



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 22, 2014**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 104 Retiro Way	Case No.: 2013.1739V
Cross Street(s): Casa Way / Fillmore St.	Building Permit: 2013.11.26.2917
Block /Lot No.: 0438A / 031A	Applicant (agent): Lorin Hill
Zoning District(s): RH-3 / 40-X	Telephone: (510) 654-2552
Area Plan: N/A	E-Mail: Lhill@hillarch.com

PROJECT DESCRIPTION

The proposal is to construct an approximately 400 square-foot vertical addition (with roof terrace above) to the existing three-story, single family dwelling. The proposed vertical addition will be set back approximately 26 feet 6 inches from the front property line (inclusive of a 10-foot legislative front setback) and approximately 8 feet from the rear property line. The proposal includes interior renovations, removal of existing exterior stairs located within the rear yard, and construction of new interior stairs located within the existing building envelope that are not the subject of this variance.

PER SECTION 134 OF THE PLANNING CODE, requires the subject property to maintain a 15-foot deep rear yard. A portion of the proposed vertical addition will extend approximately 5 feet into the required rear yard; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2013.1739V.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: sharon.m.young@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010



Variance Submittal

Minick Residence Additions & Renovations

104 Retiro Way San Francisco, CA 94123

PROJECT DIRECTORY

Owners:
 Elizabeth & Jeffrey Minick
 104 Retiro Way
 San Francisco, CA 94123
 H: 415.409.1802

Architect:
 Lorin Hill Architect
 6573 Shattuck Avenue
 Oakland, CA 94609
 O: 510.654.2552
 F: 510.654.2555

Contractor:
 To Be Determined

Structural Engineer:
 SEMCO Engineering Inc.
 360 Langton Street, suite 304
 San Francisco, CA 94103
 O: 415.553.8810
 F: 415.553.8768

Energy Compliance:
 Gene Clements
 2348 McKinley Ave.
 Berkeley, CA 94703
 O: 510.549.2019

DRAWING LIST

ARCHITECTURAL	
A0.0	COVER SHEET, PROJECT DATA & MAPS
A1.1	EXISTING AND PROPOSED SITE / ROOF PLANS
A2.1	EXISTING / DEMOLITION AND PROPOSED 1ST FLOOR PLANS
A2.2	EXISTING / DEMOLITION AND PROPOSED 2ND FLOOR PLANS
A2.3	EXISTING / DEMOLITION AND PROPOSED 3RD FLOOR PLANS
A2.4	PROPOSED 4TH FLOOR PLAN AND ROOF TERRACE PLAN
A4.1	EXISTING / DEMOLITION AND PROPOSED EXTERIOR ELEVATIONS
A4.2	EXISTING / DEMOLITION AND PROPOSED EXTERIOR ELEVATIONS
A4.3	EXISTING / DEMOLITION AND PROPOSED EXTERIOR ELEVATIONS
A4.4	EXISTING / DEMOLITION AND PROPOSED EXTERIOR ELEVATIONS
A5.1	EXISTING AND PROPOSED BUILDING SECTIONS
A5.2	EXISTING AND PROPOSED BUILDING SECTIONS

ABREVIATIONS

L	ANGLE	FOC	FACE OF CONCRETE	SCHED	SCHEDULE
∅	AT	FOG	FACE OF GIRT	SECT	SECTION
ACOUS (AC)	ACOUSTICAL	FW	FACE OF WALL	SHT	SHEET
A/C	AIR CONDITIONING	FOS	FACE OF STUDS	SH	SIMILAR
ALUM (AL)	ALUMINUM	FS	FULL SIZE	SPEC	SPECIFICATION
APPROX	APPROXIMATE	FT	FOOT OR FEET	SQ	SQUARE
ARCH	ARCHITECTURAL	FTG	FOOTING	SS	SERVICE SINK
BD, (BRD)	BOARD	FURR	FURRING	SSD	SEE STRUCTURAL DWGS.
BLDG	BUILDING	GALV	GALVANIZED	SST	STAINLESS STEEL
BLK	BLOCK	GL	GLASS	STD	STANDARD
BLKG	BLOCKING	GI	GALVANIZED IRON	STL	STEEL
BM	BEAM	GSM	GALVANIZED SHEET	STOR	STORAGE
BOTT (BOT)	BOTTOM	MET	METAL	STRUCT	STRUCTURAL
C	CENTER LINE	GYP BD	GYPSPUM WALLBOARD	SUSP	SUSPENDED
CEM	CEMENT				
C.T.	CERAMIC TILE	HCP	HANDICAP	T.B.D.	TO BE DETERMINED
CLG	CEILING	HM	HOLLOW METAL	T & B	TOP AND BOTTOM
CLKG	CAULKING	HW	HARDWOOD	T & G	TONGUE AND GROOVE
CLO	CLOSET	JAN	JANITOR	THK	THICK
CLR	CLEAR	JT	JOINT	THK	THICK
COL	COLUMN	TOP	TOP OF CONCRETE	TOS	TOP OF STEEL
CONC	CONCRETE	KD	KNOCKDOWN	TYP	TYPICAL
CONN	CONNECTION	KP	KICKPLATE	TR	TREAD
CONSTR	CONSTRUCTION	LAM	LAMINATE	UON	UNLESS OTHERWISE NOTED
CONT	CONTINUOUS	LAV	LAVATORY		
CORR	CORRIDOR	LQ	LIQUID		
CTS	COUNTERSUNK	MACH	MACHINE	VERT	VERTICAL
CJ	CONTROL JOINT	MAINT	MAINTENANCE	W.P.	WATERPROOF
		MATL	MATERIAL		
		MAX	MAXIMUM		
		MECH	MECHANICAL		
		MEMB	MEMBRANE		
		MET	METAL		
		MFR (MFG)	MANUFACTURER		
		MIN	MINIMUM		
		MISC	MISCELLANEOUS		
		MO	MASONRY OPENING		
		MTD	MOUNTED		
		NIC	NOT IN CONTRACT		
		NO OR #	NUMBER		
		NTS	NOT TO SCALE		
		OA	OVERALL		
		OC	ON CENTER		
		OFF	OFFICE		
		OPNG	OPENING		
		OPP	OPPOSITE		
		PERPEN	PERPENDICULAR		
		P/C	PRECAST		
		(P.C.)	PRECAST		
		PL. P	PLATE		
		PLYWD	PLYWOOD		
		PTN	PARTITION		
		RAD	RADIUS		
		REF	REFERENCE		
		REINF	REINFORCED		
		REC	RECESSED		
		REQ'D	REQUIRED		
		RM	ROOM		
		RO	ROUGH OPENING		
		RWL	RAIN WATER LEADER		

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF:
 - 2010 SAN FRANCISCO BUILDING/ELECTRICAL/MECHANICAL/PLUMBING CODE AMENDMENTS
 - 2010 CALIFORNIA BUILDING CODE
 - 2010 CALIFORNIA ELECTRICAL CODE
 - 2010 CALIFORNIA ENERGY CODE
 - 2010 CALIFORNIA PLUMBING CODE
 - 2010 CALIFORNIA MECHANICAL CODE
- REGARDLESS OF WHAT IS SHOWN OR NOT ON THESE DRAWINGS, ALL WORK SHALL COMPLY WITH THE FOLLOWING CALIFORNIA ADMINISTRATIVE CODES:
 - TITLE 19 PUBLIC SAFETY
 - TITLE 24 BUILDING STANDARDS
 - CALIFORNIA CONSTRUCTION SAFETY ORDERS
 - LIFE SAFETY CODE
- THE CONTRACTOR SHALL COMPLY WITH ANY OTHER APPLICABLE STATE OR LOCAL ORDINANCES. IN THE EVENT OF ANY CONFLICT THE MORE STRINGENT PROVISIONS SHALL APPLY.
- ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. DO NOT PROCEED ON ASSUMPTIONS.
- THESE DRAWINGS MAY NOT BE TO SCALE AND ARE FOR ILLUSTRATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD. EACH SUBCONTRACTOR SHALL MAKE MEASUREMENTS PERTAINING TO HIS/HER RESPECTIVE WORK AND SHALL BE RESPONSIBLE FOR THE ACCURACY.
- DETAILS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC SCALE SHOWN ON THE DRAWINGS. DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL VERIFY THE ROUGH-IN DIMENSIONS FOR DOORS, WINDOWS, FIXTURES AND EQUIPMENT FROM THE MFR'S INSTALLATION DATA PRIOR TO STARTING LAYOUT IN AREAS WHERE SUCH ITEMS OCCUR. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO INSTALLATION.
- ALL BUILDING SYSTEMS AND ASSEMBLIES SHALL BE COMPLETE AND OPERATIVE THOUGH NOT FULLY DESCRIBED IN THESE DOCUMENTS. ALL CONSTRUCTION SHALL BE WATERTIGHT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE VARIOUS BUILDING TRADES AND FOR COORDINATING BETWEEN THE VARIOUS CONSTRUCTION DOCUMENTS AS NECESSARY IN SETTING OUT ALL BUILDING LINES AND DETAILS.
- THE OWNER SHALL PAY FOR THE GENERAL BUILDING PERMIT. THE CONTRACTOR SHALL PAY FOR SUBTRADE PERMITS AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL TRASH, WASTE, RUBBISH AND DEBRIS RESULTING FROM THE WORK AT REGULAR INTERVALS DURING THE COURSE OF THE WORK. ALL SUCH WASTE SHALL BE LEGALLY DISPOSED OF OFF-SITE. PATCH DAMAGED FINISHES AS REQUIRED.
- SECURITY OF THE WORK SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING THE WORK DAY. THE WORK SITE SHALL BE SECURED AGAINST ENTRY DURING NON-WORK HOURS.
- THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY FACILITIES AS REQUIRED TO PROPERLY AND SAFELY EXECUTE THE WORK. SUCH FACILITIES SHALL INCLUDE BUT ARE NOT NECESSARILY LIMITED TO, SHORING, BRACING, SCAFFOLDING, BARRIERS AND TEMPORARY UTILITIES. THE CONTRACTOR SHALL MAINTAIN ONE EXISTING TOILET OPERABLE THROUGHOUT THE COURSE OF THE JOB.
- ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, AND TRUE.
- UNLESS OTHERWISE NOTED ALL CONNECTIONS AND FASTENERS SHALL BE CONCEALED. THE USE OF EXPOSED FASTENERS SHALL BE APPROVED BY THE DESIGNER. ALL EXTERIOR FASTENERS SHALL BE STAINLESS STEEL OR HOT DIP GALVANIZED.
- ANY OPENINGS LEFT IN FLOORS OR CEILINGS SHALL BE PROTECTED FOR THE SAFETY OF THOSE WORKING ON SITE AND OTHERS.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- ANY WORK INTERFACING WITH CITY PROPERTY OR CITY SERVICES SHALL BE PERFORMED PER CITY STANDARDS.
- SUBMIT SHOP DRAWINGS AND MANUFACTURER'S DATA FOR APPROVAL BY ARCHITECT FOR: CASEWORK, COUNTERS, APPLIANCES, LIGHTING FIXTURES, PLUMBING FIXTURES.

PROJECT DATA

PROJECT DESCRIPTION:
 Consists of several areas of improvement:
First Floor
 - Foundation replacement and ground floor build-out to habitable space / outdoor stair enclosure.
 - Ground floor area will be reconfigured to a den/recreation room and a reduced parking space.
Second Floor
 - A new exterior stair from the kitchen provides access to the ground level.
Third Floor
 - A bathroom remodel with the existing footprint of the bathroom containing a new layout.
 - A new stairway will be extended from the existing stairs up to the new fourth floor addition.
Fourth Floor
 - A new vertical addition: master suite with small terrace
Roof Top Terrace
 - A stairway will be extended up to the roof of the fourth floor via a minimal sloped-roof penthouse volume providing access to a rooftop terrace covering much of the roof but not extending to the front of the house.

PROJECT ADDRESS: 104 RETIRO WAY
 SAN FRANCISCO, CA 94123

ASSESSOR'S PARCEL NUMBER: BLOCK 0438A LOT 031A

ZONING: RH-3

HEIGHT & BULK DISTRICT: 40-X

FRONT SETBACK: 10 FT. - LEGISLATIVE

REAR YARD SETBACK: 15 FT. MINIMUM, GRANFATHERED ENCROACHMENT BASED ON AVG. DEPTH = +/- 6'-6"

OCCUPANCY GROUP: R-3

USE: DWELLING

TYPE OF CONSTRUCTION: V-B

STORIES: EXISTING TWO (2) ABOVE GARAGE

LOT AREA: 1,389 SF

REFERENCE SHEET A1.1 FOR PROJECT DATA SQUARE FOOTAGE CALCULATIONS.

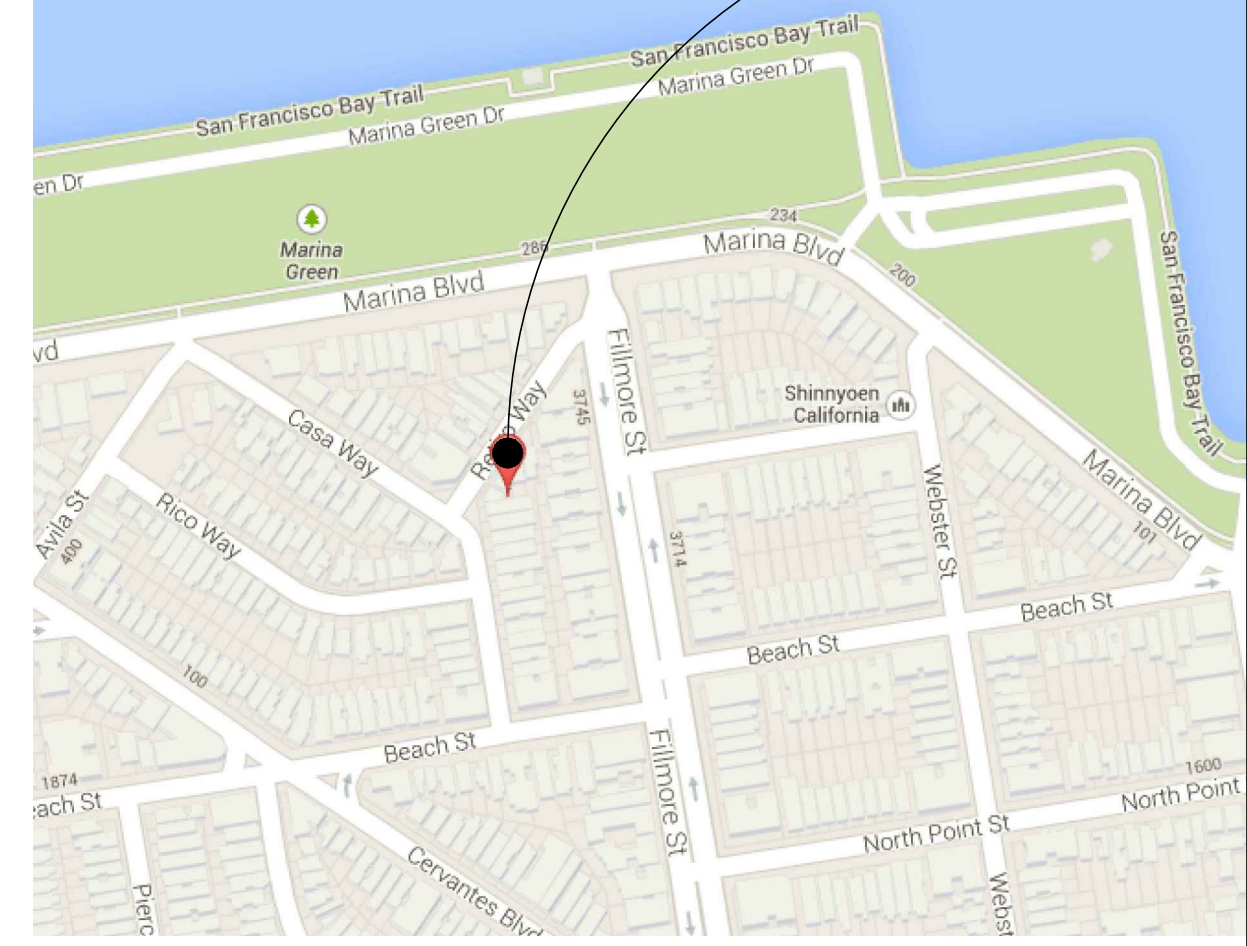
FIRE SPRINKLERS

LICENSED C-16 DESIGN-BUILD SPRINKLER CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM UNDER SEPERATE PERMIT.

