



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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Suite 400  
San Francisco,  
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Information:  
**415.558.6377**





# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, September 24, 2014**  
Time: **9:30 AM**  
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
Case Type: **Variance**  
**(Lot Area, Side Setback, Rear Yard and Parking)**  
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>325 Bowdoin St</b>	Case No.:	<b>2007.0213V</b>
Cross Street(s):	<b>Hale Street And Silver Avenue</b>	Building Permit:	<b>N/A</b>
Block / Lot No.:	<b>5884/026</b>	Applicant/Agent:	<b>Gus Fallay</b>
Zoning District(s):	<b>RH-1(D) / 40-X</b>	Telephone:	<b>510-469-5202</b>
Area Plan:	<b>N/A</b>	E-Mail:	<b>afallay@aol.com</b>

### PROJECT DESCRIPTION

The proposal is to subdivide an existing lot into two lots and construct a new single-family dwelling on the resulting vacant lot fronting Hale Street. The existing single-family dwelling along Cortland Street would remain substantially unchanged.

**PER SECTION 121 OF THE PLANNING CODE** lots in an RH-1( D) Zoning District must have a minimum lot area of 4,000 square feet. The subject lot is approximately 5,200 square feet in area. The lot subdivision will produce two lots, one fronting on Hale Street with approximately 2,630 square feet in area, and one fronting on Bowdoin Street with approximately 2,570 square feet in area. A lot area variance is required for both lots.

**PER SECTION 133 OF THE PLANNING CODE** lots within an RH-1(D) Zoning District that are between 40 and 50 feet wide must provide two side yards that are at least 4 feet wide. The existing structure will provide an approximately 2.5 foot side yard on one side and no side yard on the other side. The new structure will provide a side yard of 3 feet on one side and 4 feet on the other side. A side setback variance is required for both lots.

**PER SECTION 134 OF THE PLANNING CODE** lots within an RH-1(D) Zoning District must provide a rear yard equal to 25% of lot depth, but in no case less than 15 feet. The rear yard requirement for the lot fronting on Bowdoin Street is 15 feet where approximately 1.5 feet is provided by the existing structure. The rear yard requirement for the lot fronting on Hale Street is 15 feet where 15 feet is provided. A rear yard variance is required for the lot fronting on Bowdoin Street.

**PER SECTION 150 OF THE PLANNING CODE** once a required off-street parking space has been provided which wholly or partially meets the requirements of the Planning Code, such off-street parking space shall not be reduced, eliminated or made unusable. The existing parking garage

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Para información en Español llamar al: 558.6378



## GENERAL INFORMATION ABOUT PROCEDURES

providing one off-street parking space for the existing dwelling unit fronting on Bowdoin Street will be demolished. One required off-street parking space is provided for the dwelling fronting on Hale Street. A parking variance is required for the lot fronting on Bowdoin Street.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Erika Jackson** Telephone: **415-558-6363** Mail: [erika.jackson@sfgov.org](mailto:erika.jackson@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2007.0213V.pdf>

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# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



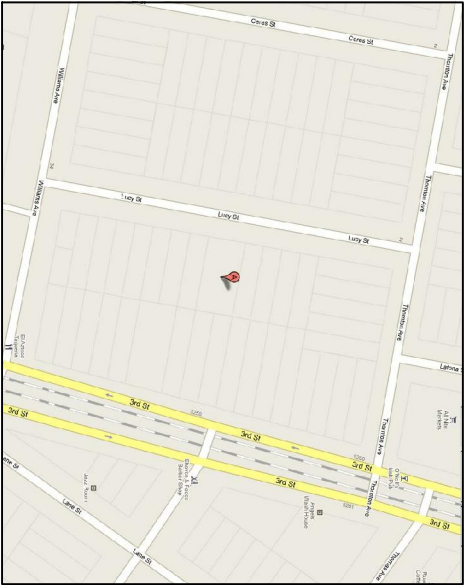
**BUILDING DATA:**  
  
ADDRESS: 399 HALE STREET  
SAN FRANCISCO, CALIF  
STORIES: 3 STORIES  
OCCUPANCY: SINGLE FAMILY  
TYPE: R3/UGARAGE)  
ZONING: SB  
BLOCK: 5884 LOT026

**SCOPE OF WORK:**  
  
\* NEW THREE STORIES SINGLE FAMILY DWELLING

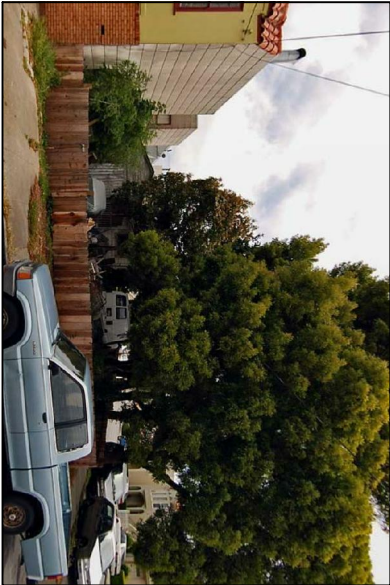
**INDEX:**  
  
A1. FRONT ELEVATION & LOCATION PLAN  
A1-1. PROPOSED & EXISTING SITE PLAN  
A2. ELEVATIONS AND ROOF PLAN  
A3. NEW GRN. FL. PLAN  
A4. NEW 2ND FL. PLAN  
A5. NEW 3RD FL. PLAN  
A6. SECTIONS & FRONT ELEVATION W/ADJACENT BLD'G



