



SAN FRANCISCO PLANNING DEPARTMENT

Certificate of Appropriateness Case Report Consent Calendar

HEARING DATE: APRIL 21, 2010

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Filing Date: August 22, 2009
Case No.: **2009.0800A**
Project Address: **921 Minnesota Street**
Zoning: RH-3 (Residential, House, Three-Family)
40-X Height and Bulk District
Block/Lot: 4107 / 020
Applicant: Shawn Gorman
366 Pennsylvania Avenue
San Francisco, CA 94107
Staff Contact Ben Fu - (415) 558-6613
ben.fu@sfgov.org
Reviewed By Tina Tam - (415) 558-6325
tina.tam@sfgov.org

PROPERTY DESCRIPTION

921 MINNESOTA STREET, east side between 20th and 22nd Streets, in Assessor's Block 4107 and Lot 020. The Queen Anne-style, two-story-over-garage, single-family residence was built circa 1897 and is a contributory building in the Dogpatch Historic District, and listed in the 1976 Architectural Survey. The wood-framed building is located in a RH-3 (Residential, House, Three-Family) Zoning District and a 40-X Height and Bulk District.

PROJECT DESCRIPTION

The project proposes (1) interior remodeling and ground floor development, (2) a two-story rear horizontal extension to accommodate a new bedroom on the first floor and an expanded kitchen and deck on the second floor, and (3) to increase the floor-to-ceiling height at the rear by replacing the existing shed roof with a new flat roof. Please see attached photographs and plans for details.

OTHER ACTIONS REQUIRED

A Building Permit Application No. 2009.07.10.2432 has been submitted and public notification requirements under Planning Code Section 311 will be processed separately.

COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

APPLICABLE PRESERVATION STANDARDS

ARTICLE 10

A Certificate of Appropriateness is required for any construction, alteration, removal, or demolition of a designated Landmark for which a City permit is required. In appraising a proposal for a Certificate of Appropriateness, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent factors. Section 1006.7 of the Planning Code provides in relevant part as follows:

The proposed work shall be appropriate for and consistent with the effectuation of the purposes of Article 10.

The proposed work shall be compatible with the historic structure in terms of design, materials, form, scale, and location. The proposed project will not detract from the site's architectural character as described in the designating ordinance. For all of the exterior and interior work proposed, reasonable efforts have been made to preserve, enhance or restore, and not to damage or destroy, the exterior architectural features of the subject property which contribute to its significance.

ARTICLE 10 – Appendix L – The Dogpatch District

In reviewing an application for a Certificate of Appropriateness, the Historic Preservation Commission must consider whether the proposed work would be compatible with the character of the Dogpatch Historic District as described in Appendix L of Article 10 of the Planning Code.

Section 7(b) Residential – Alterations & New Construction

1. False Historicism

The proposal calls for the retention of all existing character-defining features of the subject property. No change is proposed to the existing building façade. All existing architecture elements such as the bay window, wood window trim, gable roof at the street facade, and exterior wall cladding will remain. The proposed construction of a new second floor deck will not be visible from the Minnesota Street frontage.

2. Materials

The proposal calls for the retention of all existing historic exterior materials visible from public view. No change is proposed to the existing building front façade. The rear wall of the building will be removed as part of the proposal to accommodate the rear extension. The rear wall is a secondary elevation that lacks any predominate character-defining features associated with the subject building. The proposed extension will be clad in compatible materials.

3. Fenestration

No work is proposed in regards to the original fenestration.

4. Style

The proposed two-story rear horizontal extension is simple and utilitarian in design and will not be visible at the street. The proposal is located at a rear elevation that lacks any of the character-defining features associated with the subject building or the district.

5. Scale & Proportion

The proposed two-story extension is consistent and compatible with the massing, size, scale, and details found within the district.

6. Setbacks

N/A

7. Roofline

The proposed extension will not be visible from the main building façade and/or frontage at Minnesota Street. The existing building roof line will not be affected.

8. Detailing

See "False Historicism" above. All existing architecture elements visible from the street will not be modified with the proposed project.

THE SECRETARY OF THE INTERIOR'S STANDARDS

Rehabilitation is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features that convey its historical, cultural, or architectural values. The Rehabilitation Standards provide, in relevant part(s):

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed project would not add any conjectural historical features or features that add a false sense of historical development. The design of the new extension and other new features such as windows and cladding would be clearly distinguished as contemporary features of the site.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved

The proposed location of the extension would utilize space on the site that does not currently contribute to the historic character of the district and that would require minimal removal of historic materials.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The proposed scale of the extension would be compatible with the existing scale of the subject building and setting. The extension would not exceed the height of the existing building at the street frontage.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

The design of the extension would be sufficiently differentiated from the historic buildings through the use of contemporary architectural details while maintaining a compatible appearance through the use of elements such as horizontal wood cladding and framed window openings.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

If the proposed extension were removed in the future, the essential historic form and integrity of the subject building would remain intact.

PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project at the date of this report.

STAFF ANALYSIS

Based on the requirements of Article 10, Appendix L - the Dogpatch Historic District Guidelines, and the Secretary of Interior's Standards, staff has determined the following:

The proposal is located entirely at the rear of the property and not visible from the public right-of-way. All existing architecture elements will remain. The proposal will not adversely impact any of the character-defining features of the subject building or district.

ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One-Minor Alteration of Existing facility) because the project is a minor alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL of the proposed project as it appears to meet the Secretary of the Interior Standards for Rehabilitation and Appendix L of Article 10 of the Planning Code.

ATTACHMENTS

Draft Motion

Maps

Sponsor Submittal:

- Building History
- Photographs
- Plans

BF: G:\DOCUMENTS\Historic\City of Al\Minnesota_921_20090800A\Case Report.doc



SAN FRANCISCO PLANNING DEPARTMENT

Historic Preservation Commission Draft Motion

HEARING DATE: APRIL 21, 2010

1650 Mission St.
Suite 400
San Francisco,
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ADOPTING FINDINGS FOR A CERTIFICATE OF APPROPRIATENESS FOR PROPOSED WORK DETERMINED TO BE APPROPRIATE FOR AND CONSISTENT WITH THE PURPOSES OF ARTICLE 10, TO MEET THE STANDARDS OF ARTICLE 10 AND TO MEET THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION, FOR THE PROPERTY LOCATED ON LOT 020 IN ASSESSOR'S BLOCK 4107, WITHIN AN RH-3 (RESIDENTIAL, HOUSE, THREE-FAMILY) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

WHEREAS, on August 26, 2009, Shawn Gorman (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Certificate of Appropriateness to expand the existing single-family located on the subject property on Lot 020 in Assessor's Block 4107. The work includes (1) interior remodeling and ground floor development, (2) a two-story rear horizontal extension to accommodate a new bedroom on the first floor and an expanded kitchen and deck on the second floor, and (3) to increase the floor-to-ceiling height at the rear by replacing the existing shed roof with a new flat roof.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on April 21, 2010, the Commission conducted a duly noticed public hearing on the current project, Case No. 2009.0800A ("Project") for its appropriateness.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

MOVED, that the Commission hereby grants the Certificate of Appropriateness, in conformance with the architectural plans dated received July 29, 2009 and labeled Exhibit A on file in the docket for Case No. 2009.0800A based on the following findings:

FINDINGS

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 10:

The Historical Preservation Commission has determined that the proposed work is compatible with the character of the Dogpatch Historic District.

- The proposed project would remove existing rear undocumented deck and patio.
- The proposed location of the extension would utilize space on the site that does not currently contribute to the historic character of the district and that would require minimal removal of historic materials.
- The proposed scale of the extension would be compatible with the existing scale of the subject building and setting. The extension would not exceed the height of the existing building at the street frontage.
- The design of the extension would be sufficiently differentiated from the historic buildings through the use of contemporary architectural details while maintaining a compatible appearance through the use of elements such as horizontal wood cladding and framed window openings.
- Historic features dating from the periods of significance (cladding, windows, doors, paving, etc.) would be retained.
- The proposed project would not add any conjectural historical features or features that add a false sense of historical development. The design of the new extension and other new features such as windows and cladding would be clearly distinguished as contemporary features of the site.
- If the proposed extension were removed in the future, the essential historic form and integrity of the subject building would remain intact.

- The proposed project meets the following Secretary of the Interior's Standards for Rehabilitation:

Standard 2.

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 5.

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Standard 6.

Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Standard 9.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard 10.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3. **General Plan Compliance.** The proposed Certificate of Appropriateness is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.

POLICY 2.5

Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.

POLICY 2.7

Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.

The goal of a Certificate of Appropriateness is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.

The proposed project qualifies for a Certificate of Appropriateness and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of 921 Minnesota Street for the future enjoyment and education of San Francisco residents and visitors.

4. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

The proposed project is for the rehabilitation of a residential property and will not have any impact on neighborhood serving retail uses.

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

The proposed project will strengthen neighborhood character by respecting the character-defining features of the historic district in conformance with the Secretary of the Interior's Standards.

- C) The City's supply of affordable housing will be preserved and enhanced:

The project will not reduce the affordable housing supply as the existing single-family dwelling is currently occupied by the property owner.

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking. The proposal does not increase the number of units on site.

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

The proposed will not have any impact on industrial and service sector jobs.

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The subject building was designed to conform to the structural and seismic safety requirements of the Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G) That landmark and historic buildings will be preserved:

The proposal will not alter the existing building street façade and is in conformance with Article 10 of the Planning Code and the Secretary of the Interior's Standards.

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

The proposed project will not impact the access to sunlight or vistas for the parks and open space.

5. For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 10, meets the standards of Article 10, and the Secretary of Interior's Standards for Rehabilitation, General Plan and Prop M findings of the Planning Code.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS Certificate of Appropriateness** for the property located at Lot 020 in Assessor's Block 4107 for proposed work in conformance with the renderings and architectural sketches dated March 20, 2009, and labeled Exhibit A on file in the docket for Case No. 2009.0800A.

APPEAL AND EFFECTIVE DATE OF MOTION: APPEAL: Any aggrieved person may appeal this Motion to the Board of Appeals within fifteen (15) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion. For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call 575-6880.

