



# SAN FRANCISCO PLANNING DEPARTMENT

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## Certificate of Appropriateness Case Report Consent

*Hearing Date:* March 3, 2010  
*Filing Date:* January 14, 2010  
*Case No.:* **2010.0023A**  
*Project Address:* **375 Lexington Street**  
*Zoning:* RTO-Mission (Residential, Transit-Oriented – Mission)  
40-X Height and Bulk District  
*Block/Lot:* 3609/063  
*Historic Landmark:* Liberty-Hill Historic District  
*Applicant:* Tom Carson  
Tekton Architecture  
771 Clementina Street  
San Francisco, CA 94103  
*Staff Contact* Pilar LaValley - (415) 575-9084  
pilar.lavalley@sfgov.org  
*Reviewed By* Tina Tam – (415) 558-6325  
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### PROPERTY DESCRIPTION

Constructed in 1876, 375 Lexington Street, on the east side of street between 20<sup>th</sup> and 21<sup>st</sup> Streets, is a potential contributing structure to the Liberty-Hill Historic District. The subject property is located within the RTO-Mission (Residential, Transit-Oriented – Mission) District and a 40-X Height and Bulk District. The subject property is a two-story-over-basement, flat-front Italianate that has a restored front façade including bracketed hoods over the door and windows, paneled recessed entrance, and bracketed cornice. A garage has been installed at the basement level. Based on its restoration, which occurred sometime after the district designation in 1985, the subject property appears to qualify as a contributing resource to the historic district.

### PROJECT DESCRIPTION

The proposed scope of work is for expansion at the rear of the existing single-family residential building and installation of new windows at the front façade. Proposed work includes replacement of window glazing and garage door at front façade, a 4' extension of the ground floor at rear, several new door and window openings at the rear, a new deck and stair at rear, and a new wall along the south property line. The proposed work at the rear is not anticipated to be visible from the street.

### COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

## OTHER ACTIONS REQUIRED

The project will require neighborhood notification per Planning Code Section 311 and a Building Permit.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 10

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a structure, for which a City permit is required, on a landmark site or in a historic district. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.

The proposed work shall be compatible with the character of the historic district as described in the designating ordinance; and in any exterior change, reasonable efforts shall be made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which are compatible with the character of the historic district.

### Article 10 – Appendix F – Liberty-Hill Historic District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Liberty-Hill Historic District as described in Appendix F of Article 10 of the Planning Code. Per Appendix F of Article 10, the character of the Historic District shall mean the exterior architectural features of the Liberty-Hill Historic District.

## THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

**Standard 1:** A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

*The project proposes to maintain the building in its historic use as a residence with no changes to the defining characteristics of the building, its site, or the environment.*

**Standard 2:** The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

*As proposed, historic features on the exterior of the building will be avoided. The proposal will retain the existing size of front façade window openings and trim including hood moldings, which are distinctive features that characterize the property. New, dual-pane glazing will be installed in existing*

*wood sash at front façade. The horizontal rear addition and associated new window and door openings will not be visible from the public right-of-way. The historic character of the building and historic district will be retained and preserved and the project will not physically impact any adjacent properties.*

**Standard 5:** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

*The proposal will retain the existing size of front façade window openings and trim including hood moldings, which are distinctive features that characterize the property. New, dual-pane glazing will be installed in existing wood sash at front façade, thereby retaining original material. Work at the rear will not impact any distinctive features or finishes.*

**Standard 9:** New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

*The horizontal rear addition will not destroy historic materials and features of the building, will be differentiated from the old, and is of a design, scale, and materials that are compatible with the building and historic district. The proposed work would not impact spatial relationships that characterize the property as there does not appear to be any consistent pattern of building setbacks or depth at the rear yard for the subject building or surrounding properties. The new, dual-pane glazing in existing wood sash at front façade will preserve historic materials and be compatible with the building and historic district.*

**Standard 10:** New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

*Should any of the proposed rear addition be removed in the future, the essential form and integrity of the building and historic district would be unimpaired.*

## PUBLIC/NEIGHBORHOOD INPUT

To date, the Department has received no public comment regarding this project.

## STAFF ANALYSIS

Based on the requirements of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*, staff has determined that the proposed work will not adversely affect the contributing building or historic district.

Staff finds that replacement of existing single-pane glazing with new dual-pane glazing in existing wood sash at front façade is appropriate. This approach will preserve historic materials and features and be compatible with the historic building and historic district. Replacement of the non-historic garage door is also appropriate.

Staff finds that the rear addition, new rear window and door openings with compatible new sash, new rear deck and stairs, and new south property line wall will not detract from the historic character of the property and will not cause any significant removal or alteration of historic material, spaces or features which characterize the property.

Overall, staff finds that proposed work will be in conformance with the Secretary's Standards and with the requirements of Article 10, Appendix F – Liberty-Hill Historic District.

## ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards for Rehabilitation*.

## BASIS FOR RECOMMENDATION

The Department recommends approval of this project for the following reasons:

- That the replacement of window glazing at front façade windows will not impact character-defining features and is compatible with the contributing building and district.
- That the garage door replacement, horizontal rear addition, new rear window and door openings and sash, new rear deck and stairs, and new south property line wall are compatible with the contributing building and historic district in terms of material, design, and location.
- That the essential form and integrity of the historic property and its environment would be unimpaired if the proposed new features were removed at a future date.
- That the proposal respects the character-defining features of the contributing building and the Liberty-Hill Historic District.
- The proposed project meets *Secretary of the Interior's Standards for Rehabilitation* and requirements of Article 10 – Appendix F.

## ATTACHMENTS

DRAFT Motion and Certificate of Appropriateness  
Map  
Project Sponsor submittal (plans and photographs)

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# SAN FRANCISCO PLANNING DEPARTMENT

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## Historic Preservation Commission Draft Motion

HEARING DATE: MARCH 3, 2010

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San Francisco,  
CA 94103-2479

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**ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 063 IN ASSESSOR'S BLOCK 3609, WITHIN A RTO-MISSION (RESIDENTIAL, TRANSIT-ORIENTED – MISSION) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

WHEREAS, on January 14, 2010, Tom Carson, Tekton Architects, on behalf of the owners of the subject property ("Project Sponsor") filed a Certificate of Appropriateness Application ("Application") with the City and County of San Francisco Planning Department ("Department") for a Certificate of Appropriateness for replacement of window glazing and garage door at front façade, a 4' extension of the ground floor at rear, several new door and window openings at the rear, a new deck and stair at rear, and a new wall along the south property line, at the subject building located on lot 063 in Assessor's Block 3609.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on March 3, 2010, the Commission conducted a duly noticed public hearing on the current project, Case No. 2010.0023A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans dated January 14, 2010 and labeled Exhibit B on file in the docket for Case No. 2010.0023A.

## **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the historic building and historic district.

- That the replacement of window glazing at front façade windows will not impact character-defining features and is compatible with the contributing building and district.
- That the garage door replacement, horizontal rear addition, new rear window and door openings and sash, new rear deck and stairs, and new south property line wall are compatible with the contributing building and historic district in terms of material, design, and location.
- That the essential form and integrity of the historic property and its environment would be unimpaired if the proposed new features were removed at a future date.
- That the proposal respects the character-defining features of the contributing building and the Liberty-Hill Historic District.
- The proposed project meets *Secretary of the Interior's Standards for Rehabilitation* and requirements of Article 10 – Appendix F.

### ***Standard 1.***

*A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

### ***Standard 2.***

*The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

**Standard 5.**

*Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

**Standard 9.**

*New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

**Standard 10.**

*New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

**OBJECTIVE 2**

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

**POLICY 2.4**

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

**POLICY 2.5**

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

**POLICY 2.7**

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

*The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance. The proposed project qualifies for a Certificate of Appropriateness, and, therefore, furthers these policies and objectives by maintaining and preserving the character-defining features of the subject property, which is a contributing resource within the Liberty-Hill Historic District.*

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project is for the rehabilitation of a building used for residential purposes. The project will not have any impact on neighborhood serving retail uses.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the subject property and historic district in conformance with the Secretary of the Interior's Standards for Rehabilitation.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The project will have no impact to housing supply.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposed will not have any impact on industrial and service sector jobs.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is unaffected by the proposed work. Any*



*construction or alteration associated with the project will be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The project as proposed is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards for Rehabilitation.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed project will not impact the access to sunlight or vistas for parks and open space.*

5. For these reasons, the proposal is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*, General Plan and Prop M findings of the Planning Code.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS Certificate of Appropriateness No. 2010.0023A** attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal this Motion to the Board of Appeals within fifteen (15) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion. For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on March 3, 2010.