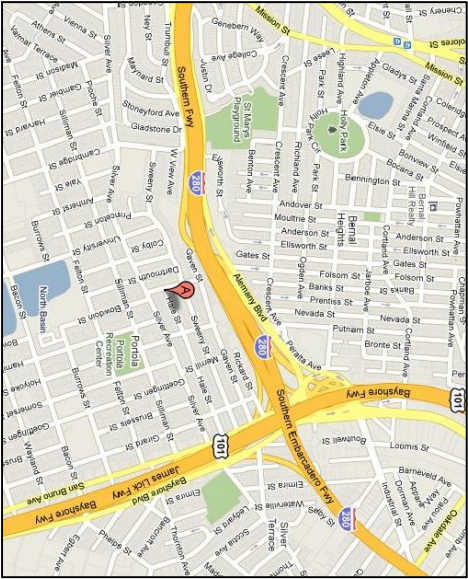
AERIAL VIEW



LOCATION PLAN

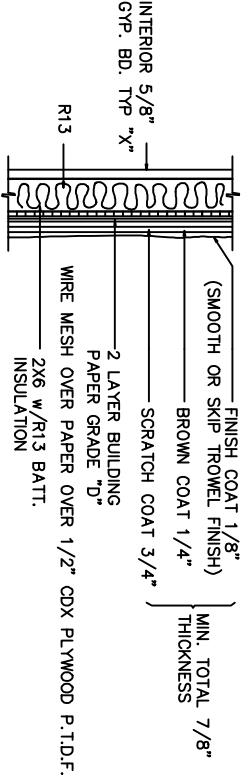


FRONT

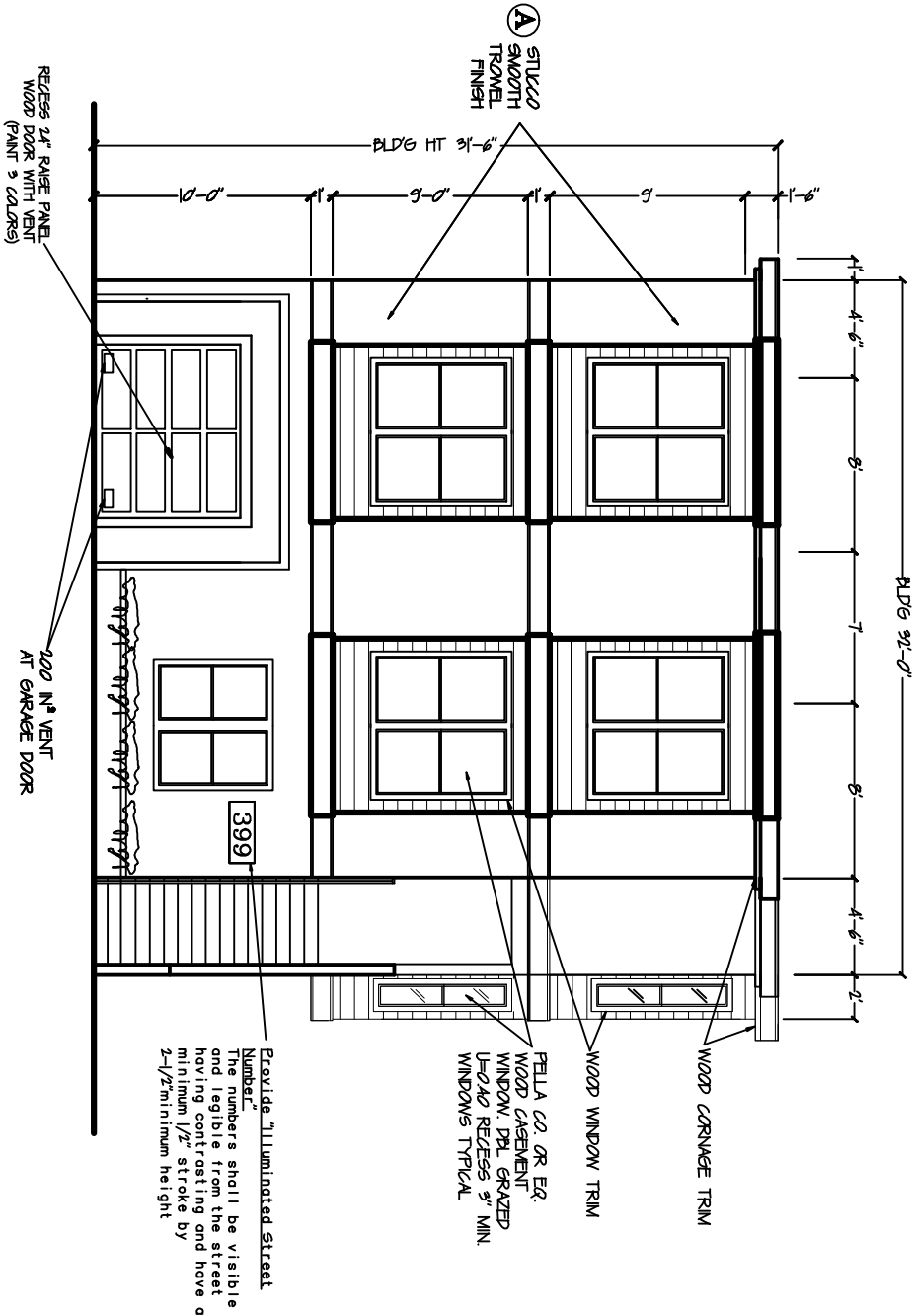


VICINITY MAP

**DEMOLITION NOTE:**  
ALTERATION IS NOT TO EXCEED THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS. A SEPARATE AND ADDITIONAL PERMIT IS REQUIRED TO REPAIR DRY-ROT OR FOR ANY ALTERATION WHICH EXCEEDS THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS.



A STUCCO DETAIL(SECTION)  
A1 TYPICAL ALL STUCCO SURFACE



FRONT ELEVATION  
( 1/4" = 1'-0" )

REVISIONS	BY
10/23/2008	HL
06/19/2010	HL
12/10/2010	HL

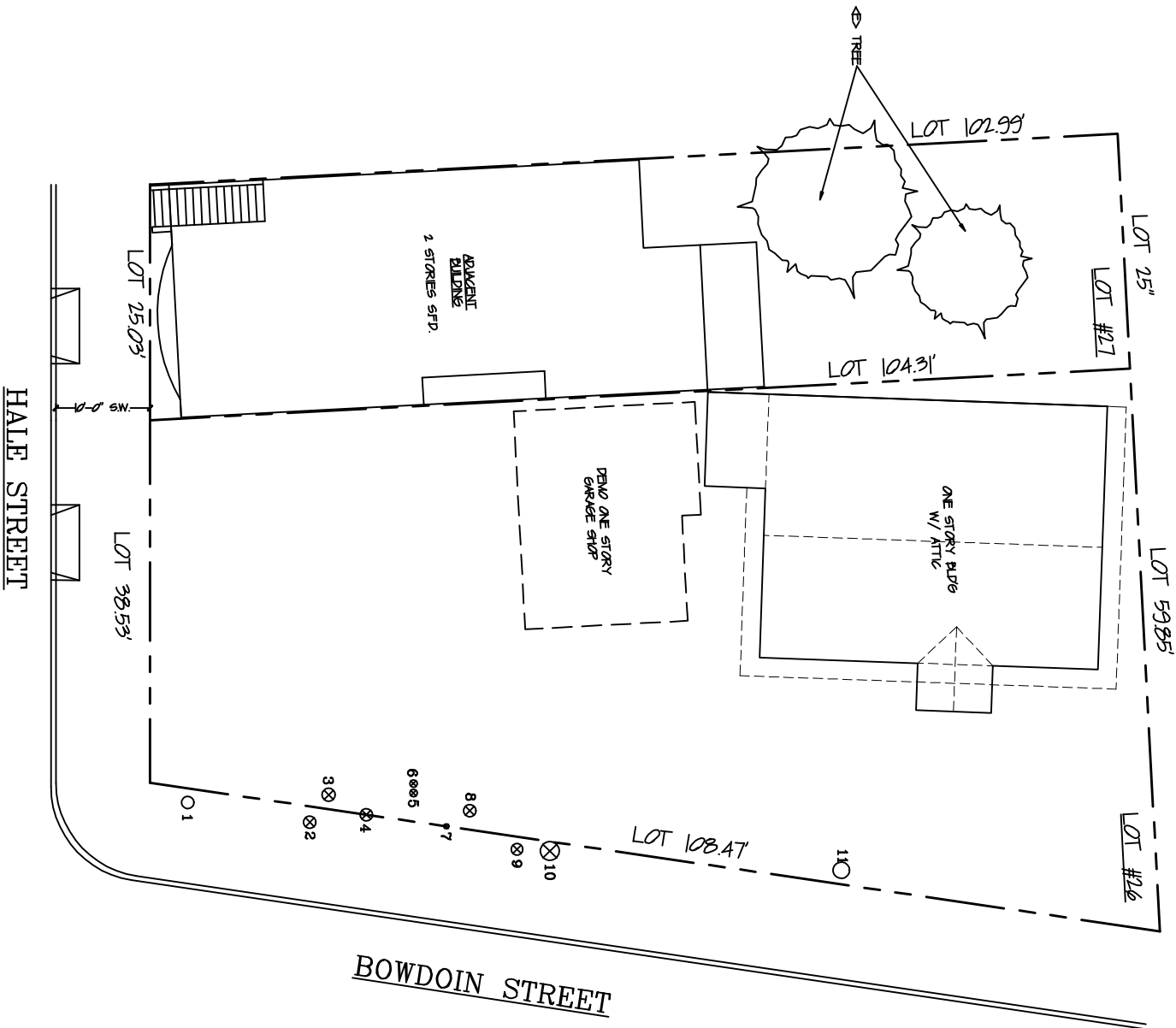
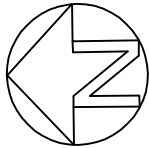
HAWK N. LEE, P. E.  
Consulting Engineer  
1609 Noriega Street  
San Francisco, California 94122  
(415) 681-6325 fax (415) 681-1012