Duration of this Certificate of Appropriateness: This Certificate of Appropriateness is issued pursuant to Article 10 of the Planning Code and is valid for a period of three (3) years from the effective date of approval by the Historic Preservation Commission. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor.

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OF OCCUPANCY UNLESS NO BUILDING PERMIT IS REQUIRED.

PERMITS FROM THE DEPARTMENT OF BUILDING INSPECTION (and any other appropriate agencies) MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on April 21, 2010.

Linda D. Avery
Commission Secretary

AYES: X

NAYS: X

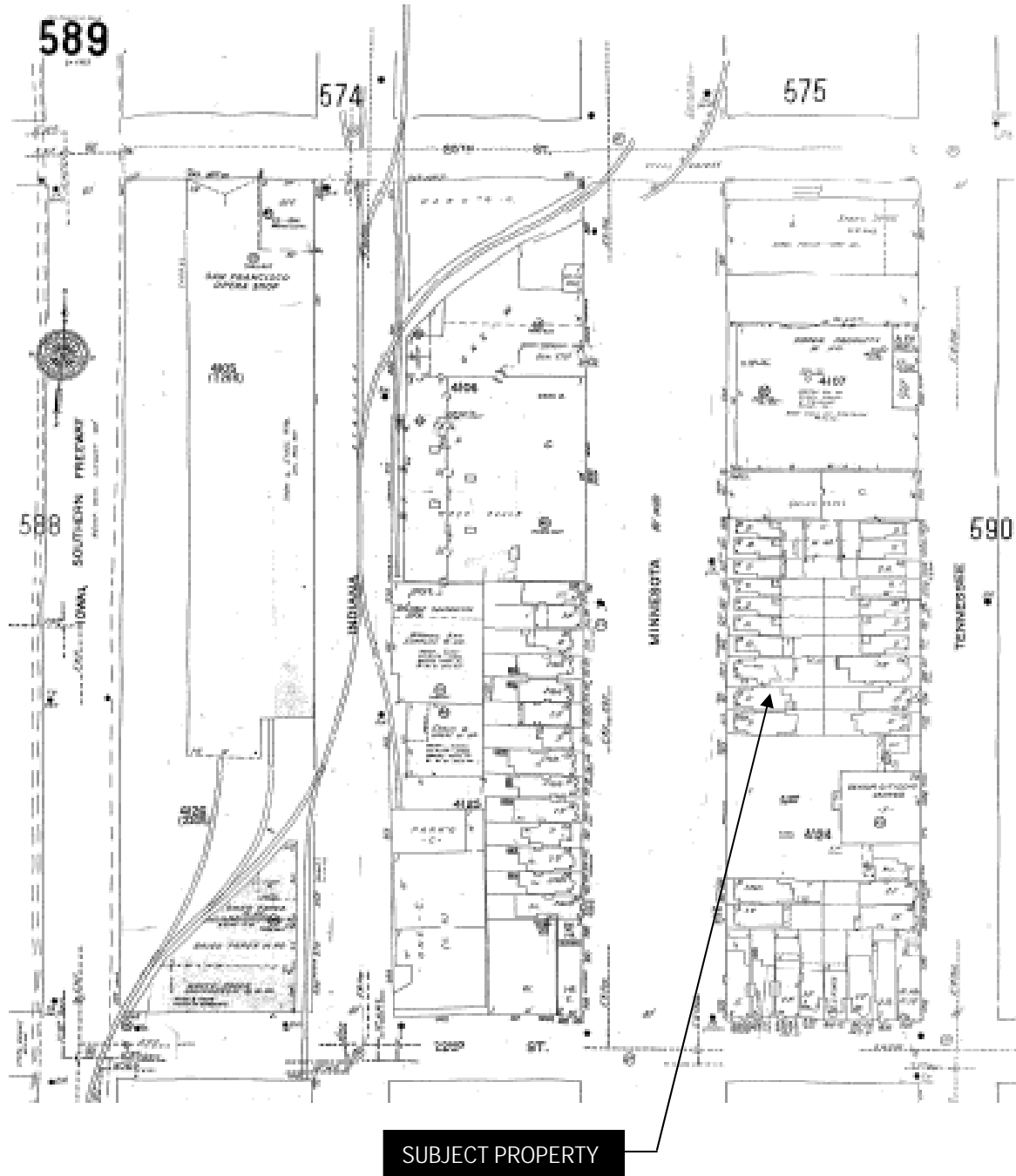
ABSENT: X

ADOPTED: April 21, 2010

Parcel Map



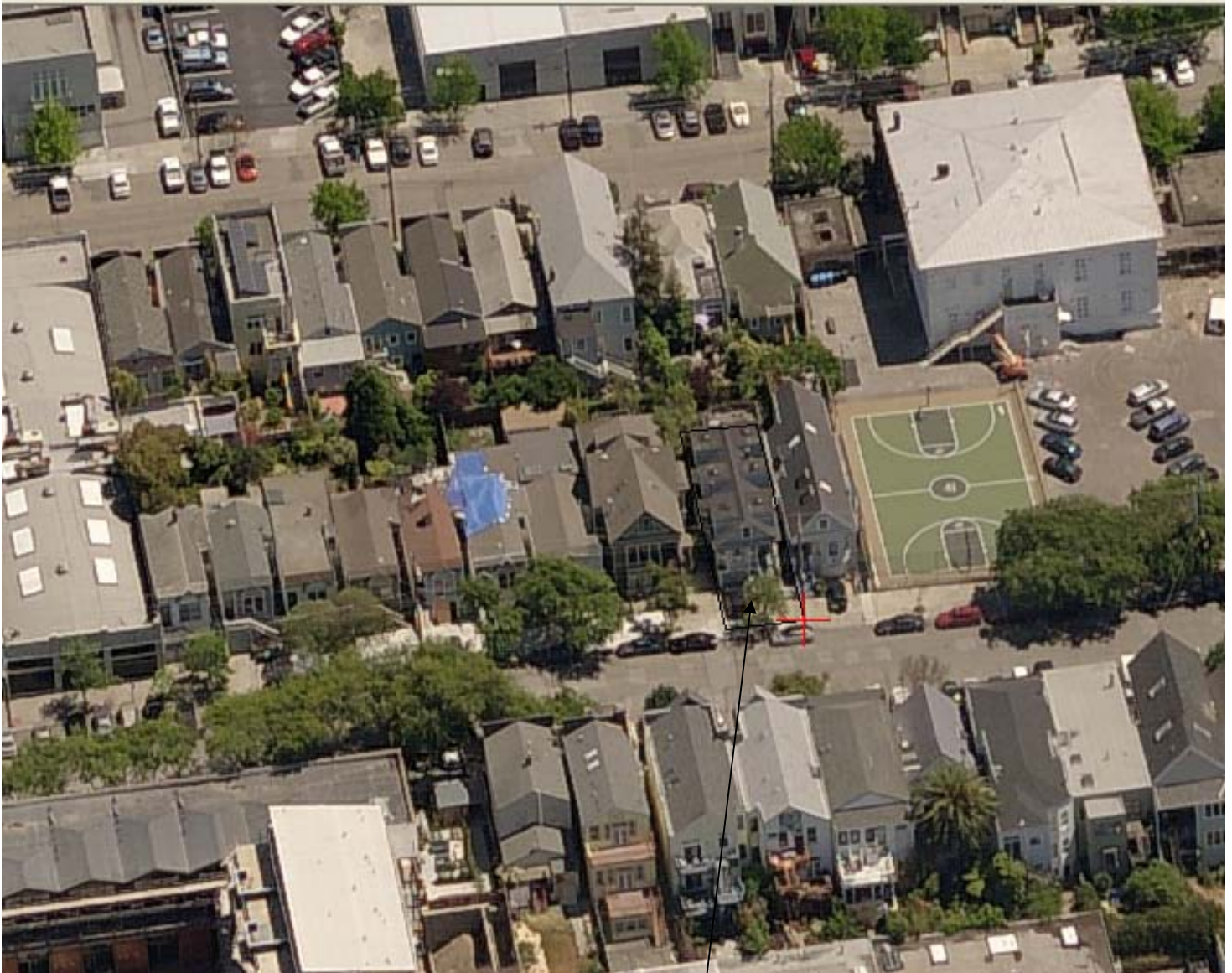
Sanborn Map*



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Aerial Photo



SUBJECT PROPERTY



Historic Preservation Commission
Case Number 2009.0800A
921 Minnesota Street

Building History Report

921 Minnesota St. San Francisco, CA.

Prepared by Shawn Gorman Architect

366 Pennsylvania Avenue

San Francisco, CA. 94107

Phone: 415-642-0993

Building History Report – January 29, 2010

Property Address: 921 Minnesota Street San Francisco, CA 94107

Assessors Parcel: Block 4107 / Lot 020

Pre-1913 Parcel Block 2271 / Lot 020

Building Ownership History:

The first documented building on this site was recorded on the 1899-1900 Sanborn map, See Exhibit A. ¹ C.A.S. Anderson, a motorman for the Market Street Railway, was the original owner of the property located at 921 Minnesota St. The first found record for the address is the water service application dated November 19, 1897, See Exhibit C. ² The application lists C.A.S. Anderson as the responsible party. The Crocker-Langley directories show he lived at various Minnesota Street locations prior to moving into the subject property in 1899. ³ The directories indicate he resided at 824 Minnesota St. in 1897 and 917 Minnesota St. in 1898. ³ C.A.S. Anderson is also named in the 1906 service pipe record, See Exhibit D. ⁴ C.A.S. Anderson is listed in the 1906 and 1909 San Francisco Block Books, See Exhibit E. ⁵ In 1939 he sold the residence to Dominico and Amalia Lencioni. A full chain of title is listed in Exhibit B. ⁶

Architectural Ratings:

Zoning Block Book; Not Rated, See Exhibit F 7

Here Today: San Francisco Architectural Heritage; Not Listed

Architectural Features:

The building is a Victorian era single family residence. Based on Sanborn maps and water department records, the building has always been used as a single family residence. ^{1,2} The building exhibits the common features of Queen Anne row houses of the 1890's to 1900's. These features include three-sided slanted bay windows, simple window detail trim, gable roof facing the street, contrasting materials from story to story, covered entry porch, redwood hand-turned millwork (stair balustrades and newel caps) and dentil decorations under the eave and gable overhangs.

