



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: SEPTEMBER 30, 2010

Date: September 22, 2010
Case No.: **2010.0605C**
Project Address: **3131 FILLMORE STREET**
Zoning: Union Street Neighborhood Commercial District (NCD)
40-X Height and Bulk District
Block/Lot: 0515/006
Project Sponsors: Kamran Shirazi (restaurant operator)
3050 Fillmore Street #194
San Francisco, CA 94123
Paul Shiota (property owner)
c/o Blatteis Realty Co.
44 Montgomery Street, Suite 1288
San Francisco, CA 94104
Staff Contact: Sharon M. Young – (415) 558-6346
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Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The proposal is to convert a vacant retail commercial tenant space (previously occupied by a tattoo studio and art gallery dba The Armada Tattoo & Art Gallery) into a full-service restaurant (tenant identified, but business name to be determined) within the Union Street Neighborhood Commercial District and a 40-X Height and Bulk District. The proposed full-service restaurant, with 1,164 square feet in floor area, will consist of a food preparation area, seating area for approximately 44 persons, kitchen area, and restroom. The proposal will involve tenant improvements to the ground floor commercial tenant space, with no expansion of the existing building envelope. The proposed hours of operation of the restaurant are 4 p.m. to 12 p.m., Monday through Thursday, 4 p.m. to 12:30 a.m., Friday and Saturday, and 2 p.m. to 9 p.m. on Sunday. According to the project sponsor, the business will be operating as a bona fide full-service restaurant with table service offering wine paired with “small plates” and appetizers. (Pursuant to Planning Code Section 790.142, a bona fide eating place will provide a minimum of 51% of the restaurant’s gross receipts from food sales prepared and sold to guests on the premises.)

SITE DESCRIPTION AND PRESENT USE

The Project Site at 3131 Fillmore Street is on the southwest corner of Fillmore and Pixley Streets; Assessor’s Block 0515; Lot 006. It is located within the Union Street Neighborhood Commercial Zoning District (NCD) and a 40-X Height and Bulk District. The subject lot is approximately 2,400 square-feet (24 feet wide by 100 feet deep) in size and is occupied by a two-story residential and commercial building constructed circa 1900. The existing building is listed in the Planning Department’s 1976 Architectural Survey as having architectural significance, but is not listed in the National or California Registers as having architectural significance. The subject ground floor commercial tenant space was recently vacated

and was last occupied by a tattoo studio and art gallery dba The Armada Tattoo & Art Gallery. Currently, there are three residential units on the second floor of the building.

SURROUNDING PROPERTIES & NEIGHBORHOOD

The Project Site is located within the Union Street Neighborhood Commercial District (NCD). The majority of the surrounding development consists of two-to-three story residential over ground floor commercial buildings, with a few one-story commercial buildings within this portion of the Union Street NCD. A mix of food establishments, grocery stores, personal services, and small retail establishments defines the Union Street NCD corridor in the immediate vicinity. Some of the existing commercial establishments on the subject and opposite blocks include Liv furniture store, Plump Jack Café, Kasa restaurant, Metro Sport, Kerner Chiropractic, Crafty Kids, Lush Life, Clean Image Cleaners, Osome restaurant, Pizza Orgasmic, Stephanie Nails, Balboa Café, City Tavern, Matrix Fillmore, and East Side West restaurant. On Pixley Street running east and west of the project site, there are primarily two- to- three story residential buildings within the RH-2 (Residential, House, Two-Family) Zoning District.

ENVIRONMENTAL REVIEW

The proposed project was determined by the San Francisco Planning Department to be categorically exempt from environmental review, under Class 1(a) of the State CEQA Guidelines, Section 15301, pursuant to Title 14 of the California Administrative Code.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	September 10, 2010	September 10, 2010	20 days
Posted Notice	20 days	September 10, 2010	September 10, 2010	20 days
Mailed Notice	20 days	September 10, 2010	September 10, 2010	20 days

PUBLIC COMMENT

- As of September 22, 2010, the Department has not received any letters or phone calls in opposition to the project. The Department had received three emails requesting additional information regarding the proposal and restaurant operator. The Department received one letter from the Union Street Association in support of the project.

ISSUES AND OTHER CONSIDERATIONS

- The proposed full-service restaurant will be independently owned and is not considered a formula retail use under Section 703.3 of the Planning Code. The project sponsor (Kamran Shirazi) currently has a wine bar dba Wine Jar at 1870 Fillmore Street in the Upper Fillmore Street NCD, which he has operated since 2008. The project sponsor has indicated that the proposed full-service restaurant will be operated not as another branch of Wine Jar, but as a wine and appetizer lounge tailored towards a 30+ demographic, which will offer appetizers (small plates) paired with a

selection of domestic and international wines. The project sponsor has also indicated that he intends to apply for an ABC License Type 41 from the Department of Alcoholic Beverage Control.

- In February 2010, Planning Department staff conducted a site survey of the Union Street NCD (for the proposed full-service restaurant at 1784 Union Street dba Giordano Bros. under Case No. 2009.0996C) and estimated that approximately 12% of the frontage of the NCD is occupied by eating and drinking establishments. Since the survey was completed, there has been one other new full-service restaurant approved in the Union Street NCD in August 2010. This concentration is below the 20% threshold indicated in the Commerce and Industry Element of the General Plan which signals a potential over-concentration of eating and drinking establishments in a NCD.

REQUIRED COMMISSION ACTION

This proposal requires **Conditional Use** authorization pursuant to Sections 725.42 and 303 of the Planning Code to convert a vacant retail commercial tenant space into a full-service restaurant with 1,164 square feet in floor area within the Union Street Neighborhood Commercial District and a 40-X Height and Bulk District.

Full-Service Restaurant Use in the Union Street NCD. Planning Code Section 725.42 states that a Conditional Use authorization is required to establish a full-service restaurant use on the ground floor, as defined by Planning Code Section 790.92, and with the additional control that:

the Planning Commission may approve a full-service restaurant providing on-site beer and/or wine sales (with ABC license 40, 41, or 60) if, in addition to meeting the criteria set forth in Section 303, the use (1) is located on the ground floor, and (2) the Planning Commission finds that an additional full-service restaurant would not result in a net total of more than 32 full-service restaurants in the Union Street NCD. The Planning Department shall apply Article 7 zoning controls for Union Street Full-Service Restaurants to conditional use authorizations required by Planning Code Section 178, including but not limited to significant alterations, modifications, and intensifications of use.

The Project Sponsor intends to establish a new full-service restaurant as specified in Planning Code Section 790.92 and pursuant to the 2009 Ordinance No. 0008-09 that would permit 5 new full-service restaurants for a net total of no more than 32 restaurants within the Union Street NCD. The proposed project is the fourth restaurant to apply under the recent legislation since it was adopted in January 2009. Three full-service restaurants have been approved since the adoption of the ordinance: Kasa at 3115 Fillmore Street (approved in August 2009 under Case No. 2009.0398C), Giordano Bros. at 1784 Union Street (approved in February 2010 under Case No. 2009.0996C), and Unique at 1849 Union Street (approved in August 2010).

BASIS FOR RECOMMENDATION

- The proposed project will occupy a vacant commercial tenant space on the subject block which will be complimentary to the mix of existing neighborhood-serving uses within the neighborhood. It will also provide new job opportunities to the City. The proposed project meets all applicable requirements of the Planning Code.

- The Department believes that this project is necessary and/or desirable for the following reasons:
 - a) The proposed project will enhance the economic diversity of the neighborhood by allowing a new business in the area.
 - b) The proposed project is a neighborhood-serving use which residents can access by walking or taking public transit.
 - c) The proposed project would be consistent with the mixed commercial-residential character of this portion of the Union Street NCD which currently does not have an overconcentration of eating and drinking establishments.

RECOMMENDATION: Approval with Conditions
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Attachments:

- Zoning District Map
- Parcel Map
- Sanborn Map
- Aerial Photographs
- Site and Context Photographs
- Reduced Plans

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Context Photos | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> |

SMY

Exhibits above marked with an "X" are included in this packet

Planner's Initials

SMY: C:\3131 Fillmore St summary-smy.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Inclusionary Housing (Sec. 315) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 313) | <input type="checkbox"/> Child Care Requirement (Sec. 314) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 139) | <input type="checkbox"/> Other |

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ADOPTING FINDINGS RELATED TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 725.42 AND 303 TO CONVERT A VACANT RETAIL COMMERCIAL TENANT SPACE INTO A FULL-SERVICE RESTAURANT AT 3131 FILLMORE STREET WITHIN THE UNION STREET NEIGHBORHOOD COMMERCIAL ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On July 20, 2010, Kamran Shirazi (hereinafter “Project Sponsor”) made an application for Conditional Use authorization for the property at **3131 Fillmore Street, Lot 006 in Assessor’s Block 0515** (hereinafter “Subject Property”), to convert a vacant retail commercial tenant space with 1,164 square feet in floor area into a full-service restaurant on the ground floor of a two-story residential and commercial building within the Union Street Neighborhood Commercial Zoning District and a 40-X Height and Bulk District, in general conformity with plans dated July 19, 2010, and labeled “Exhibit B” (hereinafter “Project”).

On **September 30, 2010**, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on **Conditional Use Application No. 2010.0605C**. Under Sections 725.42 and 303 of the Planning Code, Conditional Use authorization is required to convert vacant retail commercial tenant space (previously occupied by a tattoo studio and art

gallery dba The Armada Tattoo & Art Gallery) into a full-service restaurant within the Union Street Neighborhood Commercial District and a 40-X Height and Bulk District.

Pursuant to the Guidelines of the State Secretary of Resources for the implementation of the California Environmental Quality Act (hereinafter "CEQA"), the Planning Department of the City and County of San Francisco (hereinafter "Department") determined that the proposed Conditional Use Application was categorically exempt from the environmental review process under Class 1(a) of the State CEQA Guidelines, Section 15301, pursuant to Title 14 of the California Administrative Code. The Commission has reviewed and concurs with said determination.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2010.0605C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the recitals above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project Site at 3131 Fillmore Street is on the southwest corner of Fillmore and Pixley Streets; Assessor's Block 0515; Lot 006. It is located within the Union Street Neighborhood Commercial Zoning District (NCD) and a 40-X Height and Bulk District. The subject lot is approximately 2,400 square-feet (24 feet wide by 100 feet deep) in size and is occupied by a two-story residential and commercial building constructed circa 1900. The existing building is listed in the Planning Department's 1976 Architectural Survey as having architectural significance, but is not listed in the National or California Registers as having architectural significance. The subject ground floor commercial tenant space was recently vacated and was last occupied by a tattoo studio and art gallery dba The Armada Tattoo & Art Gallery. Currently, there are three residential units on the second floor of the building.
3. **Surrounding Properties and Neighborhood.** The Project Site is located within the Union Street Neighborhood Commercial District (NCD). The majority of the surrounding development consists of two-to-three story residential over ground floor commercial buildings, with a few one-story commercial buildings within this portion of the Union Street NCD. A mix of food establishments, grocery stores, personal services, and small retail establishments defines the Union Street NCD corridor in the immediate vicinity. Some of the existing commercial establishments on the subject and opposite blocks include Liv furniture store, Plump Jack Café, Kasa restaurant, Metro Sport, Kerner Chiropractic, Crafty Kids, Lush Life, Clean Image Cleaners, Osome restaurant, Pizza Orgasmic, Stephanie Nails, Balboa Café, City Tavern, Matrix Fillmore,

and East Side West restaurant. On Pixley Street running east and west of the project site, there are primarily two- to three story residential buildings within the RH-2 (Residential, House, Two-Family) Zoning District.

4. **Project Description.** The proposal is to convert a vacant retail commercial tenant space (previously occupied by a tattoo studio and art gallery dba The Armada Tattoo & Art Gallery) into a full-service restaurant (tenant identified, but business name to be determined) within the Union Street Neighborhood Commercial District and a 40-X Height and Bulk District. The proposed full-service restaurant, with 1,164 square feet in floor area, will consist of a food preparation area, seating area for approximately 44 persons, kitchen area, and restroom. The proposal will involve tenant improvements to the ground floor commercial tenant space, with no expansion of the existing building envelope. The proposed hours of operation of the restaurant are 4 p.m. to 12 p.m., Monday through Thursday, 4 p.m. to 12:30 a.m., Friday and Saturday, and 2 p.m. to 9 p.m. on Sunday. According to the project sponsor, the business will be operating as a bona fide full-service restaurant with table service offering wine paired with “small plates” and appetizers. (Pursuant to Planning Code Section 790.142, a bona fide eating place will provide a minimum of 51% of the restaurant’s gross receipts from food sales prepared and sold to guests on the premises.)
5. **Issues and Other Considerations.**
 - The proposed full-service restaurant will be independently owned and is not considered a formula retail use under Section 703.3 of the Planning Code. The project sponsor (Kamran Shirazi) currently has a wine bar dba Wine Jar at 1870 Fillmore Street in the Upper Fillmore Street NCD, which he has operated since 2008. The project sponsor has indicated that the proposed full-service restaurant will be operated not as another branch of Wine Jar, but as a wine and appetizer lounge tailored towards a 30+ demographic, which will offer appetizers (small plates) paired with a selection of domestic and international wines. The project sponsor has also indicated that he intends to apply for an ABC License Type 41 from the Department of Alcoholic Beverage Control.
 - In February 2010, Planning Department staff conducted a site survey of the Union Street NCD (for the proposed full-service restaurant at 1784 Union Street dba Giordano Bros. under Case No. 2009.0996C) and estimated that approximately 12% of the frontage of the NCD is occupied by eating and drinking establishments. Since the survey was completed, there has been one other new full-service restaurant approved in the Union Street NCD in August 2010. This concentration is below the 20% threshold indicated in the Commerce and Industry Element of the General Plan which signals a potential over-concentration of eating and drinking establishments in a NCD.
6. **Public Comment.** As of September 22, 2010, the Department has not received any letters or phone calls in opposition to the project. The Department had received three emails requesting additional information regarding the proposal and restaurant operator. The Department received one letter from the Union Street Association in support of the project.

