Parking   | 322 SF, 1-vehicle    |              |
| Total Existing Structure Area   | 2442 SF              |              |
| <b>3) Existing Accessory Structure (To be demolished)</b>   |                      |              |
| Height (Single Story)   | 12 ft to mid peak    |              |
| Width   | 25.5 ft              |              |
| Depth   | 28.5 ft              |              |
| Proposed Demolition   | 726 SF               |              |
| Percentage of lot depth   | 24%                  |              |
| Construction Type   | V-B                  |              |
| <b>C. Proposed Site &amp; Structures Data</b>   |                      |              |
| <b>1) Site Data (Proposed subdivision of parcel into two lots)</b>  |                      |              |
| <b>.1 New lot facing Grove Street (537 Grove St.)</b>   |                      |              |
| Width   | 26.25 ft             |              |
| Depth   | 70 ft                |              |
| New Lot Area  | 1838 SF              |              |
| <b>.2 New lot facing Ivy Street (537 Ivy St.)</b>   |                      |              |
| Width   | 26.25 ft             |              |
| Depth   | 50 ft                |              |
| New Lot Area  | 1313 SF              |              |
| <b>2) 537 Grove St. Proposed House Data for Remodel and Repair</b>  |                      |              |
| Height (Excluding Parapet per Sect 260(b)(1))   | 31'-5" to horz. Roof |              |
| Width   | 26 ft                |              |
| Depth   | 58'-4"               |              |
| Percentage of new lot depth   | 83%                  |              |
| Proposed rear yard depth  | 11'-8"               |              |
| Construction Type   | (New)V-A, (E)V-B     |              |
| <b>Units</b>  |                      |              |
| Common Lobby Area   | 201 SF               |              |
| Unit-1 Living Area (Street Level)   | 702 SF               |              |
| Unit-2 Living Area (Level-2)  | 1310 SF              |              |
| Unit-2 Living Area (Level-3 Addition)   | 1077 SF              |              |
| Total Living Area   | 3290 SF              |              |
| Parking Area at Street Level  | 262 SF, 1-vehicle    |              |
| Parking pit (subgrade for mechanical unit)  | 186 SF, 1-vehicle    |              |
| Total Area for Two Parking Spaces   | 448 SF               |              |
| Subgrade Water Storage Tank   | 84 2400 Gallons      |              |
| Total Structure Area  | 3822 SF              |              |
| <b>Usable Open Space</b>  |                      |              |
| • Unit-1 at grade level (Private Open Space)  |                      |              |
| On Grade dimensions   | 11'-8" x 12'-8"      | 148 SF       |
| Minimum usable open space required  |                      | 100 SF       |
| Minimum required dimensions in any direction  |                      | 10 ft        |
| • Unit-2 balcony  |                      |              |
| Level-3 Terrace (Private Open Space)  | 6' x 24'-6"          | 146 SF       |
| Minimum usable open space required  |                      | 100 SF       |
| Minimum required dimensions in any direction  |                      | 6 ft         |
| <b>3) 537 Ivy Street</b>  |                      |              |
| No replacement structure is proposed for this new subdivided lot at this time   |                      |              |
| <b>4) 537 Grove St. Proposed Demolition and Historical Retention Summary (See Sheet A2.6 for Historic Threshold Demo Analysis Plan)</b> |                      |              |
| <b>.1 Demolition of Floor Areas</b>   |                      |              |
| Garage Area   | 322 SF               |              |
| Historic Area (fire,decay & elective:replace-in-kind)   | 1063 SF              |              |
| Non-historic area elective demolition   | 633 SF               |              |
|   | 2018 SF              |              |
| <b>.2 Retained Floor Areas</b>  |                      |              |
| Historic Area at Level-2  | 404 SF               |              |
| Total Existing Structure Area   | 2422 SF              |              |
| <b>.3 Demolition of Extr. &amp; Intr. Structural Walls</b>  |                      |              |
| Historic Walls (fire,decay & elective demolition)   | 255.5 LF             |              |
| Non-historic Walls  | 137.7 LF             |              |
|   | 393.2 LF             |              |
| <b>.4 Retained Extr. &amp; Intr. Structural Walls</b>   |                      |              |
| Historic Walls  | 106.75 LF            |              |
| Non-historic Walls  | 10.7 LF              |              |
|   | 117.45 LF            |              |

## Project Location: 537 Grove Street, San Francisco, CA

### Proposed Scope of Work:

#### (1.) 537 Grove Street: ( APN 0807-023 )

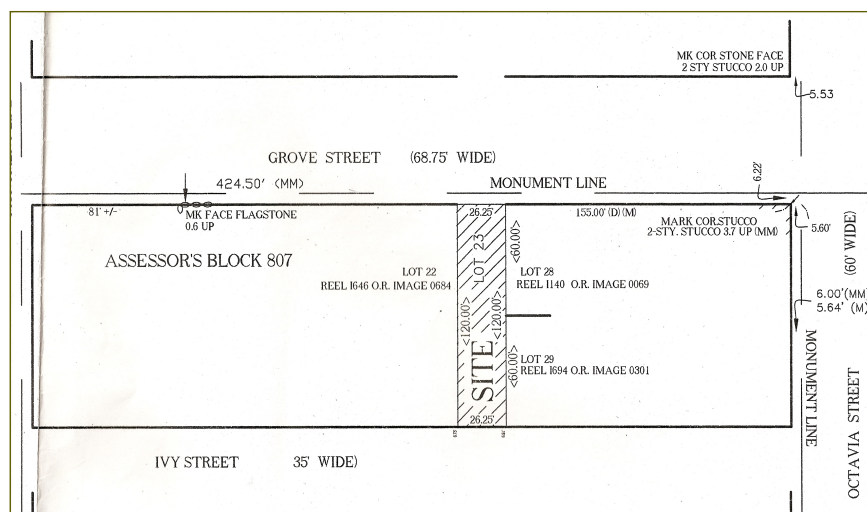
- Demolition and replacement in-kind of fire damaged areas of the existing structure plus other structurally compromised areas deemed impractable for repair by a consulting engineer.
- Retention and restoration of the existing historical facade
- Replacement of demolished areas with new construction using in-kind replacement as per the Historical Threshold Demo Analysis Plan on Sheet A2.6
- Addition of a 3rd floor addition set back 15' at an upper parapet and 8'-5" at a lower parapet from the front main facade plane
- Concurrent demolition of an existing accessory structure fronting on Ivy Street

#### (2) Proposed Lot Split

- The application includes a proposal to subdivide the existing single lot that fronts on both Grove and Ivy to create two lots similar to the majority of lots on the block.



Aerial Photo: (E) Conditions -View from South



Location Plan

#### Applicable Codes

- 2007 California Building Code
- 2007 California Electrical Code
- 2007 California Mechanical Code
- 2007 California Plumbing Code
- 2007 California Energy Code
- 2007 California Fire Code
- All San Francisco Supplemental and/or Superseding Code Amendments to the above list.

| Sheets Index |  |
|--------------|--|
| ID           | Name   |
| A1.1         | Cover Sheet                                  |
| A1.2         | (E) & Proposed Plot Plans                    |
| A1.3         | Contextual Plan                              |
| A1.4         | (E) Plans & Elevations                       |
| A2.0         | Demo Plan & Historic Threshold Demo Analysis |
| A2.1         | Subgrade Parking Pit + Unit-1 Fir Plan       |
| A2.2         | Unit-2: 2nd and 3rd Floor Plans              |
| A2.3         | Roof Plan + Window/Door Schedules            |
| A2.4         | Elevations                                   |
| A2.5         | Sections 1 and C.2                           |
| A2.6         | Sections 2 and A.2                           |
| A2.7         | View Angles from Across Grove                |

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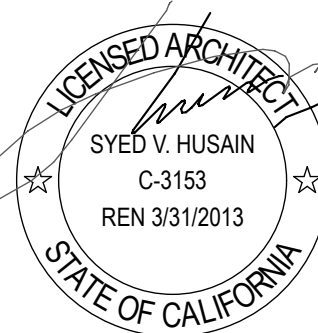
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760 12th Ave  
San Francisco, CA 94118  
Phone: 415.317.1777

537 Grove St  
San Francisco, CA

Cover Sheet



Project # 2008.05.10

Permit Submittal

#### Revision Dates

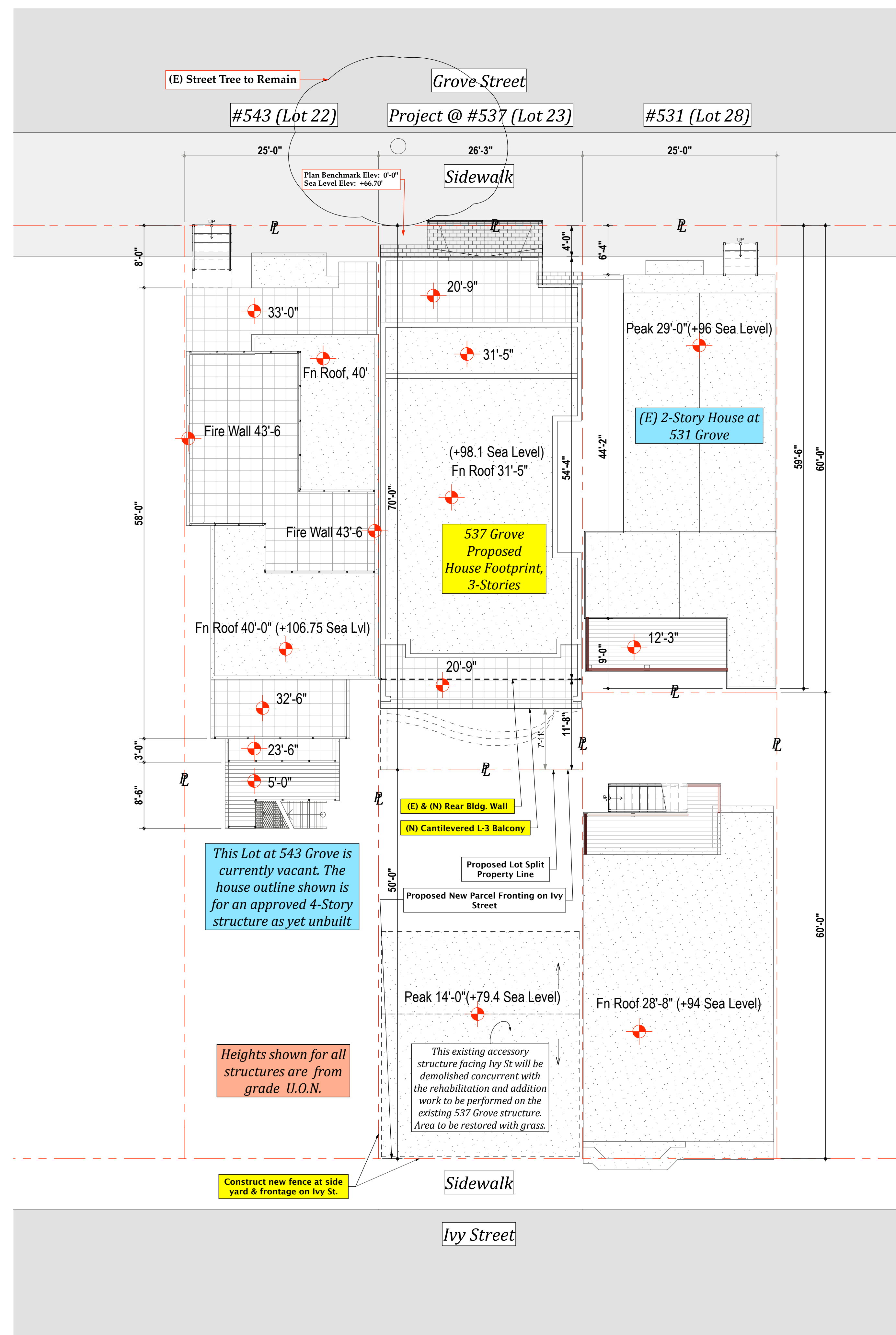
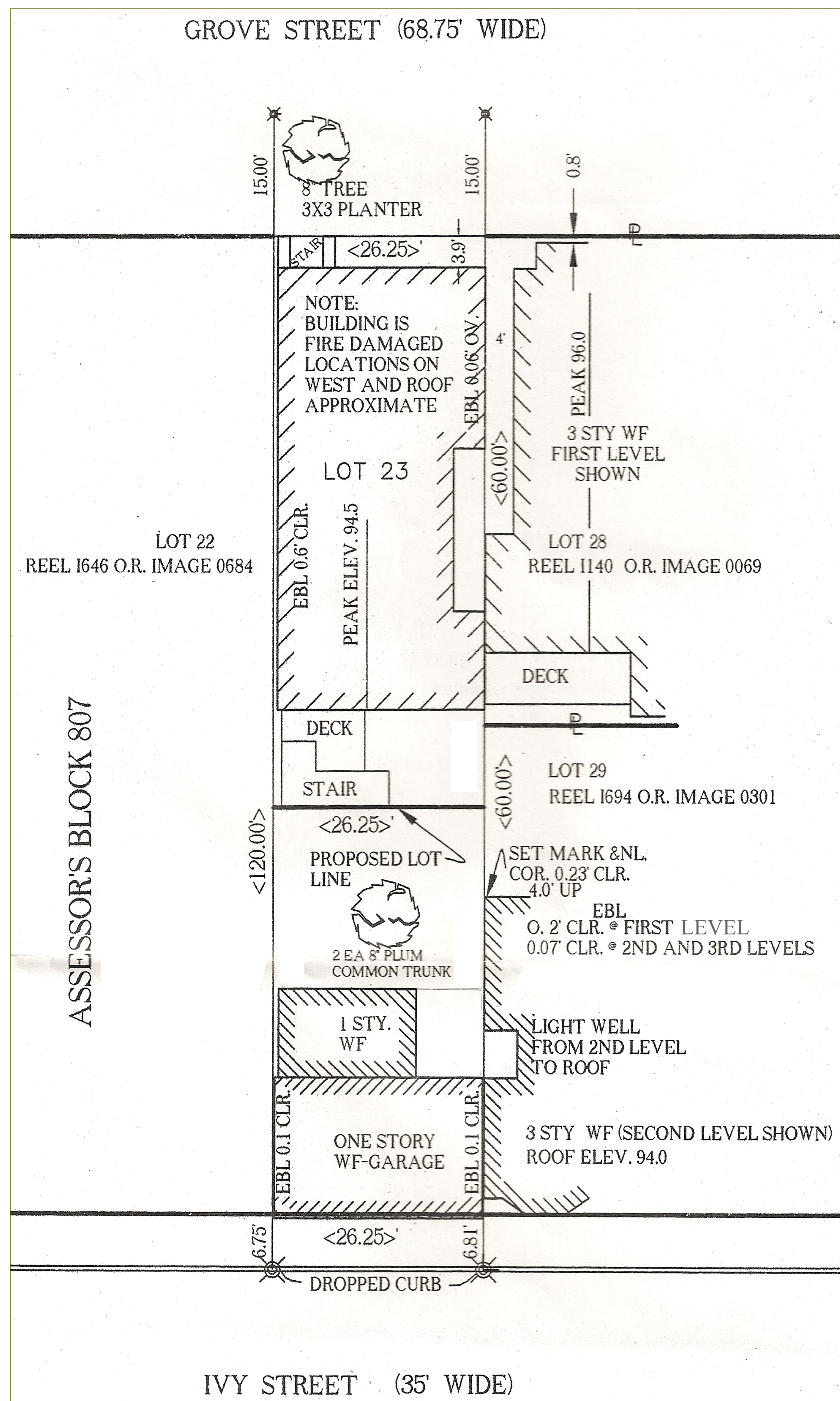
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537 Grove St.