Sources:

1. San Francisco Public Library, Main Library, Digital Sanborn Records
2. SFPUC, Water service records, Original Water Service Application – November 19, 1897;
Owner, C.A.S Anderson
3. San Francisco Public Library, San Francisco Crocker-Langley directories 1897 thru 1948
4. San Francisco Public Library, Main Library, Microfilm records, Original Service Pipe Record –
January 15, 1906 - #53785 – 5/8" service; Name, C.A.S Anderson
5. San Francisco Public Library, Main Library, San Francisco Block Books, 1906, pg 387 & 1909,
pg 300
6. San Francisco County Office of Assessor – Recorder, microfilm ownership records
7. San Francisco Planning Department, Zoning Block Book, Block 4107 – Lot 20

Analysis of Architectural Features for the Subject Property:

- **Three-sided slanted bay windows:** The front façade features a prominent bay configuration. The S.F. Department of Building Inspection Report of Residential Record documents installation of the garage in 1920, See Exhibit G. ⁸ The new garage reduced the impact of the bay but accentuated the asymmetry of the façade, which is typical of Queen Anne Architecture.
- **Simple window detail trim:** The window trim is very plain and does not exhibit any of the rossets or engaged pilaster details that were common of that era. This could be reflective of the modest means of the original owner. A redwood sill and water table wrap the bay horizontally at the base of the windows. The windows are wood sash with double hung operation and are consistent with the period of construction.
- **Gable roof facing the street:** The house has the classic steep pitched front facing gable that defines the style. In this case, the gable and lower frieze crowd the top of the bay window below. Box dormers were added to the north and south sides sometime in the 1970's or 1980's.
- **Contrasting materials from story to story:** The main body of the house is sided with redwood cove rustic material. Contrasting fish-scale shingles accentuate the form of the gable roof. A wood sun-burst motif above the centered double hung gable window is consistent with the simple detailing of this structure. This motif is often made of a more elaborate plaster design as shown on the adjacent building at 923 Minnesota.
- **Covered entry porch:** A larger than standard covered porch extends to a wide L-shaped entry stair leading to the street. The porch overlaps the bay and is very deep. It is defined by a pair of plain redwood columns.
- **Redwood hand-turned millwork (stair balustrades and newel caps):** The entry stair has a guardrail with a very wide top rail, hand-turned stair balustrades, and newel caps. The lower portion has a very simple curled iron guardrail of a design that is typical of the era.
- **Dentil decorations under the eave and gable overhangs:** The gable end features a horizontal dentiled cornice with a simple flat board frieze, and a raking cornice with the same dentil detailing.
- **Rear deck system:** The rear of the building has multiple deck appendages that were constructed in the 1970's, including a built-in hot-tub.

Sources:

8. San Francisco Department of Building Inspection Report of Residential Record (3R Report)

Exhibit A

Sanborn Maps

1889	Page 153 Volume 5 Reel 2 - Building does not appear on map.
1899	Page 557 Volume 5 Reel 2 - Building first appears on map.
1913-1915	Page 589 Volume 6 Reel 4 - Building appears on map.
1948-1951	Page 589 Volume 6 Reel 6 - Building appears on map.
Current	Page 589 Volume 6 Reel 6 - Building appears on map.

153

2265

STREET

SHASTA

Approx Lot Location
921 Minnesota St.

2268

SIERRA

STREET

2271

Peppercorn Yard

STREET

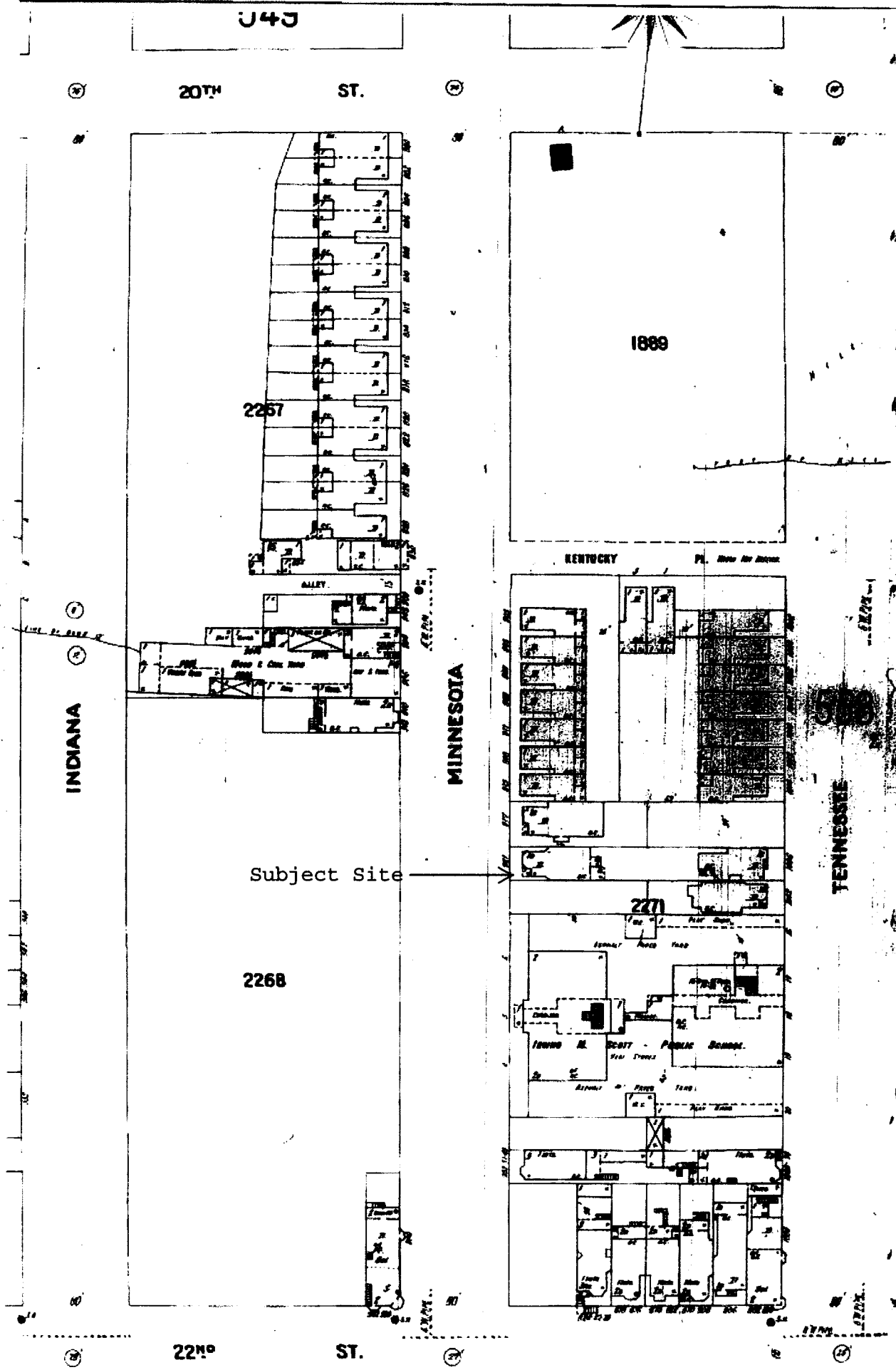
SAN FRANCISCO
CORPORATION
JAMES A. CO.
RANCHO
MINE NO.