Linda D. Avery  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: March 3, 2010

EXHIBIT A  
**DRAFT**  
**Certificate of Appropriateness**

Case No: 2010.0023A

Assessor's Block: Lot: 3609/063

Address of Property: 375 Lexington Street

Date Application Filed: January 14, 2010

Historic Landmark: Liberty-Hill Historic District

**Description of Work Proposed:**

The proposed scope of work is for expansion at the rear of the existing single-family residential building and installation of new windows at the front façade. Proposed work includes replacement of window glazing and garage door at front façade, a 4' extension of the ground floor at rear, several new door and window openings at the rear, a new deck and stair at rear, and a new wall along the south property line. The proposed work at the rear is not anticipated to be visible from the street.

**Final Action by the Historic Preservation Commission on March 3, 2010:**

The Commission has reviewed the proposed work and has determined that the work would not have a significant impact upon and would not be potentially detrimental to the Liberty-Hill Historic District. A motion to APPROVE the work was passed ~~X-X~~ by the Historic Preservation Commission in conformance with the drawings stamped Exhibit B, on file in the docket for **Case No. 2010.0023A**.

**Findings of the Historic Preservation Commission:**

- That the replacement of window glazing at front façade windows will not impact character-defining features and is compatible with the contributing building and district.
- That the garage door replacement, horizontal rear addition, new rear window and door openings and sash, new rear deck and stairs, and new south property line wall are compatible with the contributing building and historic district in terms of material, design, and location.
- That the essential form and integrity of the historic property and its environment would be unimpaired if the proposed new features were removed at a future date.
- That the proposal respects the character-defining features of the contributing building and the Liberty-Hill Historic District.
- The proposed project meets *Secretary of the Interior's Standards for Rehabilitation* and requirements of Article 10 – Appendix F.

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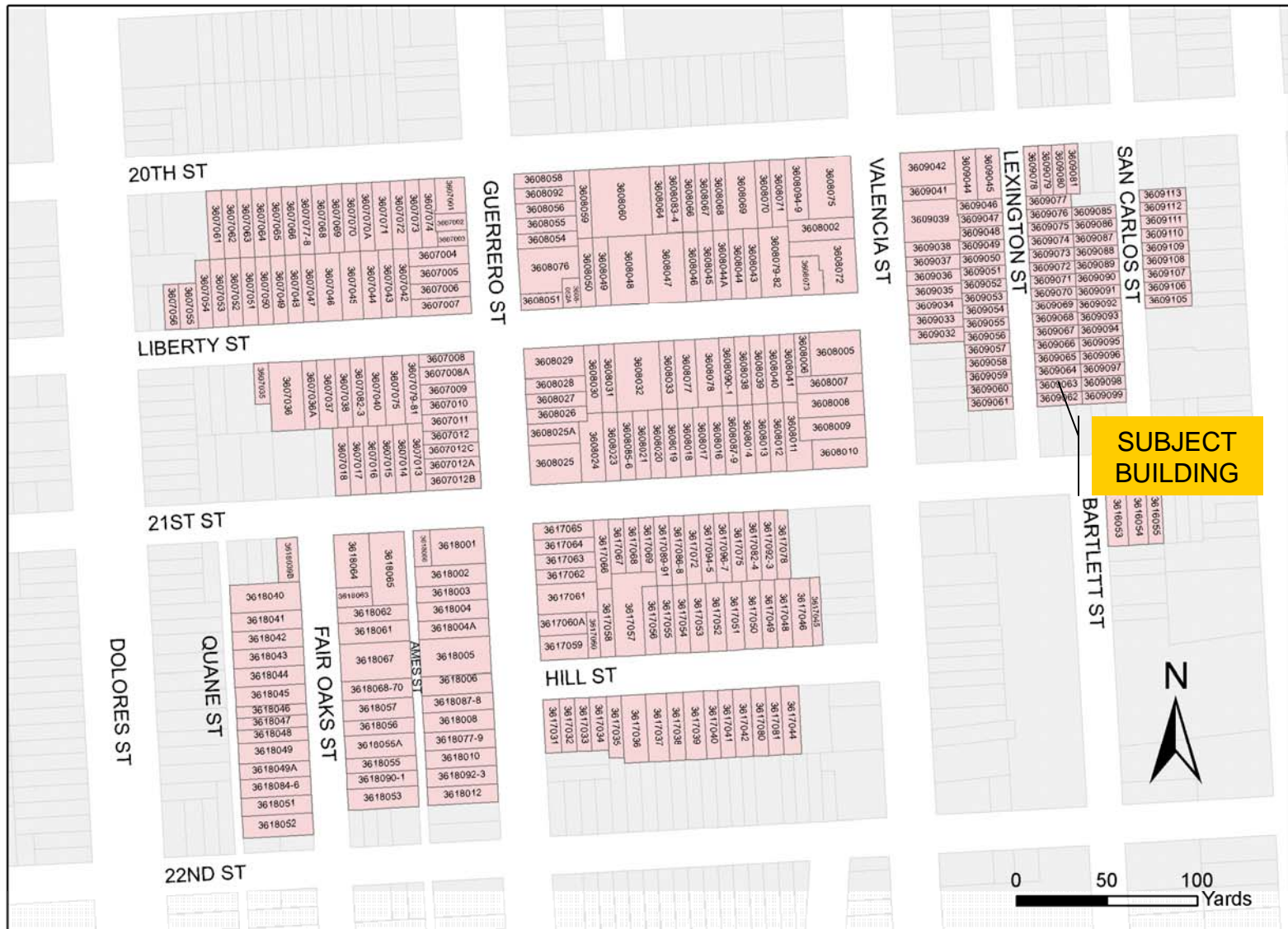
For these reasons, the proposal is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10 and the *Secretary of Interior's Standards for Rehabilitation*.

**Duration of this Certificate of Appropriateness:** This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

**APPEAL AND EFFECTIVE DATE OF MOTION:** Any aggrieved person may appeal the Motion on this Certificate of Appropriateness to the Board of Appeals within fifteen (15) days after the date of Motion No. XXXXX. The effective date of the Motion shall be the date of the Motion. For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call (415) 575-6880.

**THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED. PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.**

## LIBERTY HILL HISTORIC DISTRICT - Article 10 Appendix F





GENERAL NOTES

ALL USERS OF THESE DRAWINGS AGREE BY USING THESE DRAWINGS TO HOLD THE ARCHITECT HARMLESS FOR ANY AND ALL WORK THAT DOES NOT CONFORM TO REQUIREMENTS AND MINIMUM STANDARDS OF THE UNIFORM BUILDING CODE, LOCAL ORDINANCES, AND ACCEPTABLE STANDARDS.

THESE DRAWINGS ARE THE PROPERTY OF TEKTON ARCHITECTURE ARE NOT TO BE USED IN PART FOR ANY WORK OTHER THAN THE LOCATION SHOWN HERON.

THE ARCHITECT HAS NO CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE PERFORMANCE OF PRODUCTS OR MATERIALS NOT SPECIFIED IN THESE DRAWINGS.

ITEMS REQUIRED BY TITLE "24 'ENERGY CONSERVATION STANDARDS' SHALL BE CERTIFIED BY CALIFORNIA ENERGY COMMISSION (CEC). EQUIPMENT WHICH REQUIRES PREVENTATIVE MAINTENANCE FOR EFFICIENT OPERATION SHALL BE FURNISHED WITH THE COMPLETE AND NECESSARY MAINTENANCE INFORMATION.