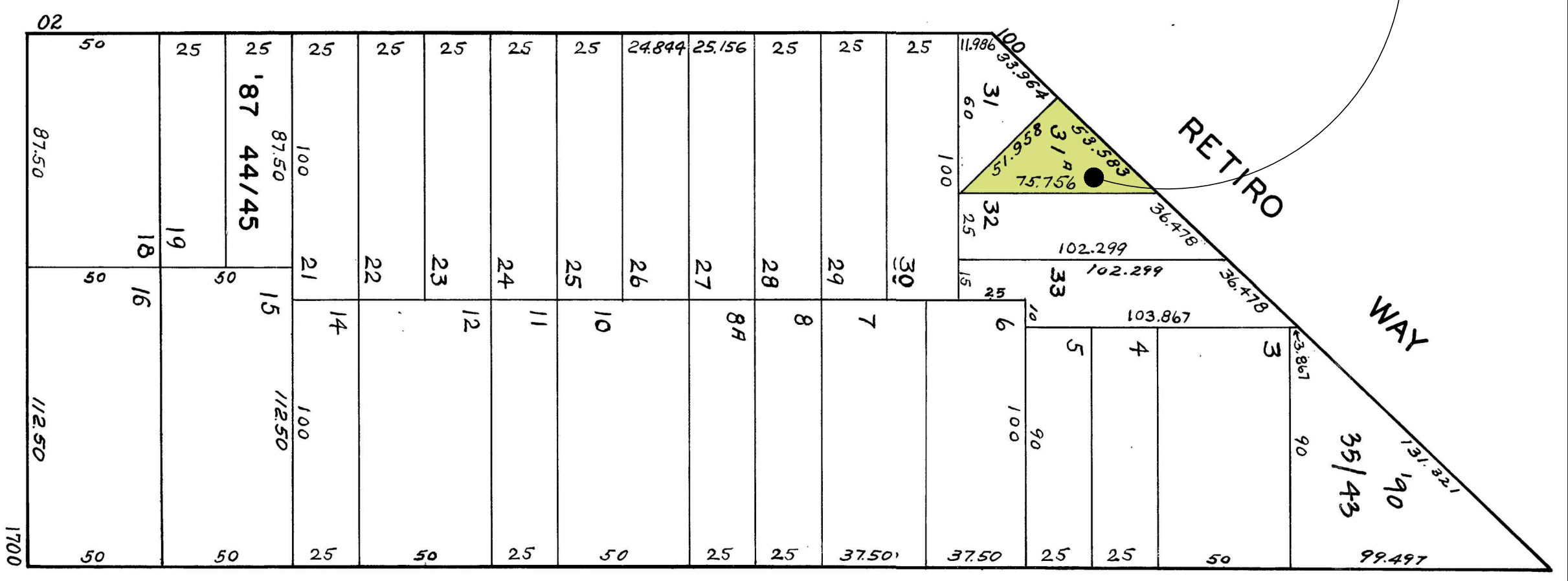
NOTES:

- FULL AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED THROUGHOUT PER THE NOTE ON LINE 16 OF THE FORM III APPLICATION.
- ALL PROPOSED NEW DOORS WILL MEET THE REQUIREMENT OF SFBC SECTION 1008.1.4.
- ALL ROOMS USED FOR SLEEPING PURPOSES WILL MEET THE REQUIREMENTS OF SFBC SECTION 1026.
- THE GARAGE SHALL BE SEPARATED FROM THE LIVING SPACE PER THE REQUIREMENTS OF SFBC SECTION 406.1.4.

VICINITY MAP

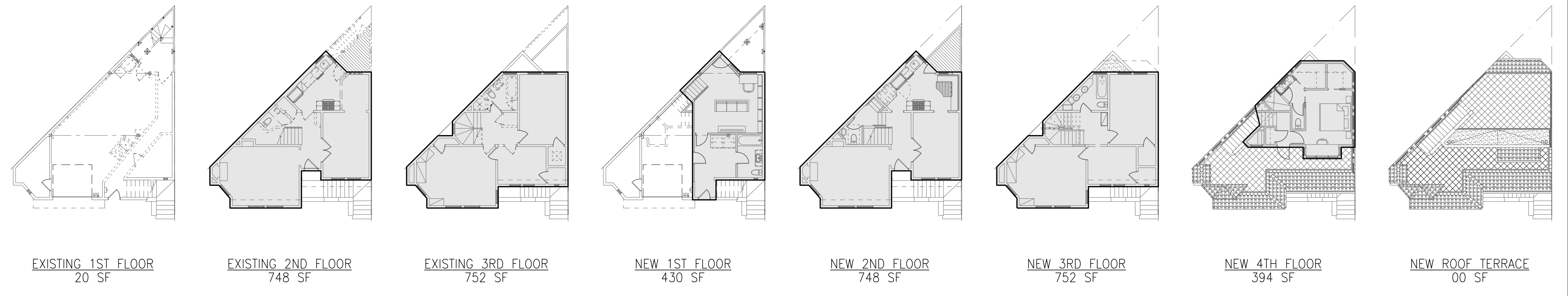
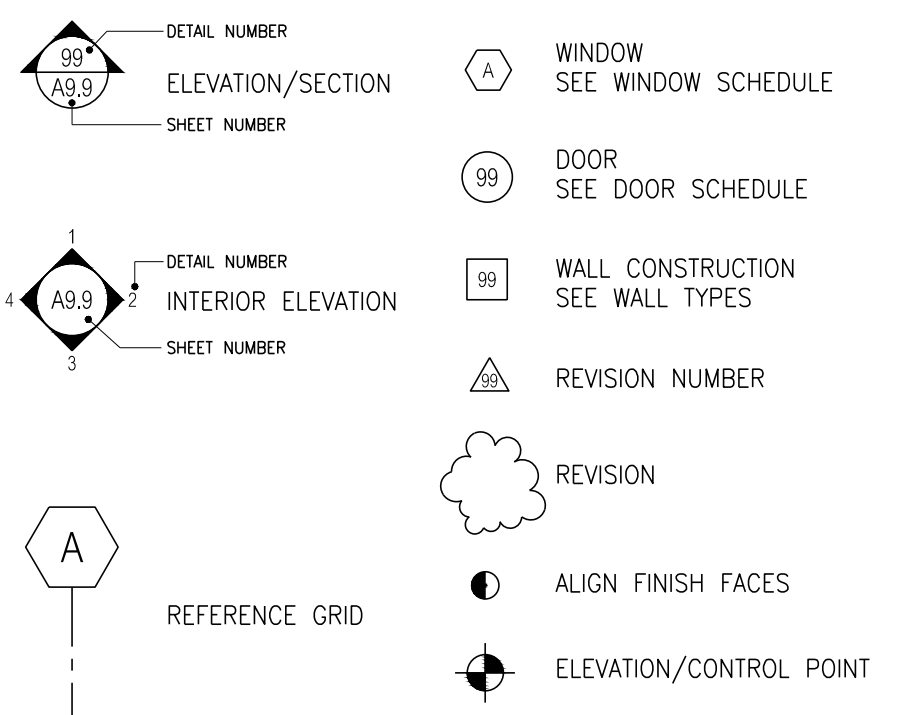


PARCEL MAP

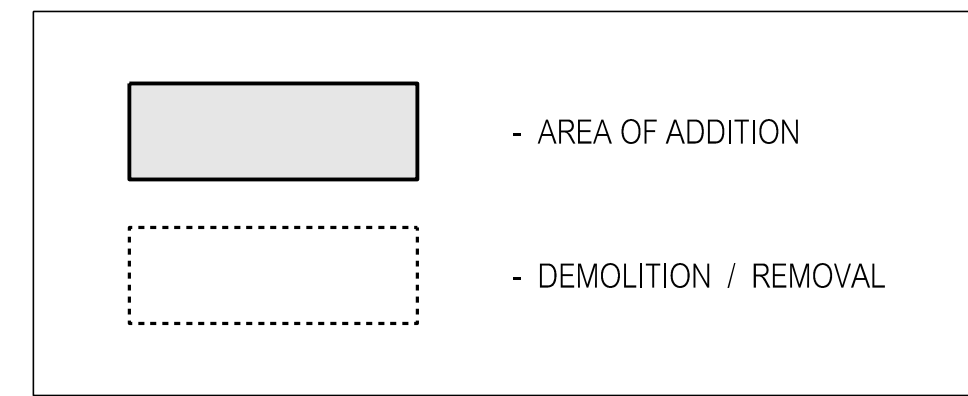


AREA DIAGRAMS

SYMBOLS

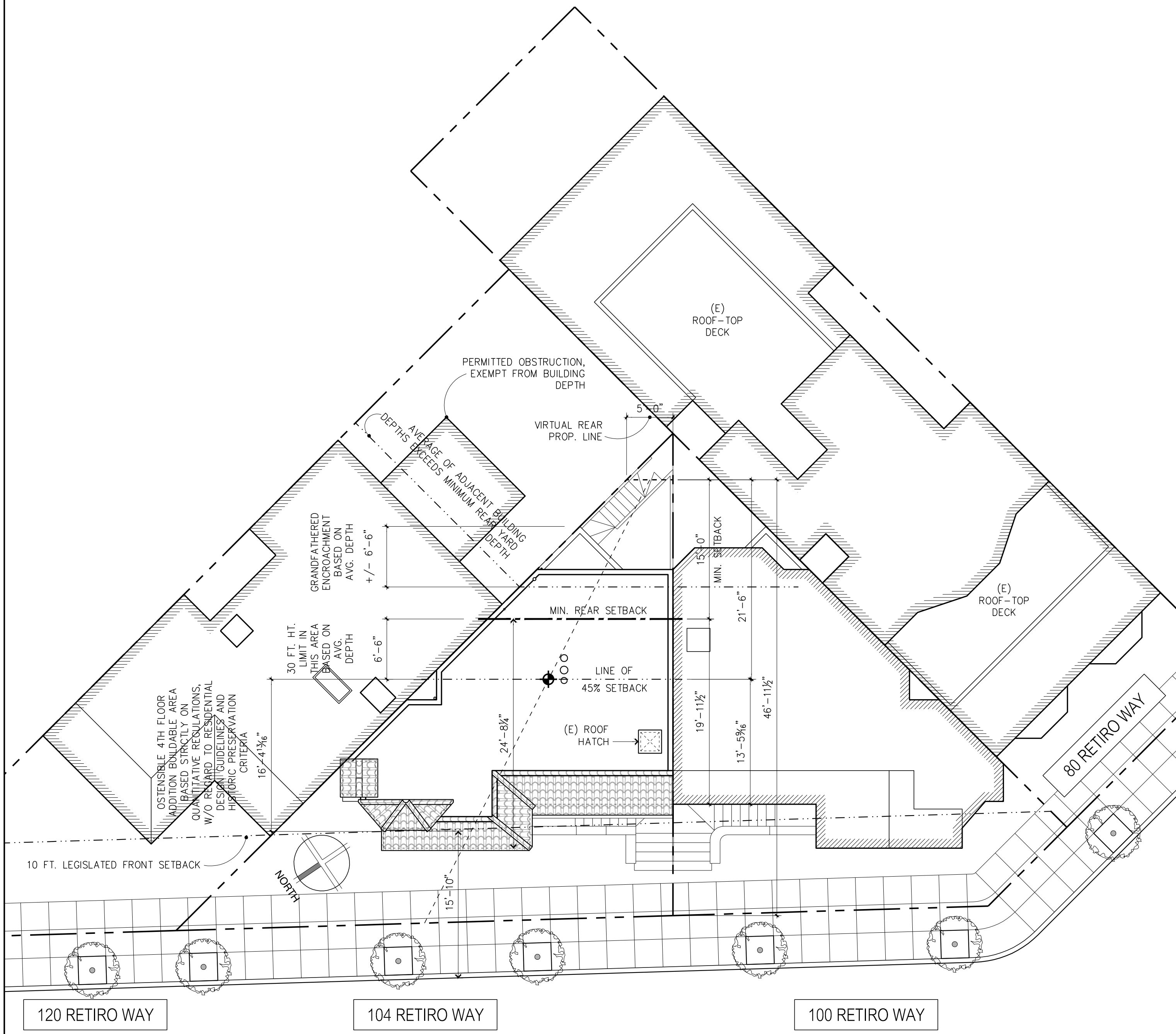


LEGEND:

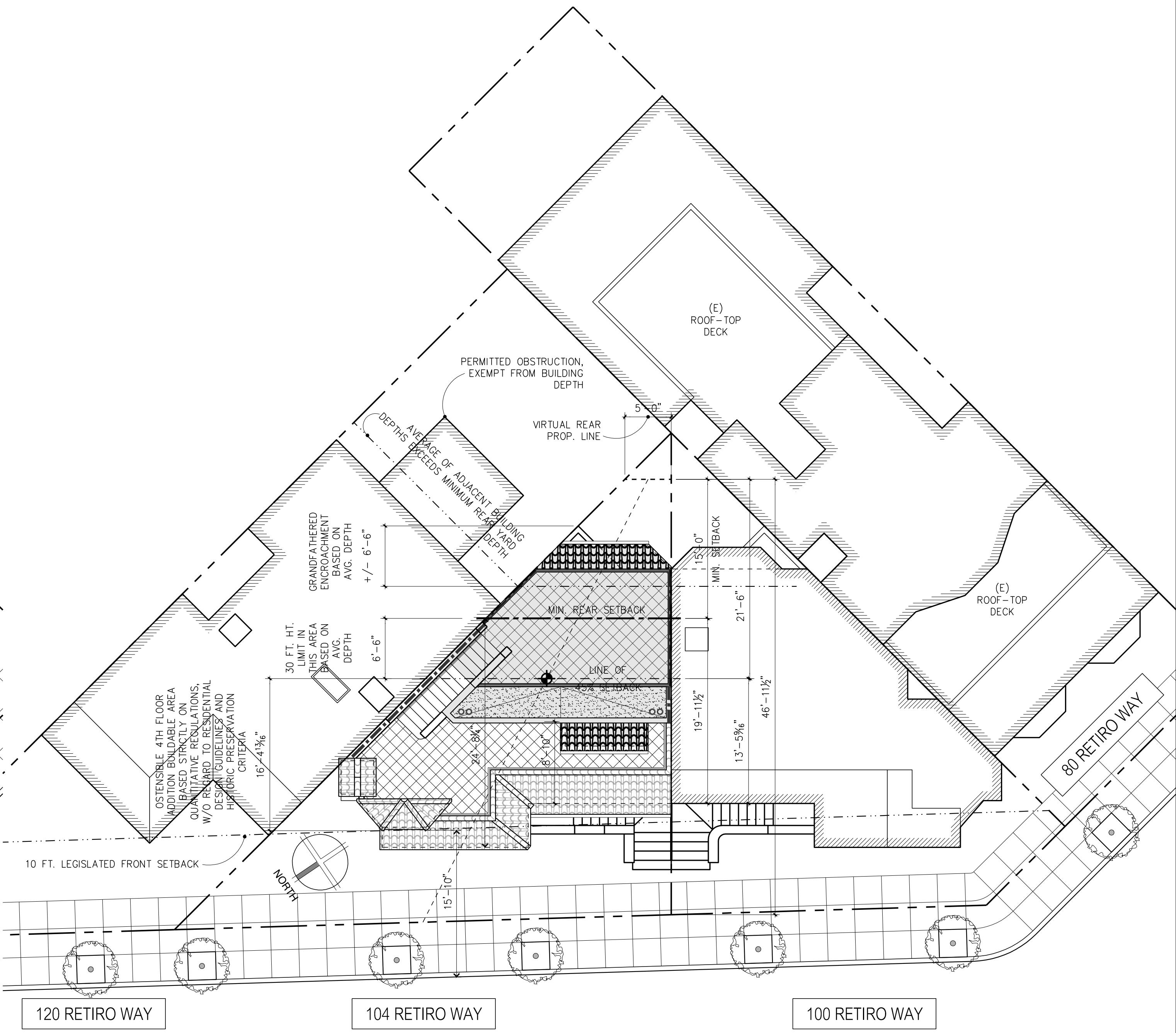


PROJECT DATA:

	EXISTING	PROPOSED	PERMITTED
NUMBER OF DWELLING UNITS	ONE (1)	ONE (1)	THREE (3)
BUILDING SQUARE FOOTAGE	1ST FLOOR 20 SF 2ND FLOOR 748 SF 3RD FLOOR 752 SF TOTAL 1,520 SF	1ST FLOOR 430 SF 2ND FLOOR 748 SF 3RD FLOOR 752 SF 4TH FLOOR 394 SF TOTAL 2,324 SF	1ST FLOOR 748 SF 2ND FLOOR 748 SF 3RD FLOOR 752 SF 4TH FLOOR 662 SF TOTAL 2,910 SF
NUMBER OF STORIES	THREE (3)	FOUR (4)	FOUR (4)
BUILDING HEIGHT	30' - 7 1/2"	38' - 2 3/4"	40' - 0"
BUILDING DEPTH	34' - 8"	36' - 5 3/4"	24' - 8 1/2" (REAR SETBACK)



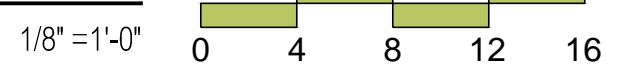
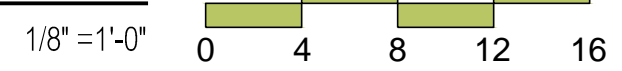
EXISTING SITE / ROOF PLAN



PROPOSED SITE / ROOF PLAN

1

2



- Print Date:
- 10 . 09 . 2013 NEIGHBORHOOD PRE-APPLICATION MEETING
 - 11 . 26 . 2013 VARIANCE SUBMITTAL
 - 07 . 22 . 2014 VARIANCE SUBMITTAL REVISIONS
 - 09 . 12 . 2014 REVISED VARIANCE SUBMITTAL REVISIONS

drawing title:
Site Plans

by:
 ASQ
 date:
 07 . 09 . 2013
 scale:
 1/8"=1'-0"
 sheet no.:



Print Date:
10.09.2013
NEIGHBORHOOD
PRE-APPLICATION
MEETING
11.26.2013
VARIANCE
SUBMITTAL
07.22.2014
VARIANCE
SUBMITTAL
REVISIONS
09.12.2014
REVISED VARIANCE
SUBMITTAL
REVISIONS

drawing title:
Existing / Demo.
and Proposed
First Floor
Plans

by:
ASQ
date:
09.11.2013
scale:
1/4"=1'-0"
sheet no.:

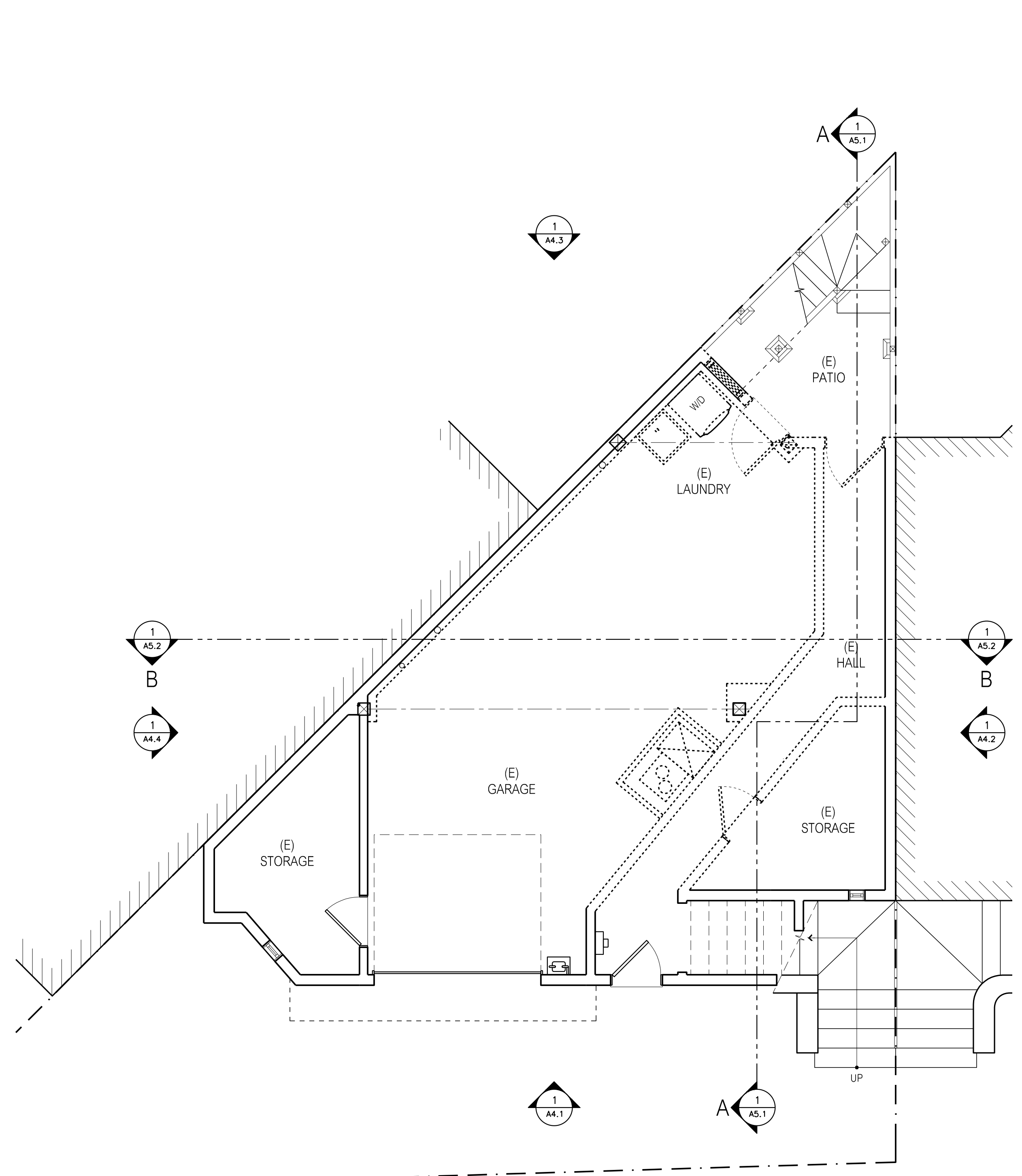
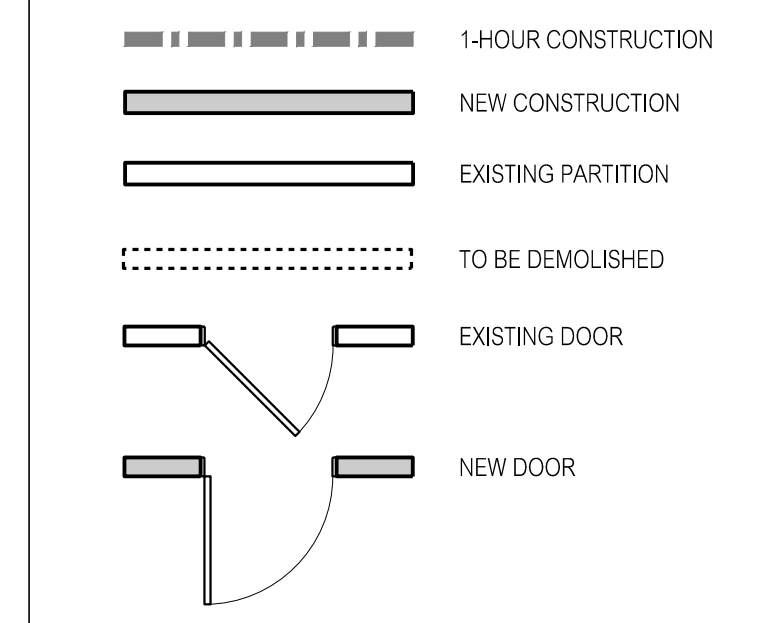
SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED (U.O.N.)
2. SEE STRUCTURAL DRAWINGS FOR PROPOSED SHEAR WALL LOCATIONS. (PATCH AND FILL TO MATCH EXISTING AT EXISTING WALLS AS REQUIRED)
3. ALL INTERIOR WALL PARTITIONS ARE 2x4 WOOD STUDS WITH 1/2" GYP. BD. EA. SIDE U.O.N.. PLUMBING WALLS ARE 2x6 STUDS. U.O.N.
4. ALL EXTERIOR WALL PARTITIONS ARE 2x6 WOOD STUDS WITH 1/2" GYP. BD. AT INTERIOR SIDE U.O.N. AND 3 LAYERS INTEGRAL COLOR CEMENT PLASTER o/ METAL LATH o/ 2 LAYERS GRADE 7 BUILDING PAPER o/ PLYWOOD SHEATHING (S.S.D.) UNLESS OTHERWISE NOTED.

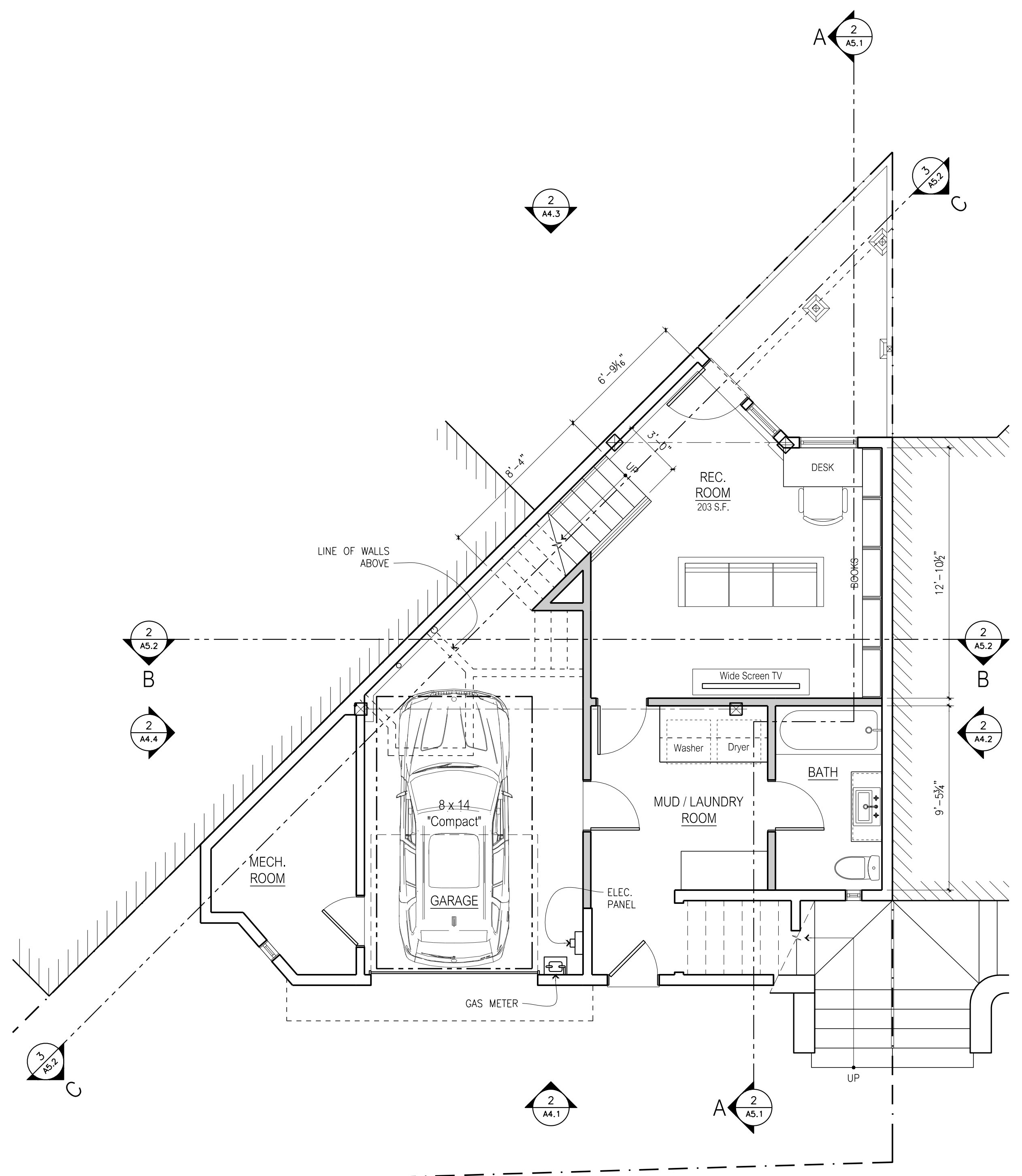
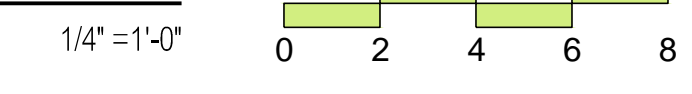
KEY NOTES:

1. PROVIDE 3/8" W.P. GYP. IN WET AREAS
2. PROVIDE CERAMIC TILE 84" A.F.F. MIN. IN SHOWER STALL, SEE DTL. 3/A7.1
3. FOR TOILET CLEARANCES, SEE DETAIL 1/A7.1
4. TEMPERED GLASS SHOWER ENCLOSURE AND DOOR
5. 20 MINUTE DOOR, PROVIDE SELF CLOSING HINGES, WEATHER STRIPPING AND THRESHOLD
6. STAIRS AND HANDRAILS PER IBC/CBC SECTION 1003.3.
7. EGRESS WINDOW/DOOR SEE DETAIL 2/A7.1
8. NEW INTERIOR WALL, TYP., SEE SHEET NOTES
9. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF 3/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AT WALLS, PROVIDE 3/8" TYPE 'X' GYP. AT CEILINGS AND UNDERSTAIRS.
10. FOR ALL OPEN GUARDRAILS MUST BE +42" A.F.F., ENSURE SPACING OF MEMBERS TO PREVENT PASSAGE OF 4" SPHERE. SEE IBC/CBC SECTION 509.
11. LINE OF ROOF ABOVE
12. LINE OF WALL ABOVE
13. LINE OF WALL BELOW
14. GAS-FUELED FIREPLACE WITH NON-COMBUSTIBLE HEARTH PER MFR. REQS., SEE M.E.P. PLANS
15. TERRA COTTA PAVERS o/ MORTAR BED o/ W.P. MEMBRANE o/ SLOPING STRUCTURE, S.S.D., TYP.
16. BALCONY / DECK W/ REDWOOD DECKING W/ CONCEALED FASTENERS & IRON RAILING, S.S.D.
17. BUILT-IN CASEWORK, TYP.
18. BUILT-IN BANQUETTE SEATING, TYP.
19. PARTIAL HEIGHT WALL W/ TERRA COTTA CAP, TYP.
20. BEAM ABOVE, S.S.D., TYP.
21. BUILT-IN RECESSED SOAP/SHAMPOO NICHE, TYP.
22. (E) STAIRS, REMOVE (E) PAVERS DOWN TO SUBFLOOR, REPAIR WATER DAMAGE, PROVIDE (N) WATERPROOFING & TERRA COTTA TREADS/PAVERS o/ MORTAR, ALSO REPAIR WATER DAMAGE TO ADJACENT PLASTER STAIR WALL, TYP.
23. LINE OF COFFERED CEILING ABOVE, TYP.
24. 6-FOOT HIGH REDWOOD FENCE, TYP.
25. HANRAIL ANCHOR TO WALL +36" A.F.F., SEE DETAIL ON A7.1
26. 2X6 STUD FRAMING AT 16" O.C.
27. 2X8 STUD FRAMING AT 16" O.C.
28. 2X10 STUD FRAMING AT 16" O.C.

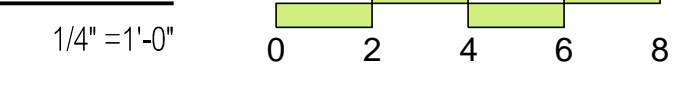
WALL / DOOR LEGEND:



EXISTING / DEMO. 1ST FLOOR PLAN



PROPOSED 1ST FLOOR PLAN





Print Date:
10 . 09 . 2013
NEIGHBORHOOD
PRE-APPLICATION
MEETING
11 . 26 . 2013
VARIANCE
SUBMITTAL
07 . 22 . 2014
VARIANCE
SUBMITTAL
REVISIONS
09 . 12 . 2014
REVISED VARIANCE
SUBMITTAL
REVISIONS

drawing title:
Existing / Demo.
and Proposed
Second Floor
Plans

by:
ASQ
date:
09 . 11 . 2013
scale:
1/4"=1'-0"
sheet no.:

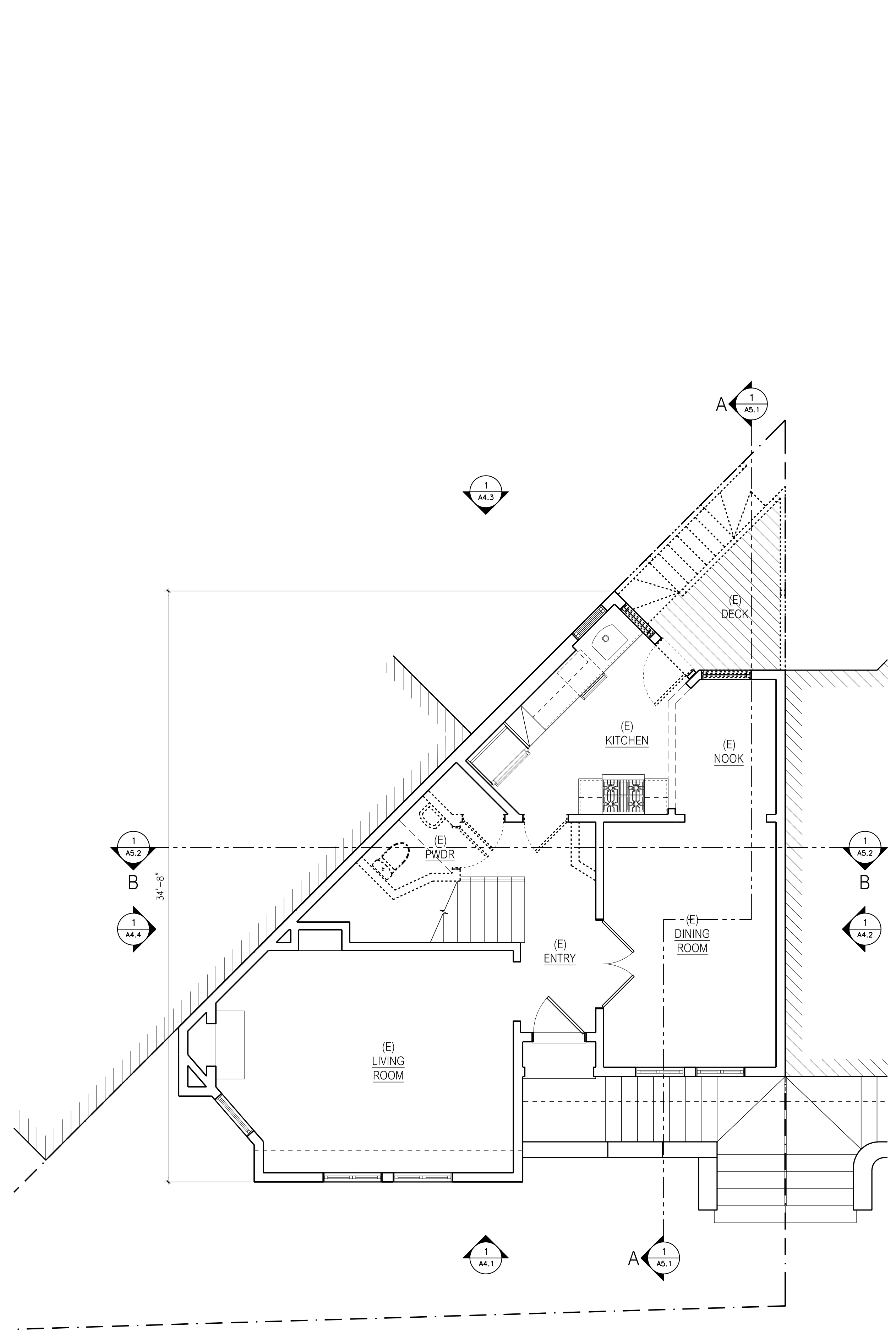
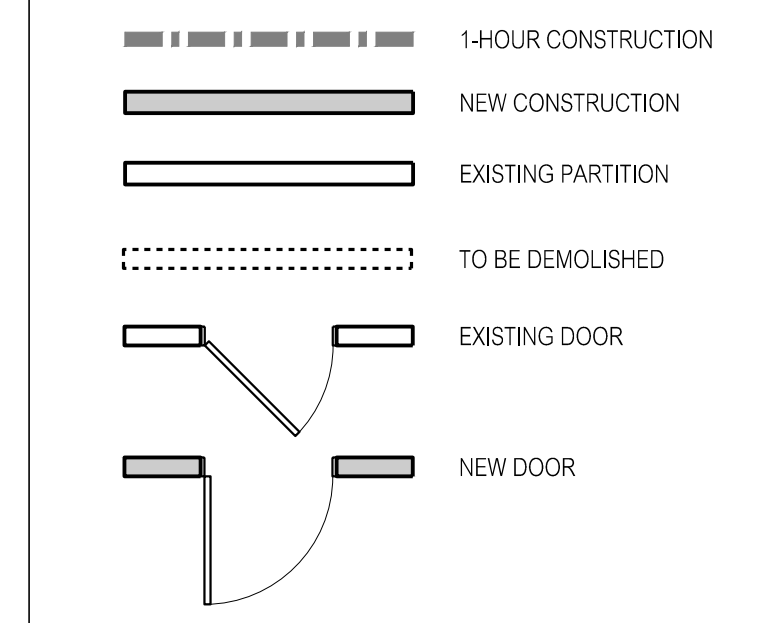
SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED (U.O.N.)
2. SEE STRUCTURAL DRAWINGS FOR PROPOSED SHEAR WALL LOCATIONS. (PATCH AND FILL TO MATCH EXISTING AT EXISTING WALLS AS REQUIRED)
3. ALL INTERIOR WALL PARTITIONS ARE 2x4 WOOD STUDS WITH 1/2" GYP. BD. EA. SIDE U.O.N.. PLUMBING WALLS ARE 2x6 STUDS. U.O.N.
4. ALL EXTERIOR WALL PARTITIONS ARE 2x6 WOOD STUDS WITH 1/2" GYP. BD. AT INTERIOR SIDE U.O.N. AND 3 LAYERS INTEGRAL COLOR CEMENT PLASTER o/ METAL LATH o/ 2 LAYERS GRADE D BUILDING PAPER o/ PLYWOOD SHEATHING (S.S.D.) UNLESS OTHERWISE NOTED.

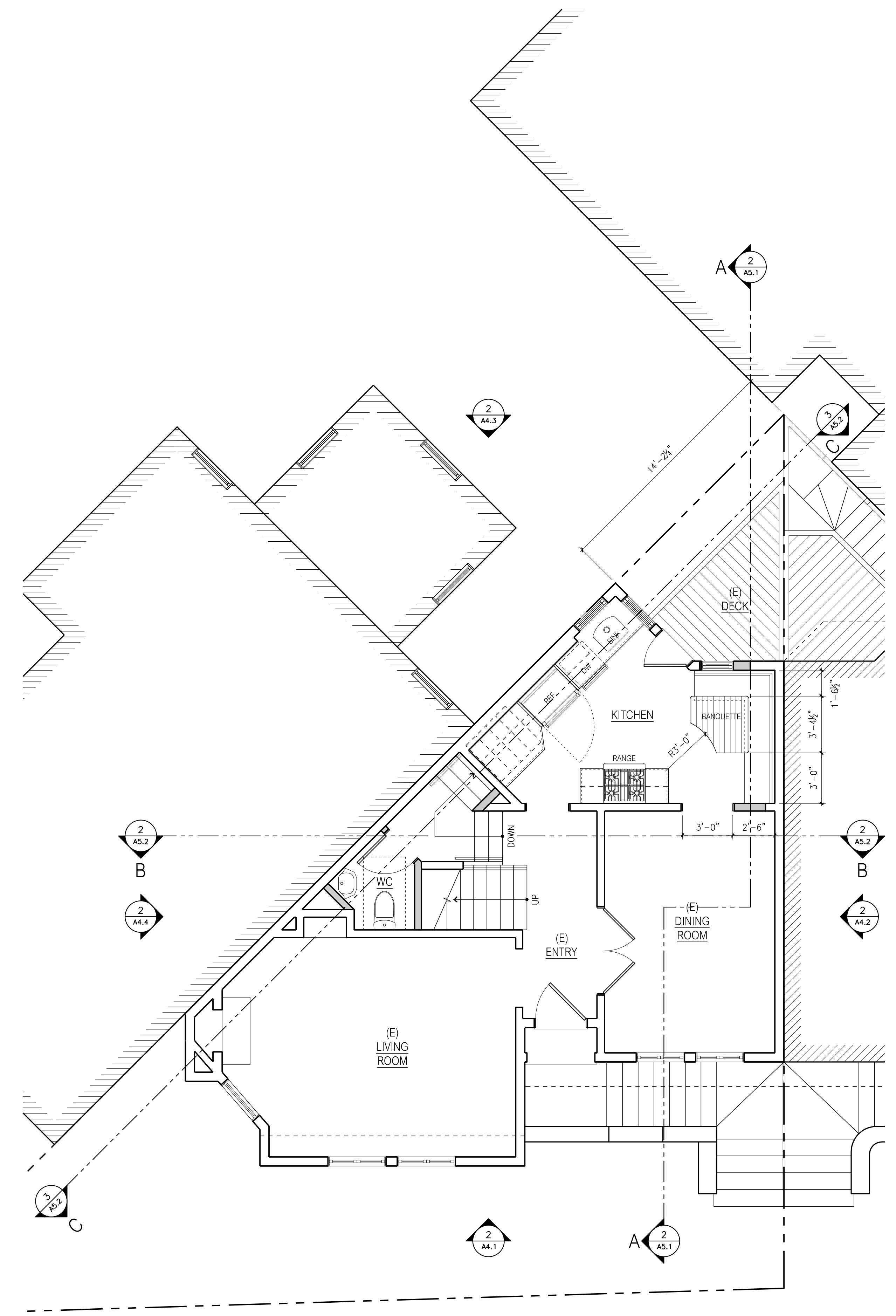
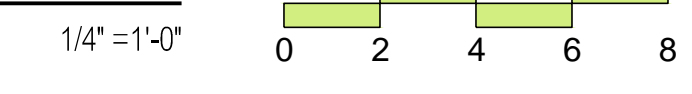
KEY NOTES:

- 1 PROVIDE 1/2" W.P. GYP. IN WET AREAS
- 2 PROVIDE CERAMIC TILE 84" A.F.F. MIN. IN SHOWER STALL, SEE DTL. 3/A7.1
- 3 FOR TOILET CLEARANCES, SEE DETAIL 1/A7.1
- 4 TEMPERED GLASS SHOWER ENCLOSURE AND DOOR
- 5 20 MINUTE DOOR, PROVIDE SELF CLOSING HINGES, WEATHER STRIPPING AND THRESHOLD
- 6 STAIRS AND HANDRAILS PER IBC/CBC SECTION 1003.3.
- 7 EGRESS WINDOW/DOOR SEE DETAIL 2/A7.1
- 8 NEW INTERIOR WALL, TYP., SEE SHEET NOTES
- 9 THE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AT WALLS, PROVIDE 1/2" TYPE 'X' GYP. AT CEILINGS AND UNDERSTAIRS.
- 10 FOR ALL OPEN GUARDRAILS MUST BE +42" A.F.F., ENSURE SPACING OF MEMBERS TO PREVENT PASSAGE OF 4" SPHERE. SEE IBC/CBC SECTION 509.
- 11 LINE OF ROOF ABOVE
- 12 LINE OF WALL ABOVE
- 13 LINE OF WALL BELOW
- 14 GAS-FUELED FIREPLACE WITH NON-COMBUSTIBLE HEARTH PER MFR. REQS., SEE M.E.P. PLANS
- 15 TERRA COTTA PAVERS o/ MORTAR BED o/ W.P. MEMBRANE o/ SLOPING STRUCTURE, S.S.D., TYP.
- 16 BALCONY / DECK W/ REDWOOD DECKING W/ CONCEALED FASTENERS & IRON RAILING, S.S.D.
- 17 BUILT-IN CASEWORK, TYP.
- 18 BUILT-IN BANQUETTE SEATING, TYP.
- 19 PARTIAL HEIGHT WALL W/ TERRA COTTA CAP, TYP.
- 20 BEAM ABOVE, S.S.D., TYP.
- 21 BUILT-IN RECESSED SOAP/SHAMPOO NICHE, TYP.
- 22 (E) STAIRS, REMOVE (E) PAVERS DOWN TO SUBFLOOR, REPAIR WATER DAMAGE, PROVIDE (N) WATERPROOFING & TERRA COTTA TREADS/PAVERS o/ MORTAR, ALSO REPAIR WATER DAMAGE TO ADJACENT PLASTER STAIR WALL, TYP.
- 23 LINE OF COFFERED CEILING ABOVE., TYP.
- 24 6-FOOT HIGH REDWOOD FENCE., TYP.
- 25 HANRAIL ANCHOR TO WALL +36" A.F.F., SEE DETAIL ON A7.1
- 26 2X6 STUD FRAMING AT 16" O.C.
- 27 2X8 STUD FRAMING AT 16" O.C.
- 28 2X10 STUD FRAMING AT 16" O.C.

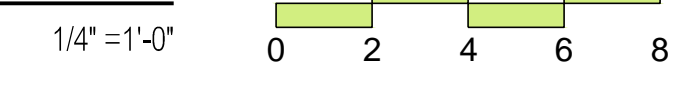
WALL / DOOR LEGEND:



EXISTING / DEMO. 2ND FLOOR PLAN



PROPOSED 2ND FLOOR PLAN





Print Date:
 10 . 09 . 2013
 NEIGHBORHOOD
 PRE-APPLICATION
 MEETING
 11 . 26 . 2013
 VARIANCE
 SUBMITTAL
 07 . 22 . 2014
 VARIANCE
 SUBMITTAL
 REVISIONS
 09 . 12 . 2014
 REVISED VARIANCE
 SUBMITTAL
 REVISIONS

drawing title:
 Existing / Demo.
 and Proposed
 Third Floor
 Plans

by:
 ASQ
 date:
 09 . 11 . 2013
 scale:
 1/4"=1'-0"
 sheet no.:

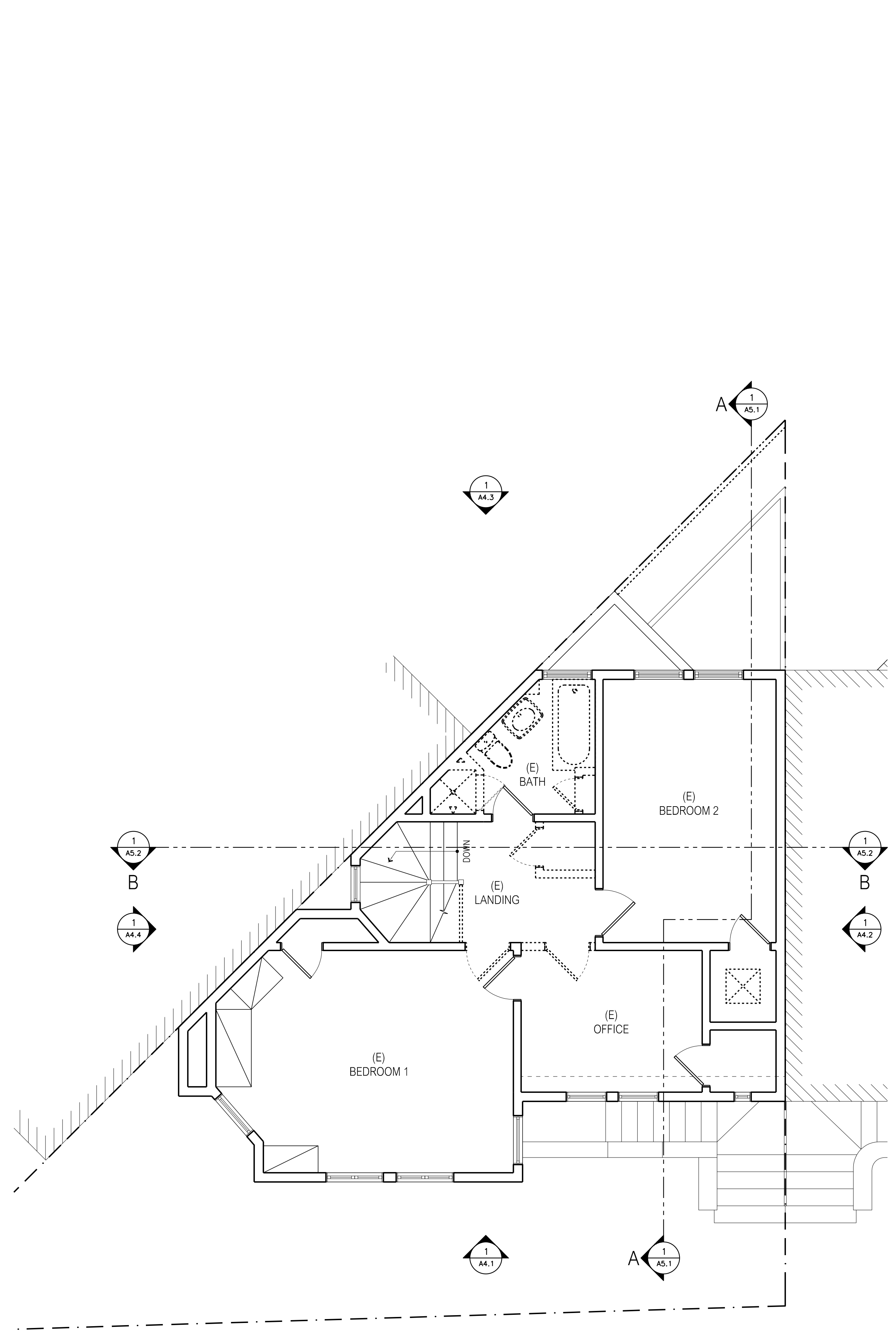
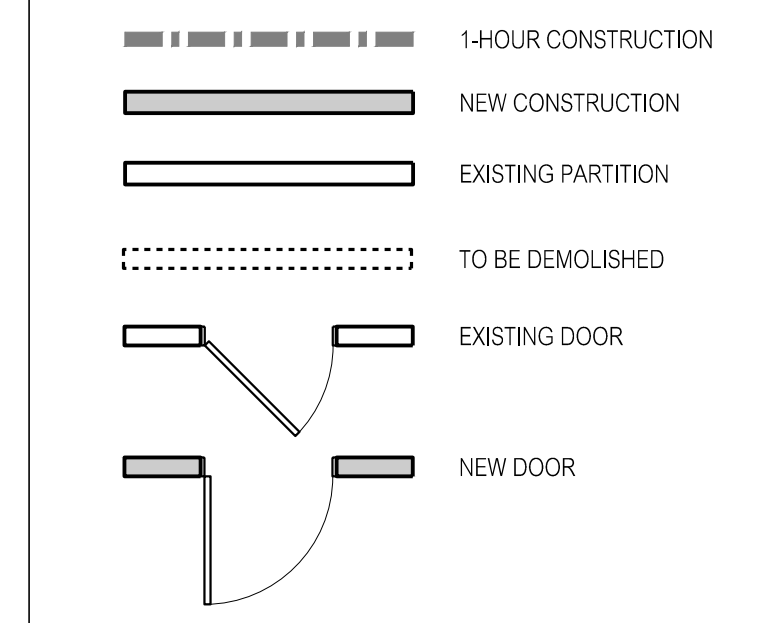
SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED (U.O.N.)
2. SEE STRUCTURAL DRAWINGS FOR PROPOSED SHEAR WALL LOCATIONS. (PATCH AND FILL TO MATCH EXISTING AT EXISTING WALLS AS REQUIRED)
3. ALL INTERIOR WALL PARTITIONS ARE 2x4 WOOD STUDS WITH 1/2" GYP. BD. EA. SIDE U.O.N.. PLUMBING WALLS ARE 2x6 STUDS. U.O.N.
4. ALL EXTERIOR WALL PARTITIONS ARE 2x6 WOOD STUDS WITH 1/2" GYP. BD. AT INTERIOR SIDE U.O.N. AND 3 LAYERS INTEGRAL COLOR CEMENT PLASTER o/ METAL LATH o/ 2 LAYERS GRADE D BUILDING PAPER o/ PLYWOOD SHEATHING (S.S.D.) UNLESS OTHERWISE NOTED.