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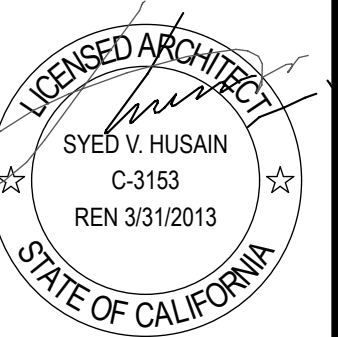
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537 Grove St  
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Contextual Plan



Project # 2008.05.10

Permit Submittal

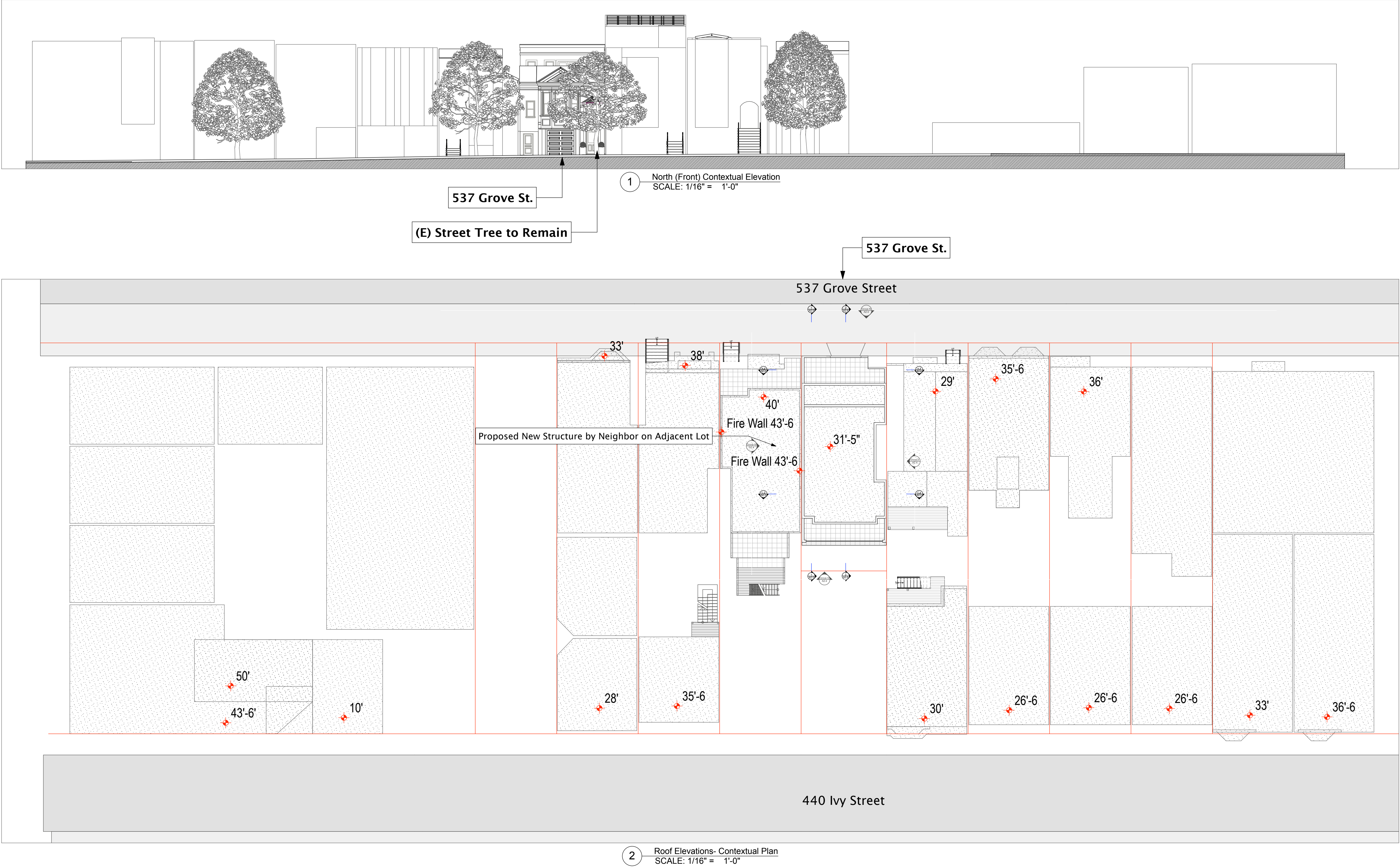
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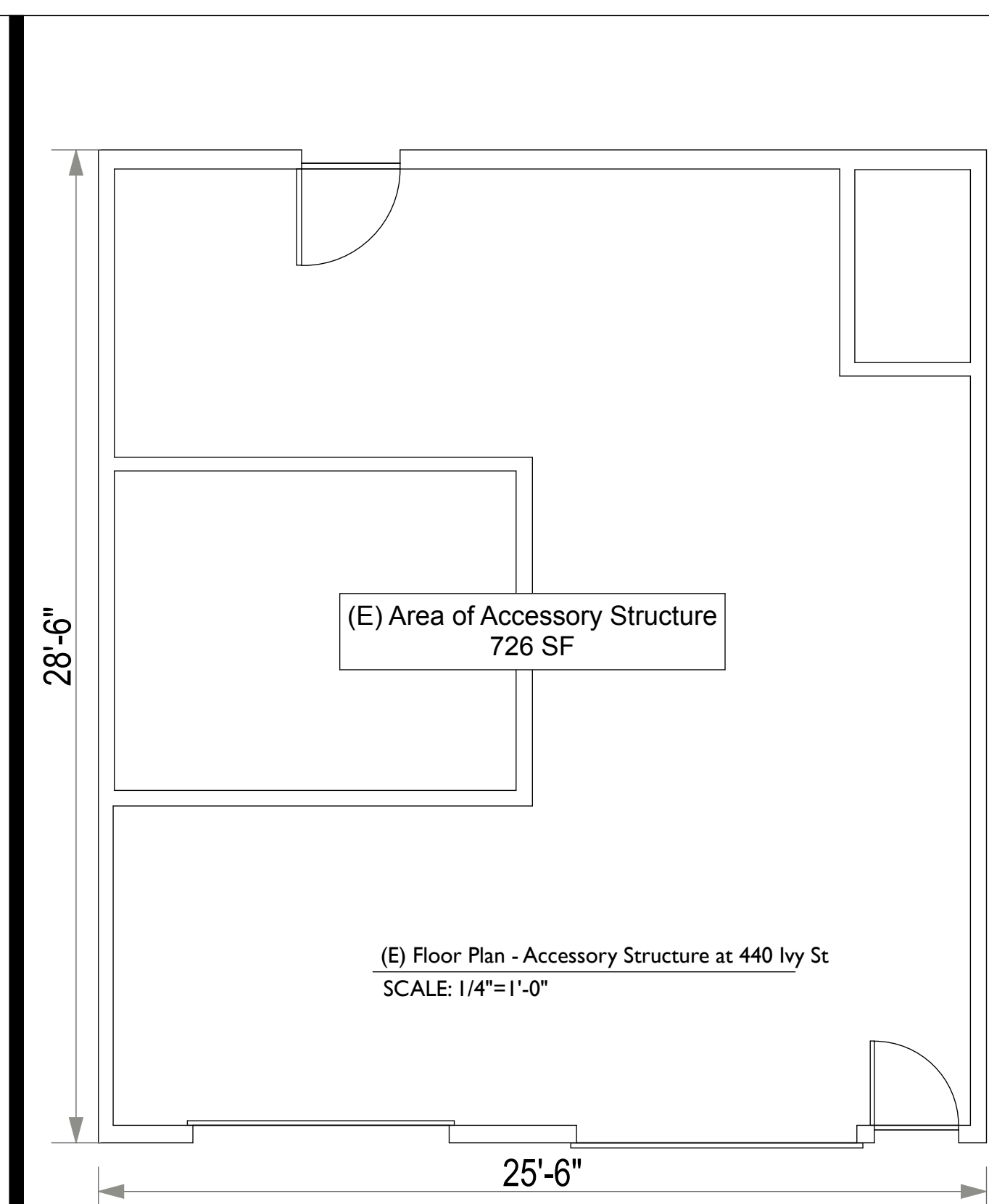
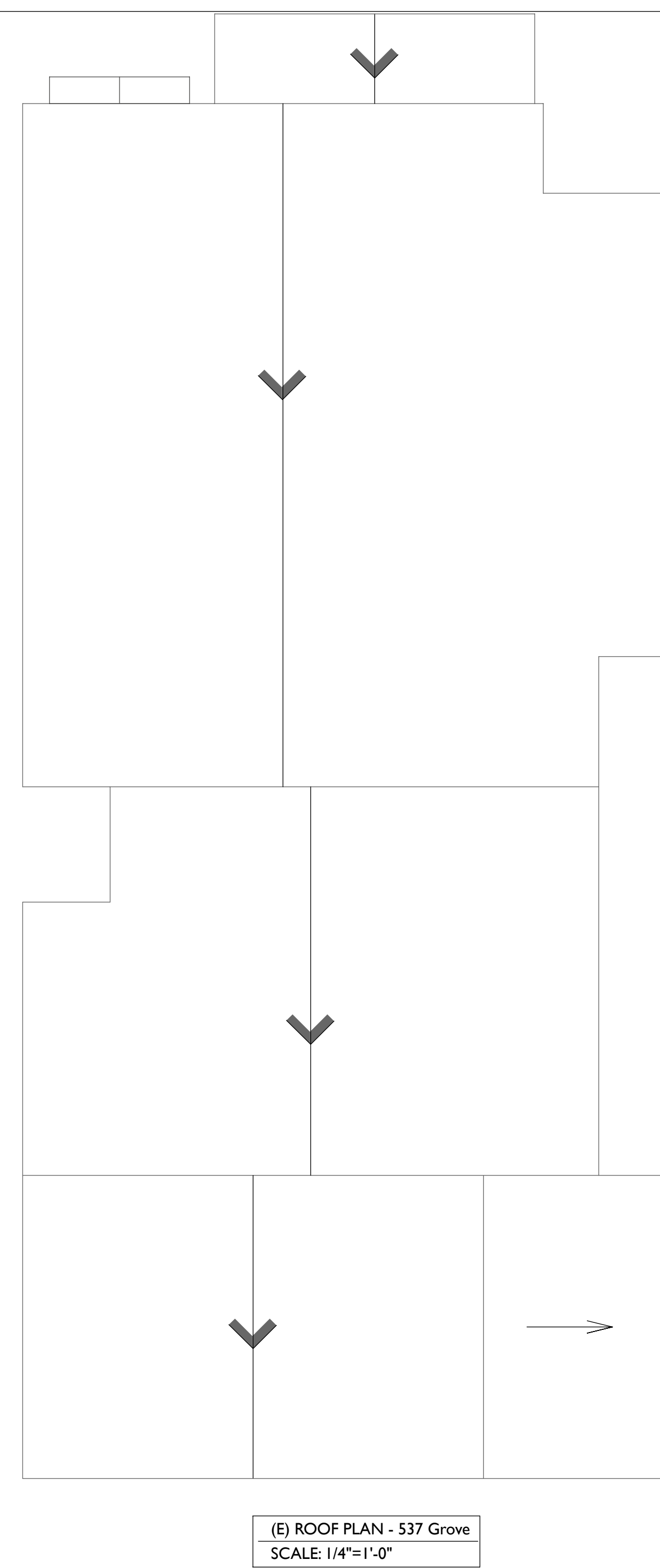
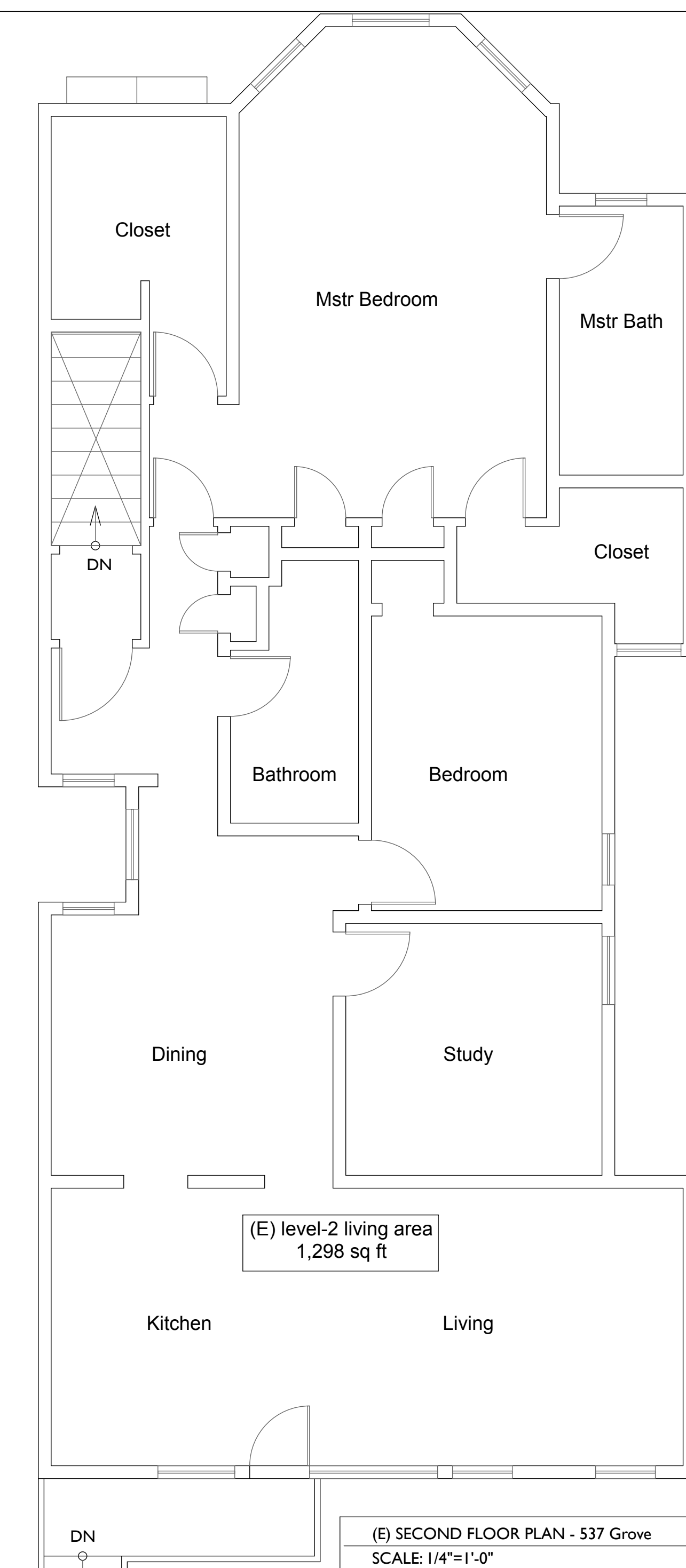
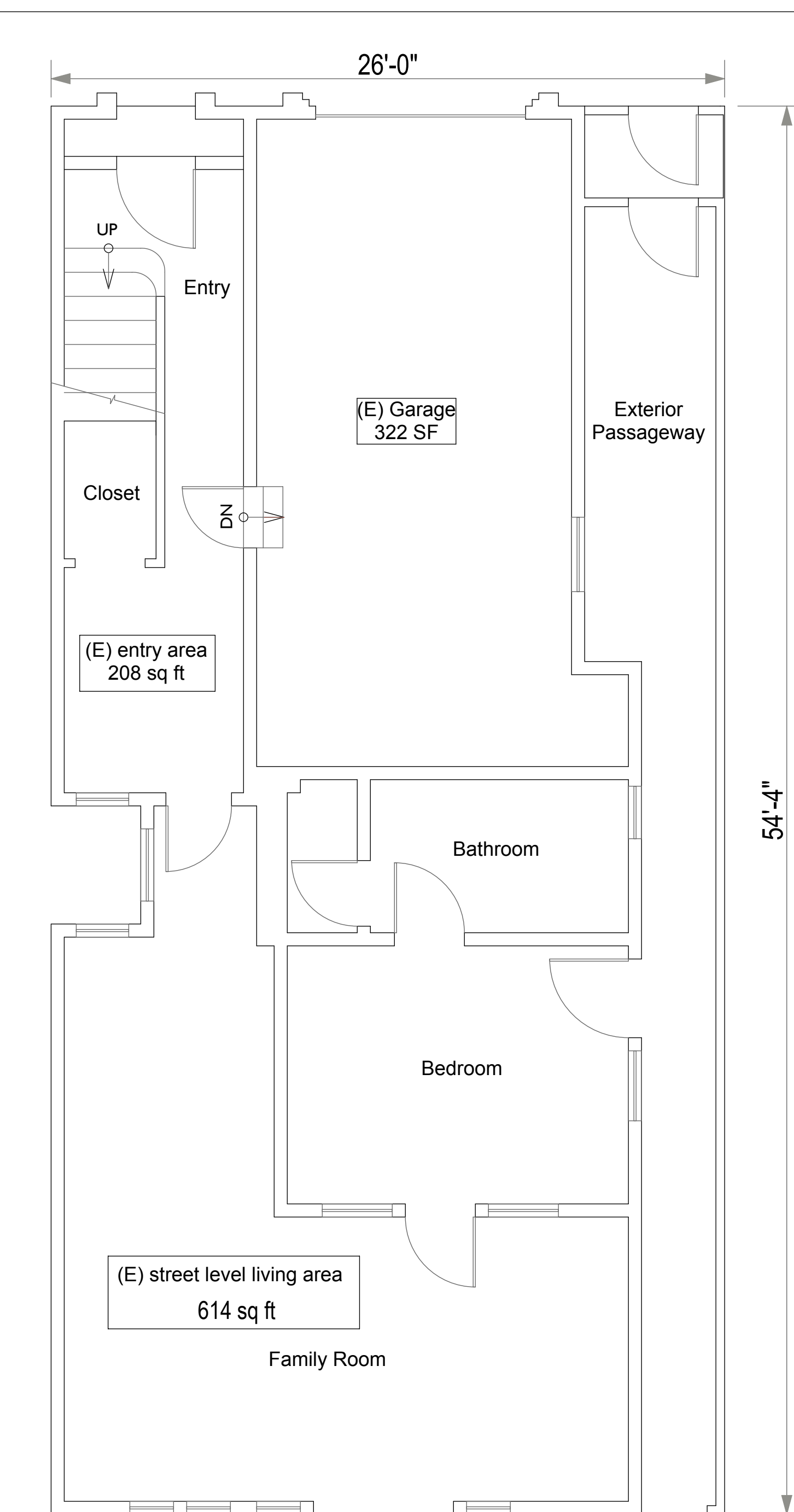
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537 Grove St.