7. **Use District.** For the purposed of this action, the project site is within the Union Street Neighborhood Commercial District (NCD). The Union Street NCD, located in Northern San Francisco between the Marina and Pacific Height neighborhoods, provides convenience goods and services to the residents of the Cow Hollow, Golden Gate Valley, and Pacific Heights neighborhoods. The district has a very active and continuous commercial frontage along Union Street, while the side streets have a greater proportion of residences. The Union Street NCD controls are designed to encourage a wide variety of uses, with special emphasis on eating and drinking establishments and specialty shops whose clientele comes from a wide trade area. This is in addition to a significant number of professional, realty, and business offices. Most commercial development is permitted at the first two stories of new buildings, while retail service uses are monitored at the third story and above. The zoning controls are designed to provide sufficient growth opportunities for commercial development that is in keeping with the existing scale and character, promote continuous retail frontage, and protect adjacent residential livability.

8. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Full-Service Restaurant Use in the Union Street NCD.** Planning Code Section 725.42 states that a Conditional Use authorization is required to establish a full-service restaurant use on the ground floor, as defined by Planning Code Section 790.92, and with the additional control that:

the Planning Commission may approve a full-service restaurant providing on-site beer and/or wine sales (with ABC license 40, 41, or 60) if, in addition to meeting the criteria set forth in Section 303, the use (1) is located on the ground floor, and (2) the Planning Commission finds that an additional full-service restaurant would not result in a net total of more than 32 full-service restaurants in the Union Street NCD. The Planning Department shall apply Article 7 zoning controls for Union Street Full-Service Restaurants to conditional use authorizations required by Planning Code Section 178, including but not limited to significant alterations, modifications, and intensifications of use.

A full-service restaurant is defined under Planning Code Section 790.92 as:

a retail eating or eating or eating and drinking use which serves food to customers primarily for consumption on the premises, and is not specifically designed to attract and accommodate high customer volumes or turnover.

It has seating and serves prepared, ready-to-eat cooked foods for consumption on the premises. Guests typically order and receive food and beverage while seated at tables on the premises and pay for service after the meal is consumed.

It includes, but is not limited to, lunch counters, coffee shops, soda fountains and full-service dining establishments. It is distinct and separate from a small or large fast-food restaurant, as defined in Sections 790.90 and 790.91 of this Code.

It may provide on-site beer and/or wine sales for drinking on the premises (with ABC licenses 40, 41 or 60). If it serves liquor for drinking on the premises (with ABC licenses 47 or 48), or does not admit minors (with ABC licenses 42 or 61), then it shall also be considered a bar, as defined in Section 790.22 of this Code.

The Project Sponsor intends to establish a new full-service restaurant with waiter service as specified in Planning Code Section 790.92 and pursuant to the 2009 Ordinance No. 0008-09 that would permit 5 new full-service restaurants for a net total of no more than 32 restaurants within the Union Street NCD. The proposed project is the fourth restaurant to apply under the recent legislation since it was adopted in January 2009. Three full-service restaurants have been approved since the adoption of the ordinance: Kasa at 3115 Fillmore Street (approved in August 2009 under Case No. 2009.0398C), Giordano Bros. at 1784 Union Street (approved in February 2010 under Case No. 2009.0996C), and Unique at 1849 Union Street (approved in August 2010).

- B. Hours of Operation.** Section 725.27 allows hours of operation from 6 a.m. until 2 a.m. as of right and requires Conditional Use authorization to operate between the hours of 2 a.m. and 6 a.m.

The proposed hours of operation of the full-service restaurant are 4 p.m. to 12 p.m., Monday through Thursday, 4 p.m. to 12:30 a.m., Friday and Saturday, and 2 p.m. to 9 p.m. on Sunday.

- C. Street Frontage in Neighborhood Commercial Districts.** Section 145.1 requires that NC Districts containing specific uses, including retail stores, have at least ½ the total width of the new or altered structure at the commercial street frontage devoted to entrances to commercially used space, windows or display space at the pedestrian eye-level. Such windows shall use clear, un-tinted glass, except for decorative or architectural accent. Any decorative railings or decorated grille work, other than wire mesh, which is placed in front or behind such windows, shall be at least 75 percent open to perpendicular view and no more than six feet in height above grade.

The subject commercial space has approximately 20 feet of frontage on Fillmore Street and a portion of Pixley Street with glass frontage and window openings devoted to either the entrance or window space. There are no modifications proposed to the existing storefront.

- D. Off-Street Parking and Loading.** Section 151 requires off-street parking for every 200 square feet of occupied floor area, where the occupied floor area exceeds 5,000 square feet. Section 152 requires one off-street loading space for retail stores between 10,001 and 60,000 gross square feet.

The subject commercial space, with 1,164 square feet in floor area, does not require any off-street or loading parking spaces.

E. **Signage.** Any proposed signage will be subject to the review and approval of the Planning Department and must comply with Article 6 of the Planning Code.

9. **Section 303(c)** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- (1) The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The proposed Project is to allow the establishment of a full-service restaurant on the ground floor of the building. There will be tenant improvements made to the existing commercial tenant space with no expansion of the existing building envelope.

- (2) The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- (A) Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The size and shape of the site and the size, and the arrangement of the structures on the site are adequate for the proposed Project. There will be no physical expansion of the existing building.

- (B) The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

Existing traffic patterns will not be significantly affected by the proposed Project. Public transit is in close proximity to the proposed full-service restaurant. There is on-street parking in front of the subject property and in the surrounding neighborhood.

- (C) The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

No noxious or offensive emissions such as glare, dust, or odor are expected to be produced by the proposed Project. Under Conditions of Approval #6, the project sponsor shall maintain appropriate odor control (ventilation) equipment to prevent any significant noxious or offensive kitchen odors from escaping the full-service restaurant premises.

- (D) Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposed full-service restaurant proposes interior alterations to the existing ground floor commercial tenant space. There will be no addition of parking spaces, loading facilities, open space or service areas. All Project signage and projections will be consistent with the controls of the Planning Code.

- i. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The proposed Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- ii. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed Project is consistent with the stated purpose of the Union Street NCD in that the intended use is a neighborhood-serving business.

10. **General Plan Compliance.** The Project is consistent with the Objectives and Policies of the General Plan in that:

COMMERCE AND INDUSTRY ELEMENT

GENERAL/CITYWIDE

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

The proposed full-service restaurant would be compatible with and complimentary to the types of uses characterizing this portion of the Union Street NCD, which include a mixture of food establishments, personal services, and small retail establishments.

Policy 3:

Preserve and promote the mixed commercial-residential character in neighborhood commercial districts. Strike a balance between the preservation of affordable housing and the needed expansion of commercial activity.

Approval of the proposed Project would be consistent with the mixed commercial-residential character of this portion of the Union Street NCD. The proposed Project would not adversely impact any affordable housing resources in the neighborhood.

OBJECTIVE 3:

PROVIDE EXPANDED EMPLOYMENT OPPORTNITIES FOR CITY RESIDENTS, PARTICULARLY THE UNEMPLOYED AND ECONOMICALLY DISADVANTAGED.

Policy 1:

Promote measures designed to increase the number of San Francisco jobs held by San Francisco residents.

The proposed Project would provide enhanced opportunities for employment of neighborhood residents.

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No existing commercial tenant would be displaced and the proposed Project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood. The proposed full-service restaurant will occupy the subject commercial tenant space which has been vacant for less than one year.

The following guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and City Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

Policy 2:

Promote economically vital neighborhood commercial districts which foster small business enterprises and entrepreneurship and which are responsive to the economic and technological innovation in the marketplace and society.

An independent entrepreneur is sponsoring the proposal. The proposed use is a neighborhood-serving use. This is not a Formula Retail Use.

The following guidelines, in addition to others in this objective for neighborhood commercial districts, should be employed in the development of overall district zoning controls as well as in the review of individual permit applications, which require case-by-case review and City Planning Commission approval. Pertinent guidelines may be applied as conditions of approval of individual permit applications. In general, uses should be encouraged which meet the guidelines; conversely, uses should be discouraged which do not.

Eating and Drinking Establishments

Eating and drinking establishments include bars, sit-down restaurants, fast food restaurants, self-service restaurants, and take-out food. Associated uses which can serve similar functions and create similar land use impacts include ice cream stores, bakeries and cookie stores. Guidelines for eating and drinking establishments are needed to achieve the following purposes:

- Regulate the distribution and proliferation of eating and drinking establishments, especially in districts experiencing increased commercial activity;
 - Control nuisances associated with their proliferation;
 - Preserve storefronts for other types of local-serving businesses; and
 - Maintain a balanced mix of commercial goods and services.
- The regulation of eating and drinking establishments should consider the following:
- Balance of retail sales and services;
 - Current inventory and composition of eating and drinking establishments;
 - Total occupied commercial linear frontage, relative to the total district frontage;
 - Uses on surrounding properties;
 - Available parking facilities, both existing and proposed;
 - Existing traffic and parking congestion; and
 - Potential impacts on the surrounding community.

The Commerce and Industry Element of the General Plan contains Guidelines for Specific Uses. For eating and drinking establishments, the Guidelines state, "the balance of commercial uses may be threatened when eating and drinking establishments occupy more than 20 percent of the total occupied commercial frontage." Based on the previous site survey of the Union Street NCD conducted by Planning staff, it is estimated that 12% - 15% of the frontage of the NCD is occupied by eating and drinking establishments.

Policy 4:

Encourage the location of neighborhood shopping areas throughout the city so that essential retail goods and personal services are accessible to all residents.

The proposed Project will provide a new full-service restaurant use which is accessible to all residents in this portion of the Union Street NCD.

Policy 9:

Regulate uses so that traffic impacts and parking problems are minimized.

The proposed Project would not adversely impact public transit or place a burden on the existing supply of parking in the neighborhood. Many patrons would be able to walk from their residences or places of employment, and the project is well served by public transportation. There is on-street parking in front of the subject property and in the surrounding neighborhood.

NEIGHBORHOOD ENVIRONMENT

Objectives and Policies

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 15:

Protect the livability and character of residential properties from the intrusion of incompatible new buildings.

The proposed Project would improve the neighborhood environment by increasing safety during the daytime and evening hours through the occupancy of the vacant commercial tenant space.

11. **Section 101.1(b)** establishes eight priority planning policies and requires the review of permits that authorize changes of use for consistency with said policies:

- (1) That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.

The proposed Project will preserve and enhance existing commercial uses by providing a new commercial establishment (full-service restaurant), which will be complimentary to the existing commercial establishments within the immediate neighborhood. The proposed Project will provide new job opportunities to the City by employing approximately eight people.

- (2) That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The proposed Project will preserve and enhance the cultural and economic diversity of the neighborhood by bringing a new business to the area. Existing housing will not be significantly affected by the proposed Project.

- (3) That the City's supply of affordable housing be preserved and enhanced.

The proposed Project will not displace any affordable housing.

- (4) That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The proposed Project would not significantly increase the automobile traffic congestion and parking problems in the neighborhood. The proposal is a neighborhood-serving use which residents can access by walking or taking public transit.

- (5) That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

A full-service restaurant use will replace a retail use (previously occupied by a tattoo studio and art gallery dba The Armada Tattoo & Art Gallery) which vacated the commercial tenant space on the Project Site. There would be no displacement of any existing industrial or service businesses in the area.

- (6) That the City achieves the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The proposed Project will comply with all applicable earthquake safety standards and built to the current standards of the California Building Code.

- (7) That landmark and historic buildings be preserved.

The proposed Project will not significantly affect any landmarks or historic buildings.

- (8) That our parks and open space and their access to sunlight and vistas be protected from development.

The proposed Project will not affect any city-owned park or open space.

12. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

13. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2010.0605C** subject to the following conditions attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. _____. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on September 30, 2010.

Linda Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:

Exhibit A

Conditions of Approval

1. Pursuant to Planning Code Sections 725.42 and 303, this Conditional Use approval is to allow the conversion of ground floor retail commercial tenant space with approximately 1,164 square feet of floor area into a full-service restaurant with waiter service within the Union Street Neighborhood Commercial Zoning District and a 40-X Height and Bulk District, in general conformity with Plans on file with the Department in the docket for **Case No. 2010.0605C** (labeled EXHIBIT B), reviewed and approved by the Commission on September 30, 2010 under Motion No. _____.
2. The proposal is to convert a retail commercial tenant space into a full-service restaurant with waiter service within the Union Street Neighborhood Commercial District and a 40-X Height and Bulk District. The project sponsor intends to establish a new full-service restaurant with waiter service as specified in Planning Code Section 790.92 and pursuant to the 2009 Ordinance No. 0008-09 that would permit 5 new full-service restaurant uses on the ground floor for a net total of no more than 32 restaurants within the Union Street Neighborhood Commercial Zoning District. The proposal will involve tenant improvements to the ground floor commercial tenant space, with no expansion of the existing building envelope. According to the project sponsor, the business will be operating as a bona fide full-service restaurant with table service offering wine paired with “small plates” and appetizers. (Pursuant to Planning Code Section 790.142, a bona fide eating place will provide a minimum of 51% of the restaurant’s gross receipts from food sales prepared and sold to guests on the premises.)
3. The proposed hours of operation of the full-service restaurant with waiter service are 4 p.m. to 12 p.m., Monday through Thursday, 4 p.m. to 12:30 a.m., Friday and Saturday, and 2 p.m. to 9 p.m. on Sunday. Planning Code Section 725.27 allows hours of operation from 6 a.m. until 2 a.m. as of right and requires Conditional Use authorization to operate between the hours of 2 a.m. and 6 a.m.
4. The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the Subject Property in a clean condition. Such maintenance shall include, at a minimum, daily litter pickup and disposal, and washing or steam cleaning of the main entrance and abutting sidewalks at least once each week.
5. The Project Sponsor shall operate the proposed full-service restaurant with waiter service such that noise is kept at reasonable levels so as not to unduly disturb neighboring residents and businesses. Any new ductwork shall not discharge near residential window openings or obscure any windows.
6. The Project Sponsor shall maintain appropriate odor control equipment to prevent any significant noxious or offensive kitchen odors from escaping the full-service restaurant premises, and, while it is inevitable that some low level odor from the restaurant may be detectable to residents and passersby, the exhaust system shall not discharge air in a manner so that exhaust air will enter dwellings.
7. Refuse containers shall be provided both inside and outside the establishment for use by patrons of the full-service restaurant with waiter service. An enclosed garbage area shall be provided within

the establishment. All garbage containers shall be kept within the building until pick-up by the disposal company.