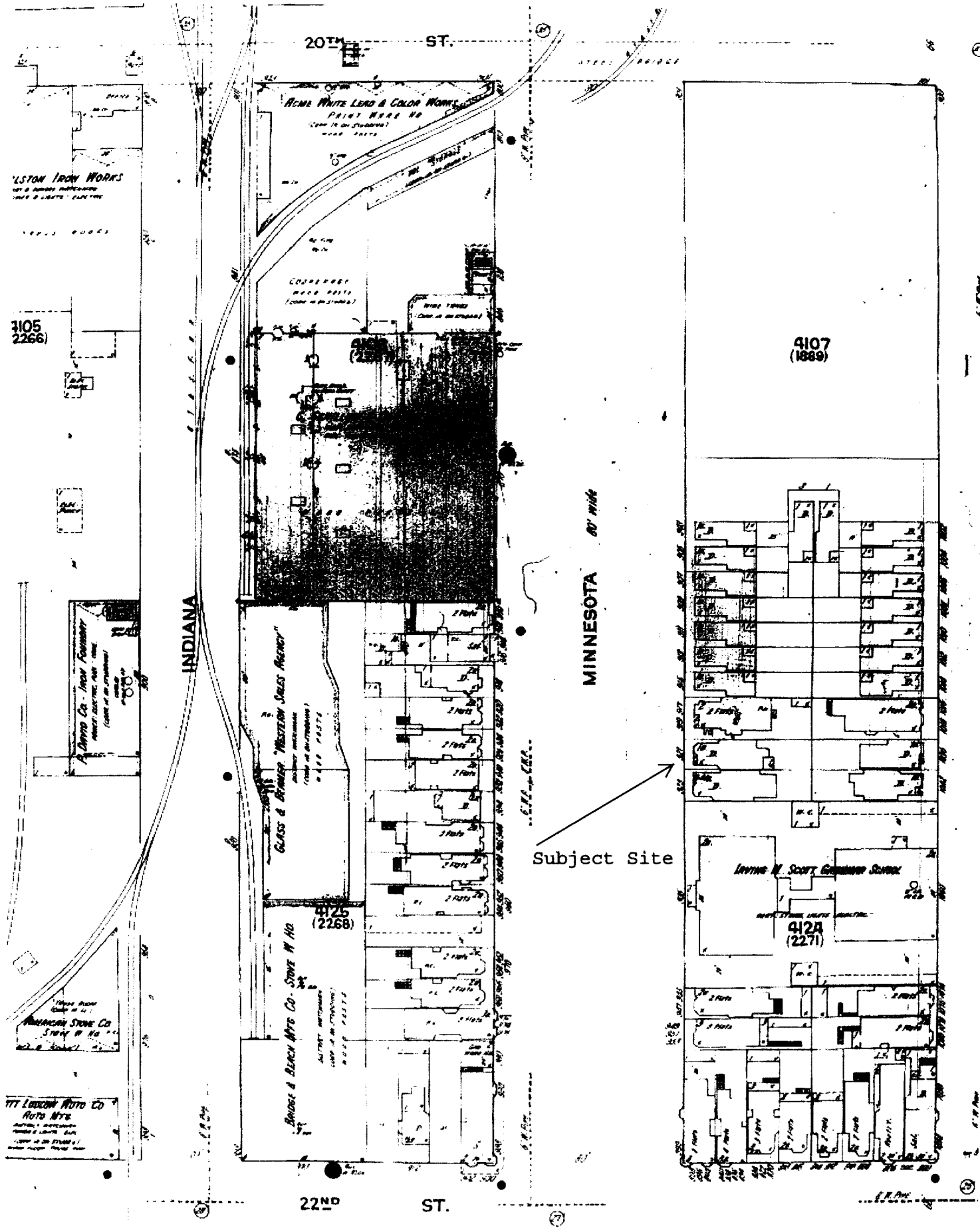
MINNESOTA

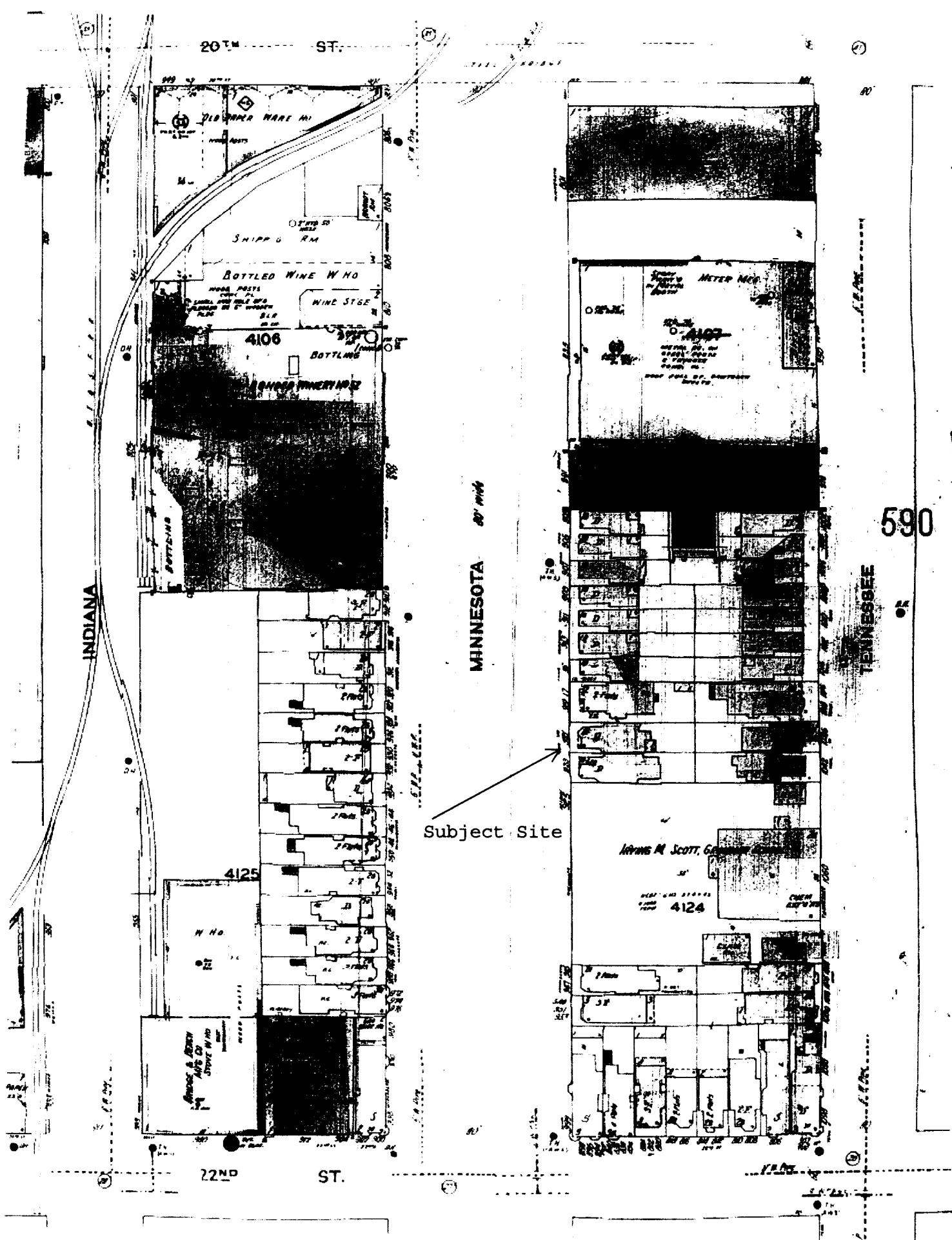
2273

STREET

STREET







589

(1999)

574

575

588

590

607

Current Sanborn Map - pg589

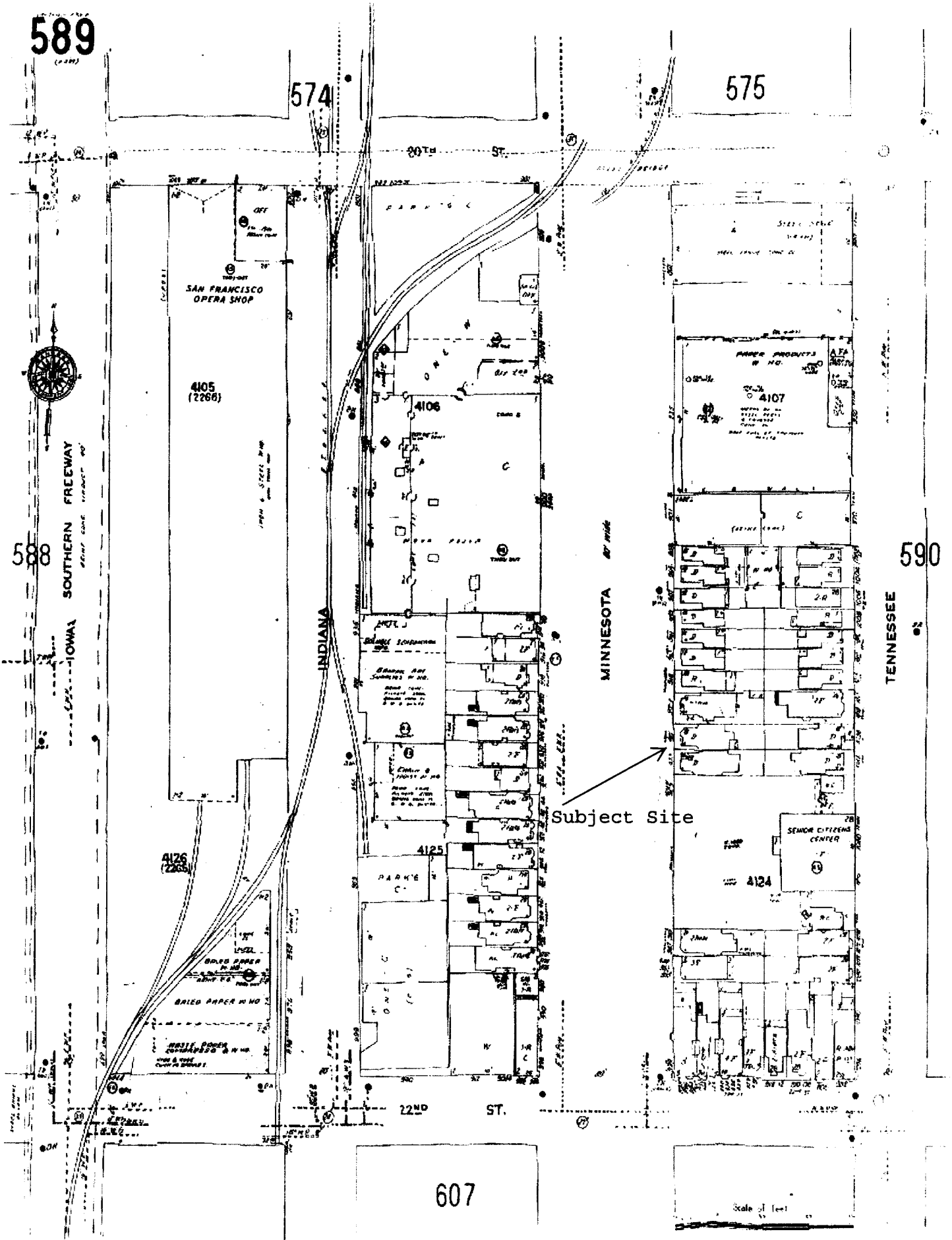


Exhibit B

City and County San Francisco

Office of Assessor and Recorder

Ownership records:

Exhibit B

San Francisco County Assessors - Ownership records: ⁴

1899 to 07-05-1939 - Mr. C.A.S. Anderson

07-06-1939 to 05-04-1942 - Domenico & Amalia Lencioni

05-05-1942 to 04-05-1954 - Anselmo & Calvoni Nasci

04-06-1954 to 12-28-1966 - Arleter Hicks

12-29-1966 to 03-13-1968 - Leslie E. & Barbara Grimes

03-14-1968 to 03-19-1968 - Fred Koopman

03-20-1968 to 09-14-1969 - Adele Rogers

09-15-1969 to 05-21-1974 - Donald & Hildegard L. Nugent

05-22-1974 to 05-05-1977 - John W. Hirsch & Samuel Massarsky

05-06-1977 to 09-01-1978 - Nancy L Feiner & Robert R. Zbel

09-02-1978 to 02-18-1986 - Nancy Carter

02-19-1986 to 12-02-1993 - Christopher R. Haigh

12-03-1993 to 05-01-1996 - Edward D. Willard

05-02-1996 to Present - Paul Fatheree & Samantha Smith

Exhibit C

SFPUC, Water service records,
Original Water Service Application
November 19, 1897