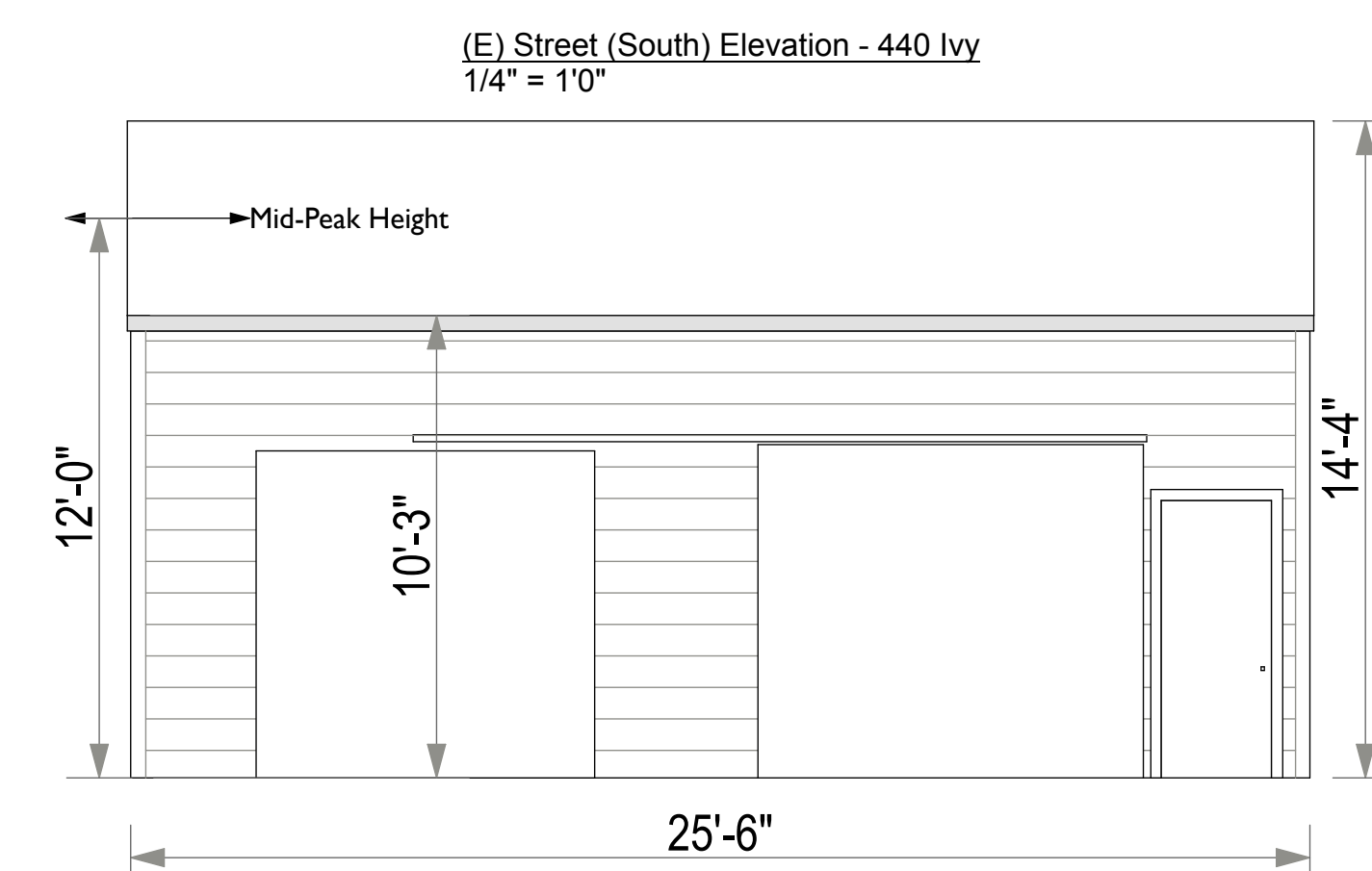
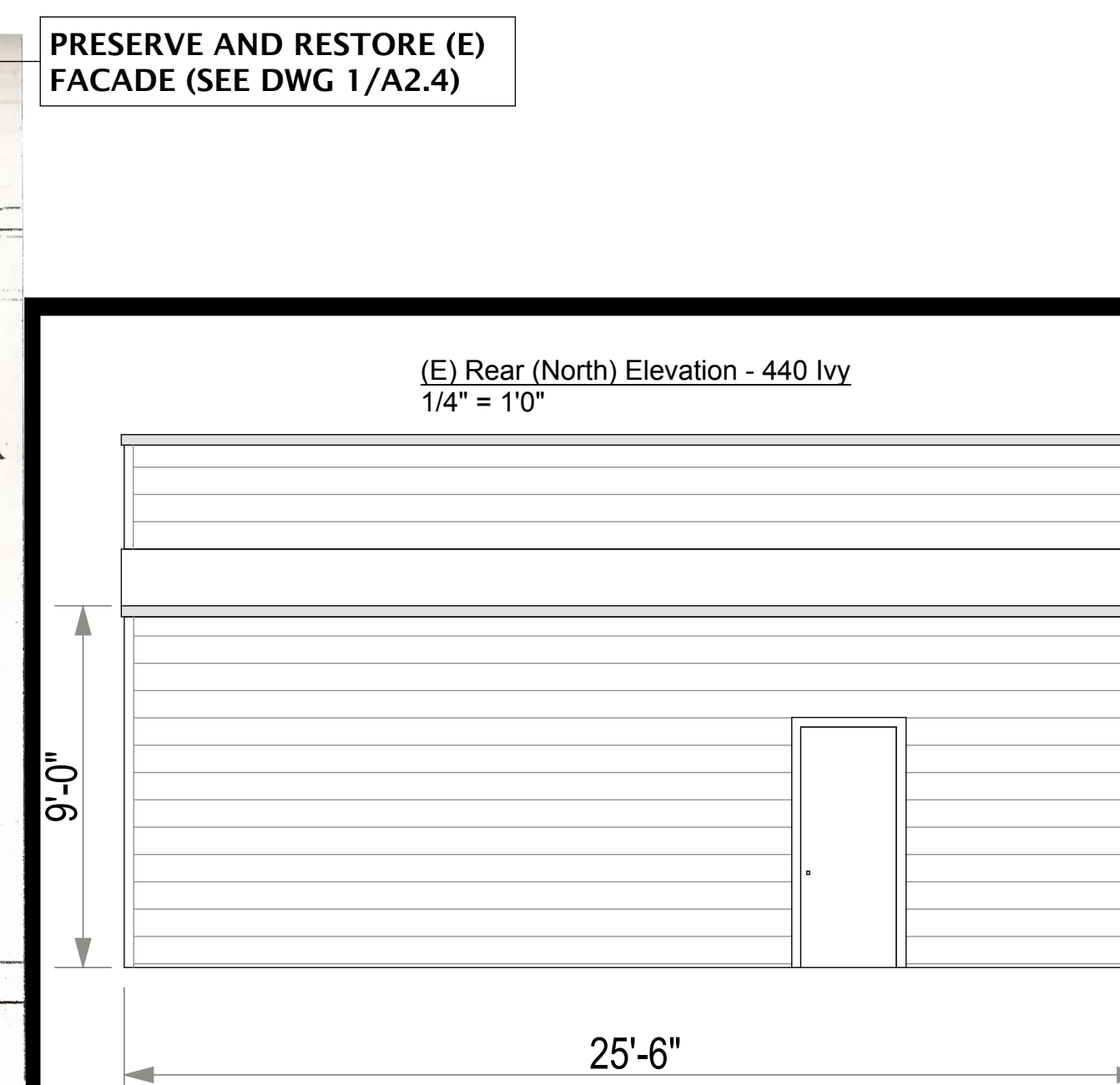
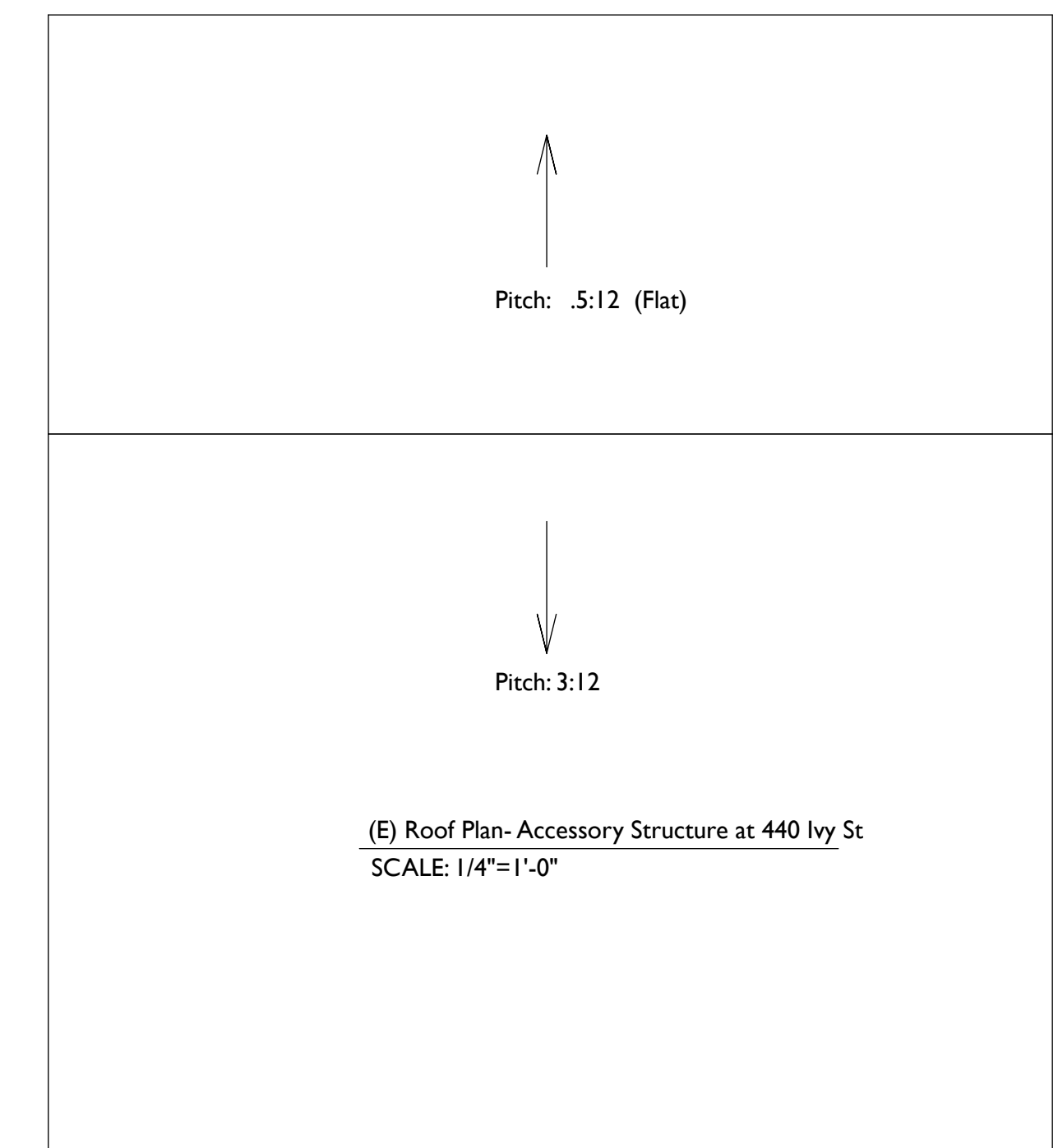
A1.3