8. There shall be no noise audible outside the establishment during the daytime or nighttime hours that violates the San Francisco Noise Ordinance. Further, absolutely no sound from the establishment shall be audible inside any surrounding residences or businesses that violate San Francisco Police Code Section 2900.
9. Signs and exterior lighting for the business shall be reviewed and approved by the Planning Department before they are installed.
10. **VALIDITY, EXPIRATION, AND EXTENSION**

This Conditional Use approval is **valid for three years** from the effective date of the Motion No. _____ authorizing the proposed full-service restaurant with waiter service use and shall automatically expire on _____. This authorization is just an approval of the proposed use and is NOT a permit to implement the approved use. This authorization and right vested by virtue of this action shall be deemed void and cancelled if a Building Permit from the Department of Building Inspection to implement the approved use has not been obtained prior to the expiration of this Conditional Use approval. The validity of this Conditional Use approval may be extended at the discretion of the Zoning Administrator only if the failure to issue a Building Permit by the Department of Building Inspection is delayed by the city, state, or federal agency or by appeal of the issuance of such Building Permit. However, the extension must be requested prior to the expiration of this Conditional Use approval.

11. **MAJOR AND MINOR CHANGES AND MODIFICATIONS OF CONDITIONS**

Minor changes to the approved plans may be approved administratively by the Zoning Administrator. Major changes and modifications of conditions shall be subject to review and approval by the Planning Commission requiring a new Conditional Use approval or amendment to this Conditional Use approval as determined by the Zoning Administrator. Such changes must be requested prior to the expiration of this Conditional Use approval.

12. **RECORDING OF CONDITIONS OF APPROVAL**

Prior to the issuance of a Building Permit Application for the proposed full-service restaurant with waiter service use, the project sponsor or the responsible party shall record a Notice of Special Restrictions as approved by the Zoning Administrator in the Official Records of the Recorder of City and County of San Francisco for the premises (Assessor's 0515, Lot 006), which notice shall state that the proposed use has been authorized by Motion No. _____ and is subject to the conditions of approval of this Motion.

13. **BUILDING PERMIT TO IMPLEMENT THE APPROVED PROJECT**

A Building Permit from the Department of Building Inspection must be obtained to implement the approved use within three years from the effective date of Motion No. _____ approving the proposed full-service restaurant with waiter service use. The Building Permit Application shall include plans in conformance with the plans on file with the Department in the docket for 2010.0605C (labeled EXHIBIT B), reviewed and approved by the Planning Commission on

September 30, 2010 under the **Motion No.**_____. The plans are required to record the approved use of the premises even if there is no new construction or minor interior changes. The conditions of approval shall be reproduced on the Index Sheet of the plans submitted with the Building Permit Application. The Index Sheet of the plans shall reference to this Conditional Use Authorization and any subsequent amendments or modifications.

The project shall also comply with all other applicable city codes as required by other city departments. Additionally, no change in the character of occupancy or change to a different group of occupancy as described under the Building Code shall be made without first obtaining a Certificate of Occupancy from the Department of Building Inspection and approval from Planning and other city departments as necessary.

14. COMPLETION OF BUILDING PERMIT

If the Building Permit is allowed to expire for more than one year, the renewal of such Building Permit thereafter will be subject to review by the Planning Department. Prior to filing of a renewal of the expired permit, the project sponsor or the responsible party shall notify the Planning Department.

15. REPORTING

The Project Sponsor or the subsequent responsible party for the project shall submit to the Zoning Administrator two copies of a written report describing the status of compliance with the conditions of approval contained within the Motion No.____within six months from the date of implementation of the proposed use. Thereafter, the submittal of the report shall be on an annual basis. This requirement shall lapse when the Zoning Administrator determines that all the conditions of approval have been satisfied or that the report is no longer required for other reasons.

16. REVOCATION

During the Building Permit Application process phase of the project, the Zoning Administrator may place an order to stop work, suspend, or revoke a Building Permit if the proposal carried out on the site is not in conformance with the plans approved under this Conditional Use approval and subsequent Building Permit. The Zoning Administrator may also recommend the Planning Commission to consider revocation of this Conditional Use approval in a public hearing for non-compliance with any of the conditions of approval.

17. ENFORCEMENT

After commencement of the approved use, violation of any of the planning conditions of approval contained in the Motion No.____or of any other provisions of Planning Code applicable to this project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1, whichever applicable for each day a violation continues or is allowed to continue. The Planning Department may also refer the violation

complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

18. **MONITORING**

If the project requires monitoring of the conditions of approval contained in Exhibit A of Motion No. _____, the project sponsor or the subsequent responsible parties for the project shall pay fees as established under Planning Code Section 351(e)(1) and work with the Planning Department to ensure compliance.

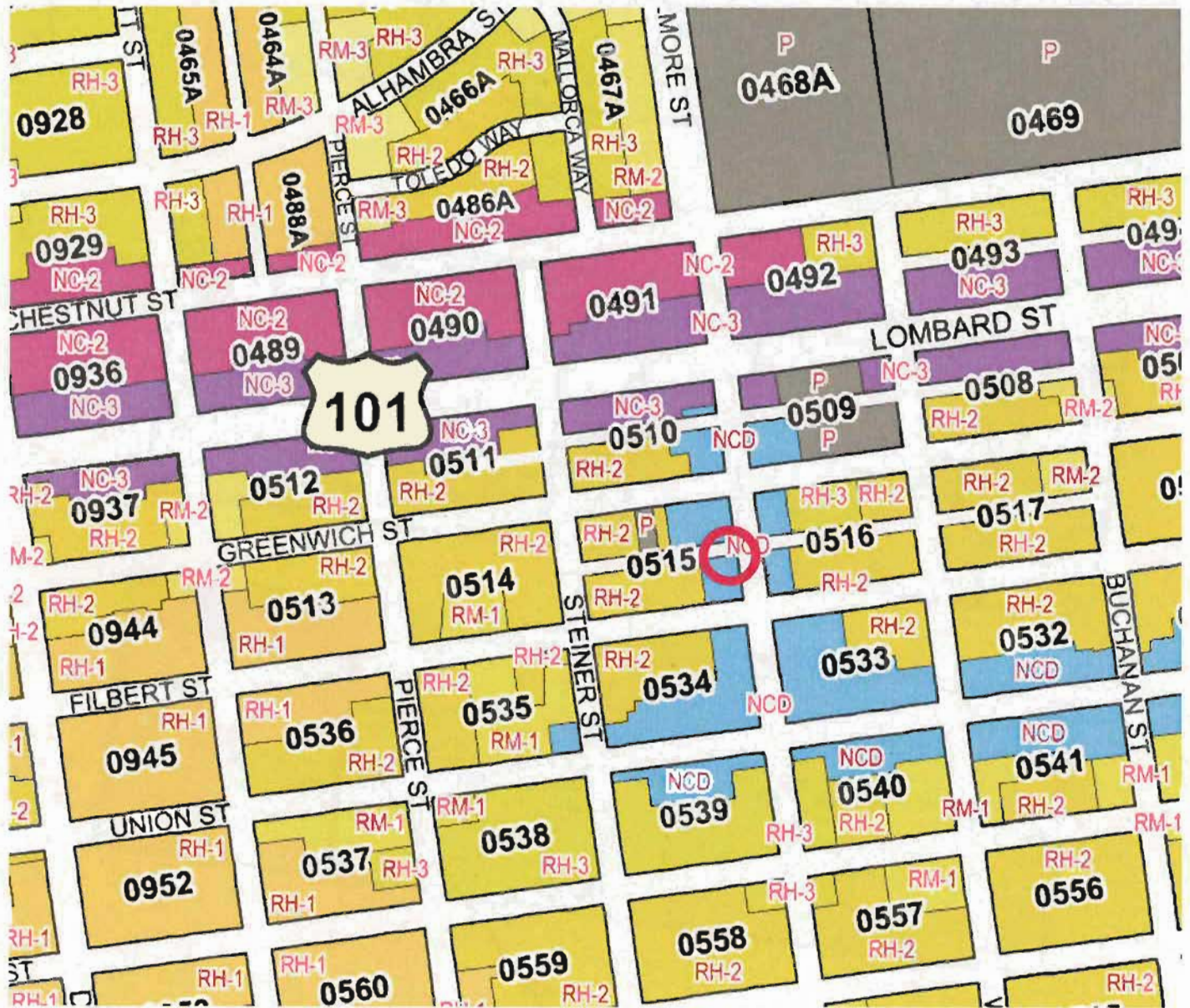
19. **NEIGHBORHOOD CONCERNS**

The Project Sponsor shall appoint a Community Liaison Officer to address issues of concern to neighbors related to the operation of this Project. The Project Sponsor shall report the name and telephone number of this Officer to the Zoning Administrator and the neighborhood for reference. The Project Sponsor shall keep the above parties apprised should a different staff liaison be designated.

20. **SEVERABILITY**

If any clause, sentence, section, or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other of the remaining provisions, clauses, sentences, or sections of these conditions. It is hereby declared to be the intent of the Planning Commission that these conditions of approval would have been adopted had such invalid sentence, clause, or section or part thereof not been included herein.

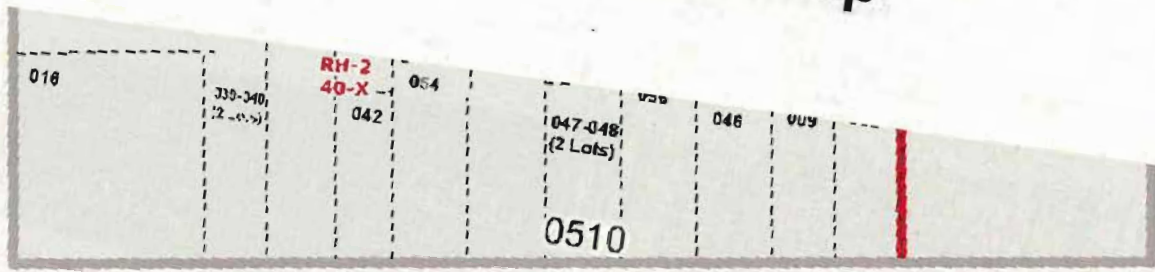
Zoning Map



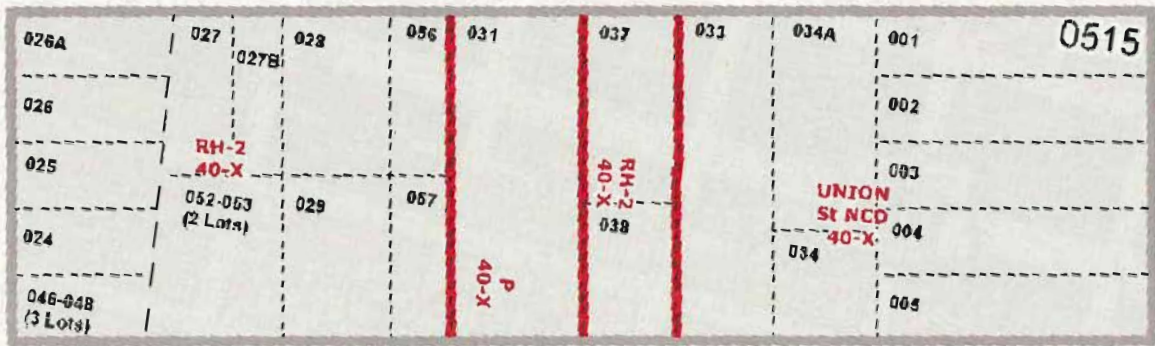
Conditional Use Hearing
Case Number 2010.0605C
3131 Fillmore Street
Proposed Full-Service Restaurant