The following Regulations have been duly adopted by resolution of the Board of Trustees of the Spring Valley Water Works. These are to be strictly observed by consumers of Spring Valley Water, and considered a part of this agreement:

1. In all cases of non-payment of the water rent within three days after the presentation of the bill, the supply will be cut off, and the water shall not be restored either for the present or any subsequent occupant, except upon the payment of the amount due, together with the sum of two dollars; provided, that in case of special circumstances, or for the fractional parts of the month, where the water has been let on, it may be cut off immediately, after notice given at the place that the rent is not paid, and may be let on again upon the condition before mentioned.
2. No person or family supplied with Spring Valley Water will be permitted to use the water for any other purpose than that stated in this agreement, nor to supply water in any way to other persons or families.
3. Consumers shall prevent all unnecessary waste of water, and shall make no concealment of the purposes for which it is used.
4. No alteration shall be made in any water pipe or fixture without first giving notice of the intended alteration at the office of the Company.
5. In all cases where water is to be supplied to several parties or tenants from one connection or tap, the Company contracts only with one of said several parties, on his default to abide by these regulations and pay the rates, will cut off the connection.
6. Whenever any of these regulations shall be violated, the supply of water will be discontinued, and not resumed until all charges and expenses are satisfied.
7. All persons taking water shall keep the service pipes in good repair, at their own expense, and they will be held liable for all damages which may result from their failure to do so.
8. Street Sprinkling with hose and standing Irrigators will not be allowed under any circumstances.
9. The Inspector or other properly authorized officer of the Company shall be admitted at all reasonable hours to all parts of any premises supplied with water, to see that these regulations are observed.
10. The Company does not guarantee to deliver water under this application more than ten feet above the street.

No. _____

Date of Supply, _____

18 _____

APPLICATION and AGREEMENT.

I hereby agree to take water from the Spring Valley Water Works, at the Rate of _____ per month, payable monthly in advance, in U. S. Gold Coin. For

1 family

921 Minnesota St 320 N 22nd

and in default of such payment punctually made in advance, or if the above regulations are in any respect violated, the said Spring Valley Water Works may disconnect the water at my own cost and charges, according to the above regulations, of which I have been duly notified.

Service Connection \$10.00 Paid

GENERAL RATE.	68	Size Building	1118	Sq. Feet	1	Stories.
"		"		"		"
"		"		"		"
"		"		"		"
"		"		"		"
SPECIAL RATES.						
Stores @						
Wash Trays						
Wash Basins	05					
Boarders and Lodgers	07					
Baths	32					
Water Closets	22					
Urinals						
Cows						
Horses						
Horse Trough						
Sq. Yds. Irrigation	15					
Total	149					

Bill, \$149.15

And I hereby covenant and agree that I will protect and save harmless the said corporation from all claims for damage occasioned by the bursting of any of the pipes used for the supply of water under this application.

Mr. C. A. Anderson.

by J. R. Hall.

San Francisco 76077 1897



76-876
10/16/30
76-876
10/16/30
97-2760
7/1/39
Counter
ans.

542-88
53785 44802
97/2760
67643.
1637696 7/25
Removed 74 Cop. 7/18/60
pipes & removed. 6/17/40.
old tap 90 at main
2nd E. W. line at
E. N. S. Lot
300 N of 22nd
376-

Application for Service Installation

921. Minnesota

STREET

LOCATION

San Francisco,

586-2680

TO THE SPRING VALLEY WATER COMPANY:

76-876

SCANNED

You are hereby requested and authorized to make service installation for water supply at

for account of

(Signed)

Owner

By

Architect-Plumber-Agent

NOTE: This order covers service installation only; a separate order is required for supply.

Exhibit D

Water Department Service Pipe Record

Street

DATE	NAME	WEIGHT	HEIGHT	EDUCATION	EXPERIENCE	AGE	SEX	RACE	REL.	STATUS	REMARKS
July 7, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
July 14, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
July 21, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
July 28, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
August 4, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
August 11, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
August 18, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
August 25, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
September 1, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
September 8, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
September 15, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
September 22, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
September 29, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
October 6, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
October 13, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
October 20, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
October 27, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
November 3, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
November 10, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
November 17, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
November 24, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
December 1, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
December 8, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
December 15, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
December 22, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
December 29, 1914	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
January 5, 1915	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
January 12, 1915	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
January 19, 1915	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
January 26, 1915	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
February 2, 1915	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
February 9, 1915	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
February 16, 1915	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
February 23, 1915	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	
February 29, 1915	Mr. [Name]	147.50	1.75	High School	10	25	M	W	Single	Employed	

Service Pipe Record.

DIRECTION OF TAP

1. 2. 3.

294

24. $\frac{1}{2}$ lb. here & there

20 July 1961

6th of June 1881

4 5 9 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1041 1042 1043 1

14 6 13

24. 8/11/11 Case, CA

6 1/2 14 100 18

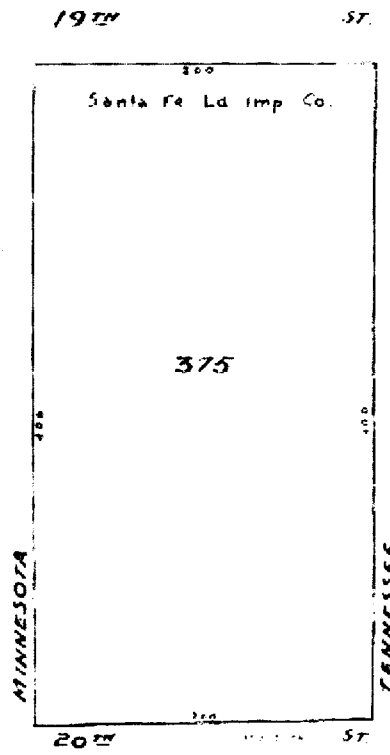
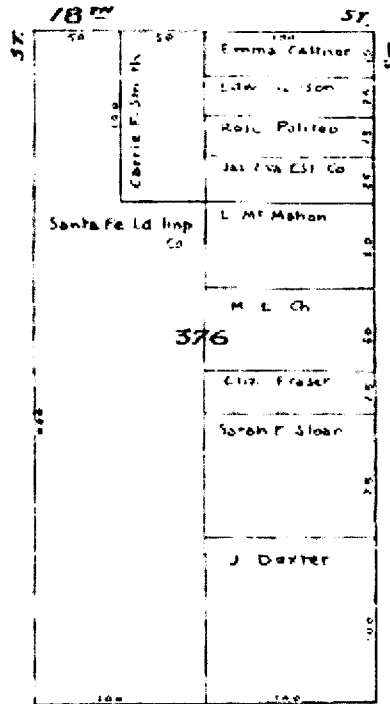
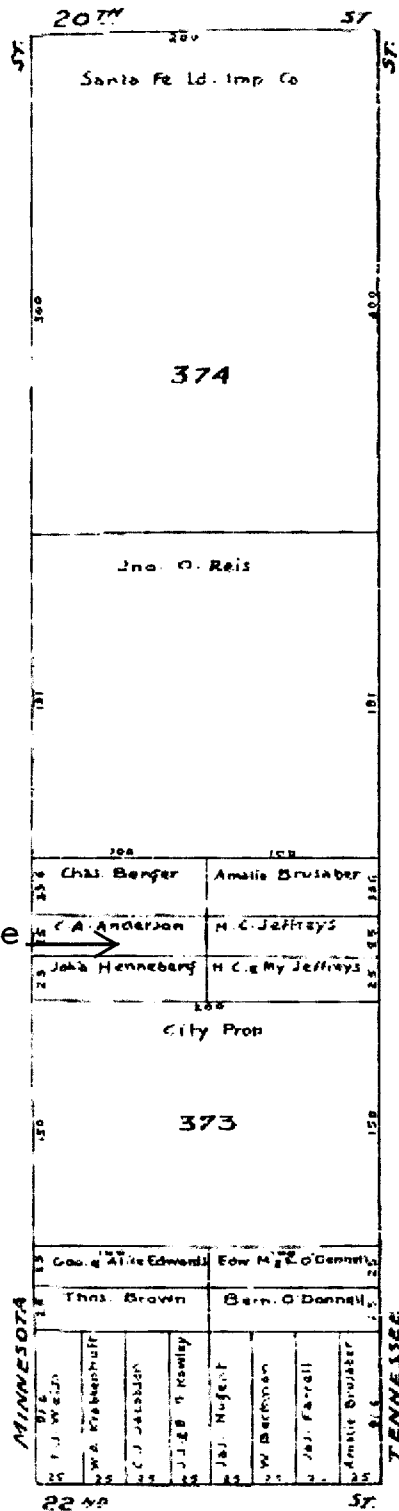
John H. Lawrence