This existing 726 SF accessory structure at 440 Ivy Street is to be demolished concurrent with the rehabilitation and addition work to be performed on the existing home structure fronting at 537 Grove Street



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**Owner:**  
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Phone: 415.317.1777

537 Grove St  
San Francisco, CA

## (E) Plans & Elevations



Project # 2008.05.10

Permit Submittal

### Revision Dates

1. 6-6-11

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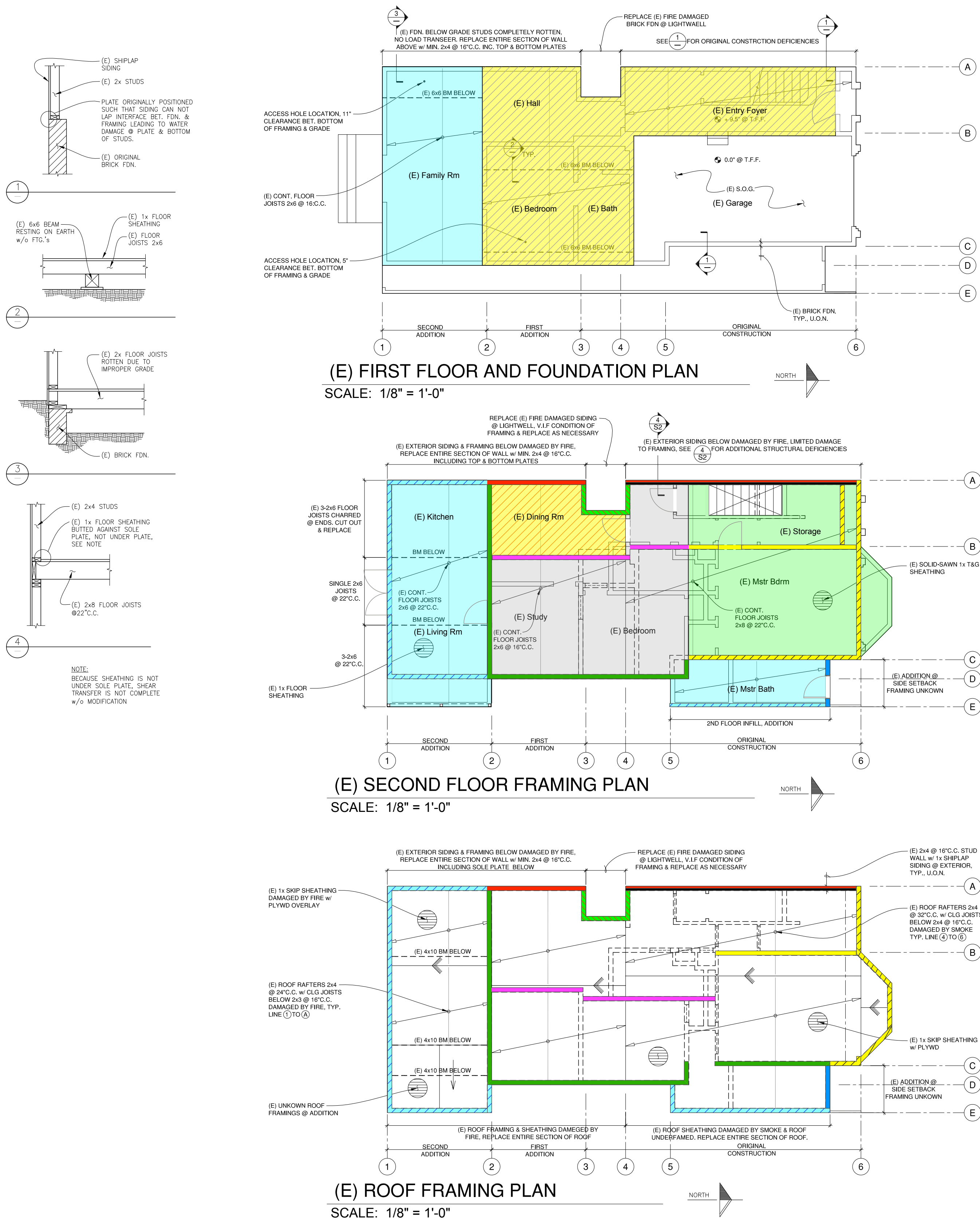
537 Grove St.

## A1.4



537 Grove Demolition & In-Kind Replacement Analysis

(Historical Analysis excludes rear section of house considered as a non historic closed in porch)



NOTE: Walls are shown at street level (Level-1) on the 2nd floor framing plan and at level-2 on the Roof Framing plan

537 Grove In-Kind Replacement & Demolition Schedule per Sections 1005 through 1007

Exterior Historical Walls

|  |         |          |   |
|--|---------|----------|---|
|  | Level-1 | 47.5 LF  | Elective Demolition of L-1 Exterior Walls   |
|  | Level-2 | 60.75 LF | Elective Demolition of L-2 Exterior Walls   |
|  | Level-1 | 10.5 LF  | Demolition of Fire Damaged L-1 Exterior Walls not being replaced In-Kind                    |
|  | Level-2 | 10.5 LF  | Demolition of Fire Damaged L-2 Exterior Walls not being replaced In-Kind                    |
|  | Level-1 | 11.25 LF | Removal and In-Kind replacement of L-1 Exterior walls for repair of fire damage             |
|  | Level-2 | 11.25 LF | Removal and In-Kind replacement of L-2 Exterior walls for repair of fire damage             |
|  | Level-1 | 26.5 LF  | Removal and In-Kind replacement at L-1 for repair of fire damage plus deterioration & decay |
|  | Level-2 | 26.5 LF  | Removal and In-Kind replacement at L-2 for repair of fire damage plus deterioration & decay |
|  | Level-1 | 47.5 LF  | Historic Walls to be Retained   |
|  | Level-2 | 26.5 LF  | Historic Walls to be Retained   |

Total LF of Historic Exterior Wall 278.75 LF  
Total Elective Demolition 129.25 LF

Elective % of Total Historic Extr Walls 46.37% Threshold per Section 1005 (f)(2)= 50 %

|  |         |         |   |
|--|---------|---------|---|
|  | Level-1 | 63.6 LF | Non-Historic Walls to be electively demolished & replaced |
|  | Level-2 | 74.1 LF | Non-Historic Walls to be electively demolished & replaced |
|  | Level-1 | 5.35 LF | Non-Historic Walls to be Retained                         |
|  | Level-2 | 5.35 LF | Non-Historic Walls to be Retained                         |

Interior Historical Structural Framework

|  |         |          |  |
|--|---------|----------|--|
|  | Level-1 | 16.75 LF | Interior Structural L-1 Framework Walls to be retained   |
|  | Level-2 | 16 LF    | Interior Structural L-2 Framework Walls to be retained   |
|  | Level-1 | 24.75LF  | Interior Structural L-1 Framework Walls to be demolished |
|  | Level-2 | 26LF     | Interior Structural L-2 Framework Walls to be demolished |

Total LF of Historic Interior Framework 83.5 LF  
Total Elective Demolition 50.75 LF

Elective % of Total Internal Structural Framework 60.78 % Threshold per Section 1005 (f)(4)= 75 %