BLOCK 5884 LOT 026  
399 HALE STREET  
SAN FRANCISCO, CALIFORNIA

NEW 3 STORIES  
SINGLE FAMILY DWELLING

Date: 06-03-05
Scale: AS SHOWN
Drawn: H. LEE
Job: 399 H
Sheet A1 Of Sheet





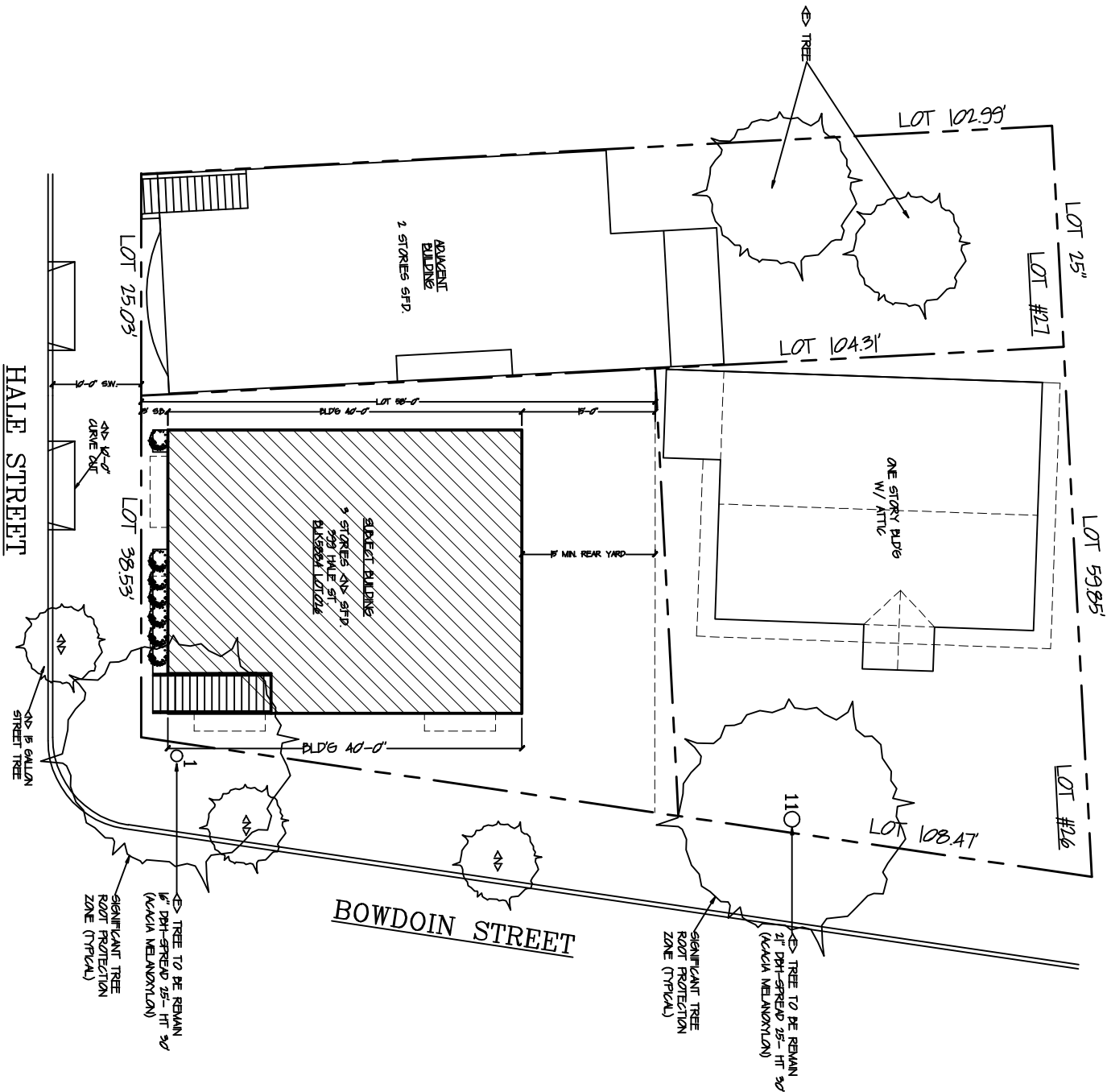
EXISTING SITE PLAN  
( 1/8" = 1'-0" )

TREE LEGEND	
	TREE TO BE PROTECTED (#1, #11)
	TREE TO BE REMOVE

SEE ARBORIST BY CHRISTOPHER CAMPBELL TREE DESIGN  
CERTIFIED ARBORIST #6488A  
36 DELANO AVENUE  
SAN FRANCISCO, CALIFORNIA 94112  
415-239-6100

ARBORIST NOTE TO FIELD:

THE TWO TREES THAT ARE RECOMMENDED FOR PRESERVATION WOULD REQUIRE TREE PROTECTION ZONES. ORANGE PLASTIC FENCING SHALL BE ERRECTED AROUND THE OUTSIDE OF THE DRIPLINE OF THE TWO TREES. THE DRIPLINE IS THE AREA UNDER THE CANOPY OF THE TREES, FROM THE TRUNK OF THE TREE TO THE OUTSIDE OF THE LONGEST BRANCHES. NO TOOLS, MATERIAL OR MACHINERY WOULD BE ALLOWED IN THE TREE PROTECTION ZONE. AN ARBORIST SHALL PERFORM MANY ROOT CUTTING OF ROOTS OVER 1.5 INCHES. IF WORK IS REQUIRED WITHIN THE TREE PROTECTION ZONE, A CERTIFIED ARBORIST SHALL BE ON SITE TO SUPERVISE AND MAKE RECOMMENDATIONS.



PROPOSED SITE PLAN  
( 1/8" = 1'-0" )

REVISIONS	BY

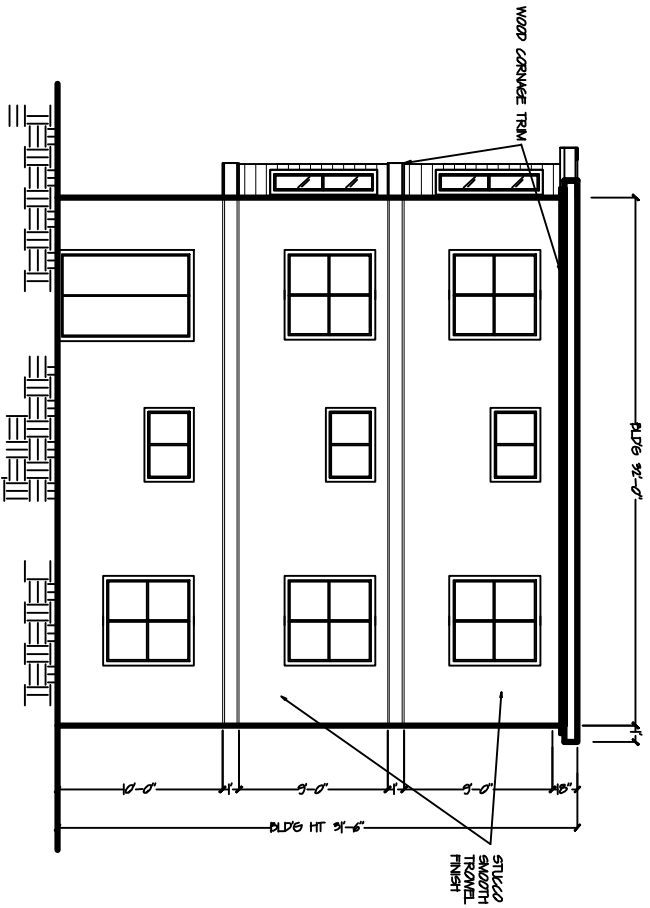
HAWK N. LEE, P. E.  
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BLOCK 5884 LOT 026  
399 HALE STREET  
SAN FRANCISCO, CALIFORNIA

NEW 3 STORIES  
SINGLE FAMILY DWELLING

Date: 06-03-05
Scale: 1/4"=1'-0"
Drawn: H. LEE
Job: 399 H
Sheet A1.1 Of Sheet

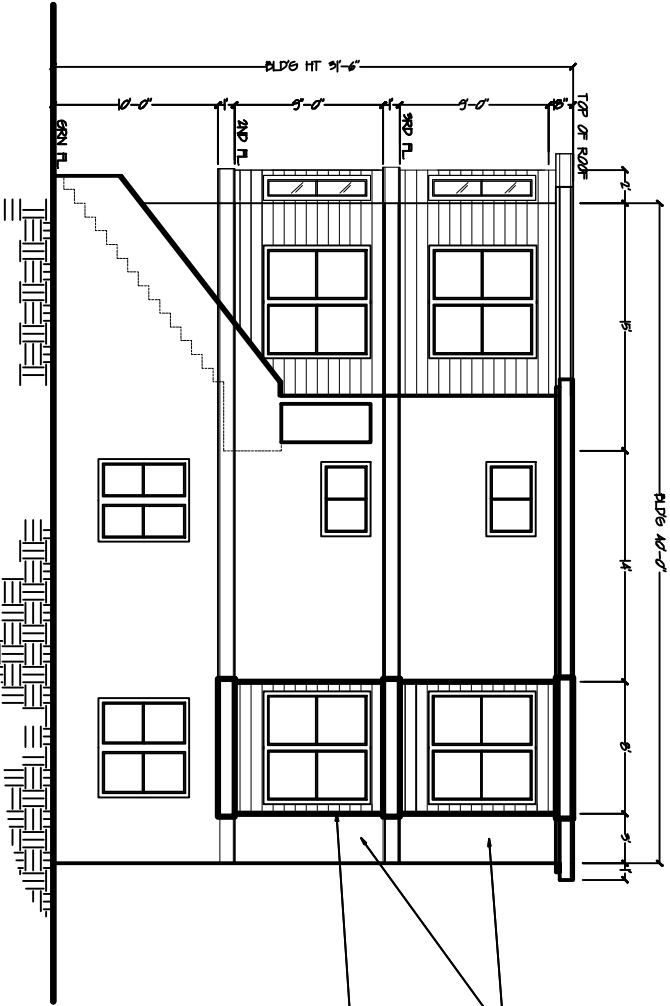




### REAR ELEVATION

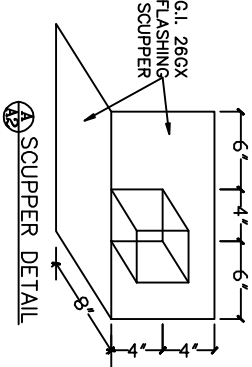
( 3/16" = 1'-0" )

Emergency Escape Or Rescue Windows  
In every sleeping room in every dwelling unit shall have at least a window or door approved for emergency egress and rescue which shall open into a public street, public alley, yard or exit court. The emergency door or window shall be operated from the inside to provide a full clear opening per California Building Code Section 310.4 without the use of special tools. Minimum net clear area of 5.7 sq. ft. Dimensions: ht. 24" minimum, 20" minimum width, sill height not more than 44".