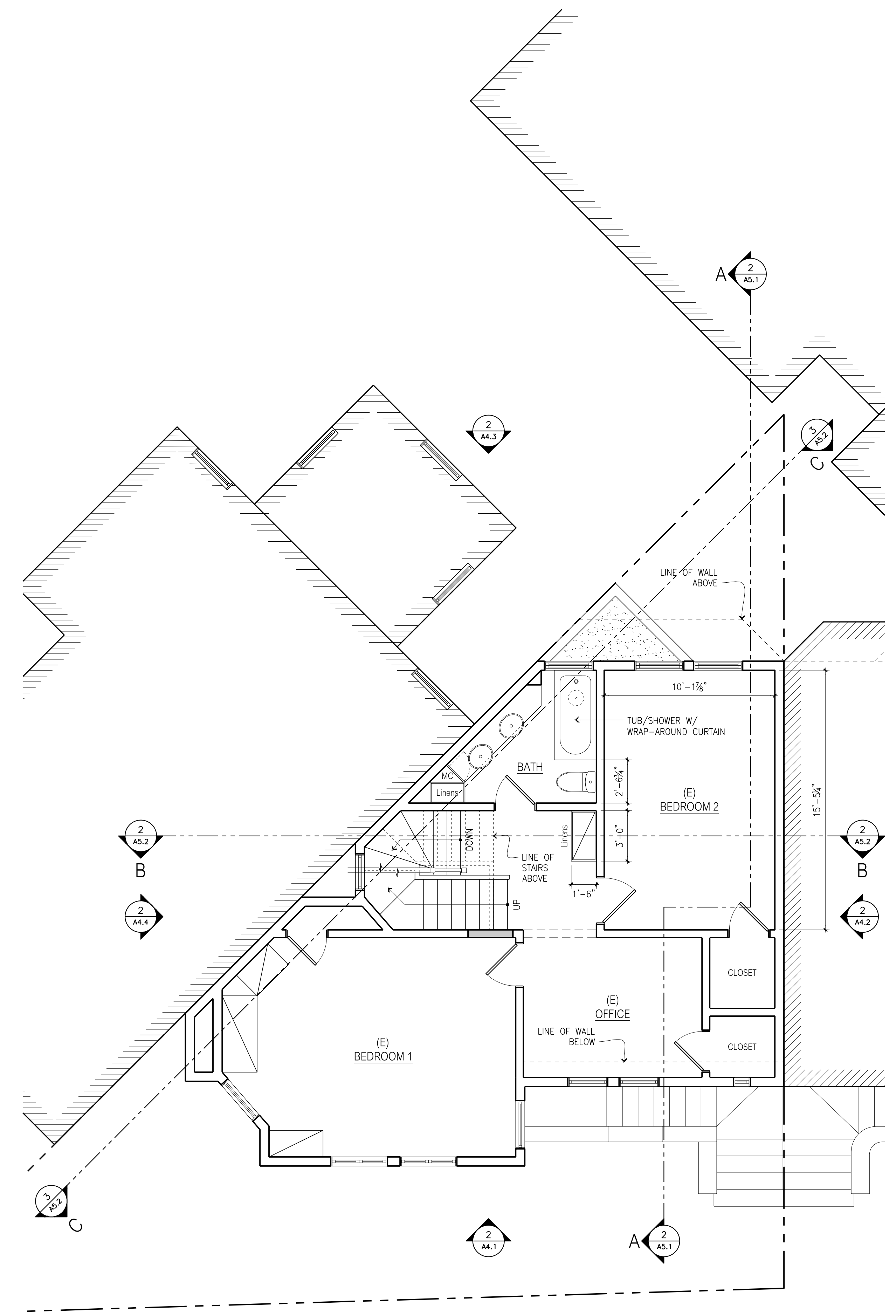
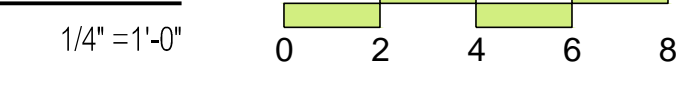
KEY NOTES:

- 1 PROVIDE 3/8" W.P. GYP. IN WET AREAS
- 2 PROVIDE CERAMIC TILE 84" A.F.F. MIN. IN SHOWER STALL, SEE DTL. 3/A7.1
- 3 FOR TOILET CLEARANCES, SEE DETAIL 1/A7.1
- 4 TEMPERED GLASS SHOWER ENCLOSURE AND DOOR
- 5 20 MINUTE DOOR, PROVIDE SELF CLOSING HINGES, WEATHER STRIPPING AND THRESHOLD
- 6 STAIRS AND HADRAILS PER IBC/CBC SECTION 1003.3.
- 7 EGRESS WINDOW/DOOR SEE DETAIL 2/A7.1
- 8 NEW INTERIOR WALL, TYP., SEE SHEET NOTES
- 9 THE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AT WALLS, PROVIDE 1/2" TYPE 'X' GYP. AT CEILINGS AND UNDERSTAIRS.
- 10 FOR ALL OPEN GUARDRAILS MUST BE +42" A.F.F., ENSURE SPACING OF MEMBERS TO PREVENT PASSAGE OF 4" SPHERE. SEE IBC/CBC SECTION 509.
- 11 LINE OF ROOF ABOVE
- 12 LINE OF WALL ABOVE
- 13 LINE OF WALL BELOW
- 14 GAS-FUELED FIREPLACE WITH NON-COMBUSTIBLE HEARTH PER MFR. REQS., SEE M.E.P. PLANS
- 15 TERRA COTTA PAVERS o/ MORTAR BED o/ W.P. MEMBRANE o/ SLOPING STRUCTURE, S.S.D., TYP.
- 16 BALCONY / DECK W/ REDWOOD DECKING W/ CONCEALED FASTENERS & IRON RAILING, S.S.D.
- 17 BUILT-IN CASEWORK, TYP.
- 18 BUILT-IN BANQUETTE SEATING, TYP.
- 19 PARTIAL HEIGHT WALL W/ TERRA COTTA CAP, TYP.
- 20 BEAM ABOVE, S.S.D., TYP.
- 21 BUILT-IN RECESSED SOAP/SHAMPOO NICHE, TYP.
- 22 (E) STAIRS, REMOVE (E) PAVERS DOWN TO SUBFLOOR, REPAIR WATER DAMAGE, PROVIDE (N) WATERPROOFING & TERRA COTTA TREADS/PAVERS o/ MORTAR, ALSO REPAIR WATER DAMAGE TO ADJACENT PLASTER STAIR WALL, TYP.
- 23 LINE OF COFFERED CEILING ABOVE., TYP.
- 24 6-FOOT HIGH REDWOOD FENCE., TYP.
- 25 HANRAIL ANCHOR TO WALL +36" A.F.F., SEE DETAIL ON A7.1
- 26 2X6 STUD FRAMING AT 16" O.C.
- 27 2X8 STUD FRAMING AT 16" O.C.
- 28 2X10 STUD FRAMING AT 16" O.C.

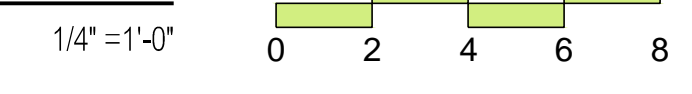
WALL / DOOR LEGEND:

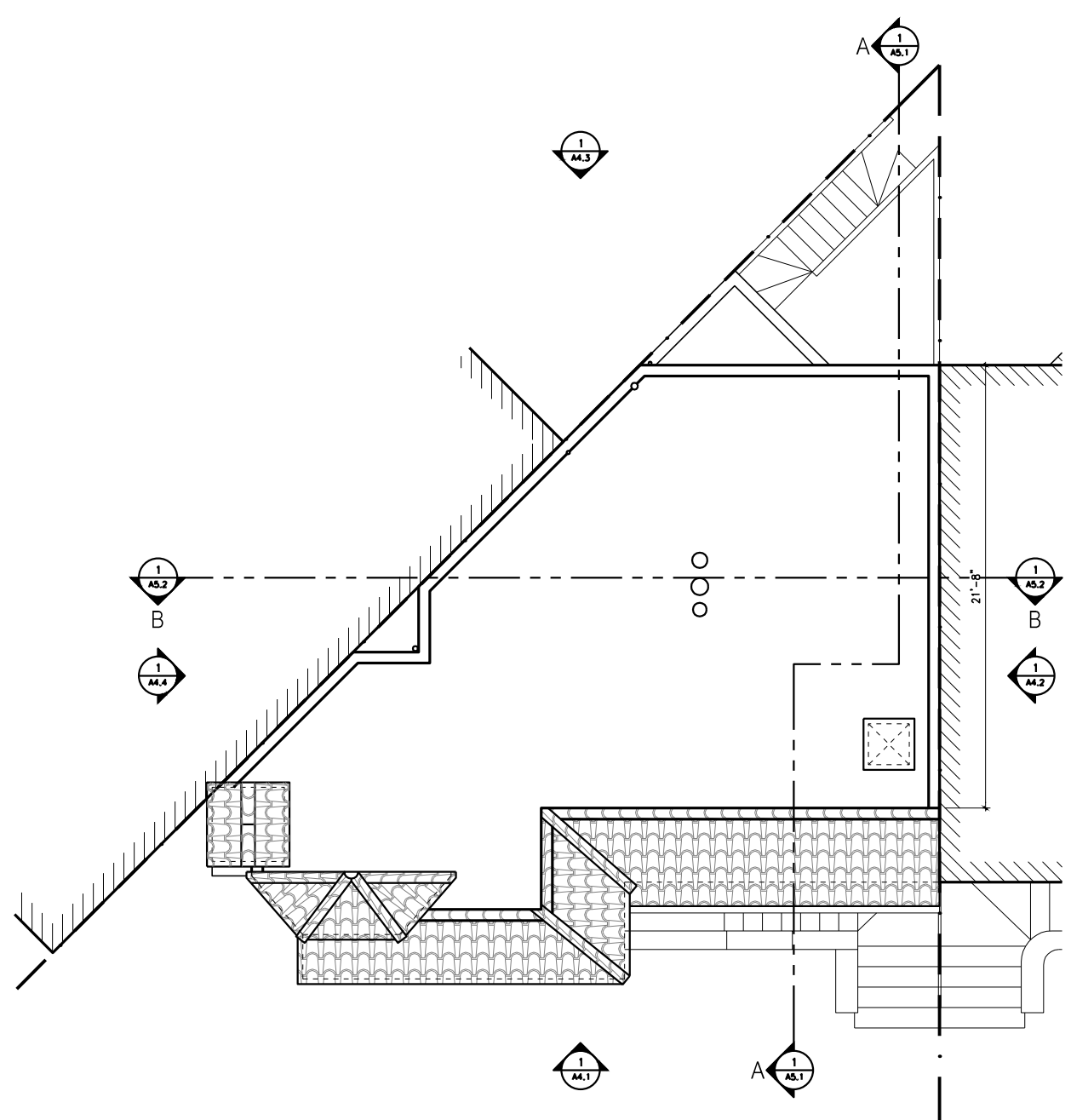


EXISTING / DEMO. 3RD FLOOR PLAN

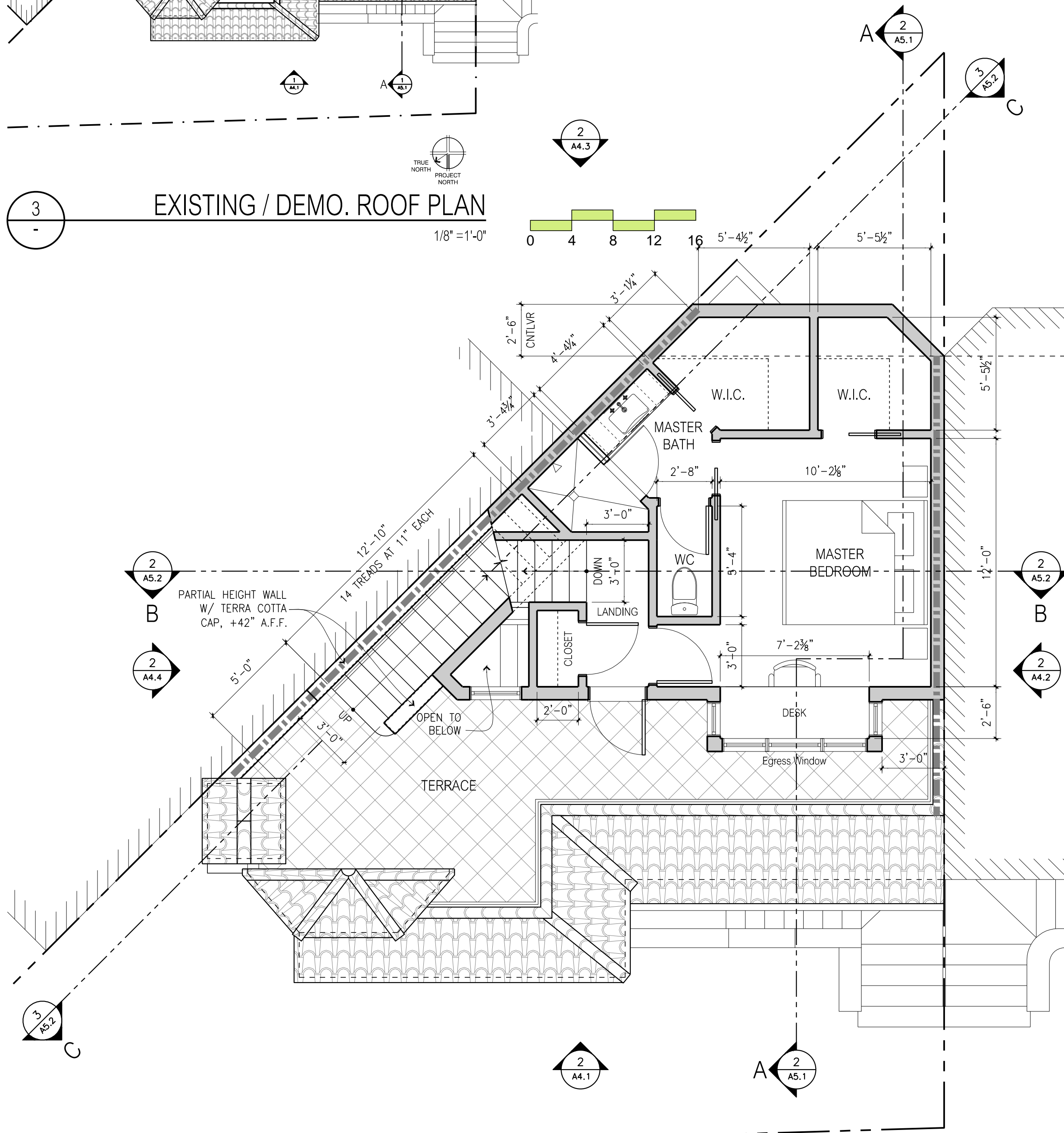


PROPOSED 3RD FLOOR PLAN

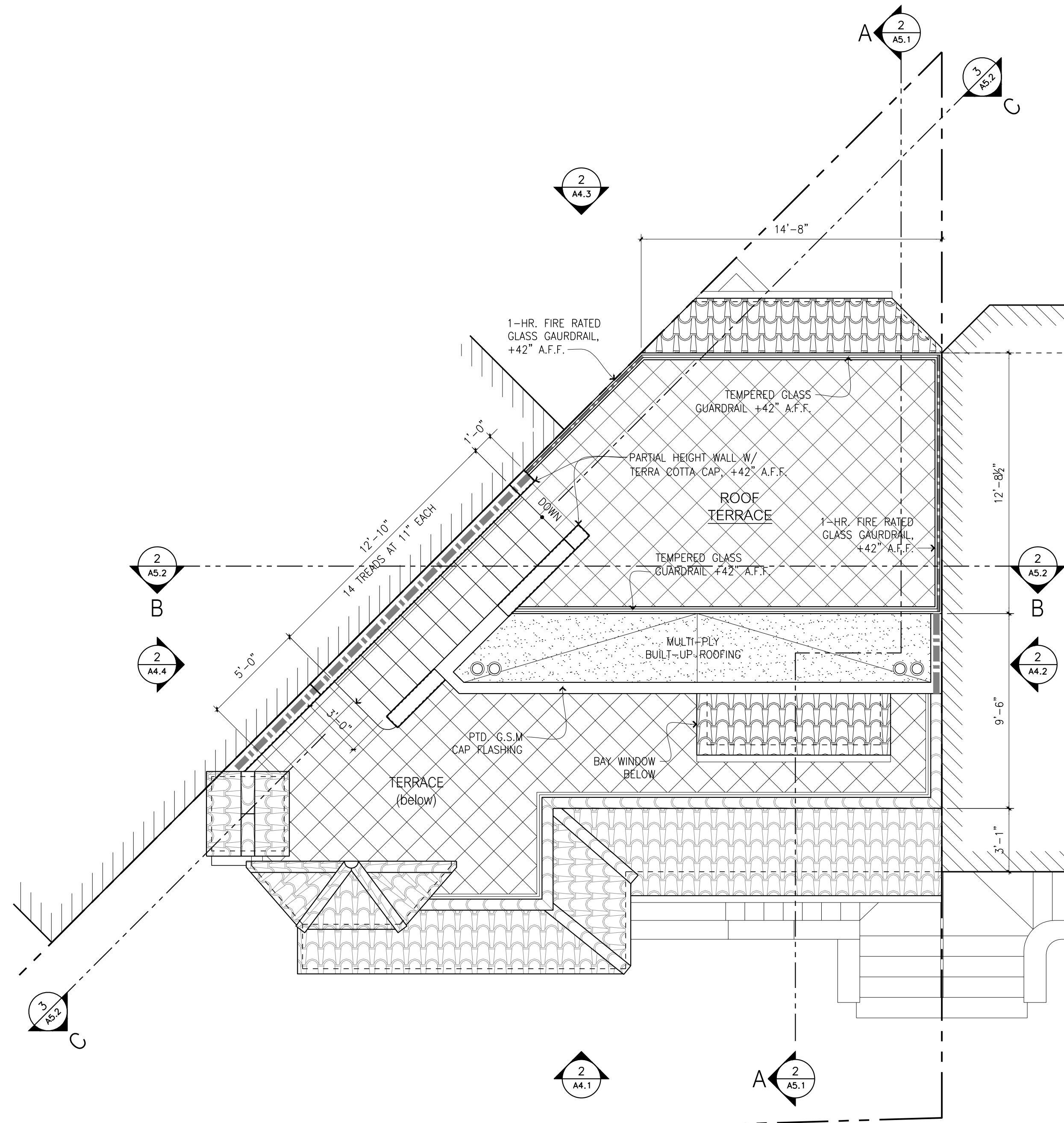




EXISTING / DEMO. ROOF PLAN
1/8" = 1'-0"