Interior Historical Floor Plates

|  |         |           |  |
|--|---------|-----------|--|
|  | Level-1 | 562 sq ft | Removal and In-Kind replacement of Street Level-1 Floor Plate for repair of deterioration and decay per Section 1005 (e),(3) |
|  | Level-2 | 128 sq ft | Removal and In-Kind replacement for repair of Fire Damage per Sections 1005 (e),(3) & 1007                                   |
|  | Level-2 | 404 sq ft | Historic Floor Plate area to be retained   |
|  | Level-2 | 373 sq ft | Elective Demolition of L-2 Interior Floor Plate Area Floor surface to be replaced in-kind                                    |

Total Interior Historic SF Area 1,467 SF  
Total Elective Demo SF Area 373 SF

Elective % of Total Historic Area 25.43% Threshold per Section 1005 (f)(4)= 75 %

|  |         |           |  |
|--|---------|-----------|--|
|  | Level-1 | 260 sq ft | Non-Historic Floor Plates to be electively demolished & replaced |
|  | Level-2 | 393 sq ft | Non-Historic Floor Plates to be electively demolished & replaced |

Total Existing Floor Area (Historic + Non-Historic) = 2120

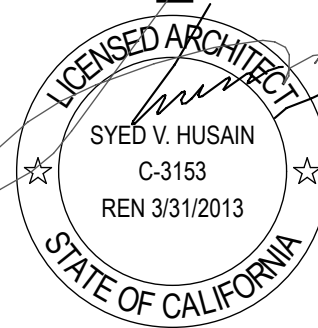
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Historic Threshold Demo Analysis Plan



Project # 2008.05.10

Permit Submittal

Revision Dates

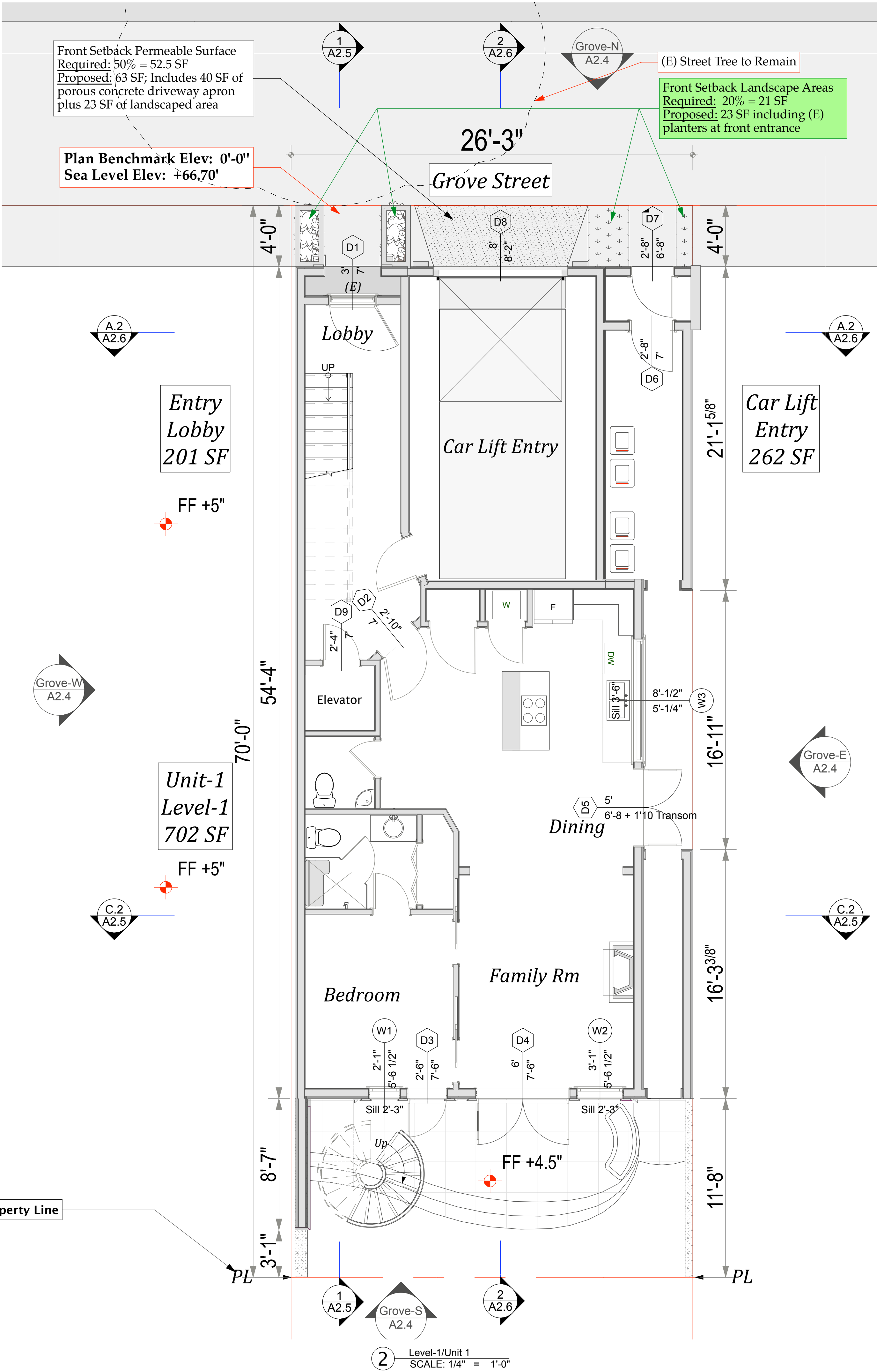
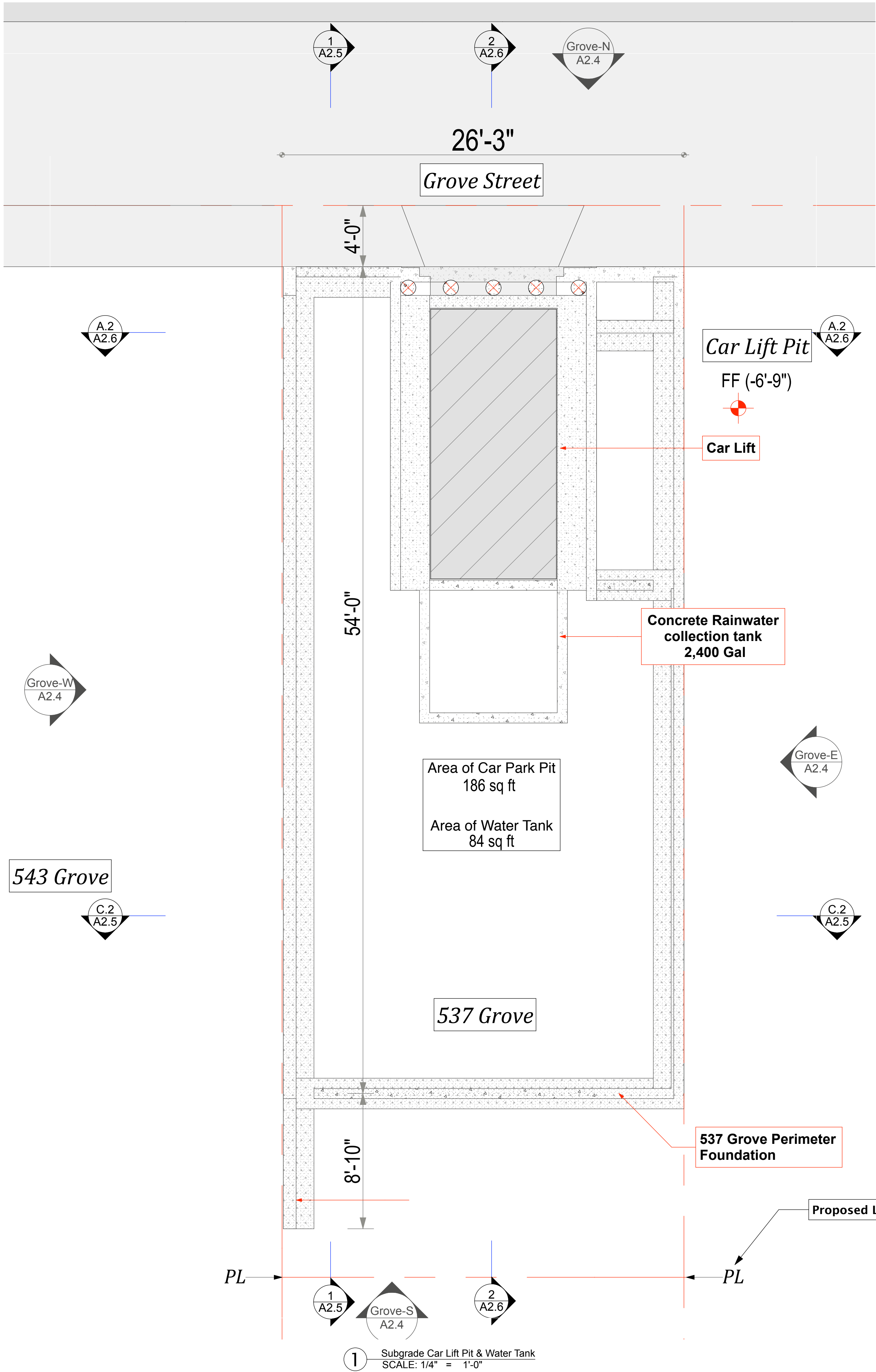
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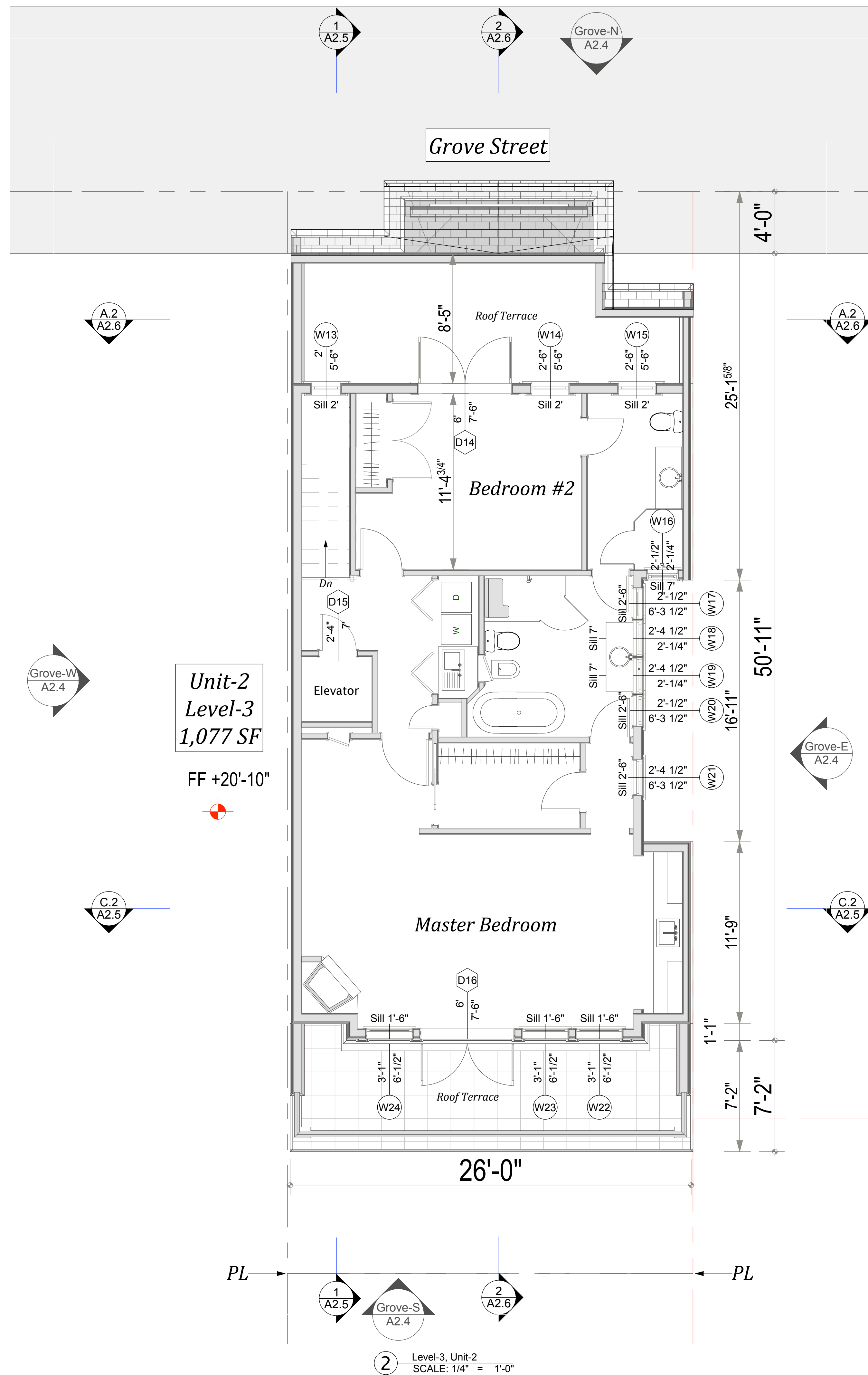
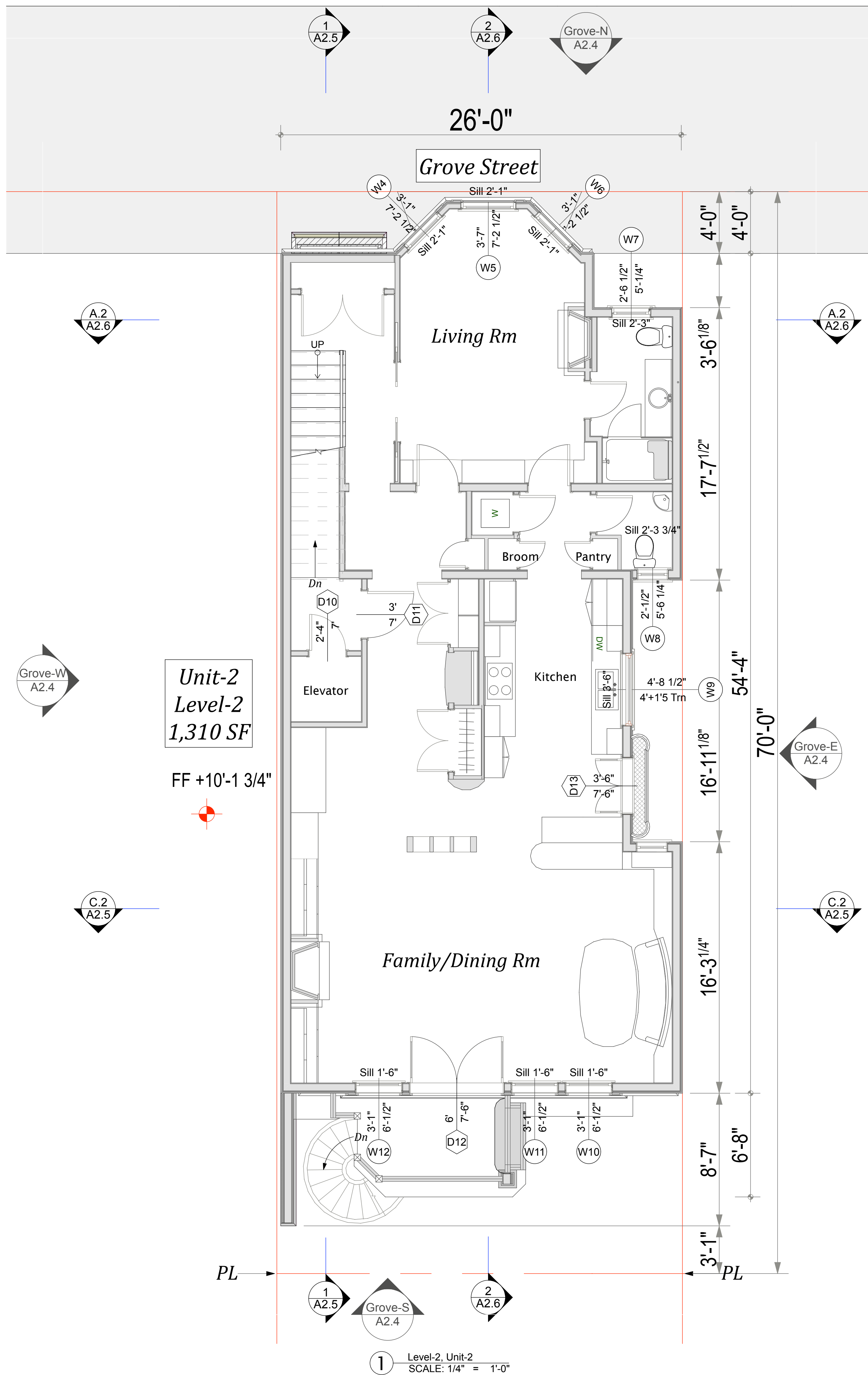
**537 Grove St**  
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**Subgrade Parking Pit + Unit-1 Flr Plan**