Exhibit E

San Francisco Block Book 1906 & 1909

San Francisco Block Book - 1906

Subject Site



San Francisco Block Book - 1909

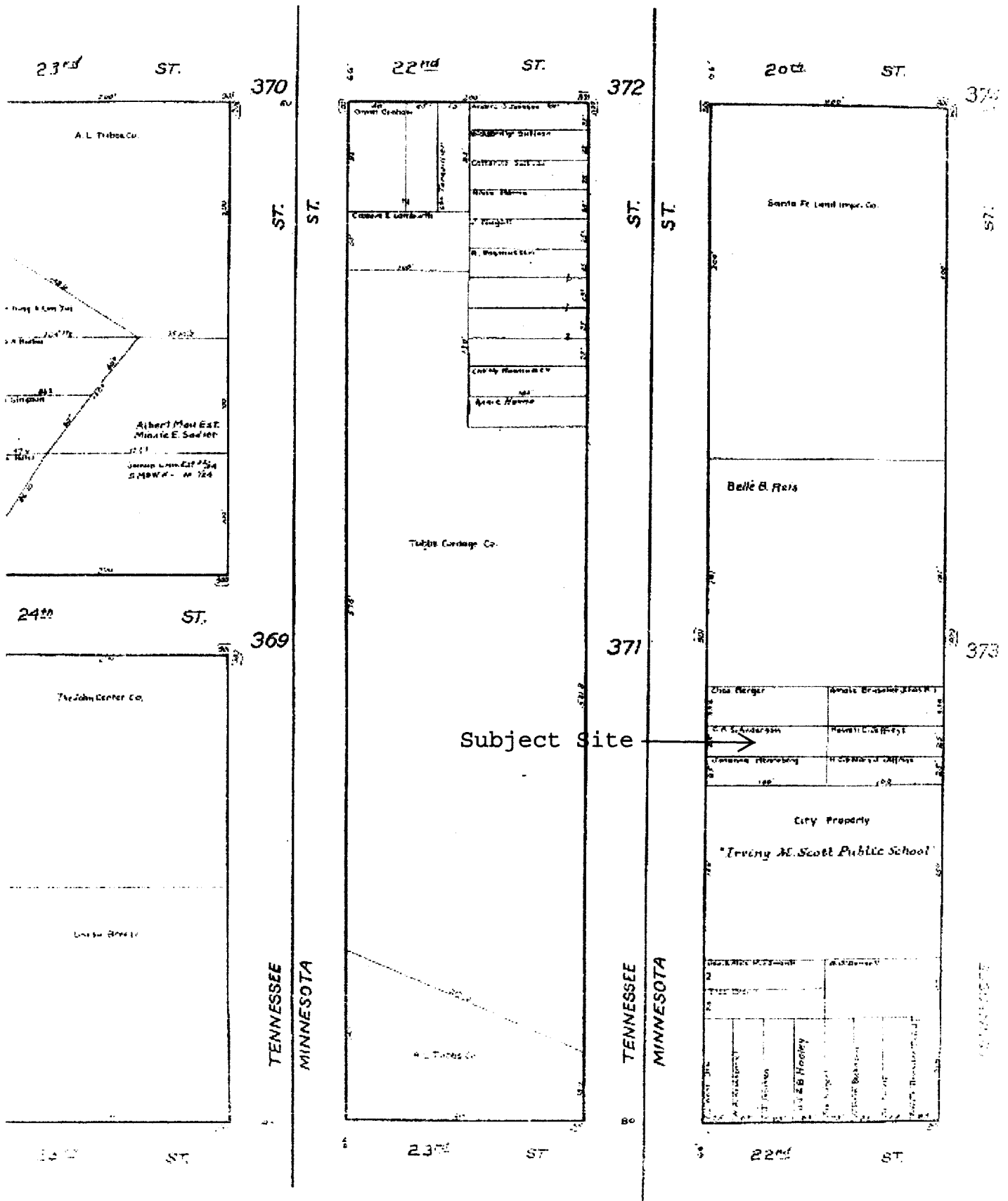


Exhibit F

Zoning Block Book

20Tr

4107

NAVY DISTRICT HEADQUARTERS

NO 39105

~~M-2~~

DP HD

N
W
E
S

M-2

M-2

RH-3

RH-3

MINNESOTA

TENNESSEE

RH-3

RH-3

P

P

NO 4392
NO 4393

P

P

RH-3

RH-3

Exhibit G

S.F. Department of Building Inspection

Report of Residential Record (3R Report)



**CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION**

1660 Mission Street, San Francisco CA 94103

Report of Residential Building Record
(Article 3.5 Housing Code Ordinance No. 96-69)
Residential Requirement Report Division
(415) 558-6081

BEWARE: This report describes the current legal use of this property as compiled from records of City Departments. There has been no physical examination of the property itself. This record contains no history of any plumbing or electrical permits. The report makes no representation that the property is in compliance with the law. Any occupancy or use of the property other than that listed as authorized in this report may be illegal and subject to removal or abatement, and should be reviewed with the Department of Planning and the Department of Building Inspection. Errors or omissions in this report shall not bind or stop the City from enforcing any and all building and zoning codes against the seller, buyer and any subsequent owner. The preparation or delivery of this report shall not impose any liability on the City for any errors or omissions contained in said report, nor shall the City bear any liability not otherwise imposed by law.

Address of Building **921 MINNESOTA ST**

Block **4107**

Lot **020**

Other Addresses

1. A. Present authorized Occupancy or use: **ONE FAMILY DWELLING**

B. Is this building classified as a condominium? Yes No ☒

C. Does this building contain any Residential Hotel Guest Rooms as defined in Chap. 41, S.F. Admin. Code? Yes No ☒

2. Zoning district in which located: **RH-3**

3. Building Code Occupancy Classification: **R-3**

4. Do Department of City Planning Records show an expiration date for any non-conforming use of this property? Yes No ☒
If Yes, what date? **The zoning for this property may have changed. Call City Planning, (415) 558-6377, for the current status.**

5. Building Construction Date: **UNKNOWN**

6. Original Occupancy or Use: **UNKNOWN**

7. Construction, conversion or alteration permits issued, if any:

Application #	Permit #	Issue Date	Type of Work Done	Status
187834	145549	22-AUG-30	INSTALL PRIVATE GARAGE	N
45376	44324	22-JUL-39	GENERAL MAINTENANCE & REPAIRS	C
287800	256661	03-SEP-63	DRY ROT REPAIRS	C
9119976	684350	22-OCT-91	RE-ROOFING	C
9818517	860019	15-SEP-98	REPLACE SHINGLES, TRIM FRONT CABLE, WINDOW IN FRONT	C

8. A. Is this property within a project area for which a redevelopment plan has been approved by the Board of Supervisors? Yes No ☒

B. Is this property within a or does it abut upon the right-of-way of a freeway route which has been adopted by the California State Highway Commission and approved by the Board of Supervisors? Yes No ☒