PROPOSED 4TH FLOOR PLAN
1/4" = 1'-0"



PROPOSED ROOF TERRACE
1/4" = 1'-0"

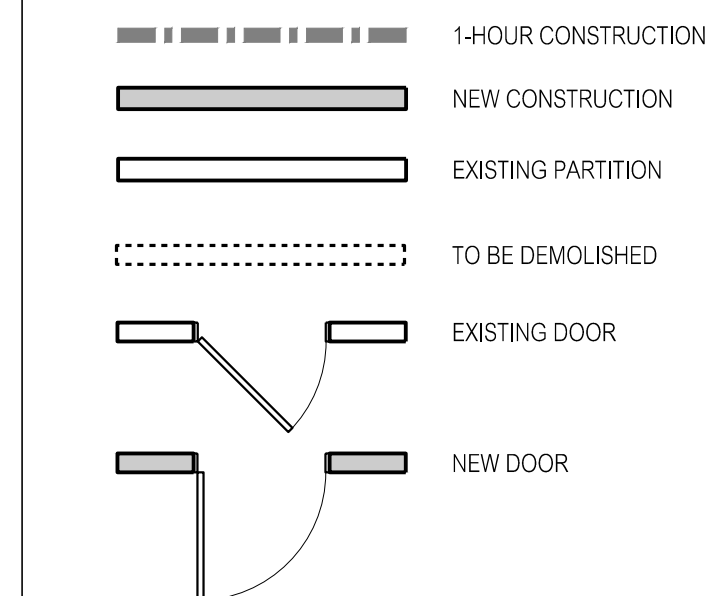
SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED (U.O.N.)
2. SEE STRUCTURAL DRAWINGS FOR PROPOSED SHEAR WALL LOCATIONS. (PATCH AND FILL TO MATCH EXISTING AT EXISTING WALLS AS REQUIRED)
3. ALL INTERIOR WALL PARTITIONS ARE 2x4 WOOD STUDS WITH 1/2" GYP. BD. EA. SIDE U.O.N.. PLUMBING WALLS ARE 2x6 STUDS. U.O.N.
4. ALL EXTERIOR WALL PARTITIONS ARE 2x6 WOOD STUDS WITH 1/2" GYP. BD. AT INTERIOR SIDE U.O.N. AND 3 LAYERS INTEGRAL COLOR CEMENT PLASTER o/ METAL LATH o/ 2 LAYERS GRADE D BUILDING PAPER o/ PLYWOOD SHEATHING (S.S.D.) UNLESS OTHERWISE NOTED.

KEY NOTES:

- 1 PROVIDE 8" W.P. GYP. IN WET AREAS
- 2 PROVIDE CERAMIC TILE 84" A.F.F. MIN. IN SHOWER STALL, SEE DTL. 3/A7.1
- 3 FOR TOILET CLEARANCES, SEE DETAIL 1/A7.1
- 4 TEMPERED GLASS SHOWER ENCLOSURE AND DOOR
- 5 20 MINUTE DOOR, PROVIDE SELF CLOSING HINGES, WEATHER STRIPPING AND THRESHOLD
- 6 STAIRS AND HANDRAILS PER IBC/CBC SECTION 1003.3
- 7 EGRESS WINDOW/DOOR SEE DETAIL 2/A7.1
- 8 NEW INTERIOR WALL, TYP., SEE SHEET NOTES
- 9 THE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF 5/8" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AT WALLS, PROVIDE 3/8" TYPE 1" GYP. AT CEILINGS AND UNDERSTAIRS.
- 10 FOR ALL OPEN GUARDRAILS MUST BE +42" A.F.F., ENSURE SPACING OF MEMBERS TO PREVENT PASSAGE OF 4" SPHERE. SEE IBC/CBC SECTION 509.
- 11 LINE OF ROOF ABOVE
- 12 LINE OF WALL ABOVE
- 13 LINE OF WALL BELOW
- 14 GAS-FUELED FIREPLACE WITH NON-COMBUSTIBLE HEARTH PER MFG. REQS., SEE M.E.P. PLANS
- 15 TERRA COTTA PAVERS o/ MORTAR BED o/ W.P. MEMBRANE o/ SLOPING STRUCTURE, S.S.D., TYP.
- 16 BALCONY / DECK W/ REDWOOD DECKING W/ CONCEALED FASTENERS & IRON RAILING, S.S.D.
- 17 BUILT-IN CASEWORK, TYP.
- 18 BUILT-IN BANQUETTE SEATING, TYP.
- 19 PARTIAL HEIGHT WALL W/ TERRA COTTA CAP, TYP.
- 20 BEAM ABOVE, S.S.D., TYP.
- 21 BUILT-IN RECESSED SOAP/SHAMPOO NICHE, TYP.
- 22 (E) STAIRS, REMOVE (E) PAVERS DOWN TO SUBFLOOR, REPAIR WATER DAMAGE, PROVIDE (N) WATERPROOFING & TERRA COTTA TREADS/PAVERS o/ MORTAR, ALSO REPAIR WATER DAMAGE TO ADJACENT PLASTER STAIR WALL, TYP.
- 23 LINE OF COFFERED CEILING ABOVE., TYP.
- 24 6-FOOT HIGH REDWOOD FENCE., TYP.
- 25 HANRAIL ANCHOR TO WALL +36" A.F.F., SEE DETAIL ON A7.1
- 26 2X6 STUD FRAMING AT 16" O.C.
- 27 2X8 STUD FRAMING AT 16" O.C.
- 28 2X10 STUD FRAMING AT 16" O.C.

WALL / DOOR LEGEND:



1217

LORIN HILL ARCHITECT
lorin@lhillarch.com
tel. 510.654.2552
fax. 510.654.2555

LORIN F. HILL
C-23266
05-31-16

MINICK RESIDENCE ADDITIONS & RENOVATIONS
104 RETIRO WAY
SAN FRANCISCO, CALIFORNIA . 94123

Print Date: 10.09.2013
NEIGHBORHOOD PRE-APPLICATION MEETING

11.26.2013
VARIANCE SUBMITTAL

07.22.2014
VARIANCE SUBMITTAL REVISIONS

09.12.2014
REVISED VARIANCE SUBMITTAL REVISIONS

drawing title: Proposed Fourth Floor Plan and Roof Terrace Plan

by: ASQ
date: 09.11.2013
scale: 1/4"=1'-0"
sheet no.:

A2.4
project no.: 1217



1

EXISTING / DEMOLITION BUILDING ELEVATION - NORTH (FRONT)

1/8" = 1'-0" 0 4 8 12 16



2

PROPOSED BUILDING ELEVATION - NORTH (FRONT)

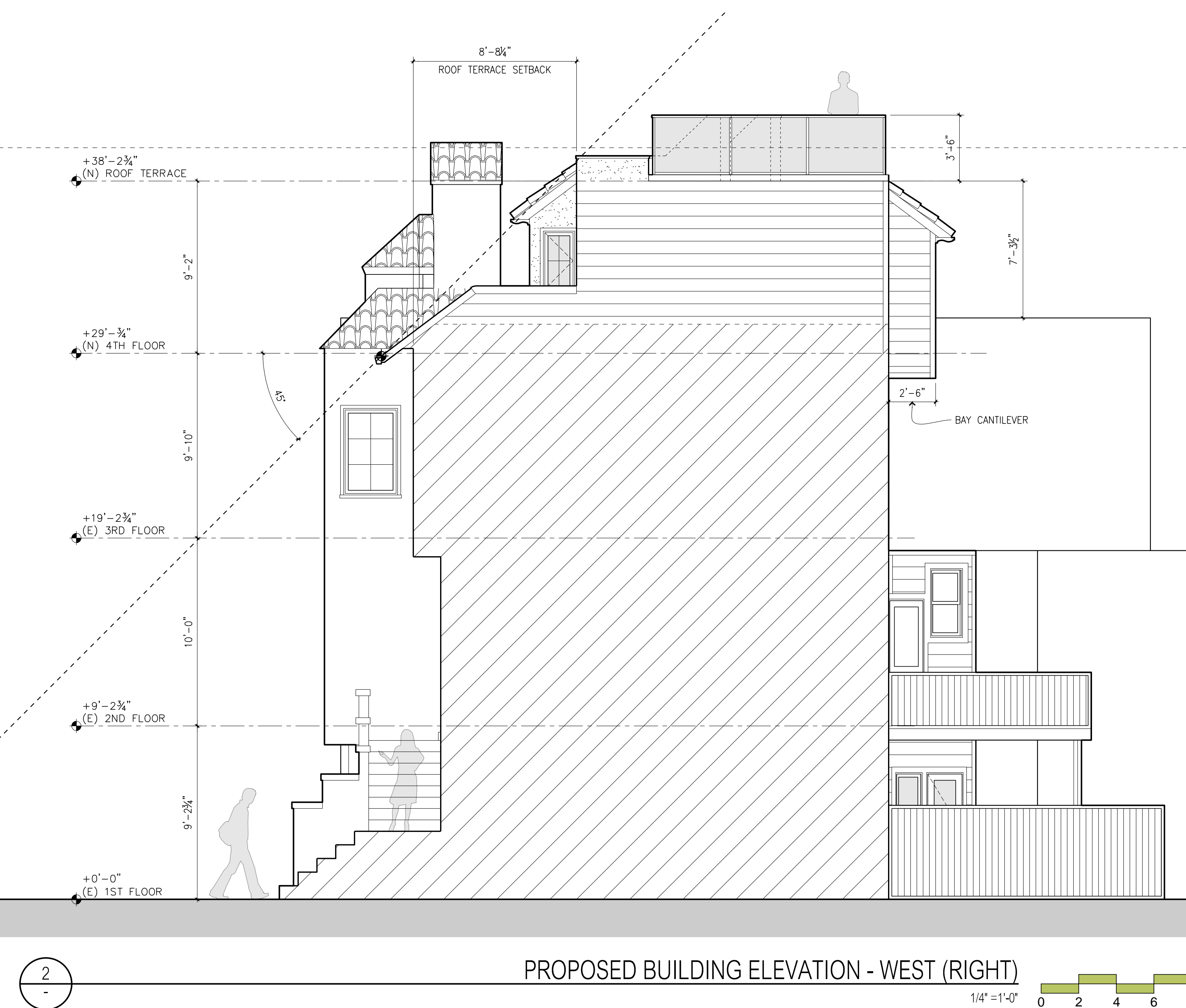
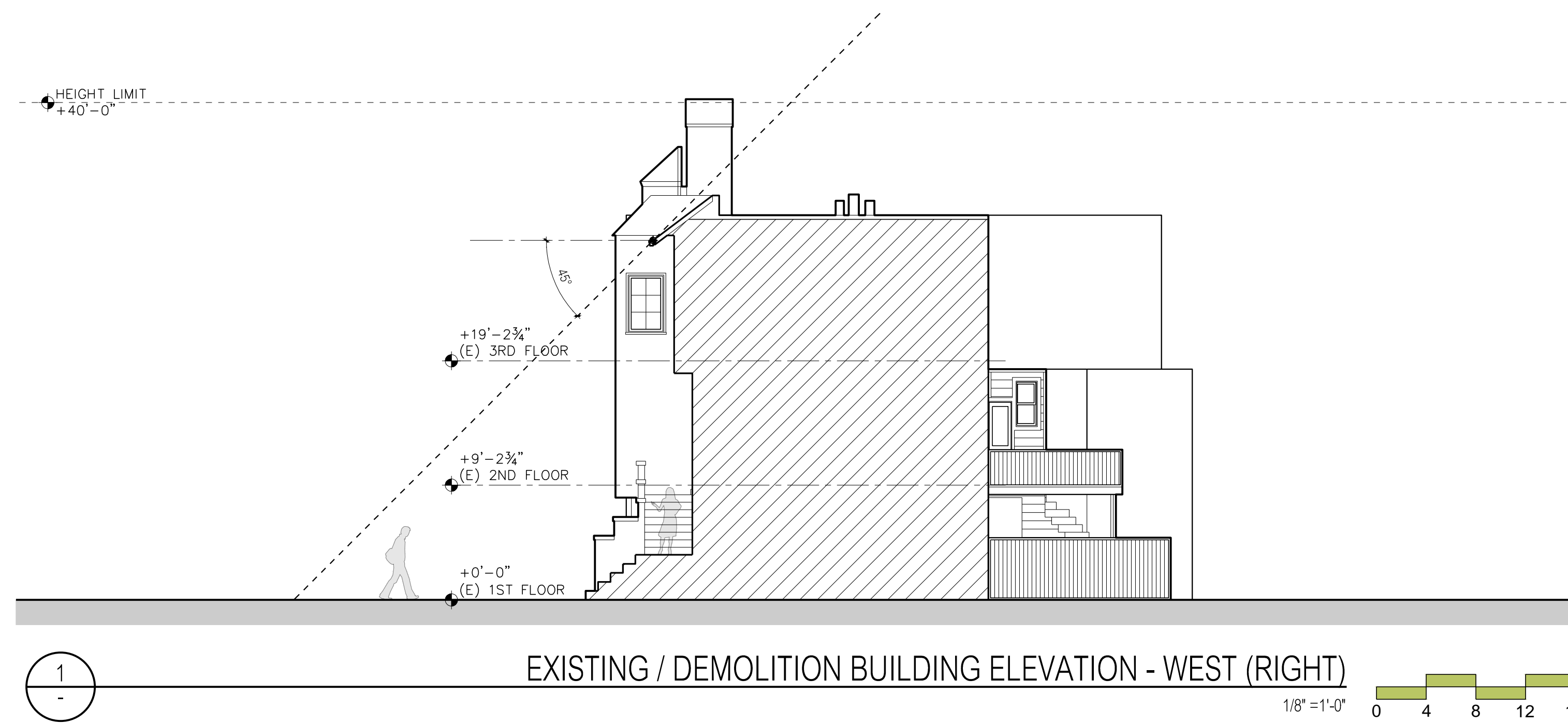
1/4" = 1'-0" 0 2 4 6 8



- Print Date:
- 10 . 09 . 2013
NEIGHBORHOOD
PRE-APPLICATION
MEETING
 - 11 . 26 . 2013
VARIANCE
SUBMITTAL
 - 07 . 22 . 2014
VARIANCE
SUBMITTAL
REVISIONS
 - 09 . 12 . 2014
REVISED VARIANCE
SUBMITTAL
REVISIONS

drawing title:
**Building
 Elevations**

by:
 ASQ
 date:
 09 . 11 . 2013
 scale:
 1/4" = 1'-0"
 sheet no.:





1

EXISTING / DEMOLITION BUILDING ELEVATION - SOUTH (REAR)