CODE RELATED NOTES:

1. FIRE-STOPS SHALL BE PROVIDED IN THE FOLLOWING SPACES:
- a. CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVELS, AND AT TEN-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL
  - b. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP AND COVE CEILINGS.
  - c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
  - d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT THE FLOOR AND CEILING LEVELS WITH COMBUSTABLE MATERIALS.
  - e. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.
2. PRE-MANUFACTURED ITEMS, INCLUDING BUT NOT LIMITED TO, FIREPLACES, WOOD-BURNING STOVES, FIXTURES, EQUIPMENT AND APPLIANCES SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS.
3. ALL STRUCTURES BUILT WITHIN 3' OF PROPERTY LINE SHALL BE CONSTRUCTED OF MIN. 1HR RATED ASSEMBLIES. THIS INCLUDES DECKS, PORCHES, STAIRS AND OTHER EXTERIOR COMPONENTS.
4. ALL STANDARD WATER HEATERS SHALL BE SEISMICALLY ANCHORED PER CPC 510.5 AND TO HAVE PRESSURE RELIEF VALVE WITH DRAIN TO EXTERIOR AS PER CPC 606.5.
5. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS WITH AN AREA NOT LESS THAN 1/10 OF THE FLOOR AREA OF SUCH A ROOM WITH A MINIMUM OF TEN SQUARE FEET.
6. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF EXTERIOR OPENINGS WITH AN AREA OF NOT LESS 1/20 OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF FIVE SQUARE FEET.
7. BARS, GRILLES, GRATES OR SIMILAR DEVICES MAY BE INSTALLED ON AN EMERGENCY ESCAPE OR RESCUE WINDOWS AND DOORS PROVIDED:
- a. SUCH DEVICES ARE EQUIPPED WITH APPROVED RELEASE MECHANISMS WHICH CAN BE OPERATED FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT; AND
  - b. THE BUILDING IS EQUIPPED WITH SMOKE DETECTORS IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE. SMOKE DETECTORS ADDED IN AREAS OF CONSTRUCTION TO BE HARD WIRED, EXISTING BEDROOMS AND COMMON HALLWAYS SHALL BE MINIMALLY EQUIPPED WITH BATTERY OPERATED SMOKE DETECTORS.

PROJECT INFORMATION

PROJECT LOCATION:	375 Lexington Street, San Francisco, CA 94110
APN#	3609063
LOT #	063
BLOCK#	3609
PROJECT DESCRIPTION:	Convert existing garage level storage area into conditioned space. Add 105 sq. ft. of conditioned space at the garage level. Voluntary structural upgrade of foundation. Window Sash replacement in kind with new dual pane glazing.
OWNER:	Peter Sutherland & Ana Validzic 375 Lexington Street, San Francisco 415.651.4238
ARCHITECT:	Tekton Architecture, Inc. 771 Clementina Street San Francisco, CA 94103 415.863.2232 License No. C-25448
GENERAL CONTRACTOR:	Artisan Builders Corp. 771 Clementina Street San Francisco, CA 94103 415.863.2232 License No. B-724408
STRUCTURAL ENGINEER:	JMW Consulting Engineers 594 Rocca Ave. South San Francisco, CA 94080 650.619.6112 License No. C049874

SHEET INDEX

- A0.0 COVER SHEET:** General Notes, Project Information, Vicinity Map & Sheet Index
- A1.0** Site Plan
- A1.1** Existing Floor Plans- garage, first floor and second floor
- A1.2** Proposed Floor Plans- garage and first floor
- A2.1** South Exterior Elevations- Existing and Proposed
- A2.2** West Exterior Elevations- Existing and Proposed
- A2.3** North Exterior Elevations- Existing and Proposed
- A2.4** West Exterior Elevation & Window Details
- P1** Photographs



tekton

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JOB NUMBER: 09.10

ARCHITECT:

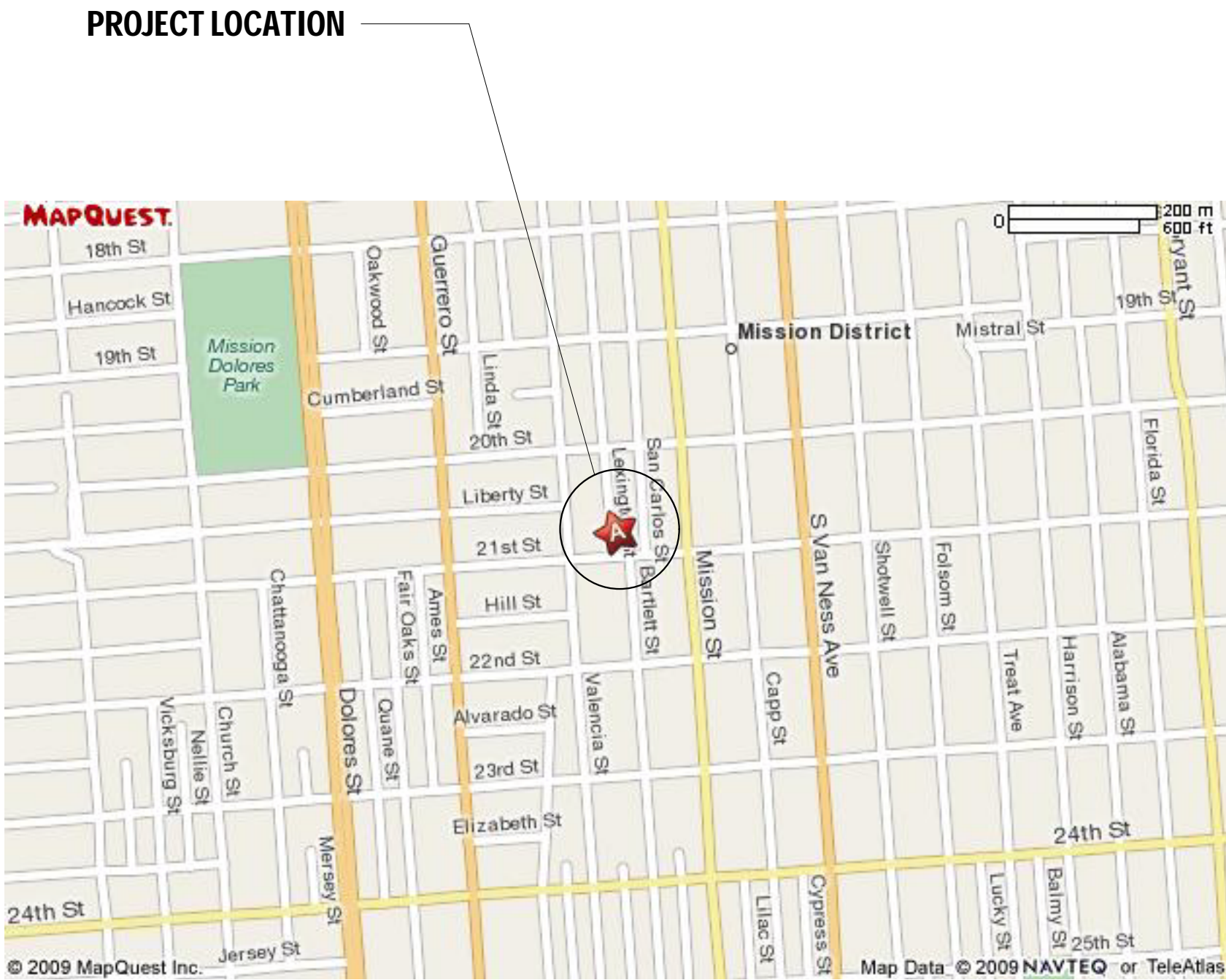
ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	IN.	INCH
A.F.G.	ABOVE FINISHED GRADE	INSUL.	INSULATION
ACQUIS.	ACQUISITION	INT.	INTERIOR
ADJ.	ADJUSTABLE	INV.	INVERT
ALUM.	ALUMINUM	J.B.	JUNCTION BOX
ANCH.	ANCHOR	JT.	JOINT
APPROX.	APPROXIMATELY	LAM.	LAMINATE
ASB.	ASBESTOS	LAV.	LAVATORY
ATTEN.	ATTENUATION	LT.WT.	LIGHTWEIGHT
BD.	BOARD	M.H.	MANHOLE
BLDG.	BUILDING	M.O.	MASONRY OPENING
BLK.	BLOCK	MACH.	MACHINE
BM.	BEAM	MANUF.	MANUFACTURER
BOT.	BOTTOM	MAX.	MAXIMUM
C.B.	CATCH BASIN	MECH.	MECHANICAL
C.G.	CORNER GUARD	MET.	METAL
C.J.	CONTROL JOINT	MIN.	MINIMUM
C.M.U.	CONCRETE MASONRY UNIT	(N)	NEW
C.O.	CLEAN OUT	NEC.Y.	NECESSARY
C.R.	COLD ROLLED	NOM.	NOMINAL
CAB.	CABINET	O.C.	ON CENTER
CEM.	CEMENT	O.D.	OUTSIDE DIAMETER
CER.	CERAMIC	OPG.	OPENING
CLG.	CEILING	PARTN.	PARTITION
COL.	COLUMN	PL	PLATE
CONC.	CONCRETE	PLAS.	PLASTER
CONST.	CONSTRUCTION	PLWD.	PLYWOOD
CONT.	CONTINUOUS	PORC.	PORCELAIN
DBL.	DOUBLE	Q.T.	QUARRY TILE
DET.	DETAIL	R.	RISERS
DIA.	DIAMETER	R.D.	ROOF DRAIN
DIAG.	DIAGONAL	R.O.	ROUGH OPENING
DIM.	DIMENSION	RAD.	RADIUS
DISP.	DISPENSER	REF.	REFERENCE
DN.	DOWN	REC.	RECESSED
DWG.	DRAWING	REINF.	REINFORCED
E.J.	EXPANSION JOINT	REOD.	REQUIRED
E.W.C.	ELECTRIC WATER COOLER	RES.	RESISTANT
EL.	ELEVATION	RESIL.	RESILIENT
ELECT.	ELECTRICAL	RET.	RETAINING
ENAM.	ENAMEL	RM.	ROOM
EQ.	EQUAL	S.S.	STAINLESS STEEL
EQUIP.	EQUIPMENT	S.V.	SHEET VINYL
(E)	EXISTING	SCHED.	SCHEDULE
EXP.	EXPANSION	SECT.	SECTION
EXT.	EXTERIOR	SHT.	SHEET
F.D.	FLOOR DRAIN	SIM.	SIMILAR
F.H.	FLAT HEAD	SPEC.	SPECIFICATION
FDN.	FOUNDATION	SO.	SQUARE
FIN.	FINISH	STD.	STANDARD
FLR.	FLOOR	STL.	STEEL
FLOUR.	FLOURESCENT	STRUCT.	STRUCTURAL
FRM.	FRAME	SUSP.	SUSPENDED
FT.	FOOT	T.	TYPICAL
FTG.	FOOTING	T & B.	TOP AND BOTTOM
G.I.	GALVANIZED IRON	T & G.	TONGUE AND GROOVE
GA.	GAUGE	T.O.C.	TOP OF CONCRETE
GALV.	GALVANIZED	TEL.	TELEPHONE
GEN.	GENERAL	THRU.	THROUGH
GRT.	GLASS	TYP.	TYPICAL
GYP.	GROUT	UR.	URINAL
GYP BD.	GYPSPUM BOARD	V.C.P.	VITRIFIED CLAY PIPE
H.M.	HOLLOW METAL	V.C.T.	VINYL COMPOSITION TILE
H.R.	HANDRAIL	VERT.	VERTICAL
HD.	HEAD	W/	WITH
HDWD.	HARDWOOD	W.C.	WATER CLOSET
HORIZ.	HORIZONTAL	W.F.	WIDE FLANGE
HT.	HEIGHT	W.P.	WATERPROOF
I.D.	INSIDE DIAMETER	W.W.F.	WELDED WIRE FABRIC
		WATER-RES.	WATER-RESISTANT
		WD.	WOOD