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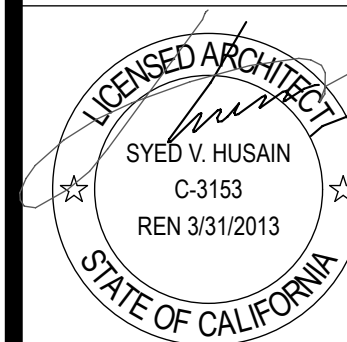
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Owner:  
Caroline & Sheridan Oakes  
760 12th Ave  
San Francisco, CA 94118  
Phone: 415.317.1777

537 Grove St  
San Francisco, CA

Unit-2: 2nd and 3rd Floor Plans



Project # 2008.05.10

Permit Submittal

## Revision Dates

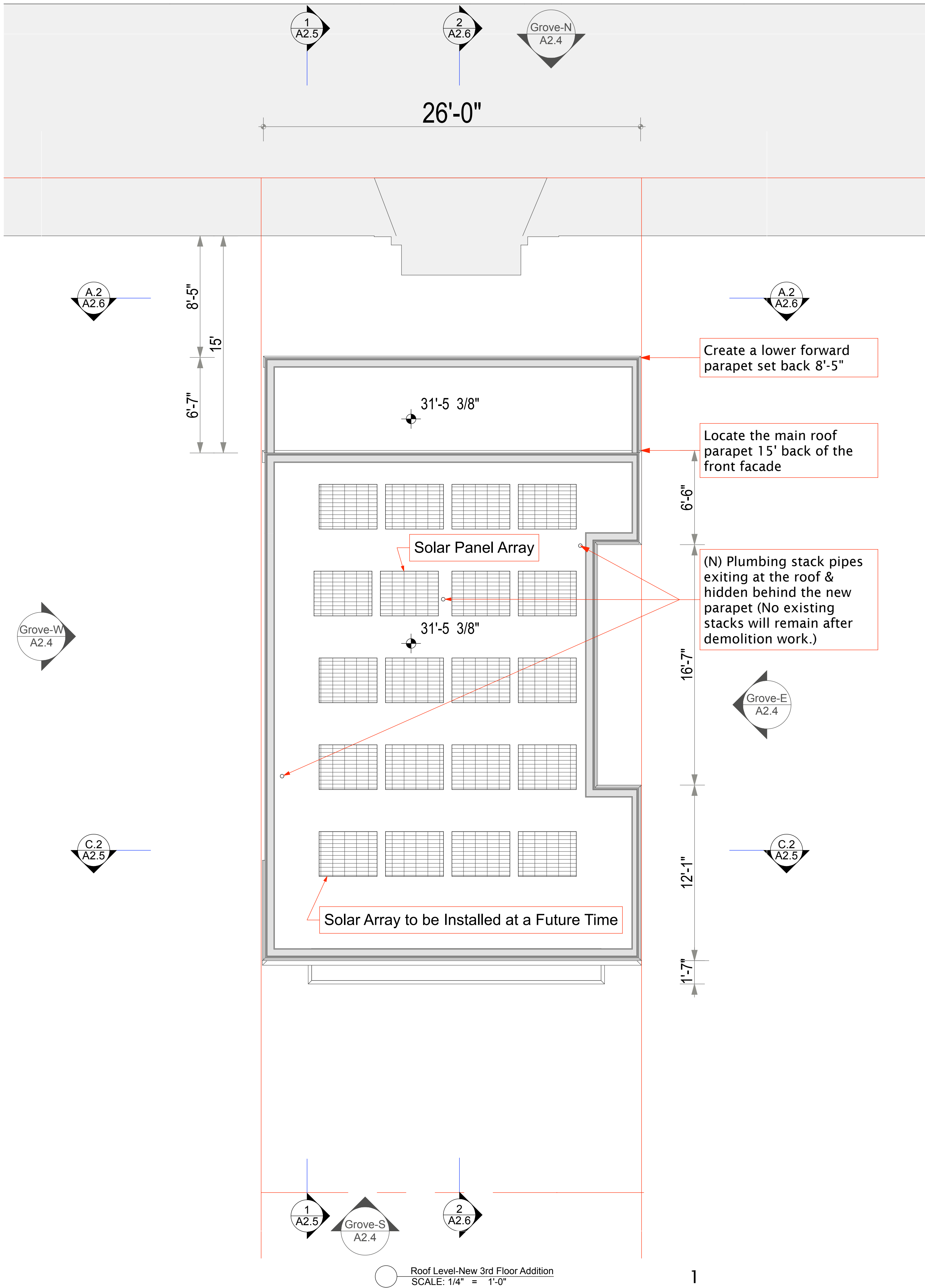
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537 Grove St.

# A2.2





| 537 Grove Window Schedule |        |                    |       |        |             |          |              |       |
|---------------------------|--------|--------------------|-------|--------|-------------|----------|--------------|-------|
| No.                       | Level  | Nominal Dimensions |       |        |             | Type     | Extr. Finish | Color |
|                           |        | Sill Height        | Width | Height | ransom Hght |          |              |       |
| W1                        | Street | 2'3                | 2'    | 5'6    |             | Dbl Hung | Painted Wood | White |
| W2                        | Street | 2'3                | 2'    | 5'6    |             | Dbl Hung | Painted Wood | White |
| W3                        | Street | 3'6                | 8'    | 5'     |             | Fixed    | Painted Wood | White |
| W4                        | 2      | 2'1                | 3'    | 7'2    |             | Dbl Hung | Painted Wood | White |
| W5                        | 2      | 2'1                | 3'7   | 7'2    |             | Dbl Hung | Painted Wood | White |
| W6                        | 2      | 2'1                | 3'    | 7'2    |             | Dbl Hung | Painted Wood | White |
| W7                        | 2      | 2'3                | 2'6   | 5'6    |             | Dbl Hung | Painted Wood | White |
| W8                        | 2      | 2'3                | 3'    | 5'6    |             | Dbl Hung | Painted Wood | White |
| W9                        | 2      | 3'6                | 4'8   | 4'4    | Fixed 1'5   | Casement | Painted Wood | White |
| W10                       | 2      | 1'6                | 3'    | 6'     |             | Dbl Hung | Painted Wood | White |
| W11                       | 2      | 1'6                | 3'    | 6'     |             | Dbl Hung | Painted Wood | White |
| W12                       | 2      | 1'6                | 3'    | 6'     |             | Dbl Hung | Painted Wood | White |
| W13                       | 3      | 2'                 | 2'6   | 6'     |             | Dbl Hung | Painted Wood | White |
| W14                       | 3      | 2'                 | 2'6   | 6'     |             | Dbl Hung | Painted Wood | White |
| W15                       | 3      | 2'                 | 2'6   | 6'     |             | Dbl Hung | Painted Wood | White |
| W16                       | 3      | 7'                 | 2'    | 2'     |             | Dbl Hung | Painted Wood | White |
| W17                       | 3      | 2'6                | 2'    | 4'3    | Awning - 2' | Dbl Hung | Painted Wood | White |
| W18                       | 3      | 7'                 | 2'4   | 2'     |             | Awning   | Painted Wood | White |
| W19                       | 3      | 7'                 | 2'4   | 2'     |             | Awning   | Painted Wood | White |
| W20                       | 3      | 2'6                | 2'    | 4'3    | Awning - 2' | Dbl Hung | Painted Wood | White |
| W21                       | 3      | 2'6                | 2'4   | 4'3    | Awning - 2' | Dbl Hung | Painted Wood | White |
| W22                       | 3      | 1'6                | 3'    | 6'     |             | Dbl Hung | Painted Wood | White |
| W23                       | 3      | 1'6                | 3'    | 6'     |             | Dbl Hung | Painted Wood | White |
| W24                       | 3      | 1'6                | 3'    | 6'     |             | Dbl Hung | Painted Wood | White |

| 537 Grove Exterior & Egress Door Schedule |        |                    |        |               |             |               |               |                 |
|---|--------|--------------------|--------|---------------|-------------|---------------|---------------|-----------------|
| No.                                       | Level  | Nominal Dimensions |        |               | Type        | View Fr Extr  |               | Color           |
|   |        | Width              | Height | Transom Hght. |             | Swing         | Extr. Finish  |                 |
| D1  | Street | 3'                 | 7'     | Fixed 1'8     | Main Entry  | LH - In       | Painted Wood  | (E) Shale Green |
| D2  | Street | 2'10               | 7'     |               | Entry 4-Pnl | RH - In       | Painted Wood  | White           |
| D3  | Street | 2'6                | 7'6    |               | Single Lite | LH - Out      | Painted Wood  | White           |
| D4  | Street | 6'                 | 7'6    |               | Single Lite | French - Out  | Painted Wood  | White           |
| D5  | Street | 5'                 | 6'8    | Awning 1'10   | Single Lite | French - Out  | Painted Wood  | White           |
| D6  | Street | 2'8                | 7'     |               | 4-Panel     | LH - In       | Painted Wood  | White           |
| D7  | Street | 2'8                | 6'8    |               | Metal Gate  | LH - In       | Painted Steel | White           |
| D8  | Street | 8'                 | 8'2    |               | Multi Panel | Grq-Segmented | Painted Wood  | Shale Green     |
| D9  | Street | 2'4                | 7'     |               | 4-Panel     | RH - Out      | Painted Wood  | White           |
| D10                                       | 2      | 2'4                | 7'     |               | 4-Panel     | RH - Out      | Painted Wood  | White           |
| D11                                       | 2      | 3'                 | 7'     |               | Entry 4-Pnl | LH - In       | Painted Wood  | White           |
| D12                                       | 2      | 6'                 | 7'6    |               | Single Lite | French - In   | Painted Wood  | White           |
| D13                                       | 2      | 3'6                | 7'6    | Fixed 1'5     | Single Lite | French - In   | Painted Wood  | White           |
| D14                                       | 3      | 6'                 | 7'6    |               | Single Lite | French - Out  | Painted Wood  | White           |
| D15                                       | 3      | 2'4                | 7'     |               | 4-Panel     | RH - Out      | Painted Wood  | White           |
| D16                                       | 3      | 6'                 | 7'6    |               | Single Lite | French - Out  | Painted Wood  | White           |