Parcel Map



Greenwich St



Pixley St

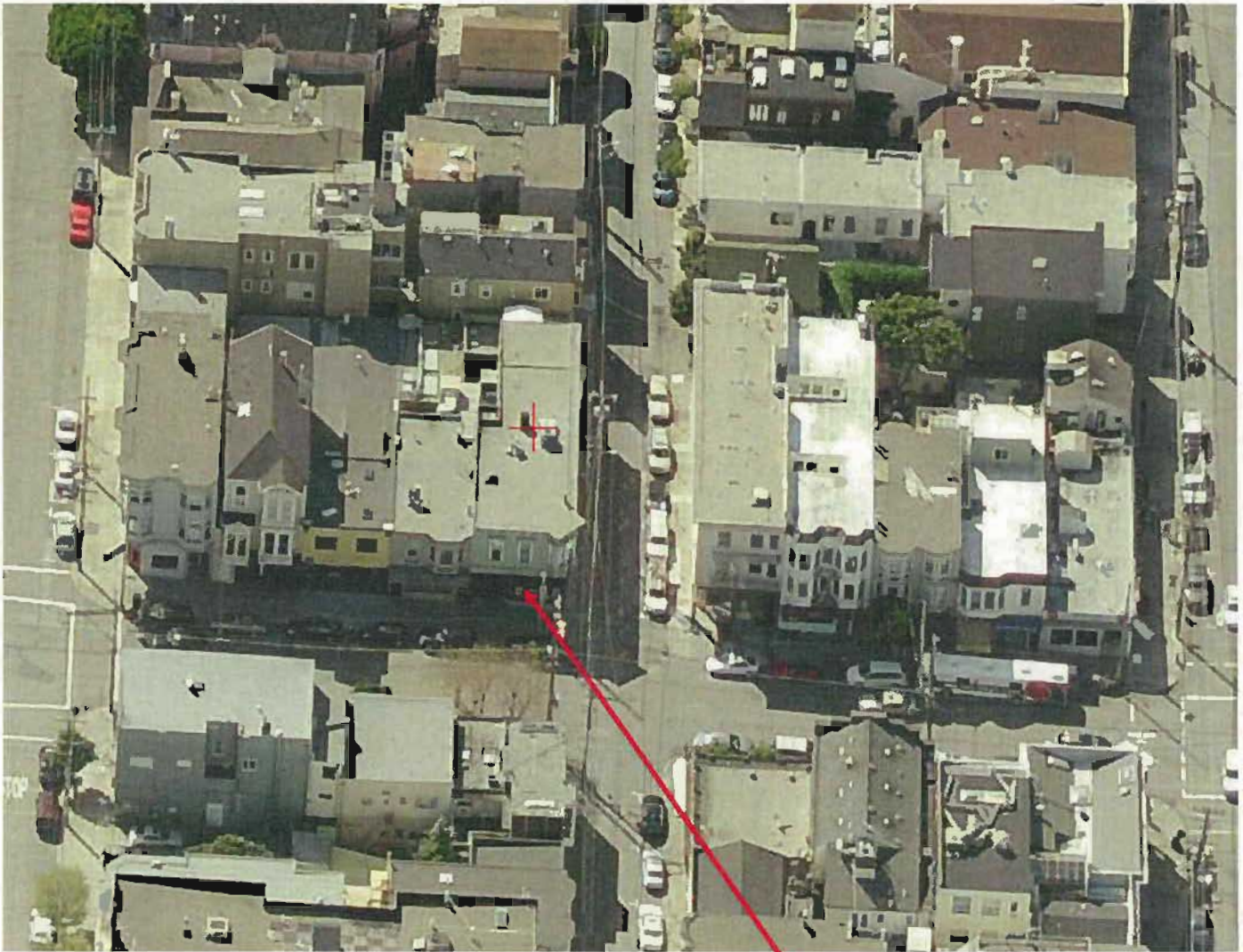


Fillmore St

SUBJECT PROPERTY



Aerial Photo*

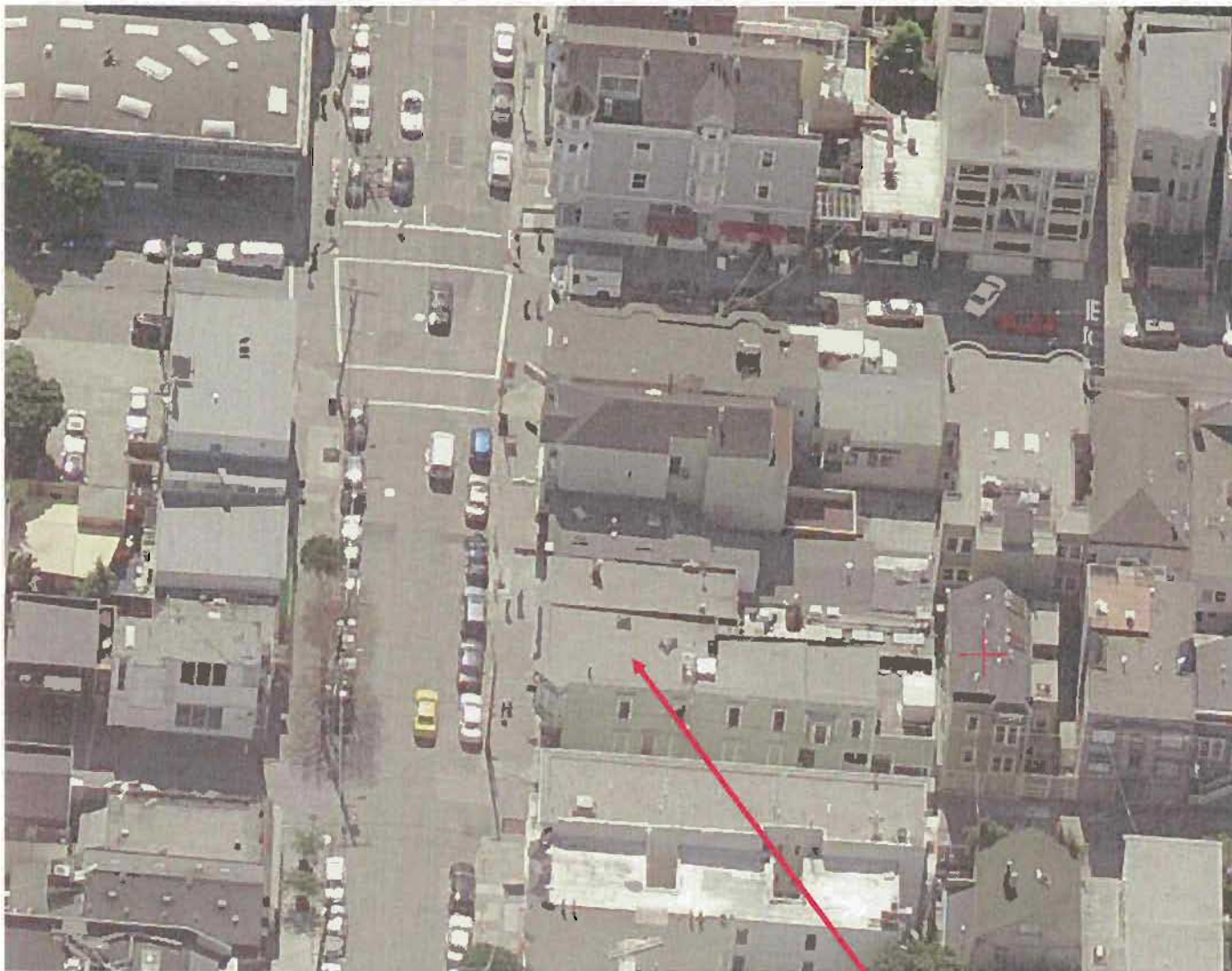


SUBJECT PROPERTY

**The Aerial Maps reflect existing conditions in March 2009.*



Aerial Photo*



SUBJECT PROPERTY

**The Aerial Maps reflect existing conditions in March 2009.*



Aerial Photo*



SUBJECT PROPERTY

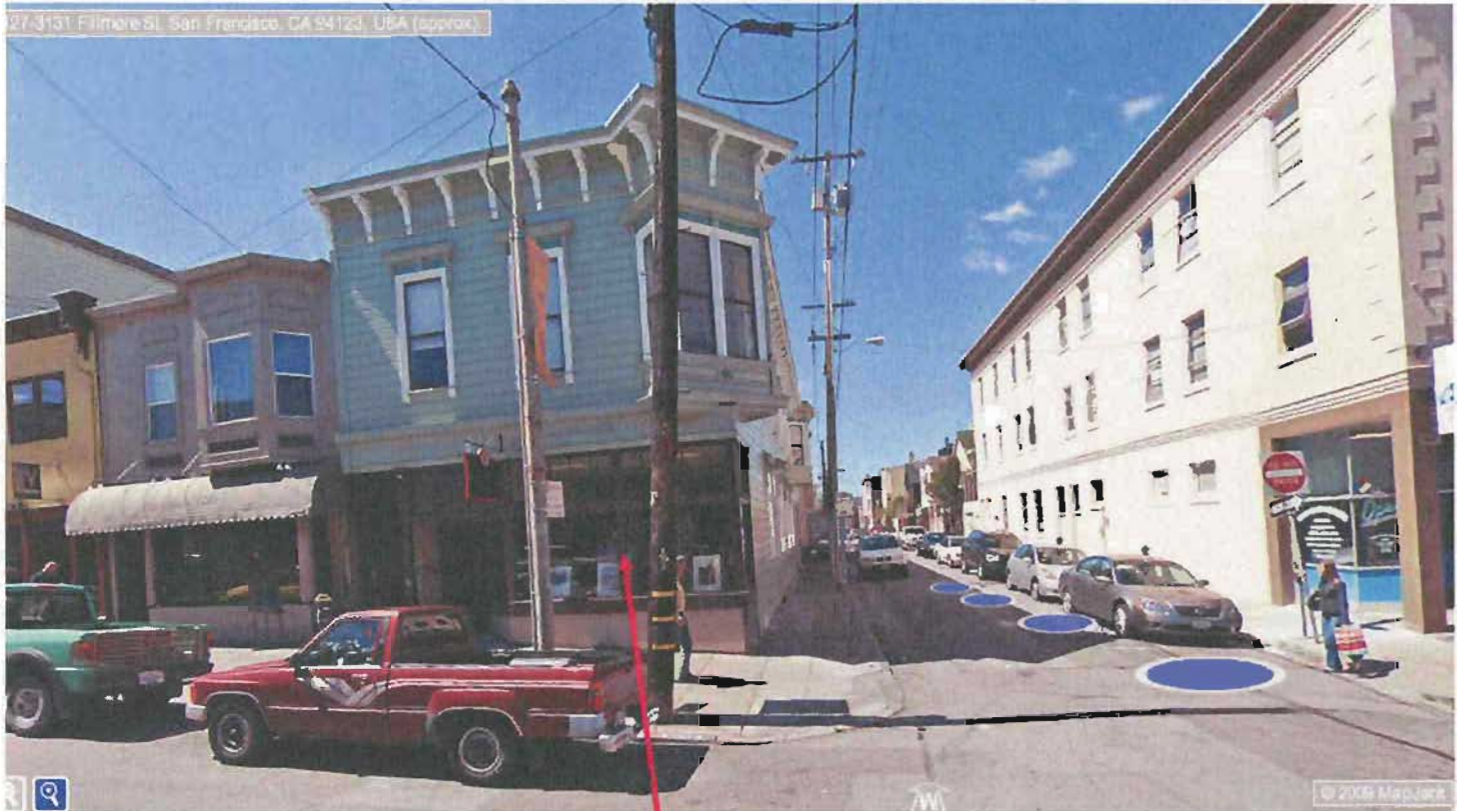
**The Aerial Maps reflect existing conditions in March 2009.*



Conditional Use Hearing
Case Number 2010.0605C
3131 Fillmore Street
Proposed Full-Service Restaurant

Site Photo

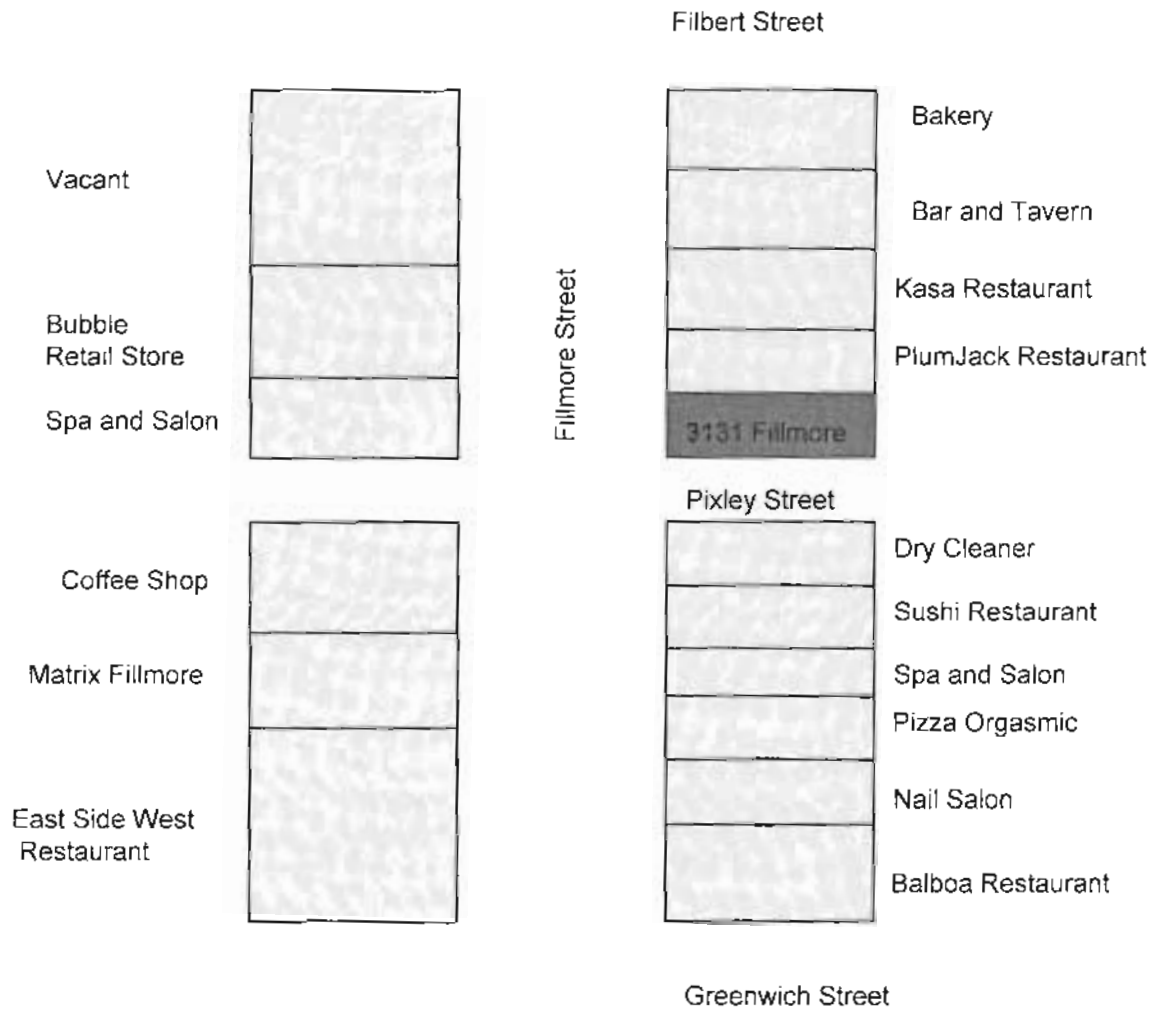
SUBJECT PROPERTY ON FILLMORE STREET



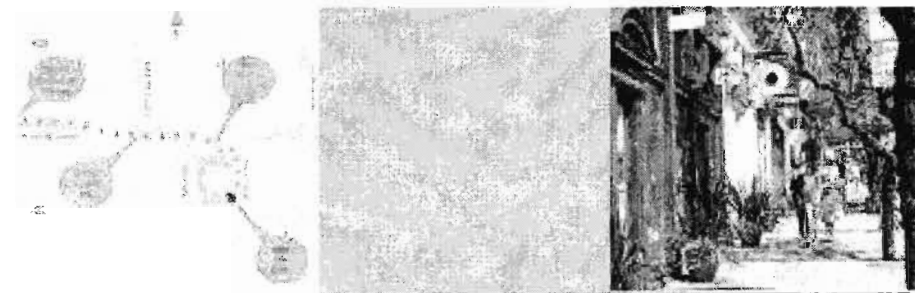
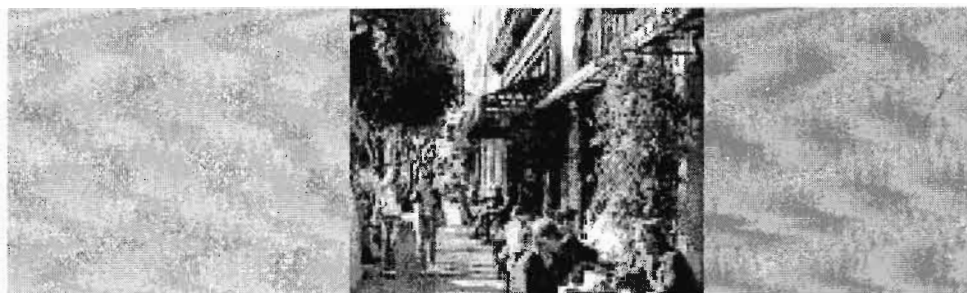
SUBJECT PROPERTY