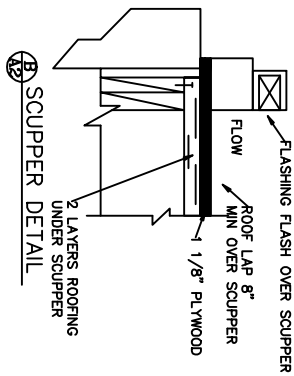


### WEST ELEVATION

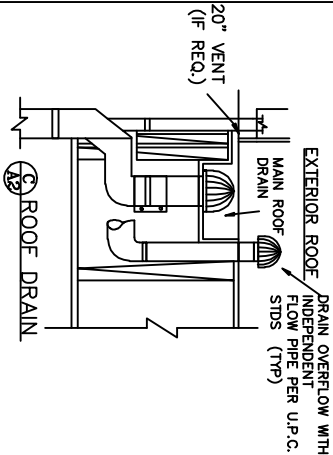
( 3/16" = 1'-0" )



#### SCUPPER DETAIL



#### SCUPPER DETAIL



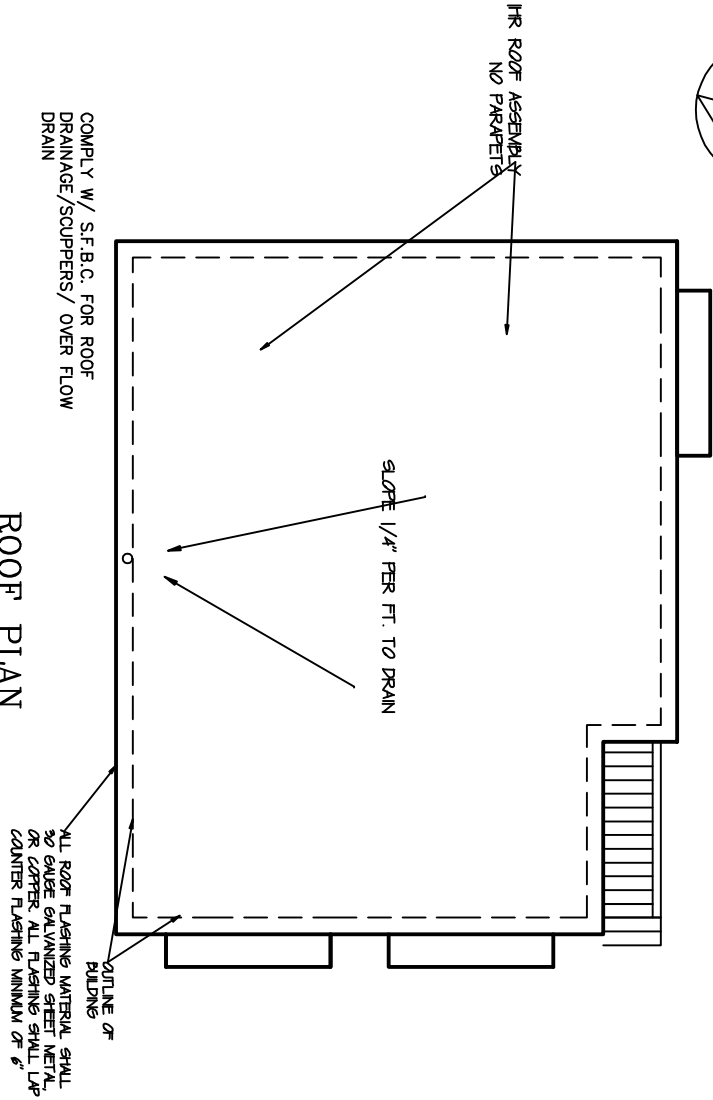
#### EXTERIOR ROOF

COMPLY W/ S.F.B.C. FOR ROOF DRAINAGE/SCUPPERS/ OVER FLOW DRAIN

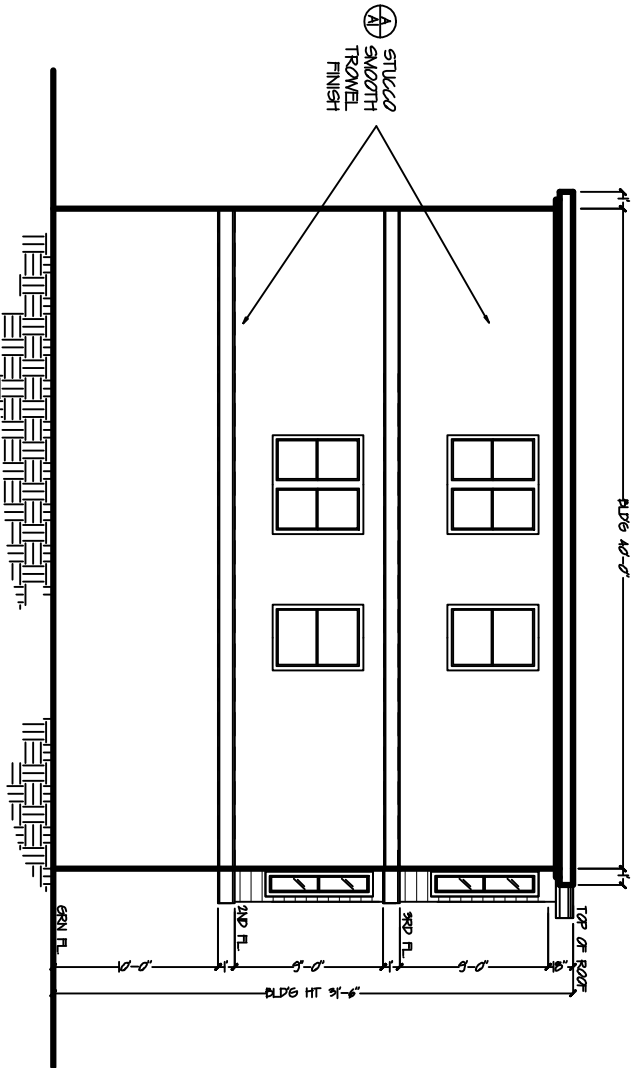
ROOF SPECIFICATION: ROOFING SHALL BE CLASS A OR B TORCH ON MEMBRANE. SLOPE 1/4" PER FT. TO DRAIN

### ROOF PLAN

( 3/16" = 1'-0" )

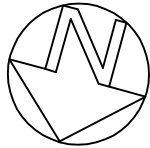


ALL ROOF FLASHING MATERIAL SHALL BE GALV. GALVANIZED STEEL METAL OR COPPER. ALL FLASHING SHALL LAP COUNTER FLASHING MINIMUM OF 6"