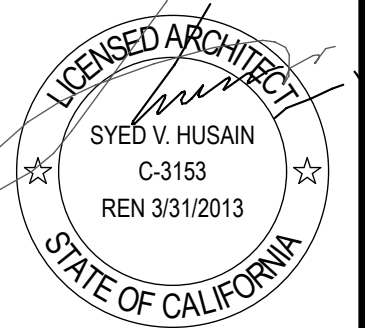
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T: 510.206.0491  
F: 510.550.2670

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Caroline & Sheridan Oakes  
760 12th Ave  
San Francisco, C 94118  
Phone: 415.317.1777

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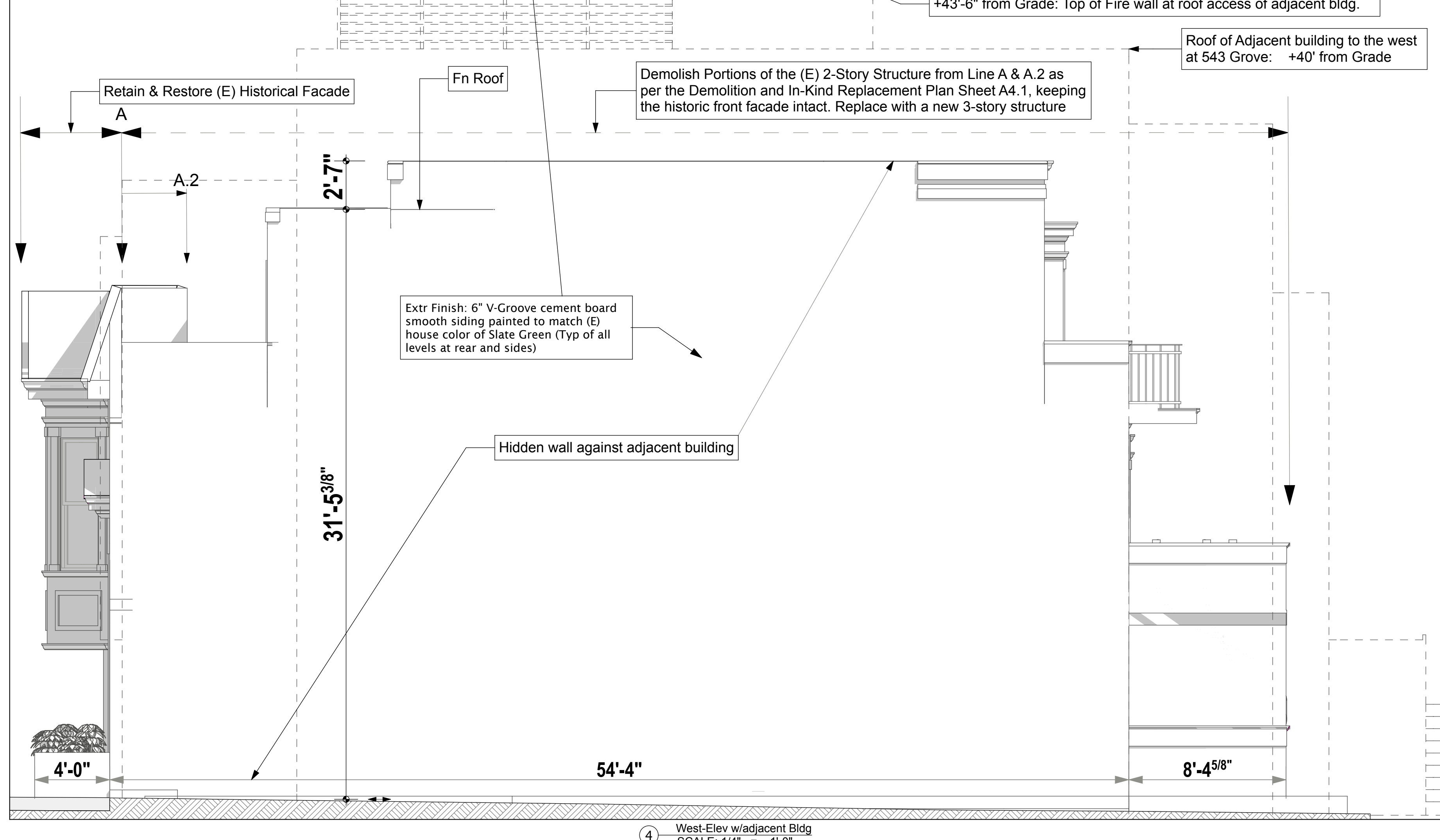
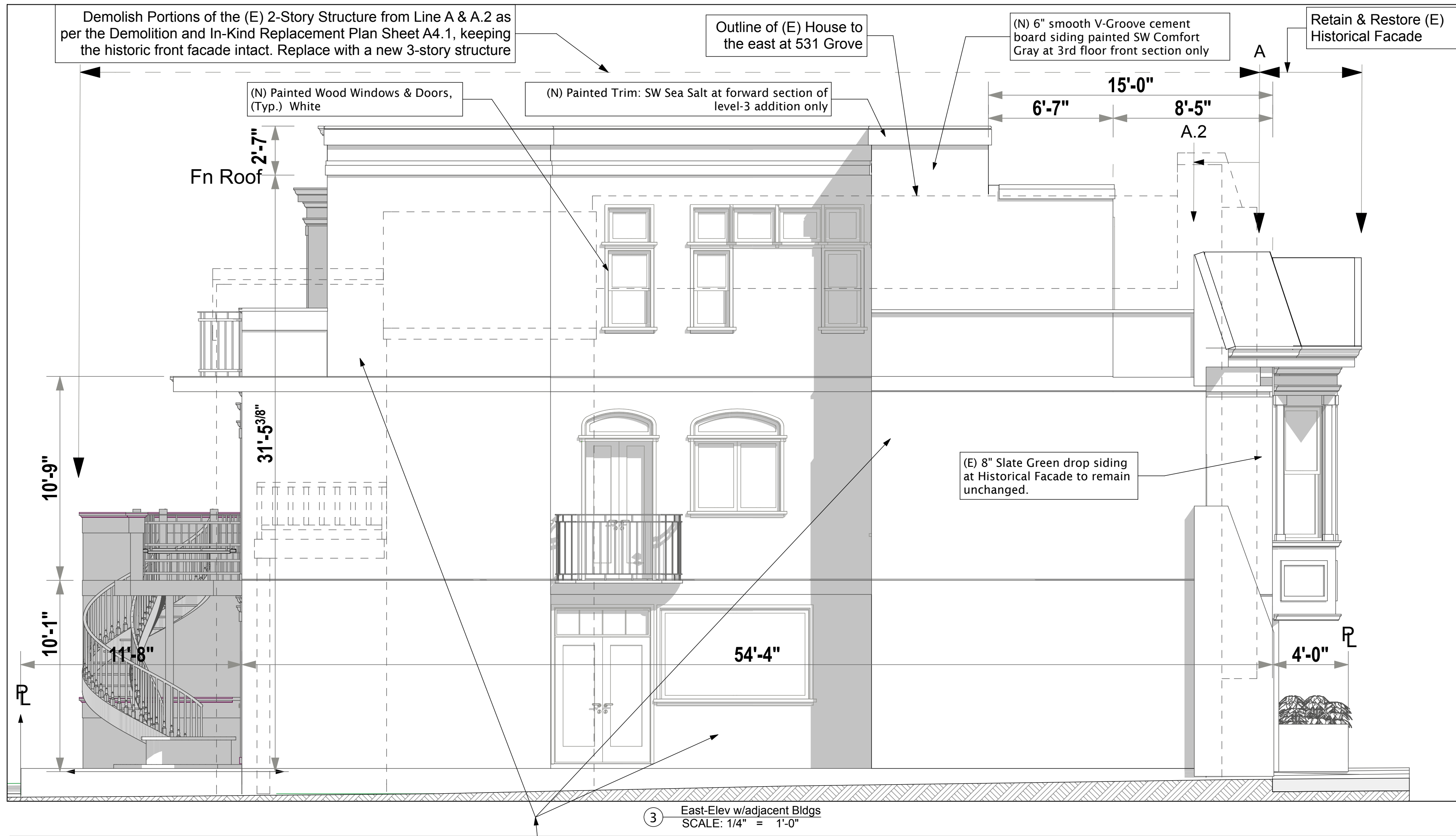
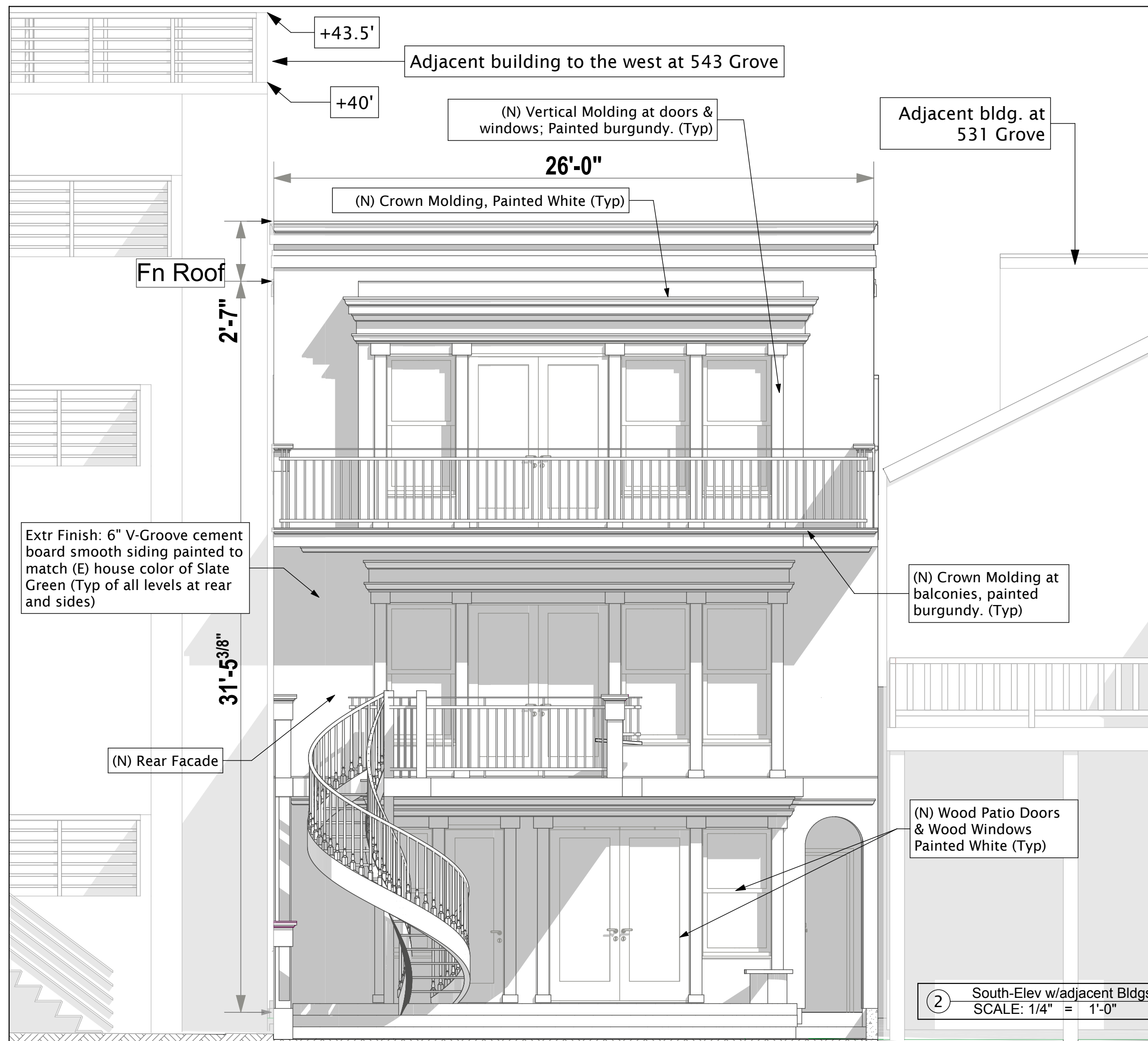
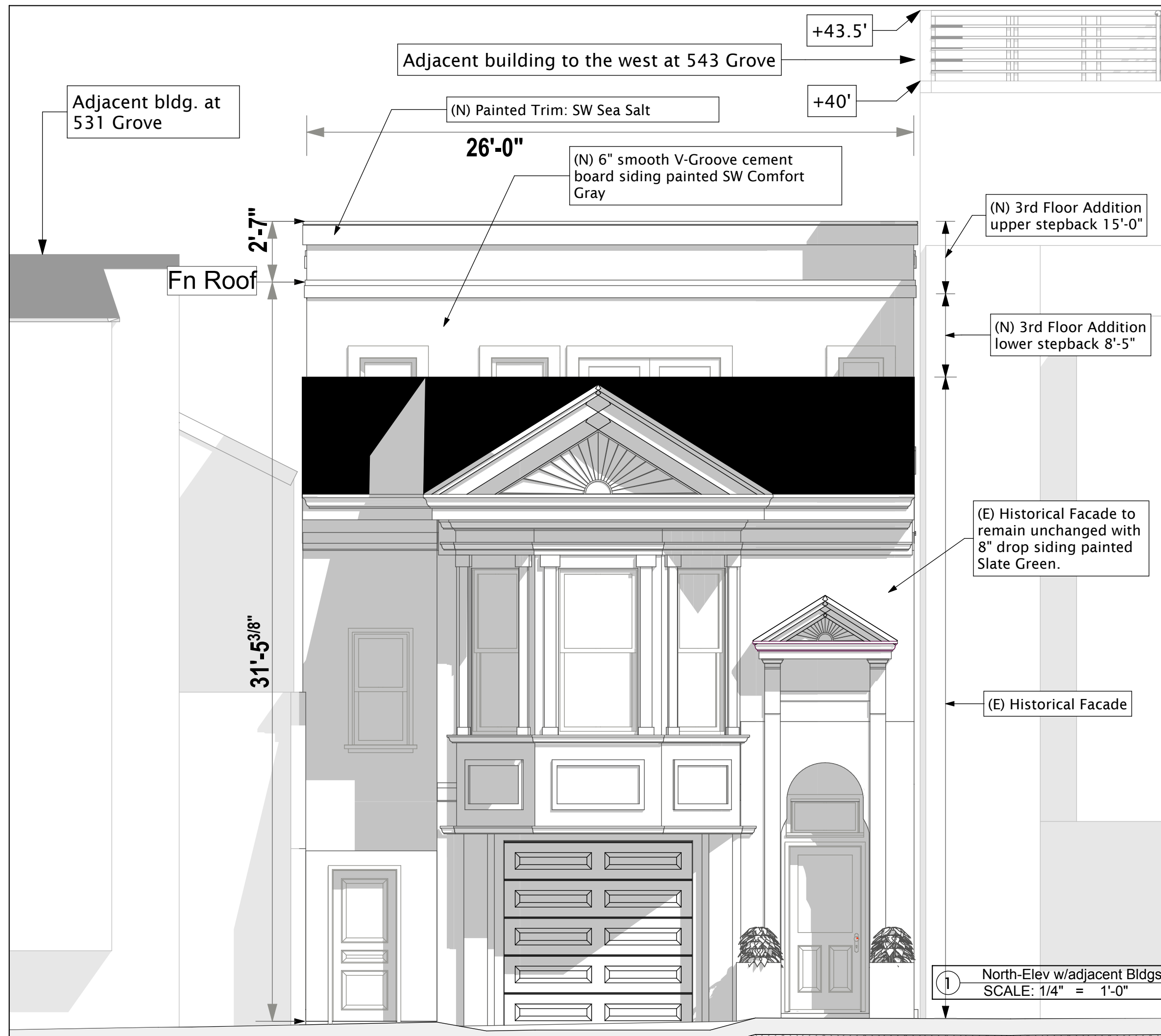
Roof Plan + Window/Door Schedules