Conditional Use Hearing
Case Number 2010.0605C
3131 Fillmore Street
Proposed Full-Service Restaurant









**Proposal 3131 Fillmore Street
Wine bar and Appetizer Lounge**

July, 2010

Kamran Shirazi

415.606.1949

k@winejar-sf.com

Summary about me

- I own and operate the Wine Jar, a successful small wine bar, on Fillmore Street and I am interested in opening a new Wine and Appetizer lounge at 3131 Fillmore street
- I will create a unique and serene neighborhood trendy spot and serve great selection of domestic and international wines along with paired appetizers to enhance the experience of wine connoisseurs.
- I am very familiar with the neighborhood and the demographics as I currently own and operate the Wine Jar on Fillmore – a first class neighborhood wine bar

My Background

- My background is Information Technology and after 16 years of executive level management I decided to start my own business in the service industry.
- In 2008, I purchased the Trio Café, a 19 year old small restaurant, and converted the space into one of the trendiest neighborhood Wine Bars (Wine Jar) in San Francisco.
- Despite the worse recession in decades, I turned the Wine Jar around into a profitable business, created six part time positions and have been generating about \$10,000 in sales revenues for the City of San Francisco.

Agenda

- Demographics for Cow Hollow, Pacific Heights, Lower Pacific Heights and Current Business Trends
- •What is needed?
- •Proposal
- •Plans
- •Process

Demographics Cow Hollow

Population

	2000 Census	%	Current Year	% Growth
Total Population	18446	100.00%	17144	-7.06%

Age Distribution

	2000 Census	%	Current Year	% Growth
Age 0-20	1396	7.57%	1652	18.34%
Age 20-34	8332	45.17%	5507	-33.91%
Age 35-74	7424	40.25%	8592	15.73%
Age 75+	1294	7.02%	1393	7.65%

Households

	2000 Census	%	Current Year	% Growth
Total Households	11033	100.00%	10162	-7.89%
Average Household Size	1.93	n/a	1.93	n/a
Median House Income	81396.13	n/a	93970.53	n/a

Demographics Pac Heights

Population

	2000 Census	%	Current Year	% Growth
Total Population	47563	100.00%	44414	-6.62%

Age Distribution

	2000 Census	%	Current Year	% Growth
Age 0-20	4488	9.44%	4698	4.68%
Age 20-34	18052	37.95%	11905	-34.05%
Age 35-74	21330	44.85%	23887	11.99%
Age 75+	3693	7.76%	3924	6.26%

Households

	2000 Census	%	Current Year	% Growth
Total Households	26796	100.00%	24906	-7.05%
Average Household Size	2	n/a	2	n/a
Median House Income	84131.56	n/a	96820.24	n/a

Demographics Lower Pac Heights

Population

	2000 Census	%	Current Year	% Growth
Total Population	11741	100.00%	11170	-4.86%

Age Distribution

	2000 Census	%	Current Year	% Growth
Age 0-20	1038	8.84%	1074	3.47%
Age 20-34	4188	35.67%	2778	-33.67%
Age 35-74	4814	41.00%	5528	14.83%
Age 75+	1701	14.49%	1790	5.23%

Households

	2000 Census	%	Current Year	% Growth
Total Households	6424	100.00%	6102	-5.01%
Average Household Size	1.8	n/a	1.8	n/a
Median House Income	59301.3	n/a	67221.6	n/a

Market Analysis

- Current economical conditions have forced many small businesses to close their doors in Cow Hollow and Pacific Heights.
- This is evident by the number of vacant store fronts, in these neighborhoods.
- Furthermore, these conditions have contributed to the decline in the job market in the service industry.
- Current data represents a decline in population under 30 in these neighborhoods.
- In addition, the data also shows that 30s and up demographic is still strong in these neighborhoods -- due to permanent jobs in the City and dull income households

Market Trends

- New trends and ideas are needed to revamp these neighborhoods and gradually restore popularity and strong commerce.
- New trends are also needed to services the need of 30s and up demographics
- As the population for these neighborhoods mature they seek finer establishments that offer services targeted specifically to their age group.
- One of the new trends that has been successful, is the trendy Wine and Appetizer establishments that offer services and promote a more siren environment.

Business Trends

- Professionals in their 30s and above look for more trendy and tasteful local places to dine and socialize
- There has been a surge in the number of Wine and Appetizer lounges and upscale restaurants in other neighborhoods
- These upscale establishments attract and serve highly educated individuals and couples with average income of \$75,000/year and more
- As the population grows, there is a need for neighborhood restaurants and lounges tailored to a more matured audience
- There is a need for before and after dining for local residence in the neighborhood
- Consequently lack of such businesses, specially on Fillmore street between Union and Lombard forces residence to go outside their neighborhood

Proposal - location

- To open a neighborhood Wine and appetizer lounge tailored to 30s and up demographics
- Location: 3131 Fillmore street – approximately 1200sf with a type 41 Liquor license
- A boutique style wine tasting and appetizer paring lounge
 - Unique and serene ambience for professionals in the neighborhood
 - Alternative trendy spot for a more mature audience
 - Great wine selection from around the world
 - Great paring appetizers specific to the wine



September 8, 2010

SF Planning Commission
1650 Mission
Suite 400
SF Ca 94103

Re: 3131 Fillmore Conditional Use

Dear Commissioners,

The Union Street Association has met with the project sponsor regarding his proposal to occupy 3131 Fillmore, a retail store, with an Appetizer and Wine Room in the NCD. The project sponsor owns the Wine Jar in upper Fillmore and this will be his second location.

The Association suggested he do outreach to his neighbors adjacent to the location which he did. All businesses contacted were favorable. He presented his project to the USA members at a recent meeting and all present were in favor.

When the Association in 2009 petitioned the Commission and received a zoning change regarding restaurant occupancy in Cow Hollow, it was to facilitate a usage such as the project sponsors'. Food must be provided during the hours of operation. We also expect the project sponsor to be mindful of residents in the area of his operation and to mitigate late night noise and tobacco litter as much as possible.

We respectfully request that the Commission approve this application.

Sincerely,

Lesley Leonhardt
Executive Director

cc Kamran Shirazi

GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF CAMPBELL & ASSOCIATES AND THEY ARE NOT TO BE USED FOR ANY OTHER JOB WITHOUT WRITTEN PERMISSION BY THE ARCHITECT.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE QUALITY OF THE WORK OR MATERIALS, METHODS OF CONSTRUCTION, OR TIMELINESS IN PERFORMANCE OF THE WORK.
- THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE NEGLIGENCE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE FEATURES OF THE SITE, EXISTING CONDITIONS, AND THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THESE DOCUMENTS. ANY ERRORS, OMISSIONS OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION OF THE AFFECTED AREA.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOBSITE. ALL DIMENSIONS ARE TO THE FACE OF FINISHES, CONCRETE OR MASONRY UNLESS OTHERWISE SPECIFIED. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS (EXAMPLE: 1"=1'-0" DETAILS TAKES PRECEDENCE OVER 1/4"=1'-0" DETAILS). ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION ON THE JOBSITE. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL MATERIALS AND FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL FOLLOW ALL REFERENCED ICBO REPORTS FOR INSTALLATION OF ITEMS AS INDICATED.
- ALL WORK SHALL BE FIRST QUALITY, PERFORMED BY SKILLED WORKMEN KNOWLEDGEABLE AND COMPETENT IN THEIR TRADE, AND IN KEEPING WITH TRADE ASSOCIATION AND OTHER RECOMMENDED BUILDING PRACTICES.
- CONFLICTS BETWEEN WORK DESCRIBED IN THESE DOCUMENTS AND THE APPLICABLE CODES AND ORDINANCES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLY WITH ALL CODE AND ORDINANCE PROVISIONS. COMPLIANCE WITH MINIMUM CODE REQUIREMENTS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE WORK IN CONFORMANCE WITH THE INTENT OF THESE DRAWINGS.
- SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS, A CHANGE ORDER DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE ISSUED BY THE ARCHITECT AND SIGNED BY BOTH THE OWNER AND CONTRACTOR PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION AND SIZE OF ALL OPENINGS FOR ALL TRADES AND SHALL COORDINATE ALL CONSTRUCTION AS NECESSARY TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COORDINATION AND DISTRIBUTION OF ALL WORK, INCLUDING ALL WORK TO BE PERFORMED BY THE SUB-CONTRACTORS. NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED TO LIMIT THE WORK OF ANY SUB-CONTRACTOR.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE UNIFORM BUILDING CODE AND ALL APPLICABLE CODES AND REGULATIONS.
- RESTORE EXPOSED FINISHES OF PATCHED AND/OR TRANSITION OF EXISTING TO NEW AREAS IN A MANNER WHICH ELIMINATES EVIDENCE OF RESTORATION.
- EXTERIOR AREAS SHALL BE KEPT FREE FROM DEBRIS DAILY.
- STOCKPILE AND PROTECT NEW MATERIALS TO BE INSTALLED IN AREAS ON SITE, APPROVED IN ADVANCE BY THE OWNER.

3131 Fillmore Street

San Francisco, CA 94123

Interior Tenant Space for a Restaurant

Issue: Date: 07/19/10
 Comments: Permit Application

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3131 Fillmore Street
 Restaurant
 San Francisco, CA 94123

APN No.: Block 0515 Lot 006

10.0605 C

SYMBOLS

	SOLID LINE. ALL ITEMS, EXCEPT AS NOTED BELOW		EQUIPMENT SYMBOL
	DASHED LINE. ITEMS HIDDEN, ABOVE, OR TO BE REMOVED AS INDICATED		DOOR NUMBER
	PROPERTY LINE		WALL ASSEMBLY TAG
	CENTER LINES OR COLUMN GRIDS		EXTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER
	DIMENSION TO FACE OF OBJECT OR FINISH		CEILING MATERIAL CEILING HEIGHT
	DIMENSION TO CENTER OF OBJECT		REVISION NUMBER
	COLUMN OR GRID LINES		BREAK LINE
	DETAIL DETAIL NUMBER SHEET NUMBER		INTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER
	SECTION SECTION NUMBER SHEET NUMBER		ROOM NAME ROOM NUMBER
	SHEET NOTE		MATCH LINE
	KEY NOTE		WINDOW TYPE
	NOTATION		
	WORK POINT		

MATERIAL DESIGNATIONS

	EARTH		PLYWOOD
	ROCK FILL		STONWORK
	SAND/MORTAR		WOOD, FINISHED
	POURED IN PLACE CONCRETE		WOOD FRAMING CONTINUOUS MEMBER
	CONCRETE BLOCK		WOOD FRAMING INTERRUPTED MEMBER
	STEEL		WINDOW
	ACOUSTICAL TILE OR BOARD		RIGID INSULATION
	GYPSUM BOARD		CERAMIC TILE
	BATT INSULATION		STUCCO

PROJECT INFO

BUILDING TYPE: V (Five)
 ZONING: Union Street MCD
 SPECIAL USE: Restaurant
 (E) BUILDING OCCUPANCY: R-2 & M
 PROPOSED TENANT SPACE OCCUPANCY: M
 TOTAL NO. OF BLDG. FLOORS: 2
 FLOOR(S) OF TENANT SPACE OCCUPANCY: GROUND FLOOR
 (E) & (N) TENANT SPACE FLOOR AREA: 1,164 S.F. (Ground Floor)
 (N) ADDITIONAL S.F.: NONE
 NO. OF OCCUPANTS: 49 Occupants
 Assembly Use, Tables and Chairs (unconcentrated):
 650 S.F. / 15 Net S.F. per person = 44 Occupants
 Mercantile, Commercial Kitchen:
 152 S.F. / 200 Gross S.F. per person = 1 Occupant
 Storage Use, Basement:
 480 S.F. / 300 Gross S.F. per person = 2 Occupants
 NO. OF EMPLOYEES: 2

APPLICABLE CODES

2007 California Building Code* 2007 California Electrical Code*
 2007 California Mechanical Code* 2007 California Energy Code
 2007 California Plumbing Code* 2007 California Fire Code*
 *With San Francisco Amendments

SCOPE OF WORK

- Remove the (E) Bath and add an ADA Bath.
- Add ADA Signage, Lever hardware, thresholds, kickplates.
- Add New Walls and Doors on the Interior.
- Add (N) Countertop in the main space.
- Remove (E) lights fixtures and replace with (N) fixtures.
- Install (N) Restaurant Equipment.
- Remove (E) 2X4 Lay-in Grid Ceiling; add one-hour ceiling.
- Install (N) Front Counter.
- Replace (E) Wood Floor.
- Paint Interior as per the Tenant.