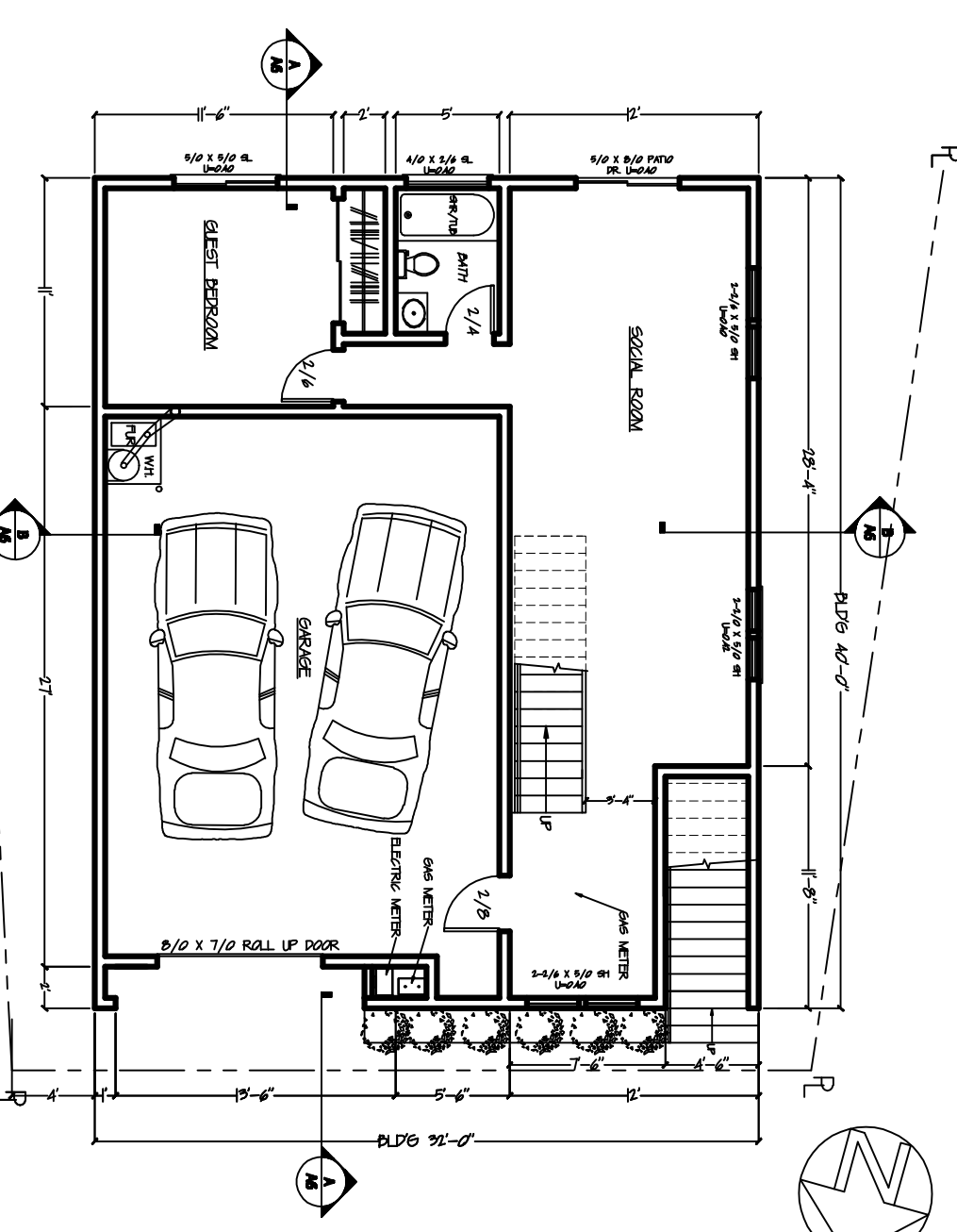
### EAST ELEVATION

( 3/16" = 1'-0" )



REVISIONS	BY
10/23/2008	HL
06/19/2010	HL
12/10/2010	HL
HAWK N. LEE, P. E. Consulting Engineer 1609 Noriega Street San Francisco, California 94122 (415) 681-6325 fax (415) 681-1012	
BLOCK 5884 LOT 026 399 HALE STREET SAN FRANCISCO, CALIFORNIA	
NEW 3 STORIES SINGLE FAMILY DWELLING	
Date: 06-03-05 Scale: AS SHOWN Drawn: H. LEE Job: 399 H Sheet Of	A2 Sheet

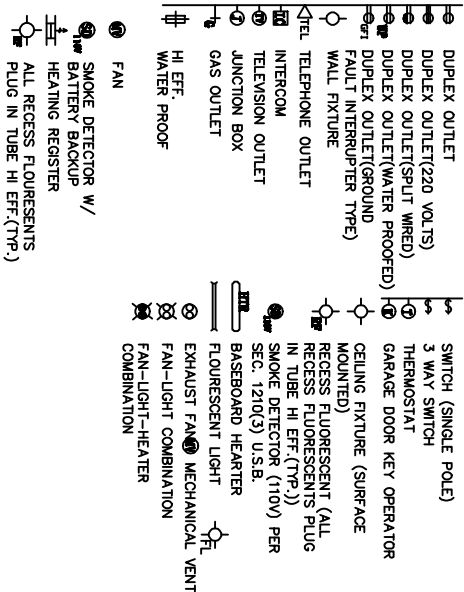


<p>PRODUCTS SPECIFIED ARE AS MANUFACTURED BY SINGAIR PAINT CO., UNLESS OTHERWISE INDICATED. EQUIVALENT PRODUCTS MANUFACTURED BY SHERWIN-WILLIAMS, DUNN-EDWARDS, FULLER-O'BRIEN, OR GLIDDEN IN CONFORMANCE WITH MATERIALS LIST ARE ACCEPTABLE.</p> <p>MATERIALS SELECTED FOR COATING SYSTEMS FOR EACH TYPE SURFACE SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER.</p> <p>INTERIOR PAINTING</p> <p>FLAT FINISH ON GYPSUM</p> <p>WALLBOARD</p> <p>1 COAT #7</p> <p>1 COAT #6</p> <p>EXTERIOR PAINTING</p> <p>FLAT FINISH ON CEMENT PLASTER AND CONCRETE</p> <p>2 COATS #5</p> <p>MATERIALS LIST:</p> <p>1. RED OXIDE PRIMER</p> <p>2. ZINC DUST PRIMER</p> <p>3. SASH AND TRIM PRIMER</p> <p>4. ENAMEL UNDERCOATER</p> <p>5. ACRYLIC MASONRY PAINT</p> <p>6. FLAT LATEX WALL FINISH</p> <p>7. PVA SEALER</p> <p>8. LATEX ENAMEL UNDERCOATER</p> <p>9. ALKTD EGGSHELL ENAMEL</p>		<p>MECHANICAL REQUIREMENTS:</p> <p>1. Installation instruction for install equipment shall be provided to the building inspector at the time of inspection. UMC 303.1</p> <p>2. All environment air ducts shall be a minimum of 3 feet from property lines or any openings into the building (i.e., dryers, bath and utility fans, etc., must be 3 feet away from doors, windows, openings in skylights or attic vents). UBC 504.6</p> <p>3. Water closets to be maximum 1.6 gallon per flush per Calif. Health &amp; Safety Code.</p> <p>4. Cast Iron to use in all drains, waste, and vents (DWV) – no plastic piping is allowed.</p> <p>DCMC 15.20.040, 15.20.090</p> <p>5. Seismic anchor all water heaters. Straps at points within the upper and lower 1/3 of its vertical dimensions, the lower anchor or strap located to maintain a minimum distance of 4 inches above the control valve. UPC 510.5</p> <p>6. Smooth ducts for dryer vents, exhaust extending to outside with back draft damper.</p> <p>UMC 504, 908</p> <p>7. Provide non removable back flow prevention devices on all hose bibs. UPC 603</p> <p>8. Pressure relief valve with drain to outside be provided at all water heaters. UPC 608, expansion tanks or other devices design for intermittent operation for thermal expansion controls shall be installed. The tanks or devices shall be sized in acceptance with manufacture's recommendation. UPC 608.3</p> <p>9. Showers and tub/showers shall be provided with pressure balance or thermostatic mixing valves and shall be adjusted per manufacture's recommendation to deliver a maximum of 12 degrees F. The water heater is not to be used as the controlling device. UPC 42007</p>		<p>ARCHITECTURAL</p> <p>1. DURING BIDDING AND NEGOTIATION PERIOD, THE GENERAL AND SUBCONTRACTOR(S) SHALL CONFIRM, IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY HAWK N. LEE, P.E. (ENGINEER) IN WRITING, ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.</p> <p>2. UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A SPECIFIC CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUB-CONTRACTORS AND GENERAL CONTRACTORS WORK.</p> <p>3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY, AND CONFIRMING THAT WORK IS BUILDABLE, AS SHOWN, BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM HAWK N. LEE, P.E. (ENGINEER) BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.</p> <p>4. GENERAL CONTRACTOR SHALL APPLY FOR AND OBTAIN AT THE CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY CITY AND STATE AGENCIES.</p> <p>5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL REGULATORY AGENCIES, APPLICABLE BUILDING CODES AND REQUIREMENTS.</p> <p>6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFECTS FOUND IN EXISTING BASE BUILDING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT ADJOINING SURFACES. ALIGN AND SAND SMOOTH.</p> <p>7. GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PORTIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS AND LIGHT SWITCHES WITH THE ENGINEER IN THE FIELD, BEFORE PROCEEDING WITH CONSTRUCTION.</p> <p>8. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.</p> <p>9. CONTRACTOR SHALL PROVIDE ALL EXISTING CONSTRUCTION AND FINISHES AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY HIM OR HIS SUBCONTRACTOR(S).</p> <p>10. GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR EXISTING FINISH FLOOR, FURNISHINGS AND EXISTING FINISHES IN AREAS OF DEMOLITION AND CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED BY THE WORK OF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR.</p> <p>11. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS.</p> <p>12. CABINET WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE STANDARDS ESTABLISHED IN THE "MANUAL OF MILLWORK".</p> <p>ELECTRICAL REQUIREMENTS:</p> <p>1. ALL ELECTRICAL CONDUCTOR WIRES WITH 4 PRONGS OUTLETS SHALL HAVE NEUTRALS, SUCH AS COOKING APPLIANCES, DRYERS, ETC.</p> <p>2. FRONT AND REAR OF THE HOME SHALL BE PROVIDED WITH RECEPTACLE WITHIN 6 FEET 6 INCHES OF GRADE AND SHALL BE WATERPROOF AND GFCI PROTECTED AT BOTH LOCATIONS. NEC SECTION 210-52</p> <p>3. THERE SHALL BE TWO SMALL APPLIANCES OUTLETS BRANCH CIRCUITS FOR THE KITCHEN AND SHALL BE LIMITED TO SERVICE THE KITCHEN COUNTERS AND WALLS IN THE KITCHEN. NEC SECTION 210-52(b)</p> <p>4. OUTSIDE PLUGS, RANGE HOODS, DISPOSALS, DISHWASHERS, AND MICROWAVES SHALL HAVE ITS OWN SEPARATE CIRCUITS.</p> <p>5. BATHROOM OUTLETS SHALL HAVE DEDICATED 20 AMP. CIRCUIT AND BE GFCI PROTECTED. THIS CIRCUIT CANNOT SERVE OTHER RECEPTACLES, LIGHT, FANS, ETC. PER NEC SECTION 210.52.</p>	
<p>Emergency Escape Or Rescue Windows</p> <p>In every sleeping room in every dwelling unit shall have at least a window or door approved for emergency egress and rescue which shall open into a public street, public alley, yard or exit court. The emergency door or window shall be operated from the inside to provide a full clear opening per California Building Code Section 310.4 without the use of special tools. Minimum net clear area of 5.7 sq. ft. Dimensions: ht. 24" minimum, 20" minimum width, sill height not more than 44".</p>				<p>PROPOSED GROUND FLOOR PLAN</p> <p>LIVING AREA 685 FT<sup>2</sup></p> <p>GARAGE 521 FT<sup>2</sup></p> <p>( 1/4" = 1'-0" )</p>	