Project # 2008.05.10  
Permit Submittal  
Revision Dates  
1. 6-6-11  
2. 8-30-11  
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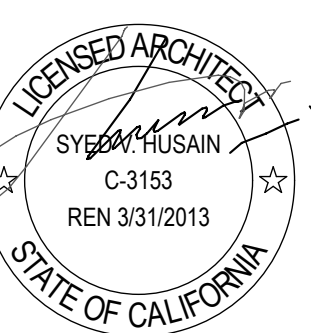
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## Elevations



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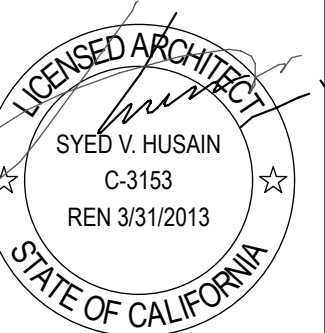
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Sections 1 and C.2



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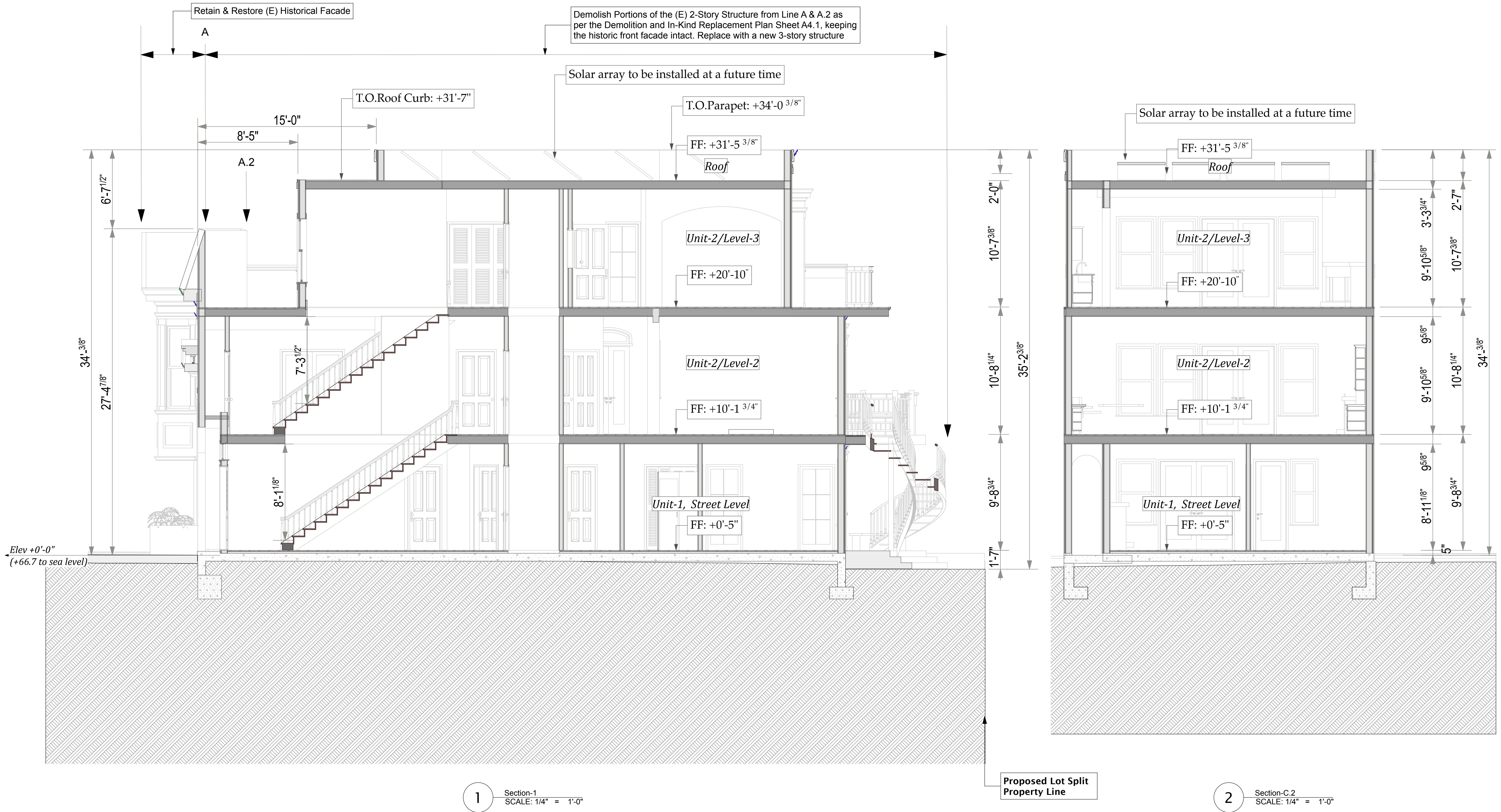
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## A2.5



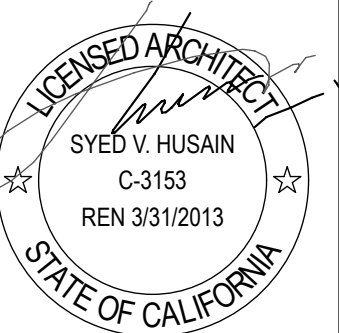


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**Owner:**  
Caroline & Sheridan Oakes  
760 12th Ave  
San Francisco, CA 94118  
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## Sections 2 and A.2



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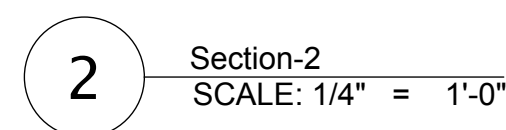
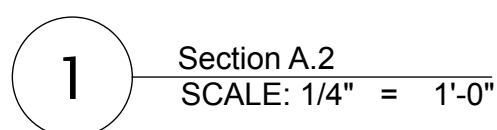
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## A2.6





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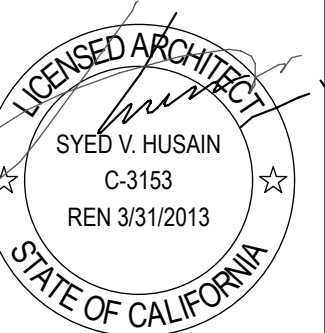
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Caroline & Sheridan Oakes  
760 12th Ave  
San Francisco, CA 94118  
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View Angles from Across Grove



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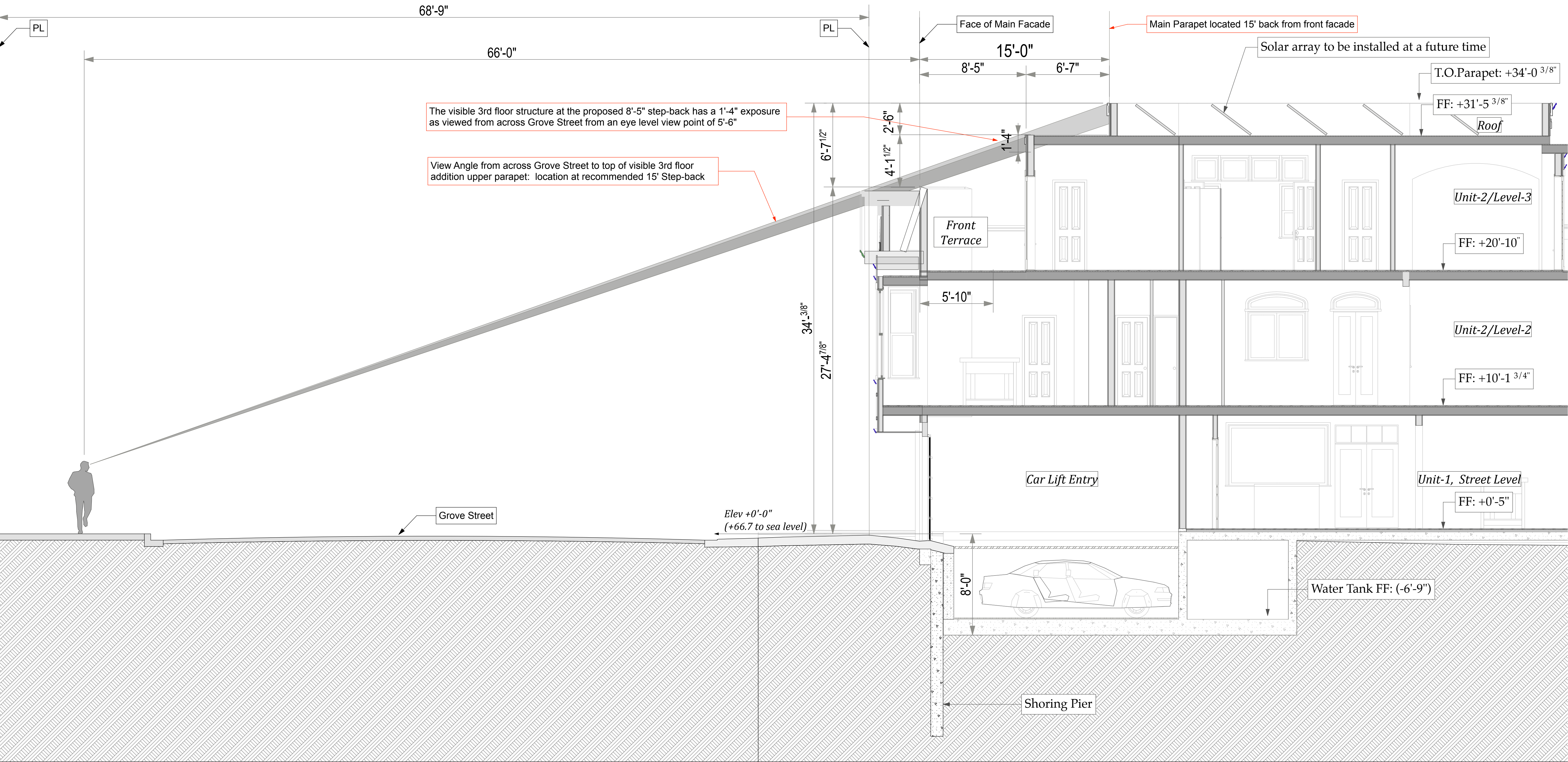
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537 Grove St.

A2.7



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View Angles of 3rd Flr Addition from Across Grove St  
SCALE: 1/4" = 1'-0"