C. Does the property abut upon a street to be widened pursuant to action of the Board of Supervisors? Yes No ☒

D. Is this property a conservation area? Yes No ☒

9. A. Is there an active Franchise Tax Board Referral on file? Yes No ☒

B. Is this property currently under abatement proceedings for code violations? Yes No ☒

10. Number of structures on property? **1** 11. Is Building in Fire Zones? Yes No ☒

12. A. Has energy inspection been completed? Yes ☒ No B. If yes, has a proof of compliance been issued? Yes ☒ No

Date of Issuance: **21 JUN 2005**

Date of Expiration **21 JUN 2006**

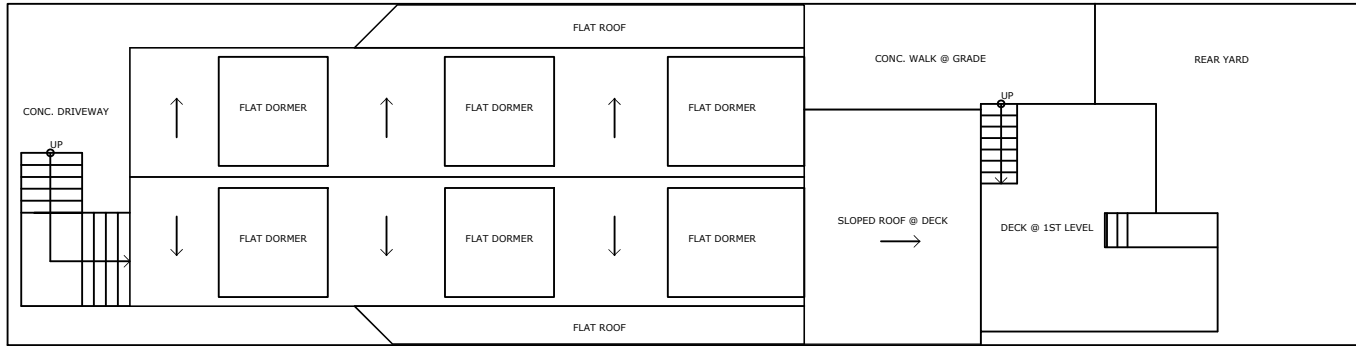
By: **MAY Y. YU**

Report No: **200506151836**

Patty Herrera, Manager, Public Services Division

Amy Lee, Acting Director

Department of Building Inspection



EXISTING SITE/ROOF PLAN

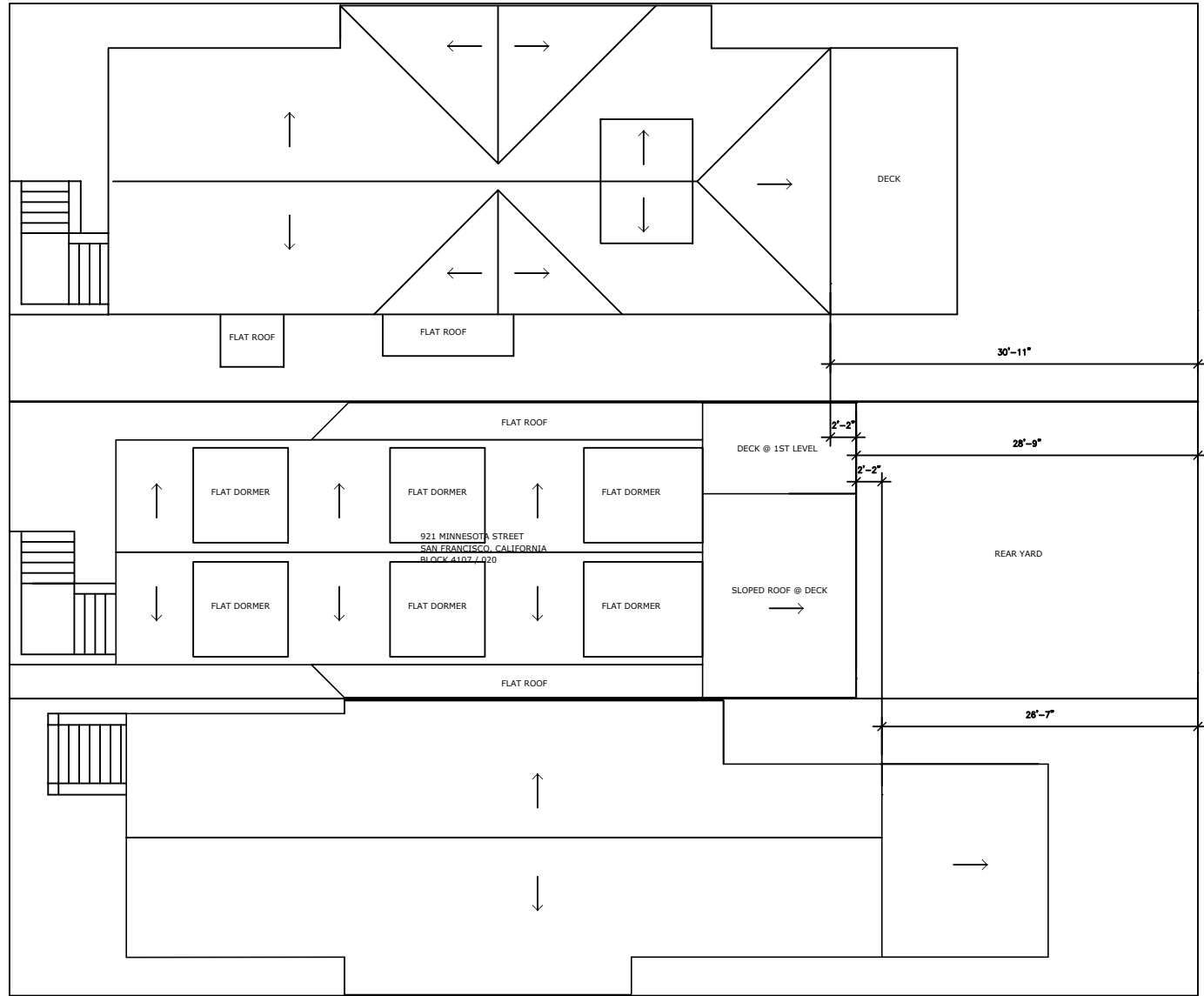
SCALE : 1/4" = 1'-0"

DRAWING INDEX	
A1.1	SITE PLAN AND NOTES
A2.1	EXISTING GROUND LEVEL PLAN EXISTING FIRST LEVEL PLAN
A2.2	GROUND LEVEL DEMOLITION PLAN FIRST LEVEL DEMOLITION PLAN
A2.3	PROPOSED GROUND LEVEL PLAN PROPOSED FIRST LEVEL PLAN
A3.1	EXTERIOR ELEVATIONS
ZONING NOTES	
PROJECT LOCATION:	921 MINNESOTA STREET SAN FRANCISCO, CALIFORNIA
BLOCK / LOT:	4107 / 020
ZONING DISTRICT:	RH-3
PROPOSED USE:	RESIDENTIAL DWELLING
BUILDING HEIGHT:	40'-0" MAXIMUM
BUILDING DEPT. NOTES	
2007 SAN FRANCISCO BUILDING CODE. TWO STORY BUILDING CONSTRUCTION TYPE: TYPE V, NON-RATED TYP. EXCEPT 1 HR. CONSTRUCTION BETWEEN DWELLING AND GARAGE OCCUPANCY CLASSIFICATION: GROUP R3	
GENERAL NOTES	
1. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH 2007 S.F.B.C. AND ALL APPLICABLE BUILDING CODES. 2. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, U.O.N. 3. DRAWINGS ARE NOT TO BE SCALED. 4. ALL CONSTRUCTION SHALL BE NON-RATED THROUGHOUT EXCEPT AS NOTED.	

Issued/Date	04-13-09
	06-29-09
SHAWN GORMAN, ARCHITECT 366 Pennsylvania Ave. S.F., CA. 94107 Phone / Fax: 415-642-0993	
921 MINNESOTA STREET SAN FRANCISCO, CA.	
SITE PLANS AND NOTES	
	03-20-09
	AS NOTED
	SG
	07-010
SHEET	A1.1
OF	

MINNESOTA STREET

EXISTING SIDEWALK



PROPOSED PLOT PLAN

SCALE : 1/4" = 1'-0"



REF. NORTH

Issued/Date

SHAWN GORMAN, ARCHITECT
366 Pennsylvania Ave. S.F., CA. 94107
Phone / Fax: 415-642-0993

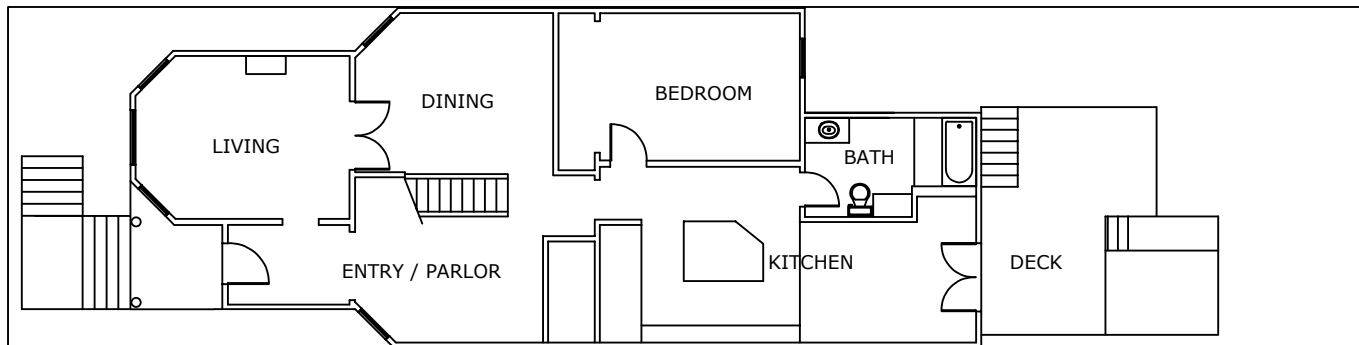
921 MINNESOTA STREET
SAN FRANCISCO, CA.

PROPOSED PLOT PLAN

07-29-09
AS NOTED
SG
07-010

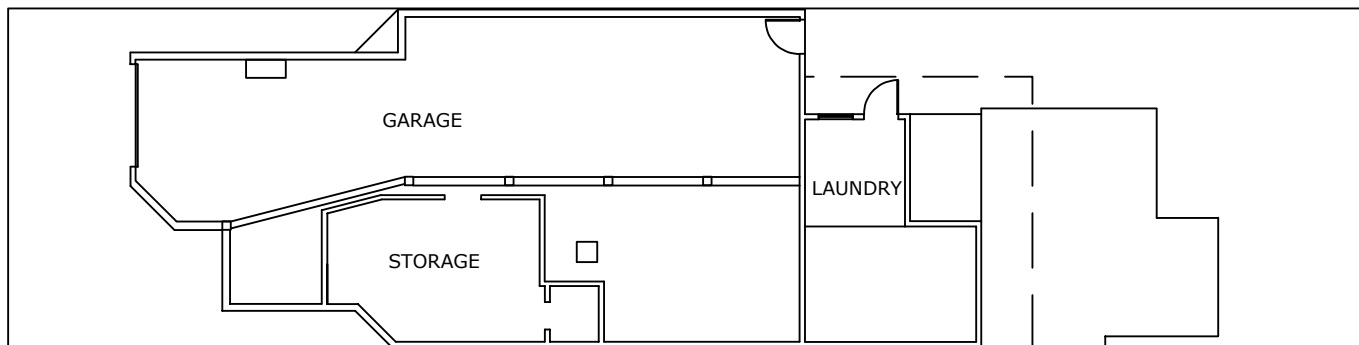
SHEET

A1.2
OF



EXISTING FIRST LEVEL PLAN

SCALE : 1/4" = 1'-0"



EXISTING GROUND LEVEL PLAN

SCALE : 1/4" = 1'-0"



WALL LEGEND

EXISTING WALLS

Issued/Date
04-13-09
06-29-09

SHAWN GORMAN, ARCHITECT
366 Pennsylvania Ave. S.F., CA. 94107
Phone / Fax: 415-642-0993

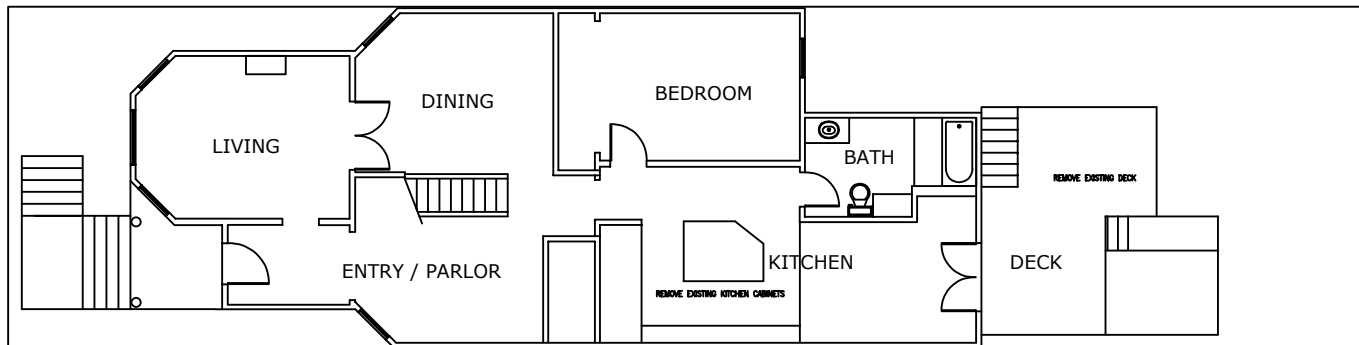
921 MINNESOTA STREET
SAN FRANCISCO, CA.