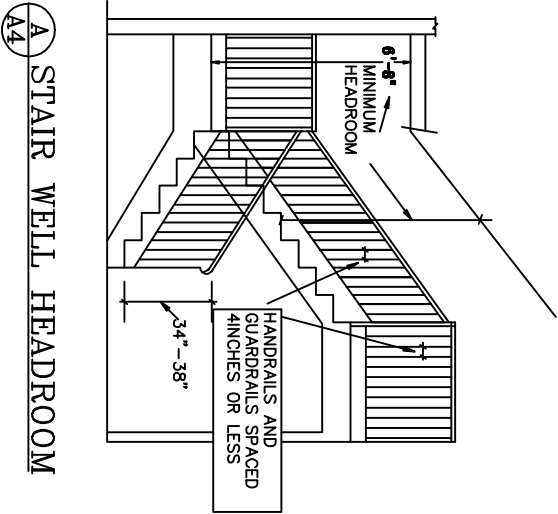
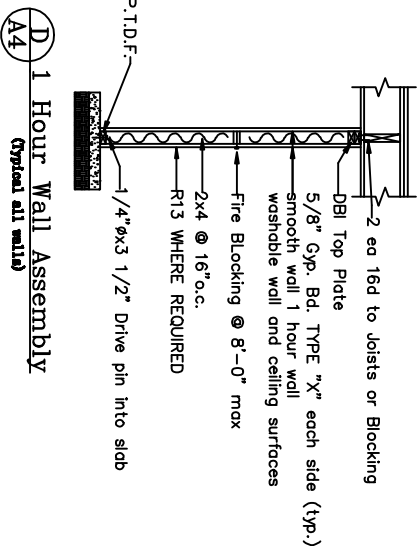
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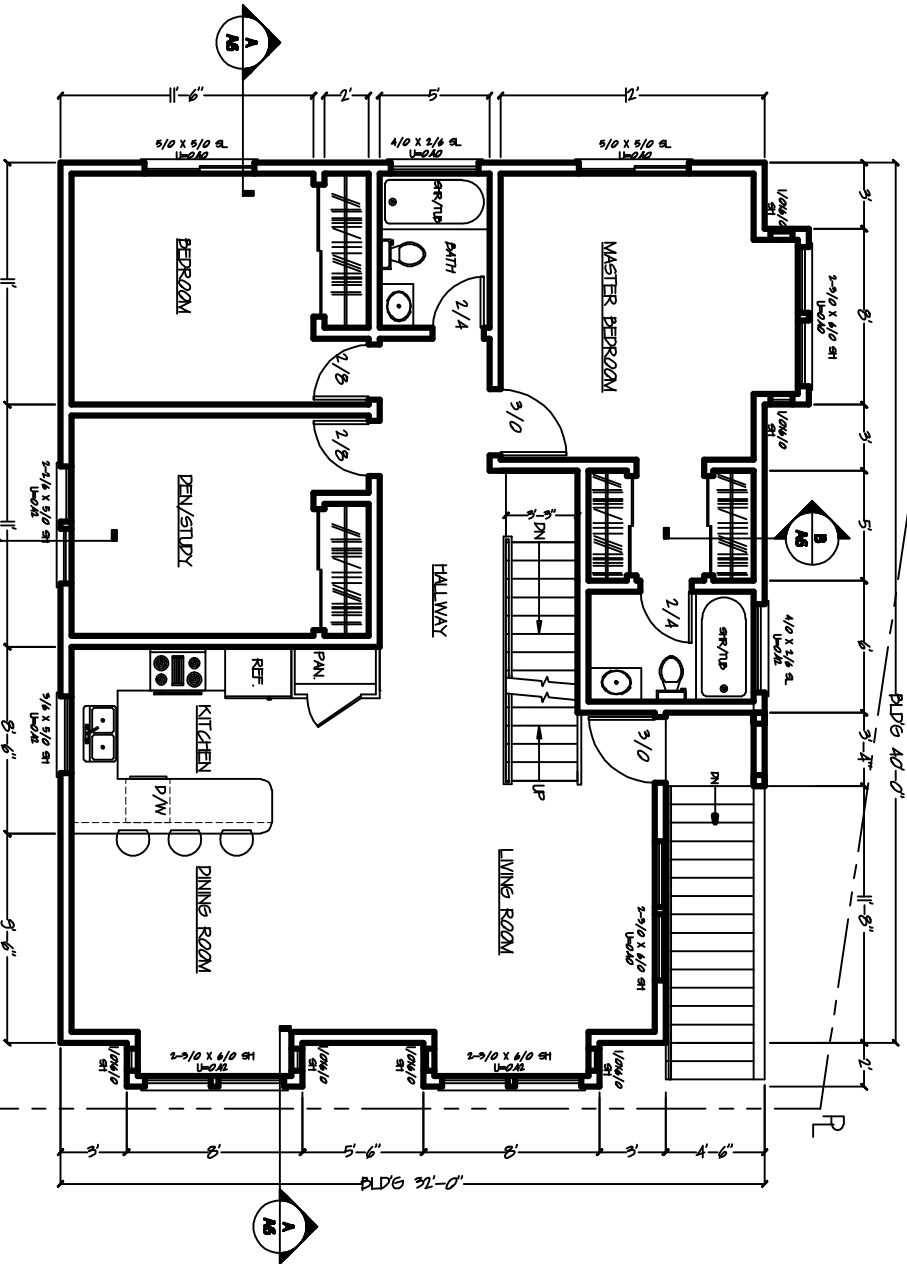
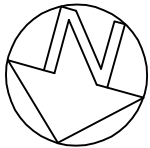
ELECTRIC LEGEND



INTERIOR FINISH SCHEDULE				ALL FLOORS
ROOM	SUBFLOOR	FIN. FLR.	BASE	WALL AND CEILING
STAIRS	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
LIVING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
DINING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
FAMILY	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
OFFICE	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
KITCHEN	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
BEDROOM	WOOD	CARPET	WOOD	5/8" GYPSUM WALL BOARDS
BATHS	WOOD	TILE	WOOD	5/8" GYPSUM WALL BOARDS

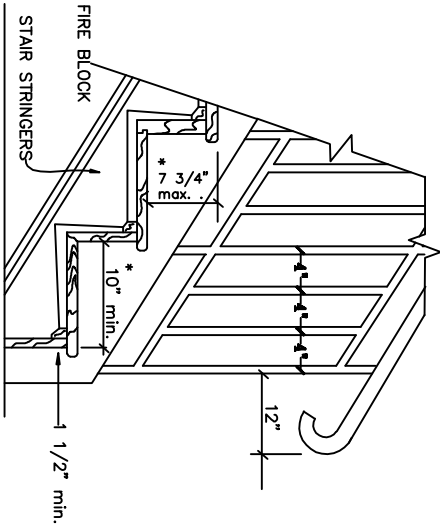


- \* GENERAL LIGHTING FOR KITCHENS AND TOILET ROOMS MUST HAVE AN EFFICACY OF AT LEAST 40 LUMENS PER WATT(FLUORESCENT) AND BE CONTROLLED BY THE MOST ACCESSIBLE SWITCH.
- \* WATER CLOSETS SHALL BE "ULTRA LOW FLOW FLUSH" TYPE WITH 1.6 GALLONS MAXIMUM PER FLUSH.
- \* CONTROL VALVE FOR SHOWER OR TUB-SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER UPC 410.7.
- \* MECHANICAL VENTILATION SYSTEMS SHALL BE PROVIDE FOR BATHROOMS WITHOUT WINDOWS AND SHALL PROVIDE 5 AIR CHANGE PER HOUR. UBC 1203.3.