LOCATION MAP



VICINITY MAP



DRAWING INDEX

- ARCHITECTURAL DRAWINGS
- A-0 COVER SHEET & PROJECT INFO
 - A-1 PLAT PLAN
 - A-2 EXISTING FLOOR PLAN
 - A-3 NEW FLOOR PLAN
 - A-4 FOOD SERVICE ENLARGED PLANS & EQUIPMENT SCHEDULE
 - A-5 ADA BATH ENLARGED PLAN, ELEVATIONS & ADA DETAILS
 - A-6 DETAILS
 - A-7 EXISTING & NEW ELECTRICAL PLAN
 - A-8 EXISTING LIGHTING PLAN
 - A-9 NEW LIGHTING PLAN
 - A-10 EXISTING & NEW PLUMBING & HVAC PLAN

Owner: Mr. Kamran Shirazi
 3131 Fillmore Street
 San Francisco, CA 94112
 Telephone: (415) 608-1949

Architect: Campbell & Associates
 Two Parker Avenue, No. 302
 San Francisco, CA 94118
 Telephone: (415) 281-2613

3131 Fillmore Street
 Restaurant
 SAN FRANCISCO, CA 94123

APN No.: Block 0515 Lot 006

Drawing Title: Sheet Number:

COVER SHEET & PROJECT INFO

A-0

Issue: Date: Comments:
1 07/19/10 Permit Application

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**3131 Fillmore Street
Restaurant**
San Francisco, CA 94123

APN No.: Block 0515 Lot 006

Owner Mr. Kamran Shirazi
3131 Fillmore Street
San Francisco, CA 94112
Telephone: (415) 808-1949
Architect Campbell & Associates
Two Parker Avenue, No. 302
San Francisco, CA 94118
Telephone: (415) 281-2813

**3131 Fillmore Street
Restaurant**
SAN FRANCISCO, CA. 94123

APN No.: Block 0515 Lot 006

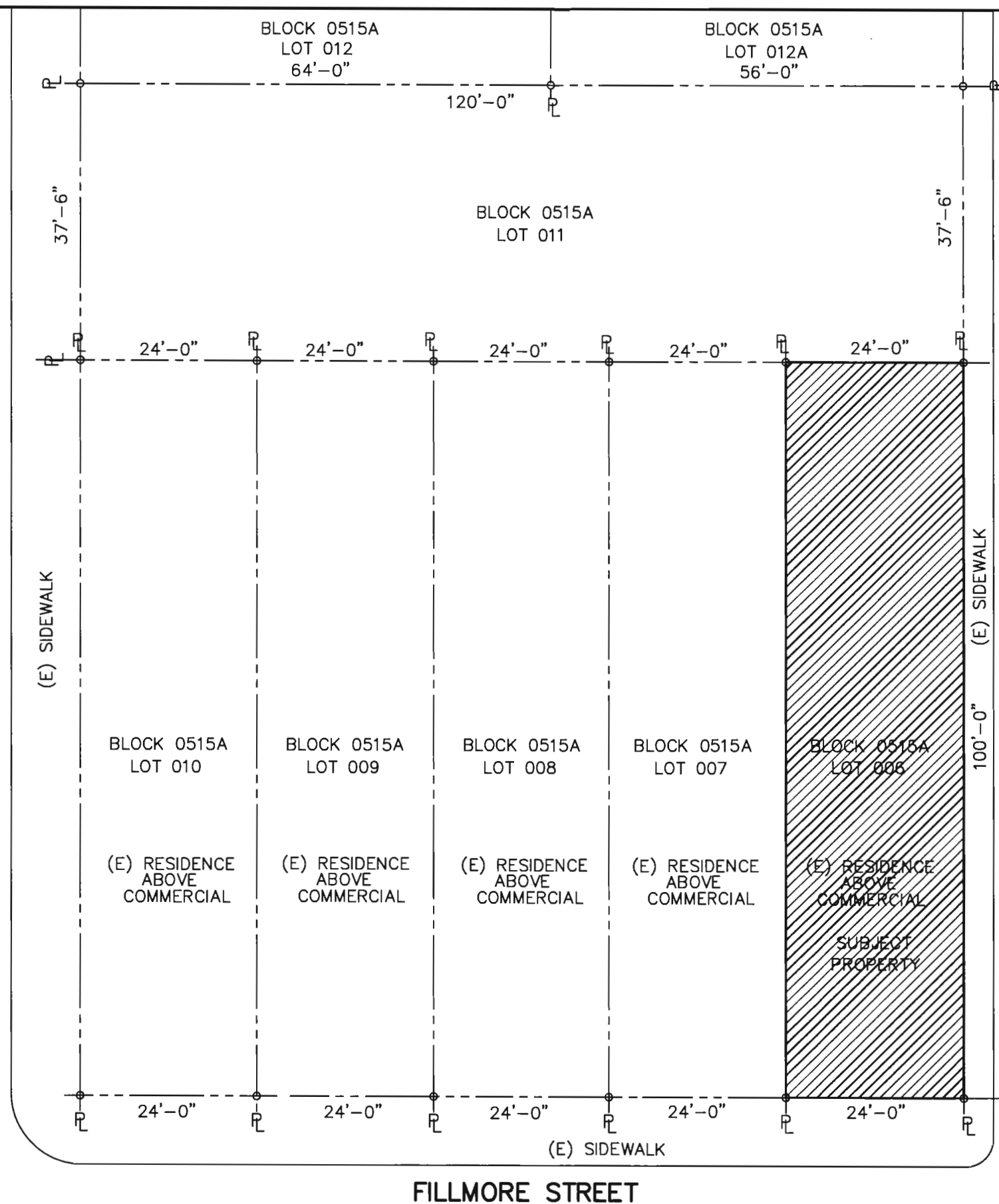
Drawing Title: Sheet Number:

PLAT PLAN

A-1

GREENWICH STREET

PIXLEY STREET



1 EXISTING...&...NEW...PLAT...PLAN...SHOWING...ADJACENT...PLOTS
A-1 SCALE: ...1/4" = 1'-0"

NOTE: Field verify all dimensions and conditions.



NORTH

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3131 Fillmore Street Restaurant
 San Francisco, CA 94123

APN No.: Block 0515 Lot 006

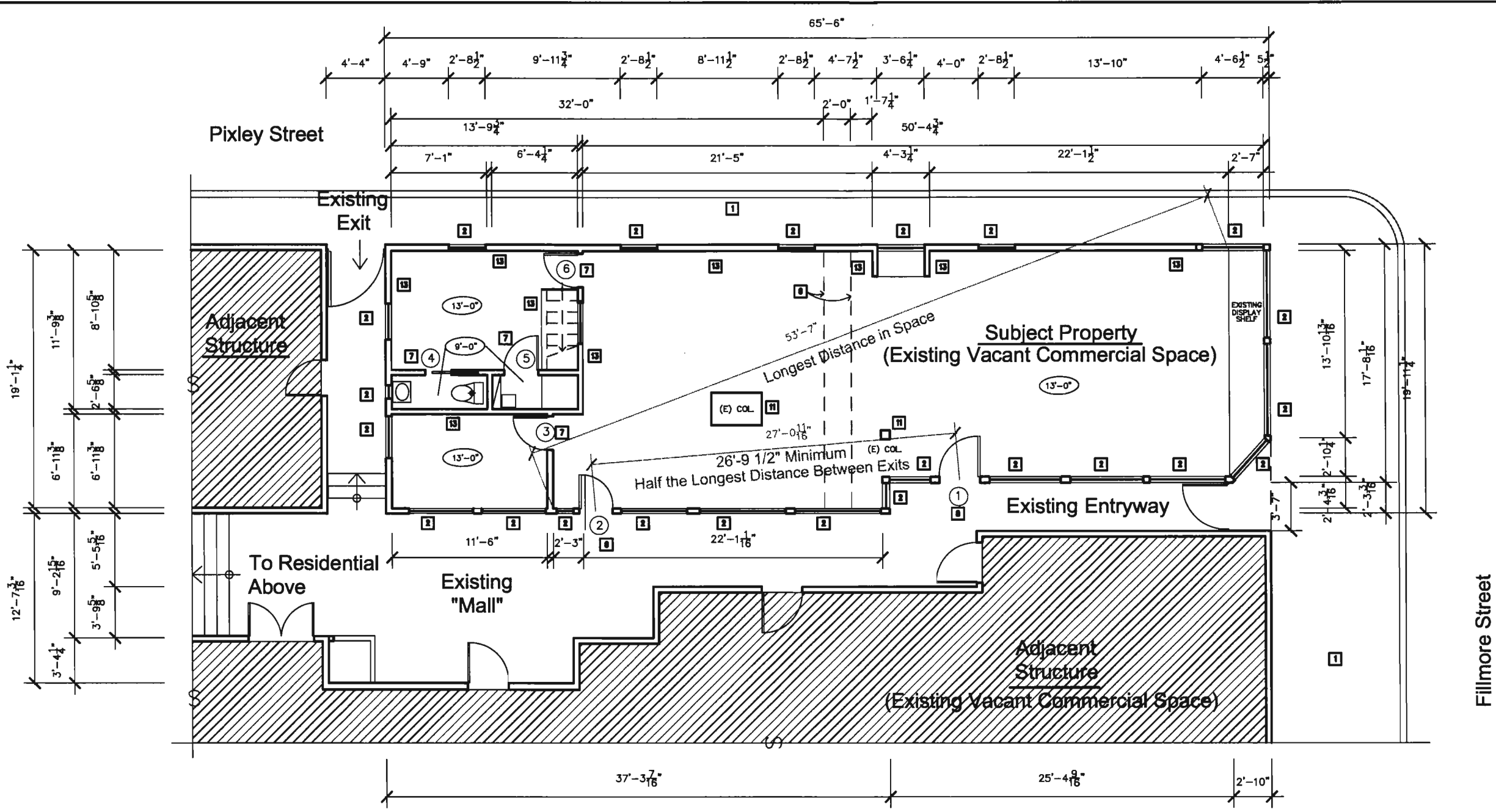
Owner: Mr. Kamran Shirazi
 3131 Fillmore Street
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 Telephone: (415) 608-1949

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 Two Parker Avenue, No. 302
 San Francisco, CA 94118
 Telephone: (415) 281-2613