PROJECT DATA

PROJECT SQUARE FOOTAGE:	Existing conditioned floor area: 1225 sq. ft. Existing lower level storage area, non-conditioned: 254 sq. ft. Proposed conditioned space added at lower level: 330 sq. ft. Proposed total conditioned space: 1555 sq. ft. Proposed expansion of building footprint: 105 sq. ft. Existing Deck: 80 sq. ft. Proposed Deck: 234 sq. ft.
ZONING:	RTO-Mission
HEIGHT	40-X, no change in height proposed
SETBACKS	Expanding garage level into the rear yard and side yard (south). Setback limits will not be encroached for rear or south sides.
OCCUPANCY:	R-3
CONSTRUCTION:	Type-V B
APPLICABLE CODES:	All construction work shall comply with California Building Code (CBC) 2007, California Plumbing Code (CPC) 2007, California Mechanical Code (CMC) 2007, California Electrical Code (CEC) 2007, California Energy Code (CEC) 2005 California Title 24

VICINITY MAP



SUTHERLAND/VALIDZIC RESIDENCE  
375 Lexington Street  
San Francisco, California 94110

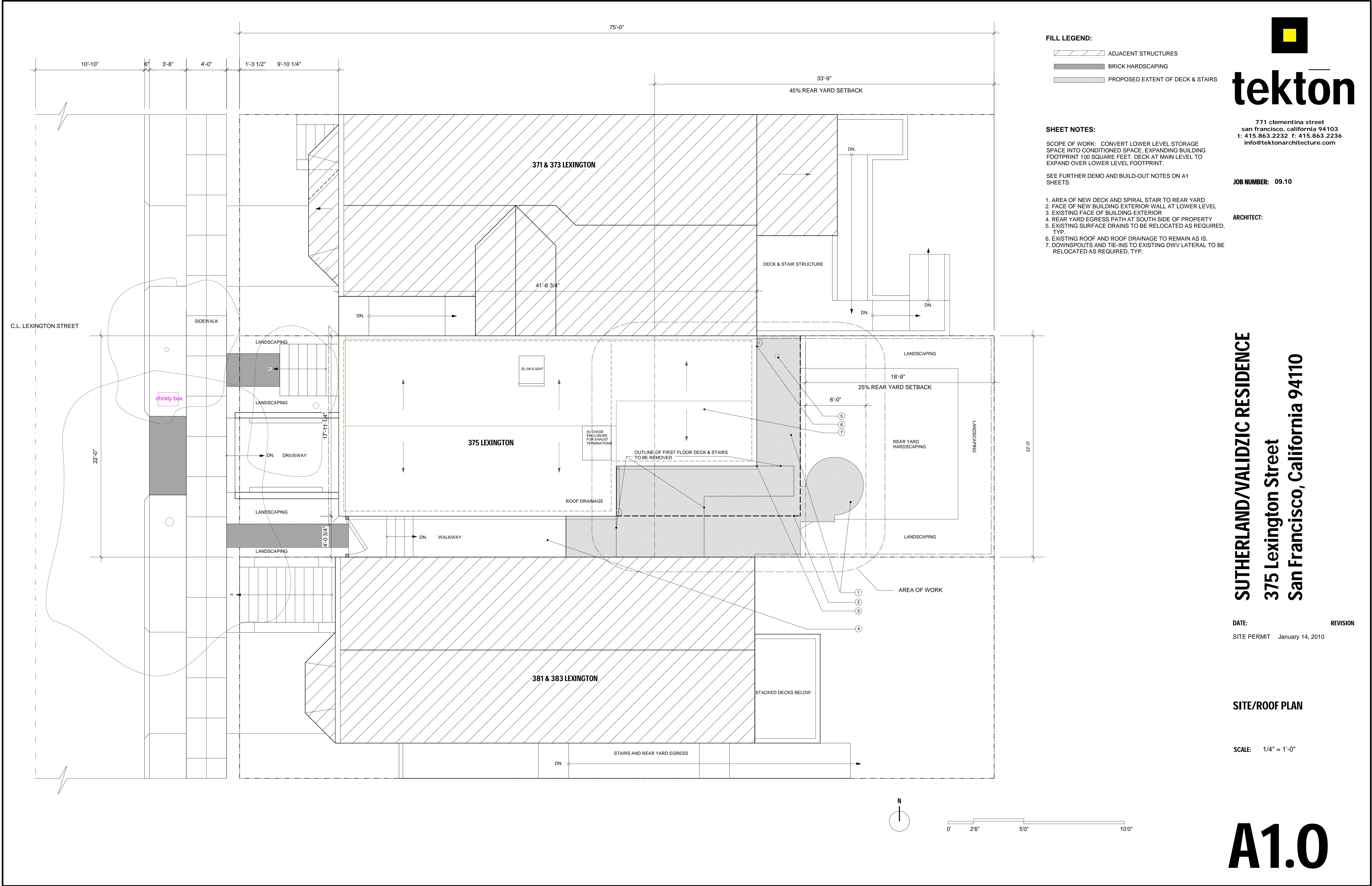
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SITE PERMIT January 14, 2010

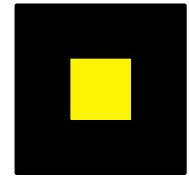
COVER SHEET

SCALE:

A0.0







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ARCHITECT:

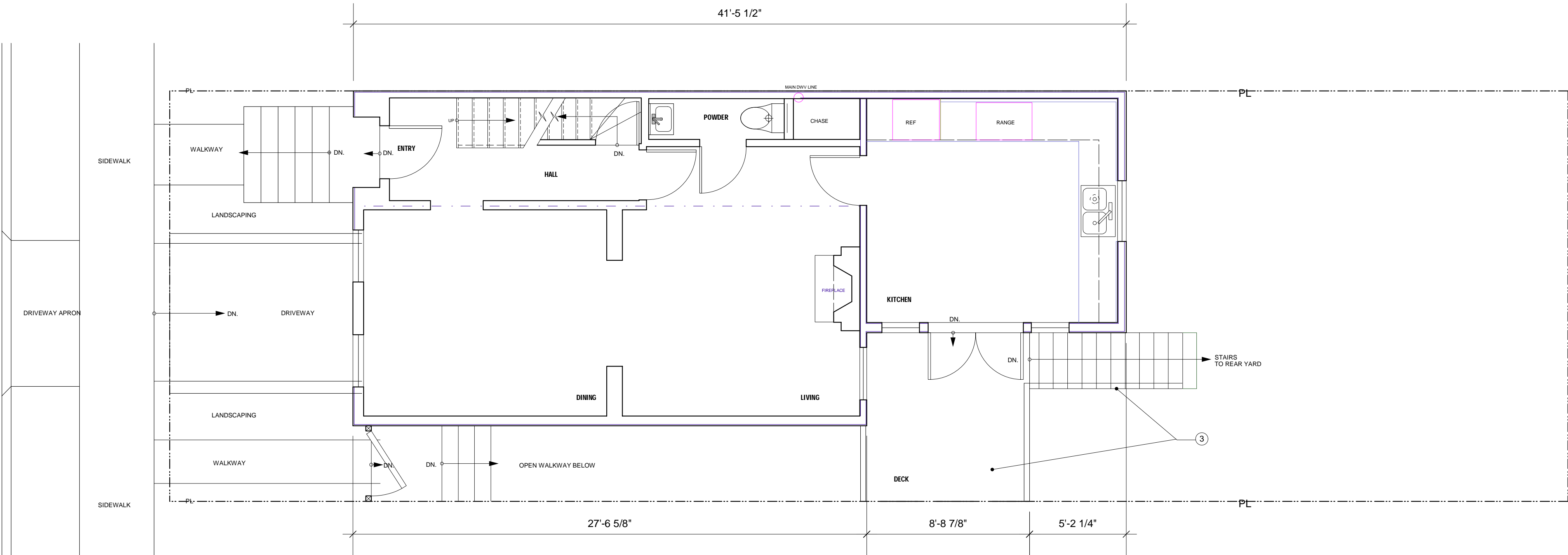
WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED

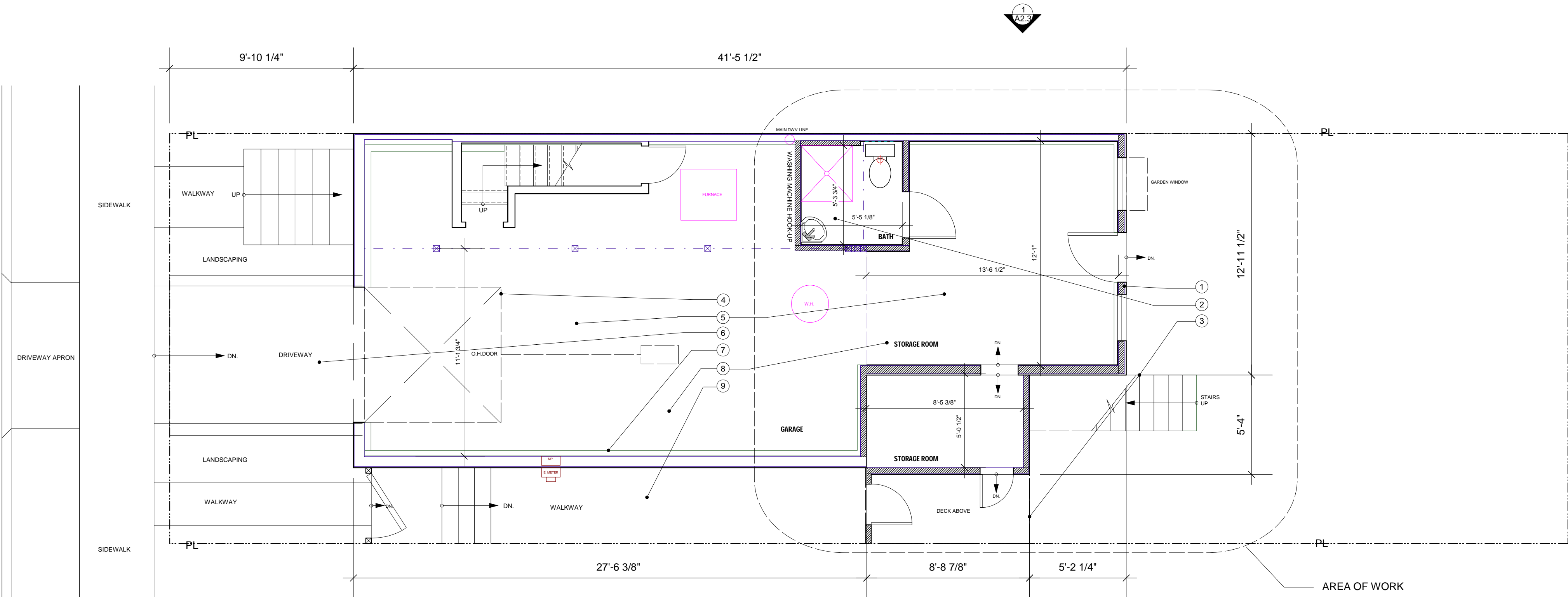
SHEET NOTES:

DEMOLITION NOTES:

- 1.REMOVE EXISTING WALLS AS INDICATED FOR NEW FLOOR PLAN.
- 2.REMOVE ALL EXISTING FINISHES, FIXTURES, SUPPLY AND DWV PIPING, ELECTRICAL WIRING AND WINDOWS AND DOORS IN AREA OF WORK. EXISTING GRAVITY FURNACE TO BE REMOVED, EXISTING HOT WATER HEATER TO REMAIN.
- 3.REMOVE EXISTING DECK AT MAIN FLOOR LEVEL AND STAIRS TO REAR YARD
- 4.REMOVE EXISTING OVERHEAD GARAGE DOOR
- 5.EXISTING GARAGE AND STORAGE ROOM SLABS TO BE REMOVED
- 6.EXISTING DRIVEWAY TO BE REMOVED
- 7.EXISTING BRICK FOUNDATION TO BE REMOVED, TYP.
- 8.EXCAVATE GRADE AT DRIVEWAY, GARAGE AND STORAGE AREAS AS PER NEW STRUCTURAL PLANS.
9. REMOVE EXISTING SIDE WALKWAY AS REQUIRED.
10. REMOVE EXISTING SIDE WALKWAY GATE
11. REMOVE EXISTING BRICK FRONT ENTRY STEPS



1 FIRST FLOOR PLAN



2 GARAGE FLOOR PLAN

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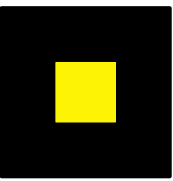
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EXISTING/DEMO PLANS

SCALE: 1/4" = 1'-0"

A1.1





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WALL LEGEND:

- EXISTING WALLS TO REMAIN
- NEW WALLS TO BE CONSTRUCTED

SHEET NOTES:

1. NEW WALLS IN AREA OF WORK TO BE 1 HR. RATED AT PROPERTY LINES, TYP. AT FIRST FLOOR, 42" HIGH 1 HR. RATED GUARD WALL AT DECK.
2. (N) ELECTRICAL & PLUMBING WORK- ROUGH AND FINISH TO BE COMPLETED IN AREA OF WORK AS PER APPLICABLE CODES.
3. LAUNDRY AREA TO BE 1 HR. RATED TRANSITION ZONE FROM GARAGE TO GUEST BEDROOM.
4. ALL NEW CUSTOM WINDOWS AND EXTERIOR DOORS TO MATCH EXISTING PAINTED WOOD UNITS AT REAR OF HOUSE. MIN. U-VALUE .64
5. NEW BATHROOM WINDOW GLAZING SHALL BE MIN. 5'-0" ABOVE FINISH SHOWER FLOOR.
6. NEW INTERIOR DOORS TO BE PAINTED, SOLID CORE, WOOD DOORS, TYP. GARAGE AND BEDROOM DOORS TO BE 1 HOUR RATED WITH SELF CLOSING HARDWARE. GARAGE DOOR TO HAVE APPROVED SMOKE SEAL ENCLOSURE/SWEEP.
7. NEW OVERHEAD GARAGE DOOR TO BE SECTIONED WOOD, PAINTED. MIN. CLR. 7'-0" FROM T.O.C.
8. NEW SPIRAL STAIR SHALL COMPLY WITH CBC SECTION 1009.8. FINISH SHALL BE EXTERIOR GRADE BLACK PAINT OVER GALVANIZED STEEL.
9. NEW EXTERIOR FINISHES- PAINTED SHIPLAP SIDING, PAINTED WOOD CASING AND CORNER TRIM BOARDS TO MATCH EXISTING.
10. NEW CONCRETE SLABS IN GARAGE AND NEW CONDITIONED AREA OF WORK, TYP.
11. NEW CONCRETE DRIVEWAY
12. NEW FOUNDATION WALLS AND FOOTINGS THROUGHOUT GARAGE AND IN NEW CONDITIONED AREA OF WORK, TYP.
13. NEW DECK & GUARDRAIL SHALL BE REDWOOD OR SIM. AND SHALL MEET ALL APPLICABLE CBC CODES
14. NEW EXTERIOR SITE DRAIN LOCATIONS, V.I.F. TIE INTO EXISTING SITE DRAINAGE SYSTEM AND LATERAL.
15. (E) WOOD SASHES TO BE REMOVED AND MODIFIED TO ACCEPT NEW GLASS ASSEMBLY (5/16" LAMINATED- 2) 1/8" W/ 1/16" LAMINATION). RECONDITION WINDOW UNITS AND SASH OPERATION AS REQUIRED.

1 PROPOSED FIRST FLOOR PLAN

2 PROPOSED GARAGE/LOWER LEVEL FLOOR PLAN

SUTHERLAND/VALIDZIC RESIDENCE  
375 Lexington Street  
San Francisco, California 94110

DATE: REVISION  
SITE PERMIT January 14, 2010

PROPOSED FLOOR PLANS

SCALE: 1/4" = 1'-0"

A1.2



**JOB NUMBER: 09.10**

ARCHITECT:

**SUTHERLAND/VALIDZIC RESIDENCE**  
**3375 Lexington Street**  
**San Francisco, California 94110**

DATE: REVISION:

SITE PERMIT January 14, 2010

**SOUTH ELEVATION**

**SCALE:** 1/4" = 1'-0"

## A2.1

**SHEET NOTES:**

DEMOLITION NOTES:

1. REMOVE EXISTING WALLS AS INDICATED FOR NEW FLOOR PLAN.
2. REMOVE ALL EXISTING FINISHES, FIXTURES, SUPPLY AND DRAIN PIPING, ELECTRICAL WIRING AND WINDOWS AND DOORS IN AREA OF WORK. EXISTING GRAVITY FURNACE TO BE REMOVED. EXISTING HOT WATER HEATER TO REMAIN.
3. REMOVE EXISTING DECK AT MAIN FLOOR LEVEL AND STAIRS TO REAR YARD.
4. REMOVE EXISTING OVERHEAD GARAGE DOOR.
5. EXISTING GARAGE AND STORAGE ROOM SLABS TO BE REMOVED
6. EXISTING DRIVEWAY TO BE REMOVED
7. EXISTING BRICK FOUNDATION TO BE REMOVED. TYP.
8. EXCAVATE GRADE AT DRIVEWAY, GARAGE AND STORAGE AREAS AS PER NEW STRUCTURAL PLANS.
9. REMOVE EXISTING SIDE WALKWAY AS REQUIRED.
10. NEW WALLS IN AREA OF WORK TO BE 1 HR. RATED AT PROPERTY LINES, TYP.
11. (N) ELECTRICAL & PLUMBING WORK- ROUGH AND FINISH TO BE COMPLETED IN AREA OF WORK AS PER APPLICABLE CODES.
12. LAUNDRY AREA TO BE 1 HR. RATED TRANSITION ZONE FROM GARAGE TO GUEST BEDROOM.
13. ALL NEW WINDOWS AND EXTERIOR DOORS TO MATCH EXISTING PAINTED WOOD UNITS AT REAR OF HOUSE. MIN. U-VALUE .64
14. ALL NEW BEDROOM WINDOW GLAZING SHALL BE MIN. 5'-0" ABOVE FINISH SHOWER FLOOR.
15. NEW INTERIOR DOORS TO BE PAINTED, SOLID CORE, WOOD DOORS, TYP. GARAGE AND BEDROOM DOORS TO BE 1 HOUR RATED WITH SELF CLOSING HARDWARE. GARAGE DOOR TO HAVE APPROVED SMOKE SEAL ENCLOSURE/SWEEP.
16. NEW OVERHEAD GARAGE DOOR TO BE SECTIONED WOOD, PAINTED. MIN. 1'-0" FROM T.O. G.
17. NEW SPIRAL STAIR SHALL COMPLY WITH CBC SECTION 1009.9. FINISH SHALL BE EXTERIOR GRADE BLACK PAINT OVER GALVANIZED STEEL.
18. NEW EXTERIOR FINISHES- PAINTED SLIP SIDING, PAINTED WOOD CASING AND CORNER TRIM BOARDS TO MATCH EXISTING.
19. NEW CONCRETE SLABS IN GARAGE AND NEW CONDITIONED AREA OF WORK, TYP.
20. NEW CONCRETE DRIVEWAY
21. NEW FOUNDATION WALLS AND FOOTINGS THROUGHOUT GARAGE AND IN NEW CONDITIONED AREA OF WORK, TYP.
22. NEW DECK & GUARDRAIL SHALL BE REDWOOD OR SIM. AND SHALL MEET ALL APPLICABLE CBC CODES
23. NEW EXTERIOR SITE DRAIN LOCATIONS, V.I.F. TIE INTO EXISTING SITE DRAINAGE SYSTEM AND LATERAL.
24. (E) WOOD SHAKES TO BE REMOVED AND MODIFIED TO ACCEPT NEW GLASS ASSEMBLY. (5/16" L MIN. 1/8" W/ 1/16" LAMINATION). RECONDITION WINDOW UNITS AND SASH OPERATION AS REQUIRED.

OVERALL ROOF, PARAPET & BUILDING REMAINS UNCHANGED

ADJACENT STRUCTURE TO NORTH

+ 2ND FIN. FLR.

1ST FIN. FLR.

ADJACENT STRUCTURE TO NORTH

GUARDRAIL PICKETS NOT SHOWN FOR CLARITY. TYP.

OUTLINE OF FENCE AT PROPERTY LINE TYPE

## EXISTING SOUTH ELEVATION

1

ADJACENT STRUCTURE TO NORTH

ADJACENT STRUCTURE TO NORTH

GUARDRAIL PICKETS NOT SHOWN FOR CLARITY, TYP

### PROPOSED SOUTH ELEVATION

2

(E) SIDE WALKWAY  
(N) SIDE WALKWAY  
(E) GARAGE AND DRIVEWAY PROFILE  
(N) GARAGE AND DRIVEWAY PROFILE





1 EXISTING EAST ELEVATION



2 PROPOSED EAST ELEVATION

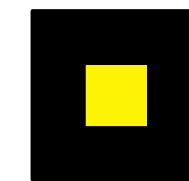
SHEET NOTES:

DEMOLITION NOTES:

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- 24.(E) WOOD SASHES TO BE REMOVED AND MODIFIED TO ACCEPT NEW GLASS ASSEMBLY (5/16" LAMINATED- 2) 1/8" W/ 1/16" LAMINATION), RECONDITION WINDOW UNITS AND SASH OPERATION AS REQUIRED.

GUARDRAIL PICKETS NOT SHOWN FOR CLARITY, TYP.

GUARDRAIL PICKETS NOT SHOWN FOR CLARITY, TYP.