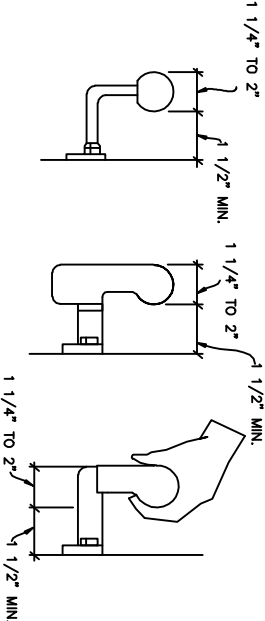


**Emergency Escape Or Rescue Windows**  
In every sleeping room in every dwelling unit shall have at least a window or door approved for emergency egress and rescue which shall open into a public street, public alley, yard or exit court. The emergency door or window shall be operated from the inside to provide a full clear opening per California Building Code Section 310.4 without the use of special tools. Minimum net clear area of 5.7 sq. ft. Dimensions: ht. 24" minimum, 20" minimum width, sill height not more than 44".

PROPOSED SECOND FLOOR PLAN  
LIVING AREA 1344 FT<sup>2</sup>  
( 1/4" = 1'-0" )



**B STAIR DETAIL**  
NO SCALE  
\* R3 OCCUPANCY:  
RUN 7 3/4" MIN.  
RISE 10" MAX.  
3/8" MAXIMUM DIFFERENCE  
BETWEEN LARGEST AND  
SMALLEST TREAD WIDTH OR  
RISER HEIGHTS



C HANDRAILS

REVISIONS	BY
10/23/2008	HL
06/19/2010	HL
12/10/2010	HL

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BLOCK 5884 LOT 026  
399 HALE STREET  
SAN FRANCISCO, CALIFORNIA

NEW 3 STORIES  
SINGLE FAMILY DWELLING

Date: 06-03-05
Scale: AS SHOWN
Drawn: H. LEE
Job: 399 H
Sheet A4
Of Sheet



CALIFORNIA CODE REGULATIONS:  
TITLE 24, PART 6 – ENERGY BUILDING REGULATION

Provide an Insulation Certificate form (C-1) attached to plans (This form shall be filled out by the insulation contractor to provide a copy to the building division on the final inspection) (CEES STD 10-103.B.1).

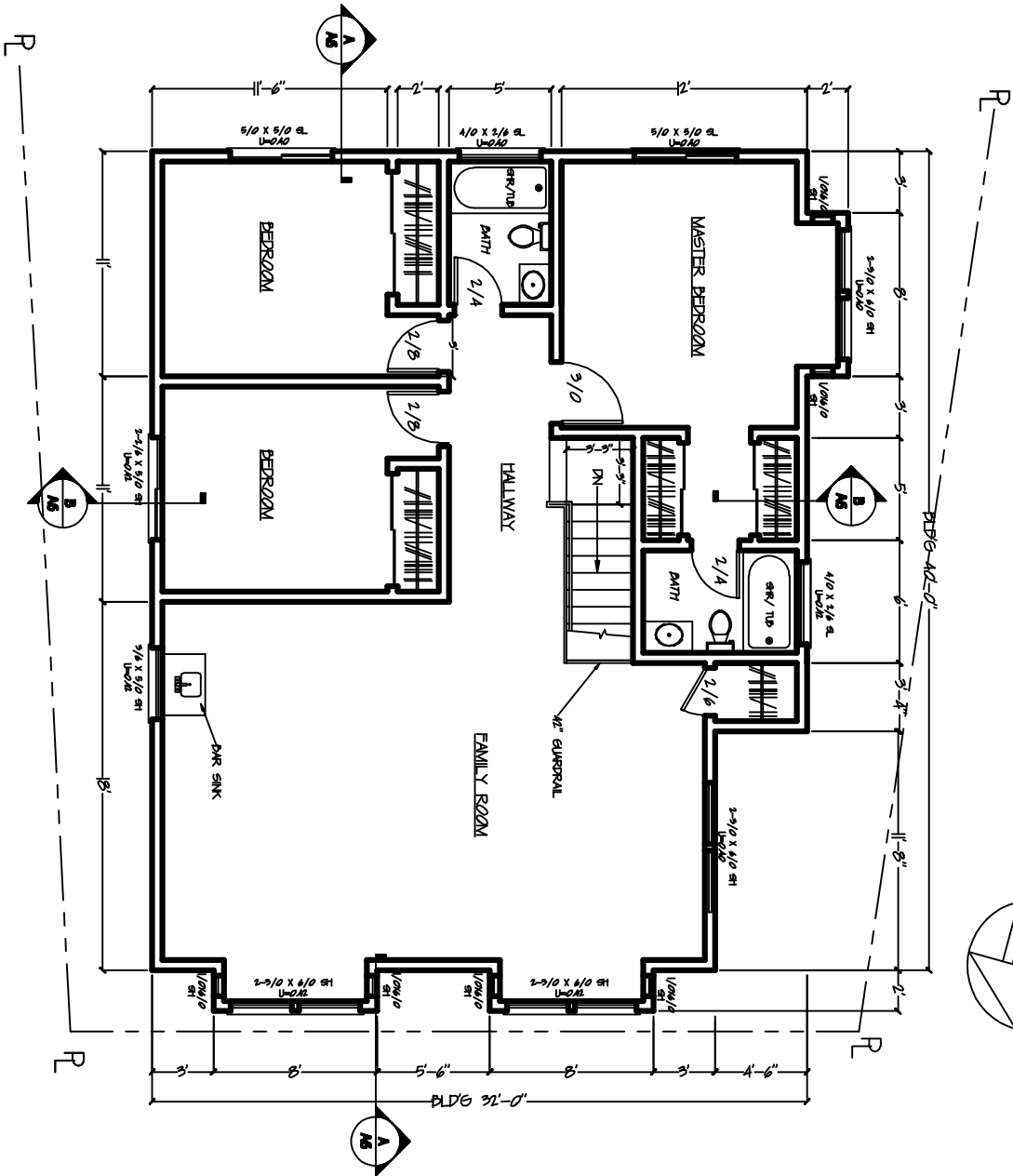
“Water heater shall be wrapped with R-12 insulation”

Any water heater with an energy factor less than 0.58 must be externally wrapped with insulation having a thermal resistance of R-12 or greater (CEC 151 (f) 8).

Provide a fluorescent light fixture or approved high efficacy lamps of not less than 40 lumens per watt for general lighting in the kitchen. Provide a wiring layout showing the high-efficacy luminaires shall be controlled by a switch at the entrance to the bathroom (CEC.STD.150-(k) 1)

Replace all windows with a U-factor of 0.55 at the proposed addition and existing building, as per CF-IR specifying existing plus addition (CEES STD.151 (f) 3.).

NFRC temporary labeling on new windows shall not be removed until inspected by the enforcement agency (CEES.STD.11 (c) 2-B).