EXISTING PLANS

03-20-09
AS NOTED
SG
07-010

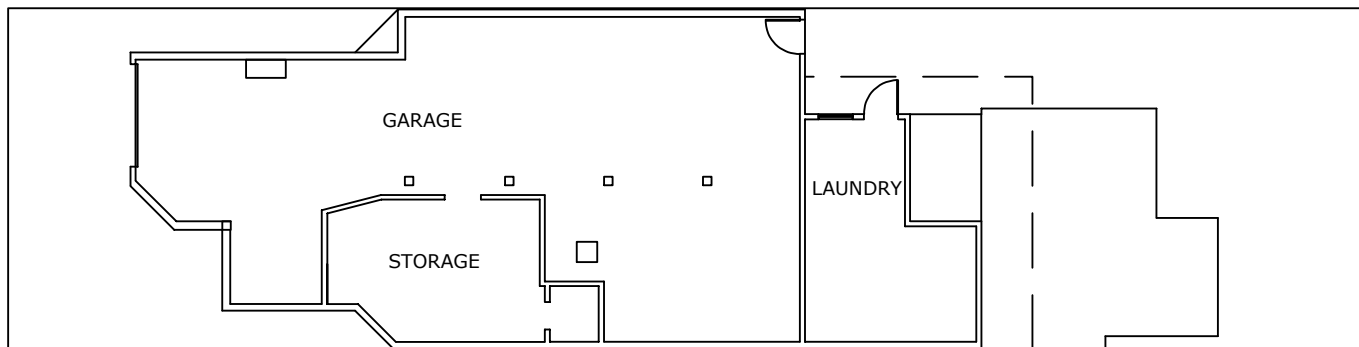
SHEET

A2.1
OF



FIRST LEVEL DEMOLITION PLAN

SCALE : 1/4" = 1'-0"



GROUND LEVEL DEMOLITION PLAN

SCALE : 1/4" = 1'-0"



WALL LEGEND

	EXISTING WALLS
	NEW WALLS
	REMOVED WALLS

Issued/Date
04-13-09
06-29-09

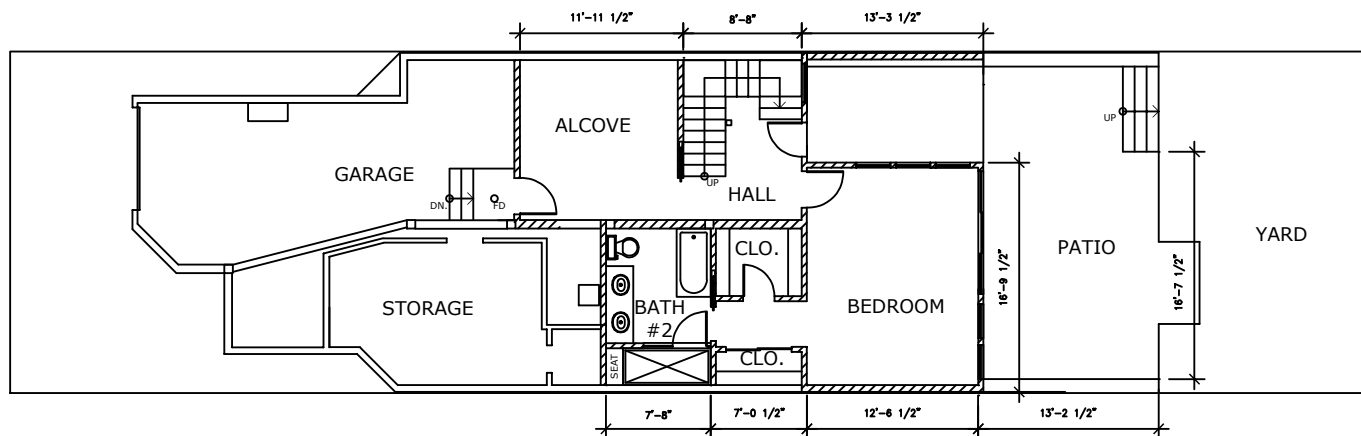
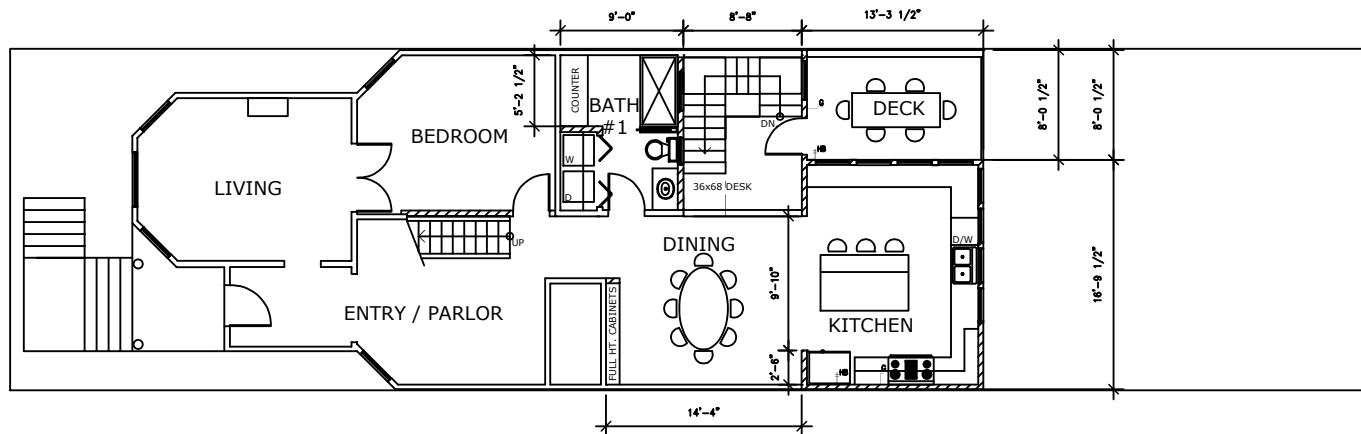
SHAWN GORMAN, ARCHITECT
366 Pennsylvania Ave. S.F., CA. 94107
Phone / Fax: 415-642-0993

921 MINNESOTA STREET
SAN FRANCISCO, CA.

DEMOLITION PLANS

DATE	03-20-09
REVISION	AS NOTED
REVISION	SG
REVISION	07-010

SHEET
A2.2
OF



WALL LEGEND

	EXISTING WALLS
	NEW WALLS
	REMOVED WALLS

PLUMBING LEGEND

	GAS VALVE
	NOSE DRIP

Issued/Date
04-13-09
07-29-09

SHAWN GORMAN, ARCHITECT
366 Pennsylvania Ave. S.F., CA. 94107
Phone / Fax: 415-642-0993

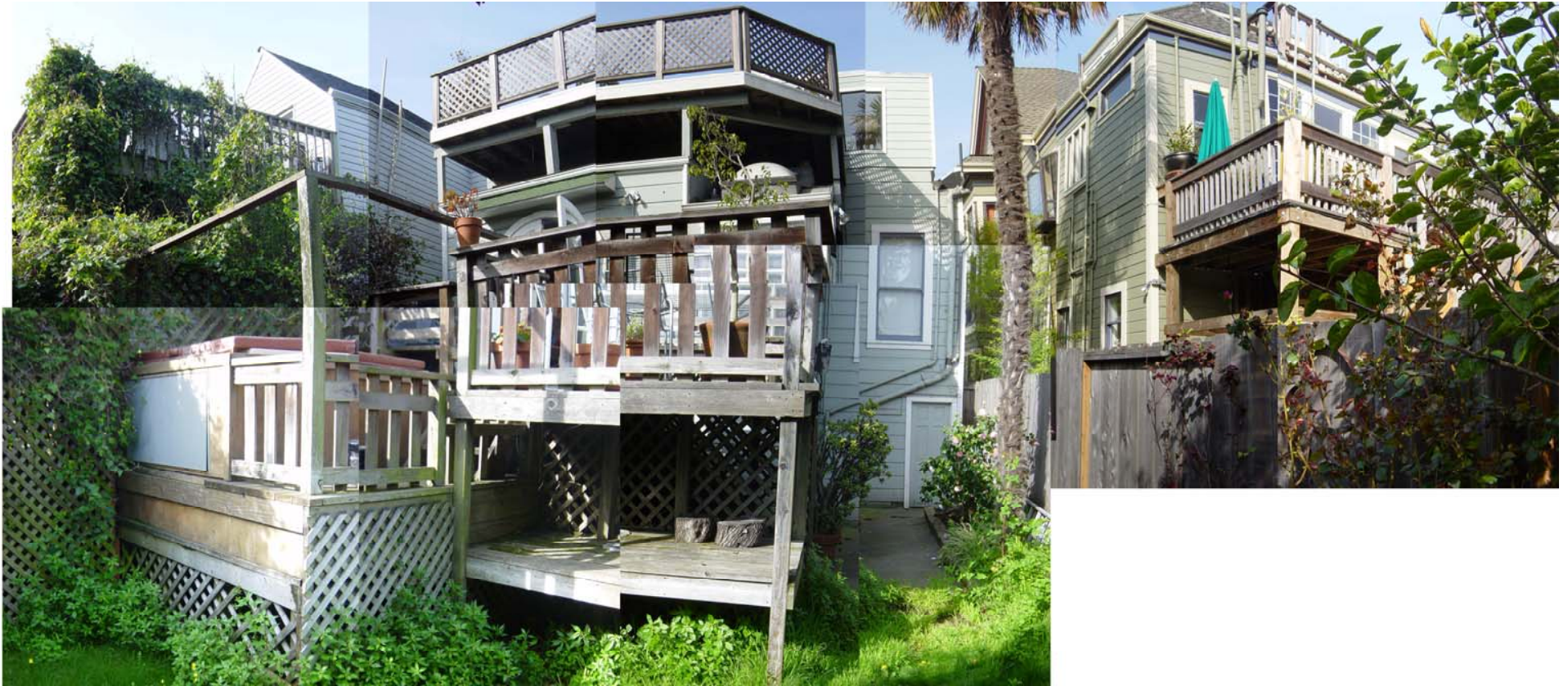
921 MINNESOTA STREET
SAN FRANCISCO, CA.

PROPOSED PLANS

03-20-09
AS NOTED
SG
07-010

SHEET

A2.3
OF



▲
921 Minnesota St – Rear View – East Elevation



917



923

921 MINNESOTA ST
(EAST BLOCK FACE)