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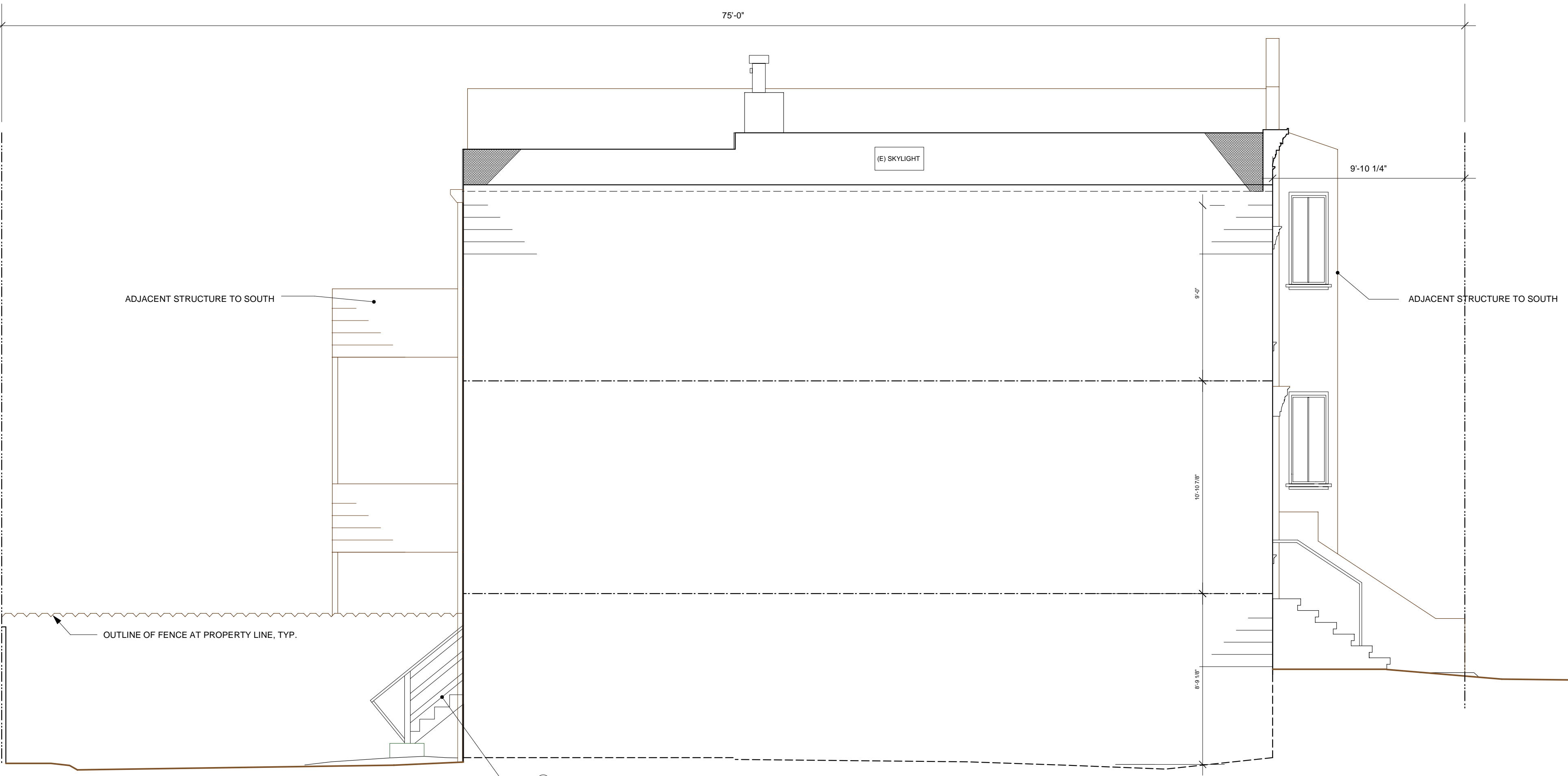
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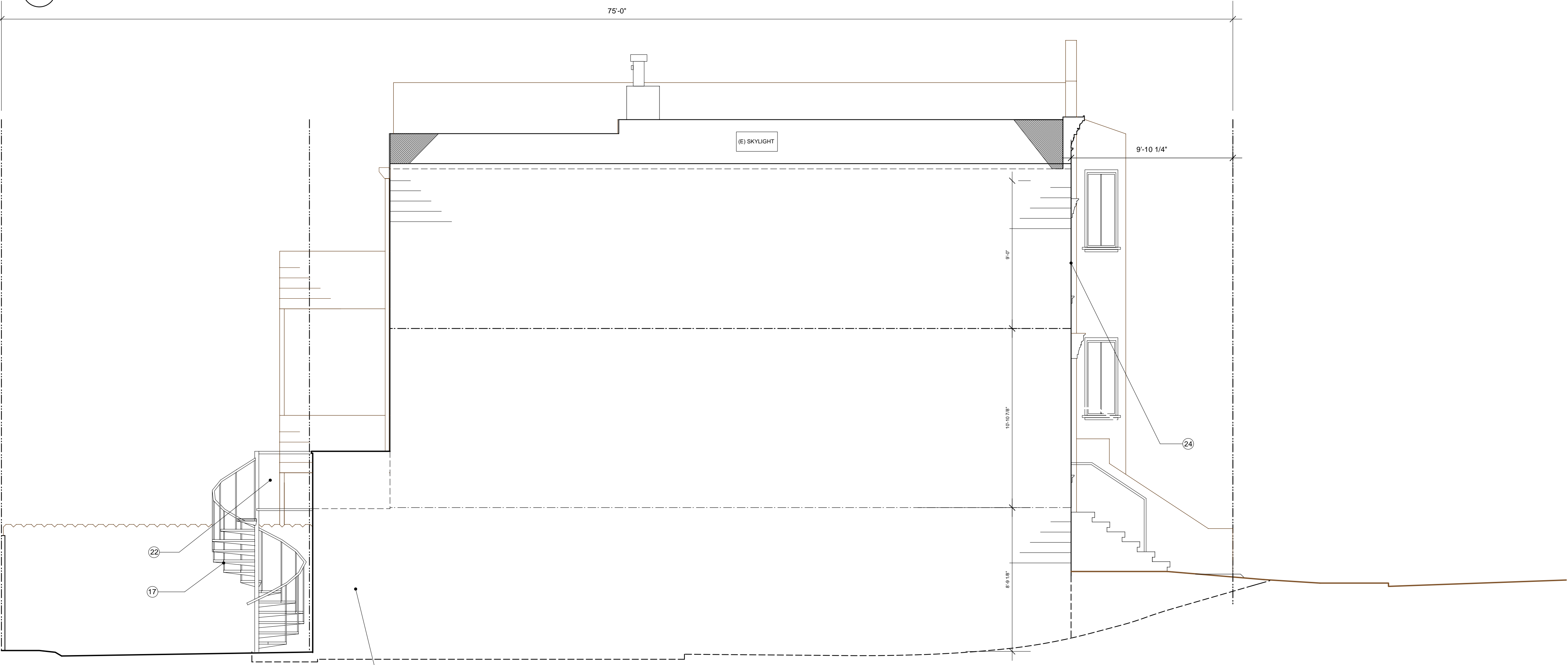
EAST ELEVATION

SCALE: 1/4" = 1'-0"

A2.2



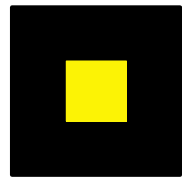
EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION

SHEET NOTES:

- DEMOLITION NOTES:
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  5. EXISTING GARAGE AND STORAGE ROOM SLABS TO BE REMOVED.
  6. EXISTING DRIVEWAY TO BE REMOVED.
  7. EXISTING BRICK FOUNDATION TO BE REMOVED, TYP.
  8. EXCAVATE GRADE AT DRIVEWAY, GARAGE AND STORAGE AREAS AS PER NEW STRUCTURAL PLANS.
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ARCHITECT:

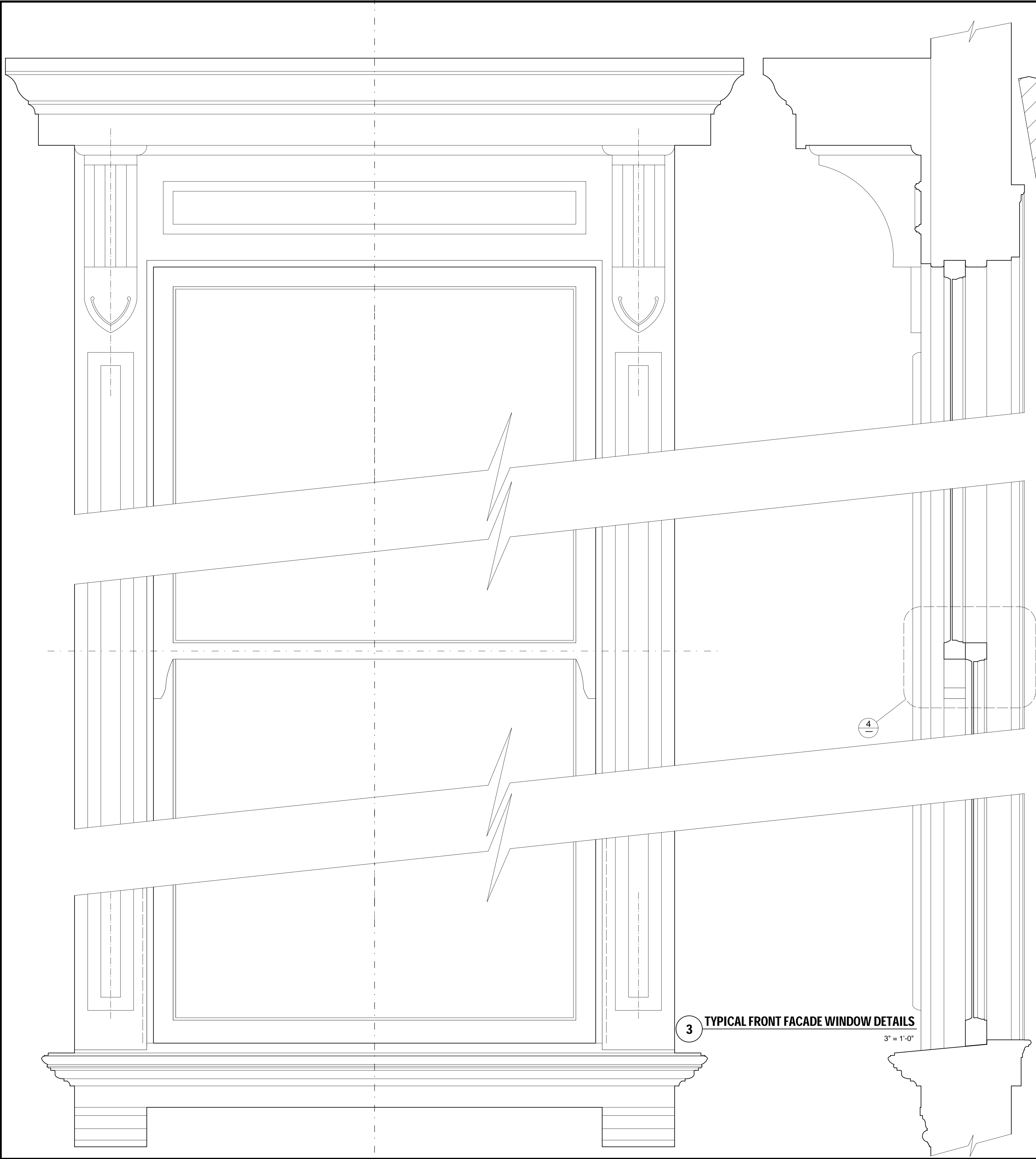
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SITE PERMIT January 14, 2010

NORTH ELEVATION

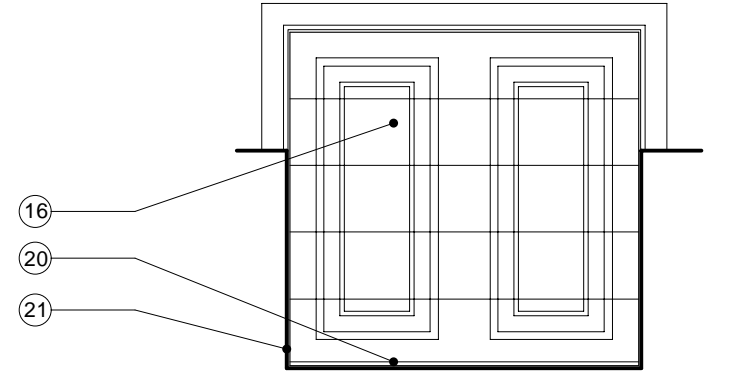
SCALE: 1/4" = 1'-0"

A2.3



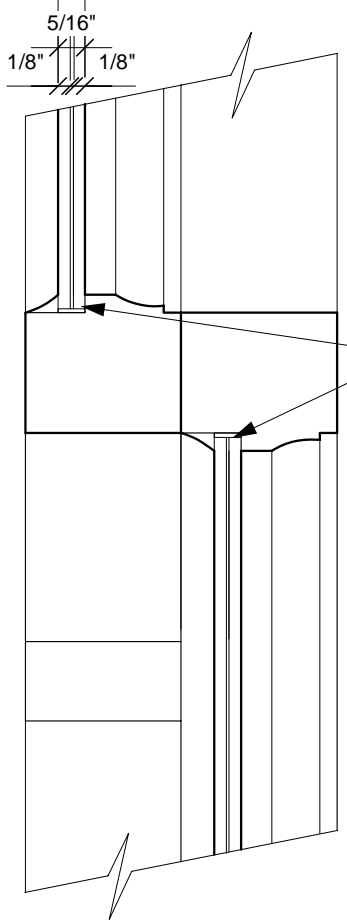
1 EXISTING WEST (FRONT) ELEVATION  
1/4" = 1'-0"

SHEET NOTES:  
DEMOLITION NOTES:  
4. REMOVE EXISTING OVERHEAD GARAGE DOOR  
6. EXISTING DRIVEWAY TO BE REMOVED  
8. EXCAVATE GRADE AT DRIVEWAY, GARAGE AND STORAGE AREAS AS PER NEW STRUCTURAL PLANS.



2 PROPOSED GARAGE DOOR  
1/4" = 1'-0"

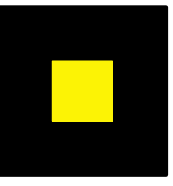
16. NEW OVERHEAD GARAGE DOOR TO BE SECTIONED WOOD, W/ MATCHING WOOD TRIM DETAIL, PAINTED. MIN. CLR. 7'-0" FROM T.O.C.  
20. NEW CONCRETE DRIVEWAY  
21. NEW FOUNDATION WALLS AND FOOTINGS THROUGHOUT GARAGE AND IN NEW CONDITIONED AREA OF WORK, TYP.  
24.(E) WOOD SASHES TO BE REMOVED AND MODIFIED TO ACCEPT NEW GLASS ASSEMBLY (5/16" LAMINATED- 2) 1/8" W/ 1/16" LAMINATION). RECONDITION WINDOW UNITS AND SASH OPERATION AS REQUIRED.



REMOVE EXISTING SASHES AND REMOVE EXISTING GLASS & GLAZING.  
REPLACE WITH 5/16" THICK LAMINATED GLASS ASSEMBLY (2- 1/8" GLASS W/ 1/16" LAMINATION FILM) AND RE-GLAZE.  
REPLACE AND RECONDITON WINDOW UNIT PARTS AS REQUIRED FOR PROPER OPERATION, TYP.

4 PROPOSED GLAZING CHANGE  
6" = 1'-0"

3 TYPICAL FRONT FACADE WINDOW DETAILS  
3" = 1'-0"



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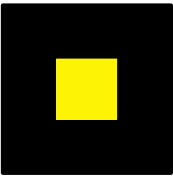
DATE: REVISION  
SITE PERMIT February 22, 2010

WEST ELEVATION  
& WINDOW DETAIL

SCALE: VARIES, SEE DRAWINGS

A2.4





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DATE: REVISION

SITE PERMIT January 14, 2010

PHOTOS of Existing

SCALE:

P.1



REAR YARD LOOKING WESTERLY AT SUBJECT PROPERTY 375 LEXINGTON AND ADJACENT PROPERTIES 381 & 383 LEXINGTON & 371 & 373 LEXINGTON



REAR YARD LOOKING EAST AT ADJACNET PROPERTY ON  
SAN CARLOS STREET



FRONTYARD LOOKING EAST AT SUBJECT PROPERTY 375 LEXINGTON AND ADJACENT PROPERTIES 381 & 383 LEXINGTON & 371 & 373 LEXINGTON