PROPOSED 3rd FLOOR PLAN  
LIVING AREA 1344 FT²  
(1/4" = 1'-0")

NOTES:

1. Minimum ceiling height of proposed bathroom compartments that shall not be less than 7'-0" (CBC 310.6.1).
2. Interior finish materials shall have smooth, hard non-absorbent surface such as Portland cement, concrete, ceramic tile or other approved materials that extend to a height not less than 70 inches above the drain inlet (CBC section 807.1.3).
3. No plastic plumbing pipes are allowed for domestic water supply and sanitary waste system.
4. Water closet shall have a maximum 1.6 gallons per flush (CPC 402.3).
5. Shower heads shall not exceed a water supply flow rate of 2.5 gallons per minute (CPC 402.7).
6. Shower shall be provided with individual control valves of the pressure balance or thermostatic mixing type valve (CPC 420).
7. Provide a 30-inch minimum clear width where the water closet is located (CPC 408.6).
8. Strap water heater within the upper 1/3 and lower 1/3 of its vertical dimension. Strap at the lower point shall be installed 4 inches above water heater controls (CPC 210.5). Raise the water heater to 18" from the garage floor to the flame. Any water heater w/ an energy factor less than 0.59 must be externally wrapped w/ insulation. Having a thermal resistance of R-12 or greater (CEC 1151 (f) 8). The minimum capacity for water heaters shall be in accordance w/ the first hour rating listed in table 5-1. (CPC 201.0) The first hour recovery rate shall be 8- gallons.
9. Bathroom outlet shall be on a dedicated 20-ampere circuit (CEC 210-52-d).
10. Provide at least one GFCI protected outdoor outlet (CEC 210-52e).
11. Provide at least one wall switched-controlled lighting outlet or a light in each proposed room (CEC 210-70).
12. Provide a lighting outlet at the stairway controlled by a wall switch at each level (CEC-270 (d)).
13. Provide one switch-controlled outdoor light outlet at the exterior side of the outdoor entrance or exit at the master bedroom (CEC 210.70).
14. Upgrade the existing electrical service to at least 100 amperes due to additional load created by the addition (CEC 230-79-c).
15. Provide at least one fluorescent light fixture or approved high efficiency lamps of 40 lumens per watt or greater for the bathroom.
16. Electrical outlets installed in bedrooms shall be protected with an arc fault circuit interrupter (CEC 210-12 (b)).
17. Duct connection and opening shall be sealed with pressure sensitive duct tape tested and labeled ul 181, ul 181 A or ul 181 B (CEES.STD 150 (K) 2-m).
18. Provide a minimum 26 gauge galvanized sheet metal heating supply ducts between (E) mechanical and (N) bedrooms (CBC 302.4.3).
19. Exhaust duct discharge to the outside of the building located at least 3 feet from any openings into the building (CMC 504.1).
20. Domestic clothes dryer exhaust duct shall terminate outside of the building at least 3 feet from any opening into the building (CMC 504.3.1).
21. The minimum capacity for water heaters shall be in accordance with the first hour rating used in table 5-1 (CPC 501.0).

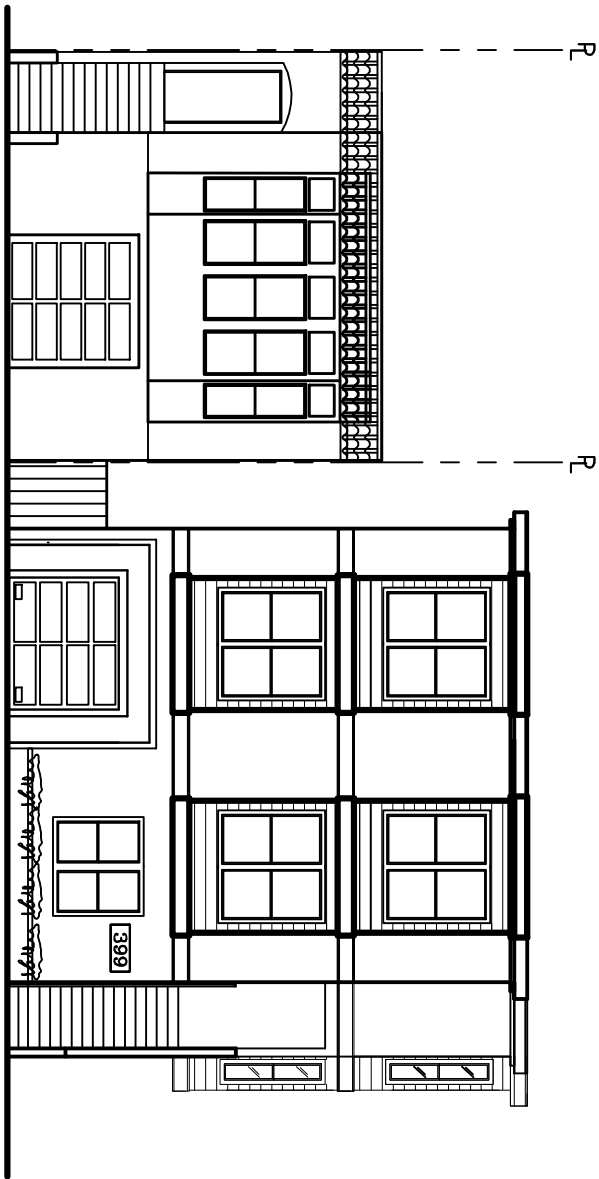
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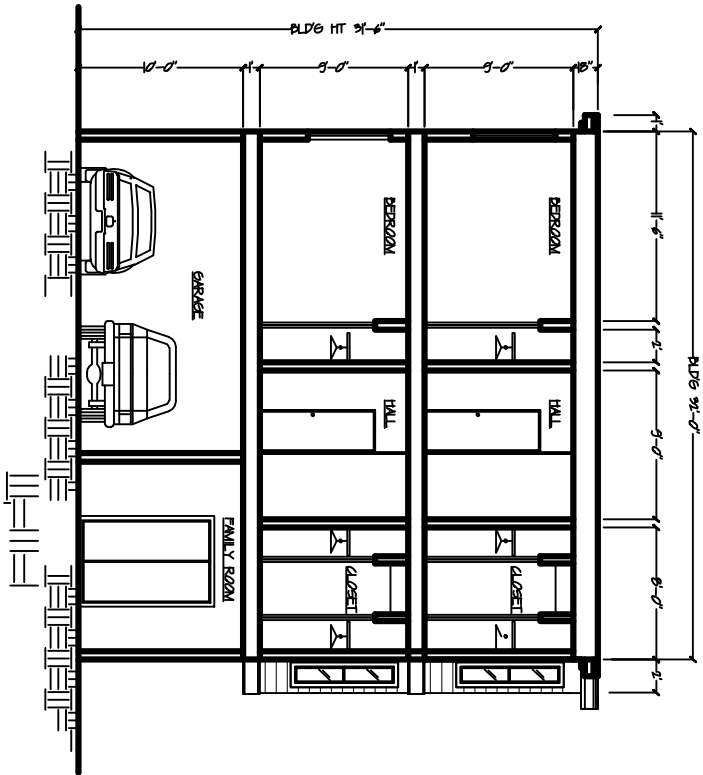
NEW 3 STORIES  
SINGLE FAMILY DWELLING

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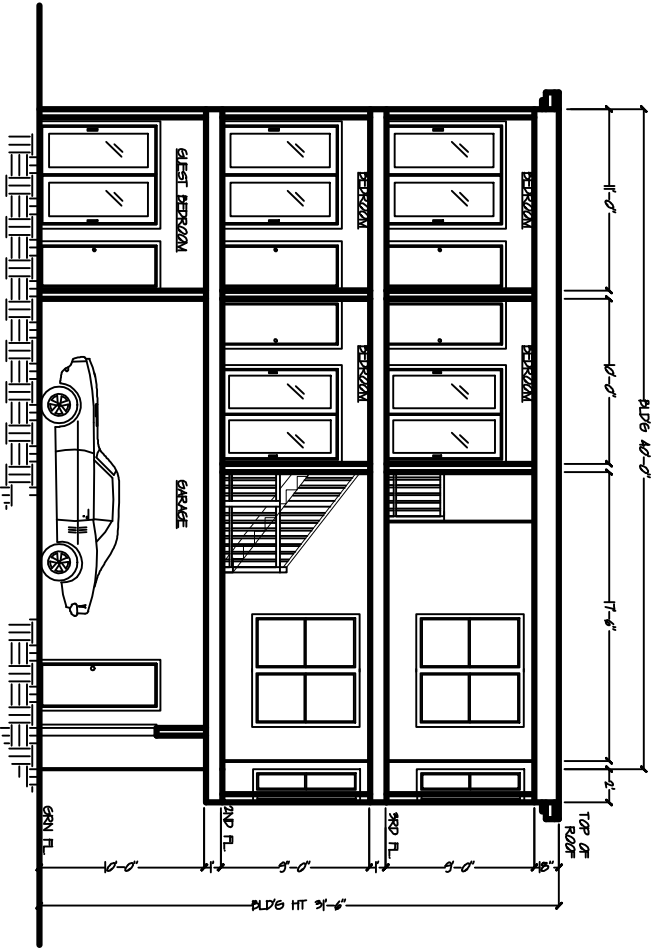




PROPOSED FRONT ELEVATION  
WITH ADJACENT BUILDING  
( 3/16" = 1'-0" )



B BUILDING SECTION "B-B"  
Scale: 1/4"=1'-0"



A BUILDING SECTION "A-A"  
Scale: 1/4"=1'-0"

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Sheet A6 Of Sheet