3131 Fillmore Street Restaurant
 SAN FRANCISCO, CA. 94123

APN No.: Block 0515 Lot 006

Drawing Title: EXISTING FLOOR PLAN
 Sheet Number: A-2



1 EXISTING...FIRST...FLOOR...PLAN
 A-2 SCALE: 1/4" = 1'-0"
 NOTE: Field verify all dimensions and conditions.



DOOR LEGEND	LIGHTING SYMBOLS LEGEND	PLUMBING SYMBOLS LEGEND	KEY NOTES
① 6'-8" H X 3'-0" W, with Lock. Exterior Door, to Remain. ② 6'-8" H X 2'-6" W, Ptd. Exterior Door, to Remain. ③ 6'-8" H X 2'-4" W, Ptd. Interior Door. Remove. ④ 6'-8" H X 2'-0" W, Ptd. Interior Door. Remove. ⑤ 6'-8" H X 2'-6" W, Ptd. Interior Door. Remove. ⑥ 6'-8" H X 2'-8" W, Ptd. Interior Door. Remove. ⑦ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked. ⑧ 6'-8" H X 2'-0" W, Ptd. Interior Door, Locked. ⑨ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.	2' X 4' FLOURESCENT SURFACE MOUNTED CEILING LIGHT High Efficacy TRACK LIGHTING NEW EXIT LIGHT WITH EMERGENCY LIGHTS CEILING HEIGHT 8'-8" ELECTRICAL PANEL DUPLEX ELECTRICAL OUTLET, 18" A.F.F., U.O.N. NO. OF ELECTRICAL OUTLETS GANGED ELECTRICAL OUTLET GROUND FAULT INTERRUPTED TELEPHONE JUNCTION BOX	EXISTING COLD WATER FIXTURE EXISTING HOT WATER FIXTURE NEW COLD WATER FIXTURE NEW HOT WATER FIXTURE NEW HOT WATER HEATER ON 18" MIN. HEIGHT FIRE-RATED PLYWOOD PLATFORM NEW TANKLESS HOT WATER HEATER SUPPLY AIR RETURN AIR EXISTING WALL, NON-RATED EXISTING WALL, RATED NEW WALL, NON-RATED NEW, ONE-HOUR WALL EXISTING CEILING, NON-RATED NEW, ONE-HOUR CEILING EXISTING, ONE-HOUR CEILING	① (E) SIDEWALK TO REMAIN ② (E) WINDOW TO REMAIN ③ (E) WINDOW TO REMAIN, REMOVE (E) WALL BLOCKING WINDOW, ADD INTERIOR MOLDING. ④ (E) WINDOW TO REMAIN. PAINT OUT & BLOCK OFF WINDOW WITH 1/2" G.W.B., PTD. ⑤ METAL GATE, LOCKABLE, WITH (N) PANIC BAR & LEVER HARDWARE OR LEFT OPEN DURING BUSINESS HOURS. SWING GATE OUT. ⑥ (N) DOOR. FINISH PER OWNER. ⑦ (E) DOOR TO BE REMOVED. ⑧ (E) DOOR TO REMAIN. FINISH AS PER OWNER. ⑨ LINE OF (E) BASEMENT WALLS BELOW. ⑩ (E) G.W.B., CEILING TO REMAIN. FINISH AS PER OWNER. ⑪ (E) COLUMN TO REMAIN ⑫ (N) WALL. FINISH AS PER OWNER. ⑬ (E) WALL TO REMAIN. PAINT FINISH AS PER OWNER. ⑭ ADD (N) METAL THRESHOLD. SEE DETAIL 3/A-5. ⑮ (N) ADA LEVER HARDWARE, MOUNTED 34" MAX. TO CENTERLINE OF HARDWARE FROM THE FLOOR, MAX. 5 LBS. FORCE. ⑯ (N) QUARRY TILE FLOORING, AS SELECTED BY THE OWNER. ⑰ (N) 8" MIN. HIGH QUARRY TILE CORNER BASE, AS SELECTED BY THE OWNER. ⑱ PAINT OR OTHER FINISH AS PER OWNER. ⑲ (E) 2x4 LAY-IN GRID ACOUSTICAL CEILING TO BE REMOVED; FINISH AS PER OWNER. ⑳ (N) CEILING, ONE-HOUR; SEE 1/A-8. PAINT OR OTHER FINISH AS PER OWNER. ㉑ LINE OF (E) SOFFIT ABOVE. ㉒ (E) WOOD BASE; FINISH AS PER THE OWNER. ㉓ (N) WOOD BASE; FINISH AS PER THE OWNER. ㉔ (N) FLOORING; FINISH AS PER THE OWNER. ㉕ (N) ADA ACCESSIBLE ENTRY SIGNAGE INDICATING SUCH AND FRONT GATE DOOR LEFT OPEN DURING BUSINESS HOURS. ㉖ (N) LEVEL AREA 5'-0" MIN. LENGTH ㉗ (N) ADA CLEARANCE 60" X 60" ㉘ (N) ADA CLEARANCE 30" X 48" ㉙ 18" ADA CLEARANCE AT DOOR ㉚ 24" ADA CLEARANCE AT DOOR ㉛ 12" ADA CLEARANCE AT THE DOOR ㉜ (N) ADA CLEARANCE 60" DIAMETER ㉝ 44" ADA CLEARANCE ㉞ (N) ADA COUNTERTOP; SEE 2/A-8. ㉟ (E) ELECTRICAL PANEL TO REMAIN. ADD (N) 220 SERVICE. REPLACE PANEL IF REQUIRED. ㊱ (E) TELEPHONE LINES TO REMAIN ㊲ (E) LIGHT TO REMAIN ㊳ (E) LIGHT TO BE MOVED ㊴ (E) SMOKE DETECTORS REMOVED AND REPLACED WITH BATTERY-OPERATED SMOKE DETECTORS ㊵ REMOVE (E) PLUMBING AT (E) WALL ㊶ (E) LAVATORY TO BE REMOVED ㊷ (E) TOILET TO BE REMOVED ㊸ (E) TOILET PAPER HOLDER TO BE REMOVED ㊹ (N) LAVATORY ㊺ INSULATE PIPE UNDER SINK ㊻ (N) TOILET ㊼ (N) ADA GRAB BAR(S) ㊽ CENTERLINE OF (N) TOILET ㊾ CENTERLINE OF (N) LAVATORY ㊿ (N) TOILET PAPER HOLDER 18" MIN. ABOVE FINISHED FLOOR AND 12" MAX. IN FRONT OF (N) TOILET (N) MIRROR (N) PAPER TOWEL DISPENSER, 48" MAX. HEIGHT TO DISPENSING POINT (N) TUB SINK (N) DRINKING FOUNTAIN, 36" MAX. AND WITH 8" MIN. KNEE CLEARANCE (E) STAIR TO RESIDENTIAL UNITS ABOVE TO REMAIN (E) MECHANICAL VENT TO REMAIN. FINISH AS PER THE OWNER. (E) MECHANICAL VENT & DUCT TO BE MOVED. HIGH GLOSS WHITE4 PAINTED FINISH ON WALLS. (N) URINAL

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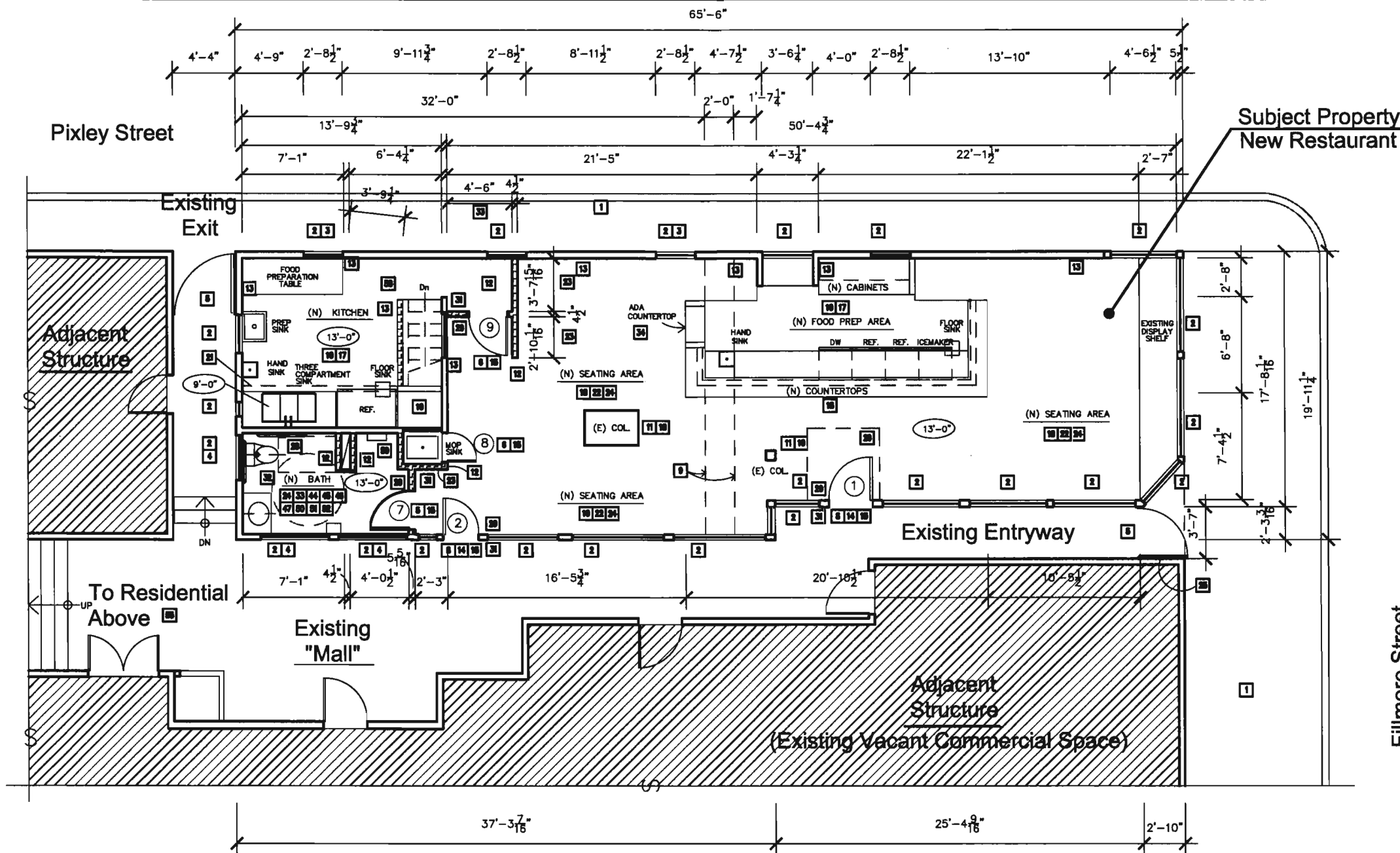
3131 Fillmore Street
 Restaurant
 SAN FRANCISCO, CA. 94123

APN No.: Block 0515 Lot 006

Drawing Title: Sheet Number:

NEW FLOOR PLAN

A-3



NEW...FIRST...FLOOR...PLAN

SCALE: 1/4" = 1'-0"
 NOTE: Field verify all dimensions and conditions.



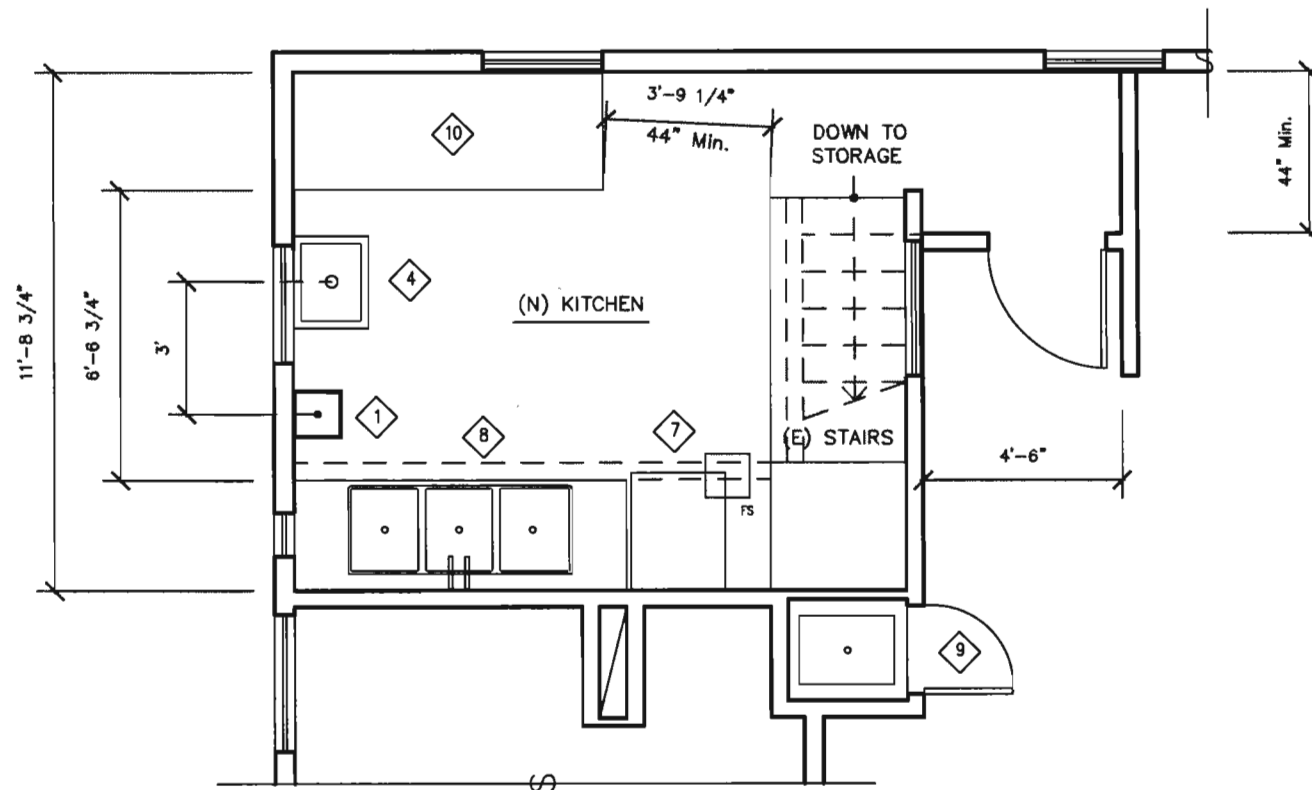
DOOR LEGEND	
①	6'-8" H X 3'-0" W, with Lock. Exterior Door, to Remain.
②	6'-8" H X 2'-6" W, Ptd. Exterior Door, to Remain.
③	6'-8" H X 2'-4" W, Ptd. Interior Door. Remove.
④	6'-8" H X 2'-0" W, Ptd. Interior Door, Remove.
⑤	6'-8" H X 2'-6" W, Ptd. Interior Door. Remove.
⑥	6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.
⑦	6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.
⑧	6'-8" H X 2'-0" W, Ptd. Interior Door, Locked.
⑨	6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.