2

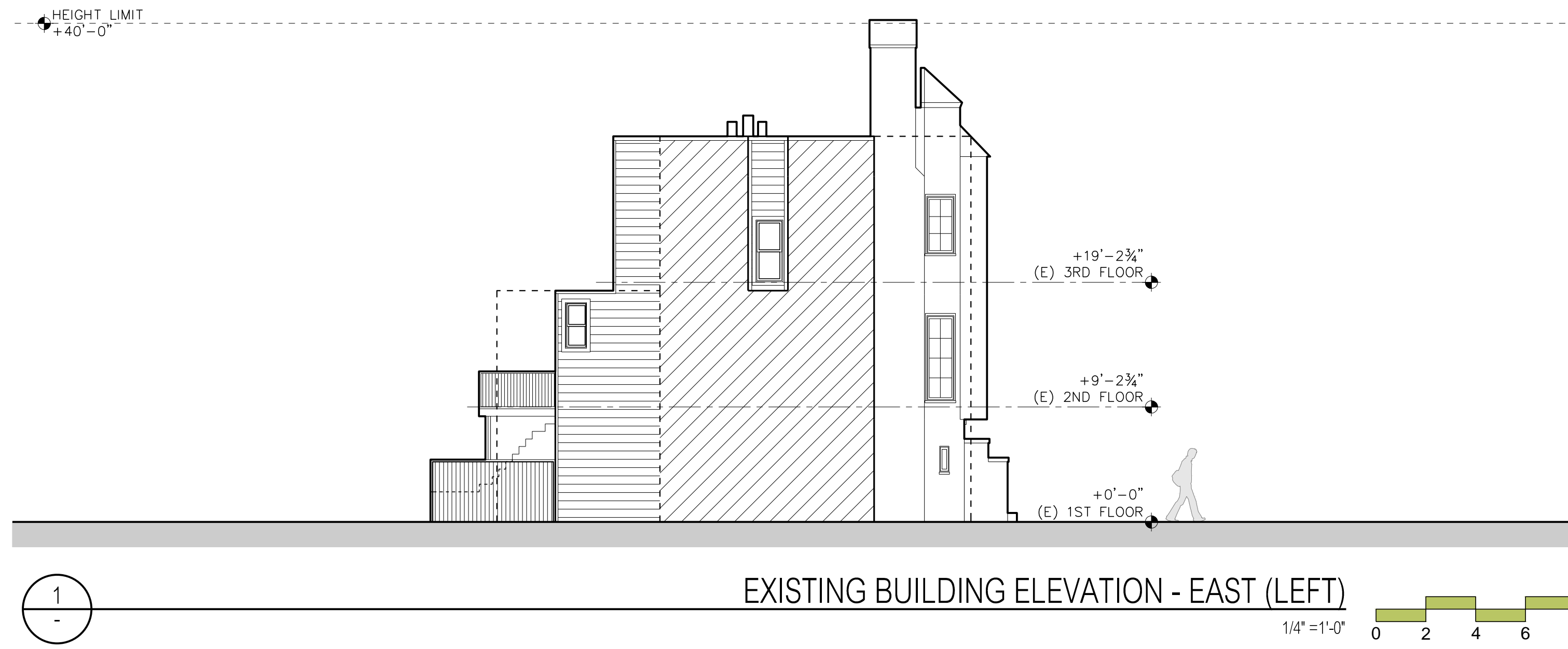
PROPOSED BUILDING ELEVATION - SOUTH (REAR)



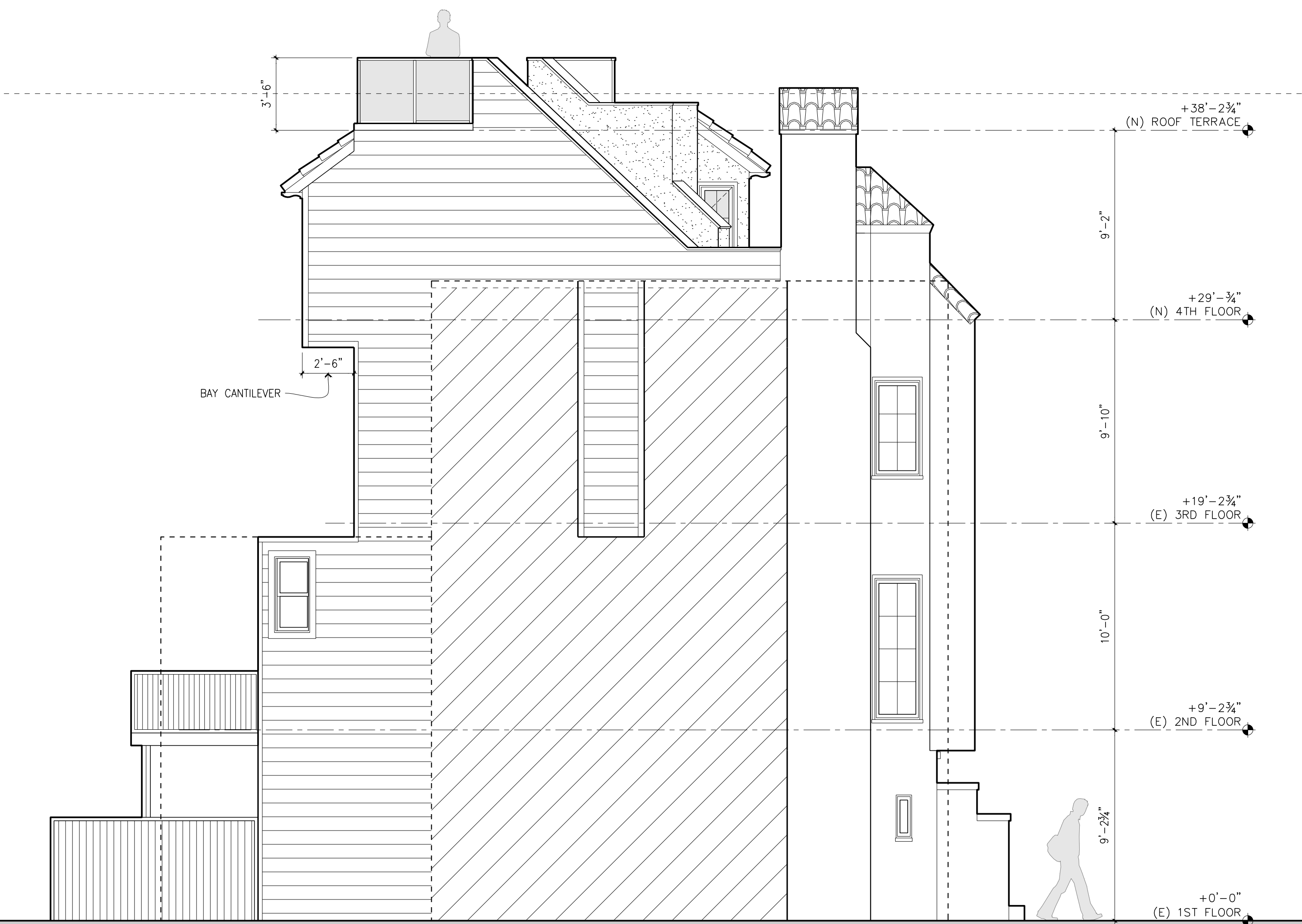
- Print Date:
- 10 . 09 . 2013
NEIGHBORHOOD
PRE-APPLICATION
MEETING
 - 11 . 26 . 2013
VARIANCE
SUBMITTAL
 - 07 . 22 . 2014
VARIANCE
SUBMITTAL
REVISIONS
 - 09 . 12 . 2014
REVISED VARIANCE
SUBMITTAL
REVISIONS

drawing title:
**Building
 Elevations**

by:
 ASQ
 date:
 07 . 23 . 2013
 scale:
 1/4"=1'-0"
 sheet no.:



EXISTING BUILDING ELEVATION - EAST (LEFT)



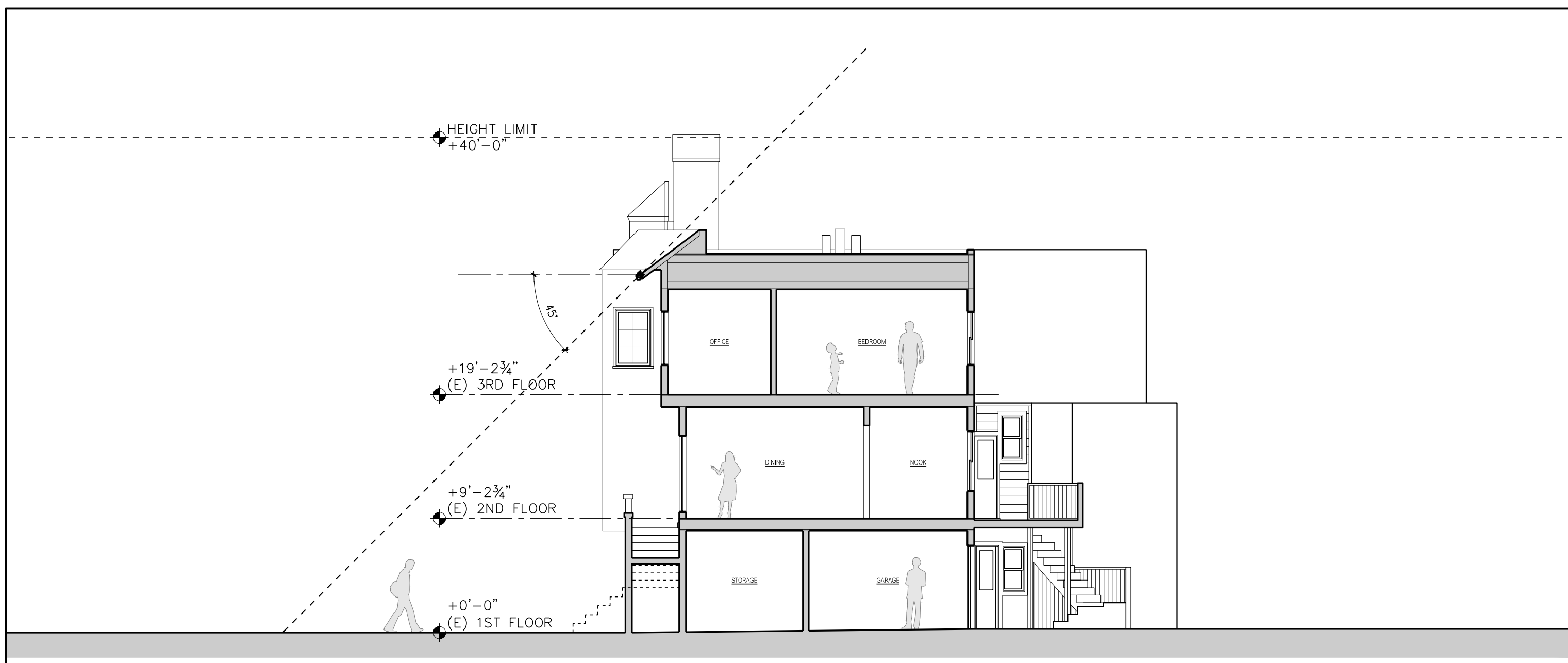
PROPOSED BUILDING ELEVATION - EAST (LEFT)



- Print Date:
- 10 . 09 . 2013
NEIGHBORHOOD
PRE-APPLICATION
MEETING
 - 11 . 26 . 2013
VARIANCE
SUBMITTAL
 - 07 . 22 . 2014
VARIANCE
SUBMITTAL
REVISIONS
 - 09 . 12 . 2014
REVISED VARIANCE
SUBMITTAL
REVISIONS

drawing title:
**Building
 Elevations**

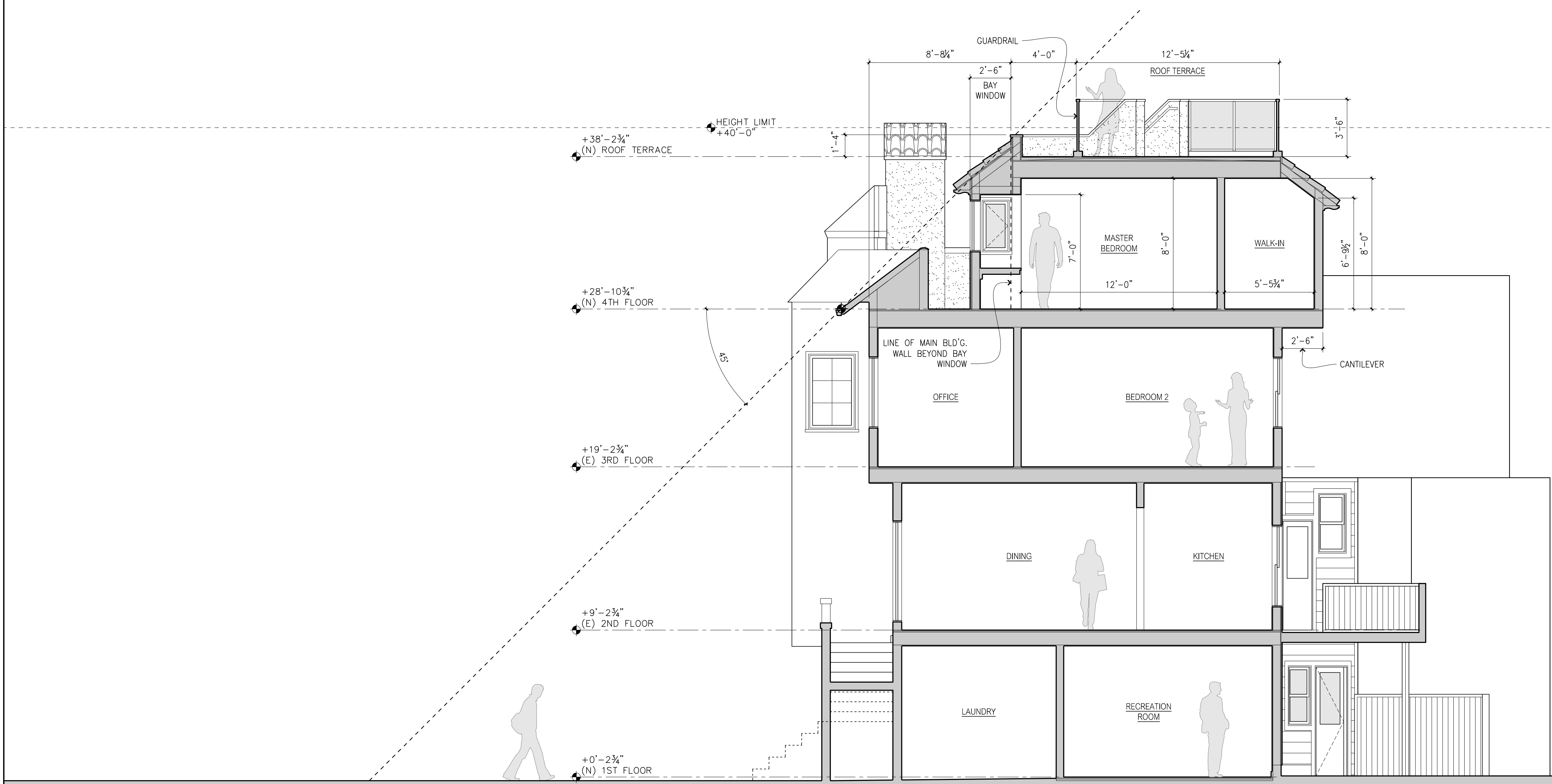
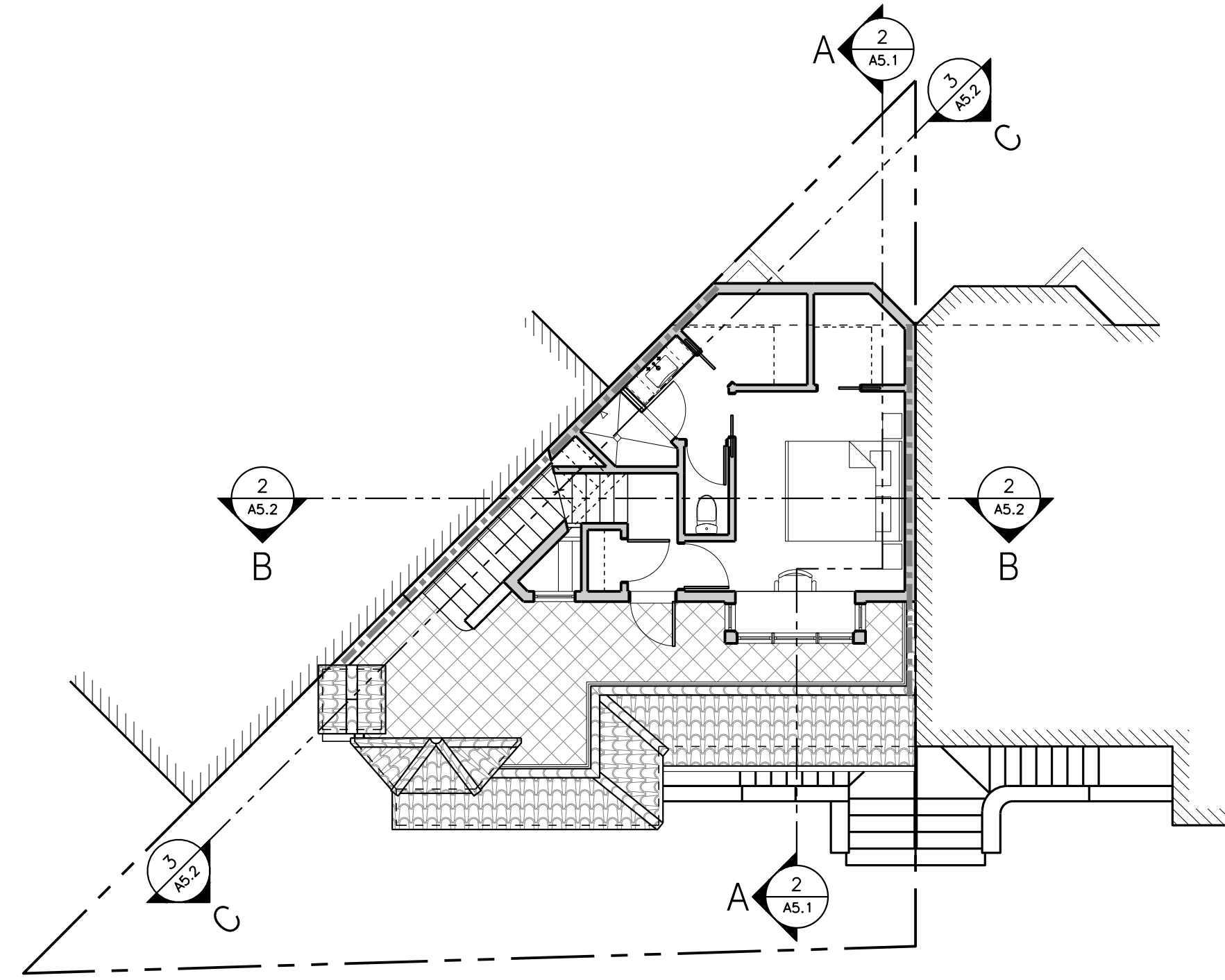
by:
 ASQ
 date:
 07 . 23 . 2013
 scale:
 1/4"=1'-0"
 sheet no.:



1

EXISTING BUILDING LONGITUDINAL SECTION A-A

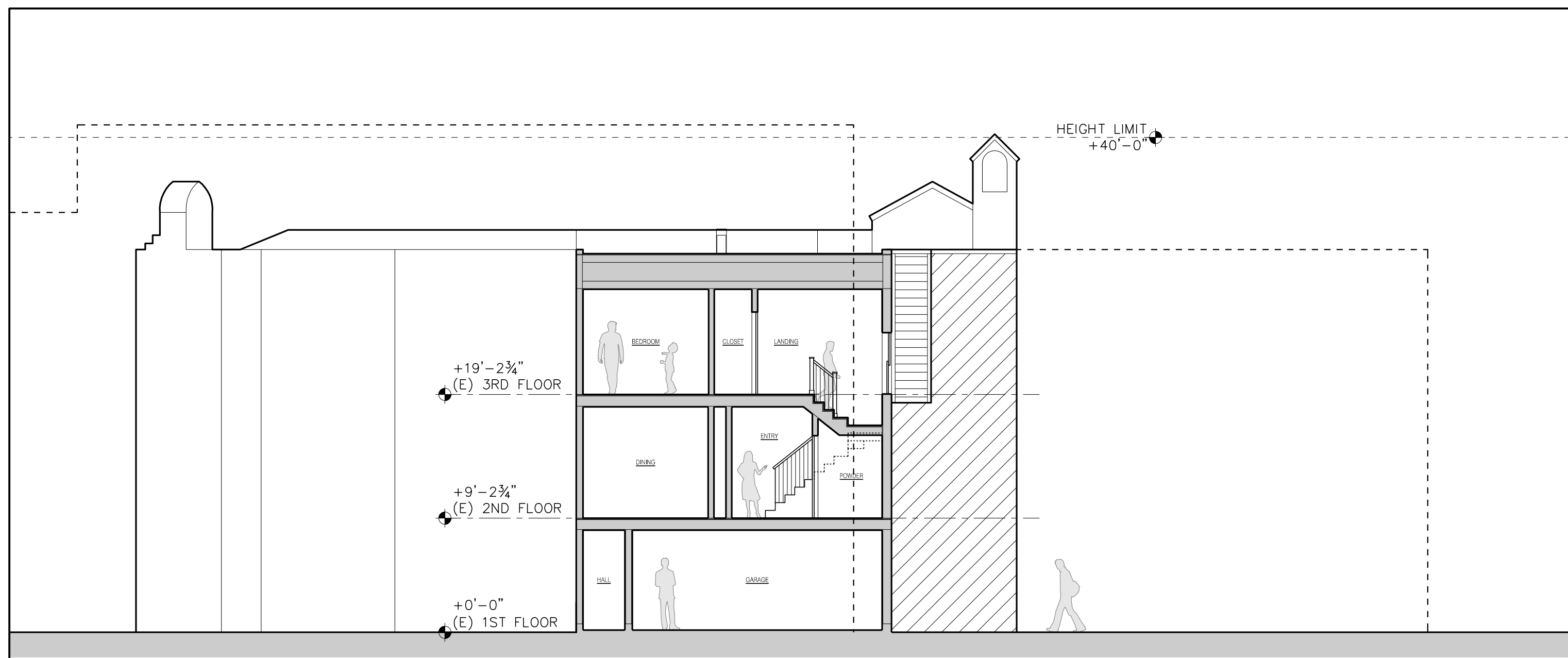
1/8" = 1'-0" 0 4 8 12 16



2

PROPOSED BUILDING LONGITUDINAL SECTION A-A

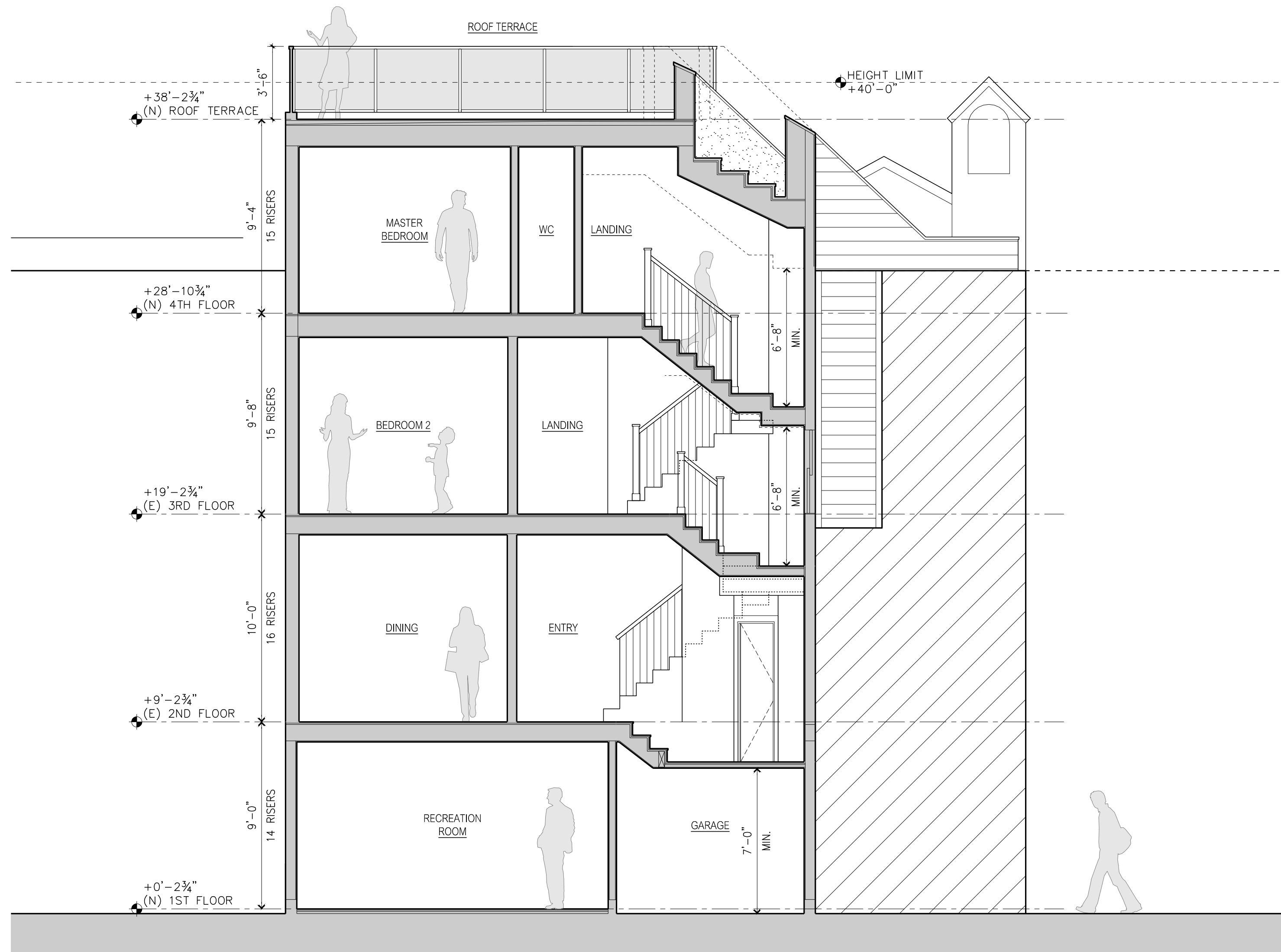
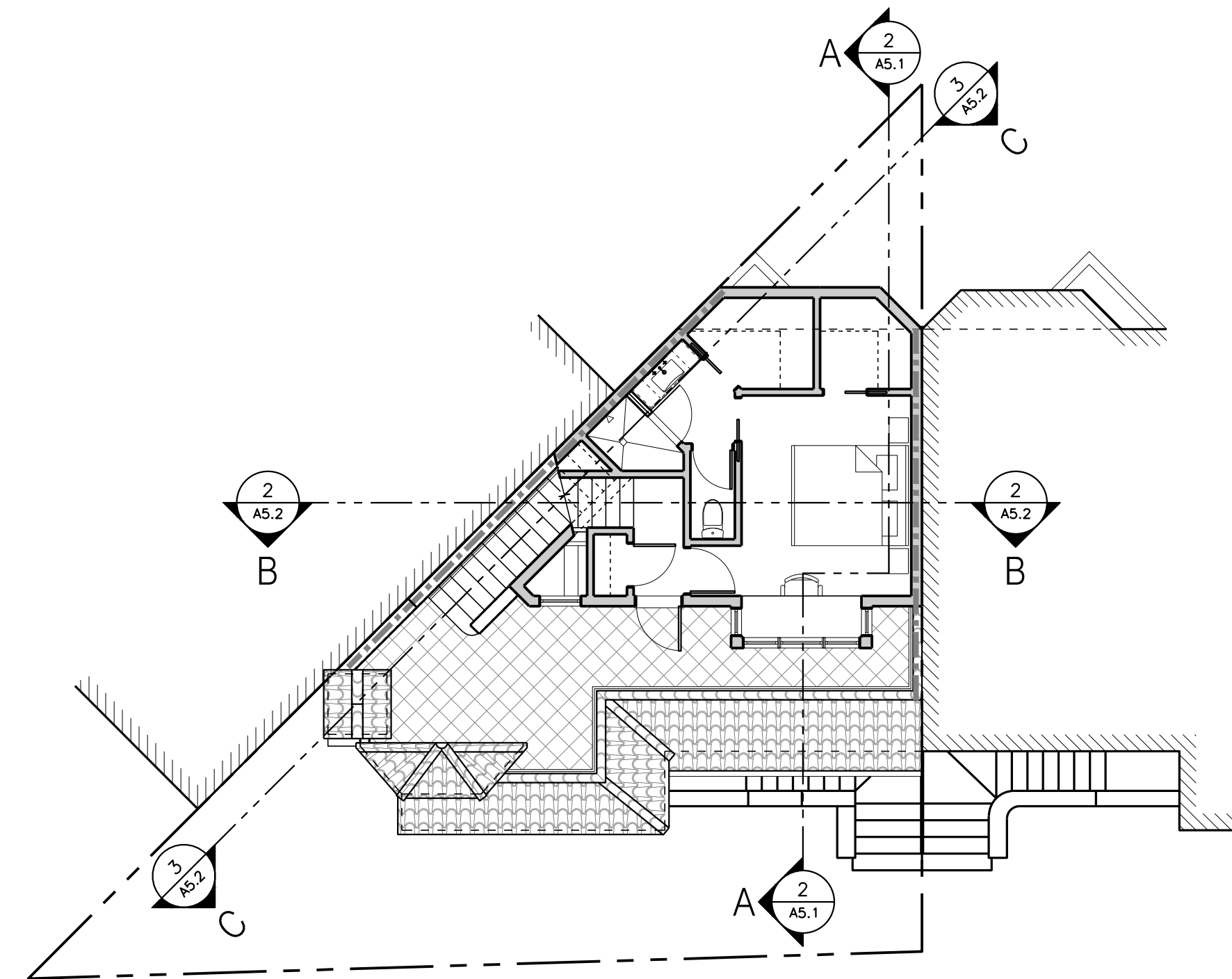
1/4" = 1'-0" 0 2 4 6 8



1

EXISTING BUILDING CROSS SECTION B-B

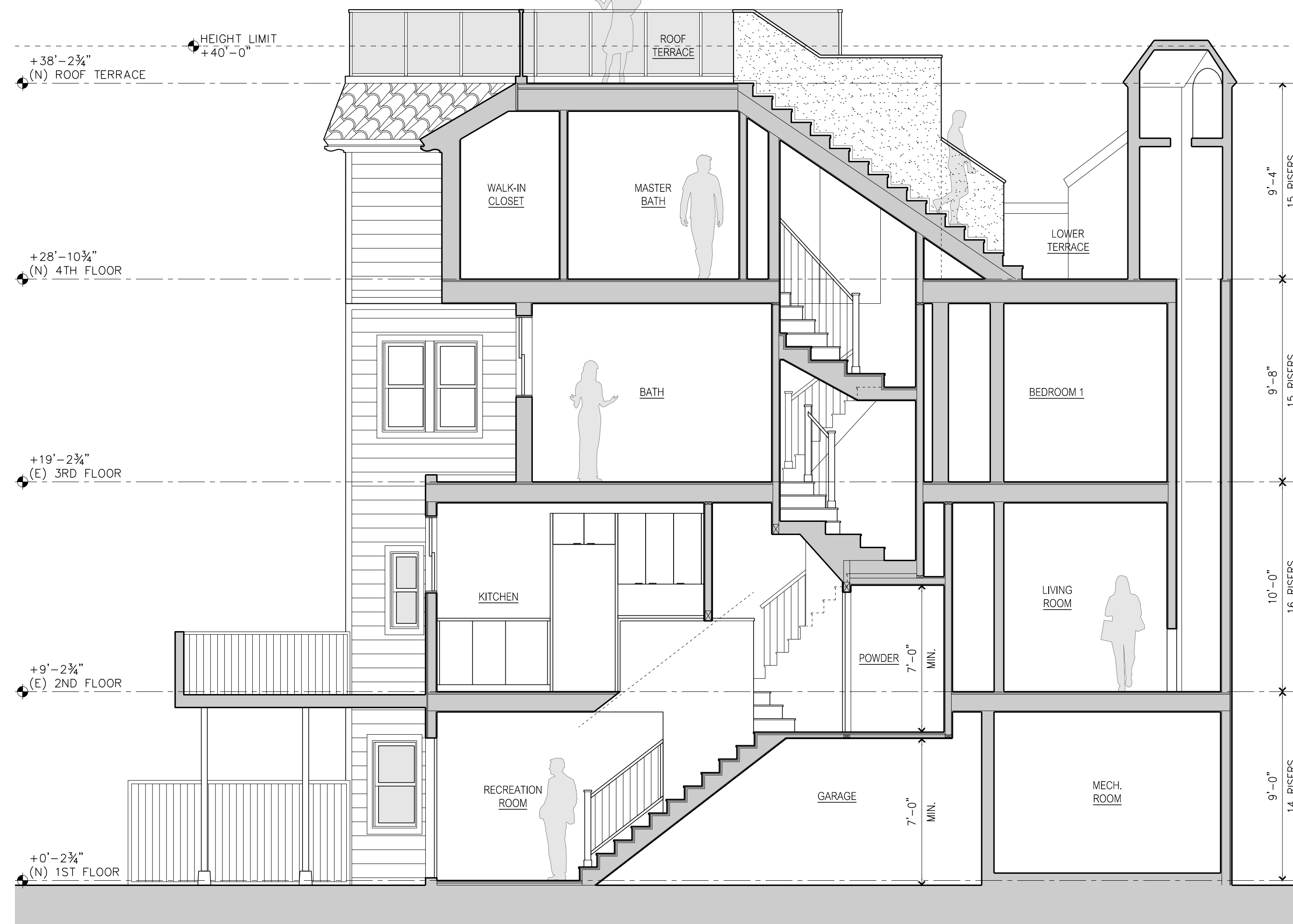
1/8" = 1'-0" 0 4 8 12 16



2

PROPOSED BUILDING CROSS SECTION B-B

1/4" = 1'-0" 0 2 4 6 8



3

PROPOSED BUILDING CROSS SECTION C-C

1/4" = 1'-0" 0 2 4 6 8