LIGHTING SYMBOLS LEGEND	
	2' X 4' FLOURESCENT SURFACE MOUNTED
	CEILING LIGHT High Efficacy
	TRACK LIGHTING
	NEW EXIT LIGHT WITH EMERGENCY LIGHTS
	CEILING HEIGHT
	SWITCH
	THREE-WAY SWITCH
	DIMMER SWITCH
	THREE-WAY DIMMER SWITCH
	SMOKE DETECTOR
	FAN/FLOURESCENT LIGHT FIXTURE
	ELECTRICAL PANEL
	DUPLEX ELECTRICAL OUTLET, 18" A.F.F., U.O.N.
	NO. OF ELECTRICAL OUTLETS GANGED
	ELECTRICAL OUTLET GROUND FAULT INTERRUPTED
	TELEPHONE
	JUNCTION BOX

PLUMBING SYMBOLS LEGEND	
	EXISTING COLD WATER FIXTURE
	EXISTING HOT WATER FIXTURE
	NEW COLD WATER FIXTURE
	NEW HOT WATER FIXTURE
	NEW HOT WATER HEATER ON 18" MIN. HEIGHT
	FIRE-RATED PLYWOOD PLATFORM
	NEW TANKLESS HOT WATER HEATER
	SUPPLY AIR
	RETURN AIR
WALL LEGEND	
	EXISTING WALL, NON-RATED
	EXISTING WALL, RATED
	NEW WALL, NON-RATED
	NEW, ONE-HOUR WALL
	EXISTING CEILING, NON-RATED
	NEW, ONE-HOUR CEILING

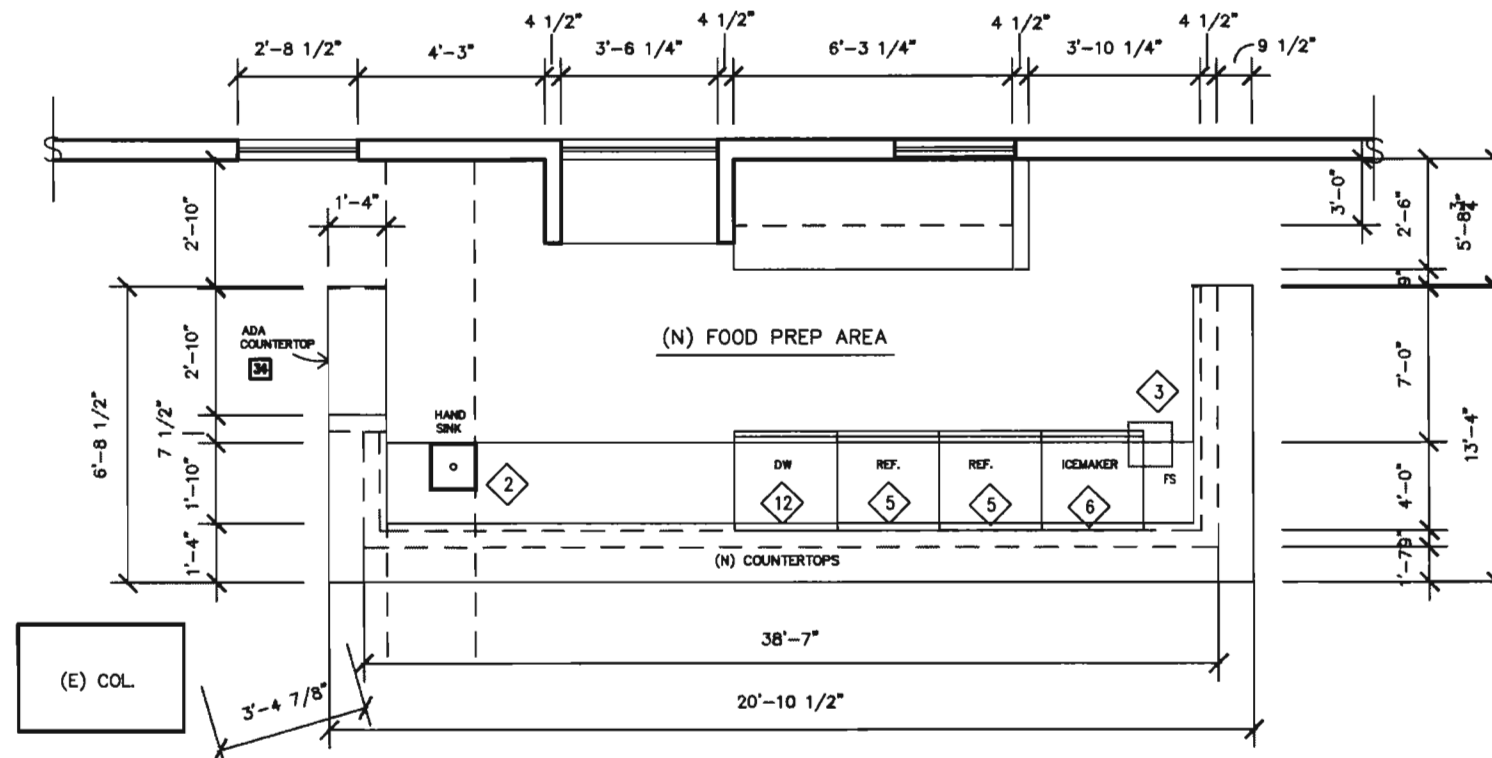
KEY NOTES	
1	(E) SIDEWALK TO REMAIN
2	(E) WINDOW TO REMAIN
3	(E) WINDOW TO REMAIN. REMOVE (E) WALL BLOCKING WINDOW. ADD INTERIOR HOLDING.
4	(E) WINDOW TO REMAIN. PAINT OUT & BLOCK OFF WINDOW WITH 1/2" G.W.B., PTD.
5	(E) METAL GATE, LOCKABLE, WITH (N) PANIC BAR & LEVER HARDWARE OR LEFT OPEN DURING BUSINESS HOURS. SHING GATE OUT.
6	(N) DOOR. FINISH PER OWNER.
7	(E) DOOR TO BE REMOVED.
8	(E) DOOR TO REMAIN. FINISH AS PER OWNER.
9	LINE OF (E) BASEMENT WALLS BELOW.
10	(E) G.W.B., CEILING TO REMAIN. FINISH AS PER OWNER.
11	(E) COLUMN TO REMAIN
12	(N) WALL. FINISH AS PER OWNER.
13	(E) WALL TO REMAIN. PAINT FINISH AS PER OWNER.
14	ADD (N) METAL THRESHOLD. SEE DETAIL 3/A-3.
15	(N) ADA LEVER HARDWARE, MOUNTED 34" MAX. TO CENTERLINE OF HARDWARE FROM THE FLOOR, MAX. 5 LBS. FORCE BY THE OWNER.
16	(N) 8" MIN. HIGH QUARRY TILE COVE BASE, AS SELECTED BY THE OWNER.
17	PAINT OR OTHER FINISH AS PER OWNER.
18	(E) 2x4 LAY-IN GRID ACOUSTICAL CEILING TO BE REMOVED; FINISH AS PER THE OWNER.
19	(N) CEILING, ONE-HOUR; SEE 1/A-8. PAINT OR OTHER FINISH AS PER OWNER.
20	LINE OF (E) SOFFIT ABOVE.
21	(E) WOOD BASE; FINISH AS PER THE OWNER.
22	(N) WOOD BASE; FINISH AS PER THE OWNER.
23	(N) FLOORING; FINISH AS PER THE OWNER.
24	(N) ADA ACCESSIBLE ENTRY SIGNAGE INDICATING SUCH AND FRONT GATE DOOR LEFT OPEN DURING BUSINESS HOURS.
25	(N) LEVEL AREA 5'-0" MIN. LENGTH
26	(N) ADA CLEARANCE 60" X 60"
27	(N) ADA CLEARANCE 30" X 48"
28	18" ADA CLEARANCE AT DOOR
29	24" ADA CLEARANCE AT DOOR
30	12" ADA CLEARANCE AT THE DOOR
31	(N) ADA CLEARANCE 60" DIAMETER
32	44" ADA CLEARANCE
33	(N) ADA COUNTERTOP; SEE 2/A-8.
34	(E) ELECTRICAL PANEL TO REMAIN. ADD (N) 220 SERVICE. REPLACE PANEL IF REQUIRED.
35	(E) TELEPHONE LINES TO REMAIN
36	(E) LIGHT TO REMAIN
37	(E) LIGHT TO BE MOVED
38	(E) SMOKE DETECTORS REMOVED AND REPLACED WITH BATTERY-OPERATED SMOKE DETECTORS
39	REMOVE (E) PLUMBING AT (E) WALL
40	(E) LAVATORY TO BE REMOVED
41	(E) TOILET TO BE REMOVED
42	(E) TOILET PAPER HOLDER TO BE REMOVED
43	(N) LAVATORY
44	INSULATE PIPE UNDER SINK
45	(N) TOILET
46	(N) ADA GRAB BAR(S)
47	CENTERLINE OF (N) TOILET
48	CENTERLINE OF (N) LAVATORY
49	(N) TOILET PAPER HOLDER 18" MIN. ABOVE FINISHED FLOOR AND 12" MAX. IN FRONT OF (N) TOILET
50	(N) MIRROR
51	(N) PAPER TOWEL DISPENSER, 48" MAX. HEIGHT TO DISPENSING POINT
52	(N) TUB SINK
53	(N) DRINKING FOUNTAIN, 36" MAX. AND WITH 8" MIN. KNEE CLEARANCE
54	(E) STAIR TO RESIDENTIAL UNITS ABOVE TO REMAIN
55	REMOVE (E) PLUMBING AT (E) WALL. FINISH AS PER THE OWNER.
56	(E) MECHANICAL VENT & DUCT TO BE MOVED.
57	(E) MECHANICAL VENT & DUCT TO BE MOVED.
58	HIGH GLOSS WHITE PAINTED FINISH ON WALLS.
59	(N) URINAL

EQUIPMENT SCHEDULE					
FOOD PREPARATION AREAS					
NO.	TYPE	MANUFACTURER	MODEL NO.	SIZE W X L X D/HT.	OTHER
1	HAND SINK	AERO	AE-XHSF	15" X 17" X 9.25"	-
2	HAND SINK IN COUNTER	MOLJ	BUS-1110	9.25" X 11" X 4"	-
3	FLOOR SINK W/GRATE	A.R.C.	FD-2375-K-NH2	12" X 12" X 6"	-
4	PREP SINK	TURBO AIR	TSS-1-1	24" X 40" X 44.5"	-
5	UNDER COUNTER REFRIGERATOR	TRUE	TRER-4027 ONE DOOR	30 1/8" X 27 5/8" X 29.75"	FUTURE TABLE SHOWN DASHED; 110V
6	UNDER COUNTER ICEMAKER	SCOTSMAN	CSE-60 ONE DOOR	20.5" X 18" X 28 7/16"	110V
7	REFRIGERATOR	TRUET-23	REACH-IN ONE DOOR	29.5" X 27" X 83.25"	110V
8	THREE-COMP. SINK WITH TWO DRAINBOARDS	AERO	AE-XF3-2116-18LR	25" X 90" X 14"	-
9	MOP SINK	TURBO AIR 1	TSA-1MOP	21.5" X 21" X 45"	-
10	STAINLESS STEEL TABLE	STAINLESS PRO	T110	VARIABLES X 32" X 36"	FUTURE TABLE SHOWN DASHED
11	WIRE STORAGE RACKS	SSP, INC.	S1836EGL	18" X 36" X 72"	STORAGE AREA
12	DISHWASHER	SSP, INC.	S1836EGL	18" X 36" X 72"	STORAGE AREA



1
A-4
NEW..EQUIPMENT...PLAN
AT...FOOD...SERVICE...AREA
SCALE: ...1/2"=1'-0"
NOTE: FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.

LEGEND
FS FLOOR SINK
NORTH



2
A-4
NEW..EQUIPMENT...PLAN
AT...FRONT...COUNTER...AREA
SCALE: ...1/2"=1'-0"
NOTE: FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.

LEGEND
FS FLOOR SINK
NORTH

Issue: Date: 07/19/10
Comments: Permit Application

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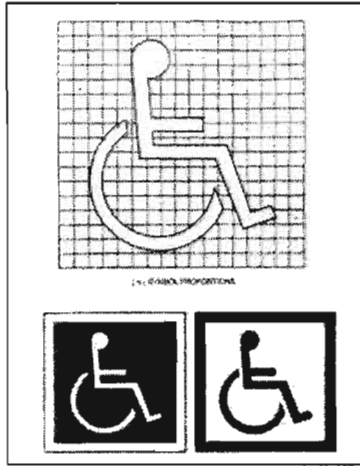
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SAN FRANCISCO, CA 94123

APN No.: Block 0515 Lot 006

Drawing Title: FOOD SERVICE ENLARGED PLANS & EQUIPMENT SCHEDULE
Sheet Number: A-4

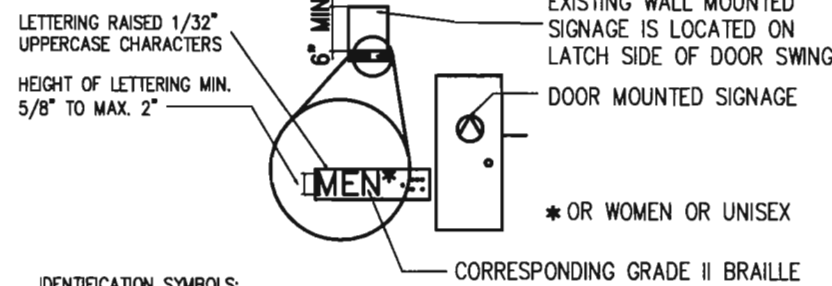


WHITE FIGURE ON BLUE BACKGROUND. SIZE OF SYMBOL: SIX INCHES SQUARE, MIN. IF ACCOMPANIED BY LETTERING, LETTERS AND NUMERALS ARE RAISED 1/32" AND ARE SANS SERIF UPPERCASE CHARACTERS AND ARE ACCOMPANIED BY GRADE II BRAILLE. CHARACTERS ARE MINIMUM 5/8" HIGH AND MAXIMUM 2" HIGH.

1 IDENTIFICATION...SYMBOL...AT...DOORS
 SCALE: ...NONE NOTE: Field verify all dimensions and conditions.

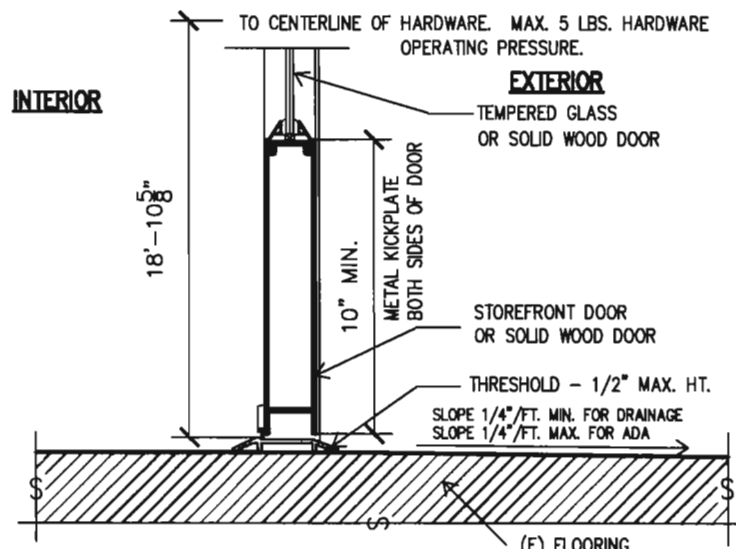
NOTE: THE CHARACTERS AND BACKGROUND OF THE SIGN IS EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH AND THE COLOR AND CONTRAST OF THE SIGN DISTINCTIVELY CONTRASTS WITH THE OTHER COLORS OF THE WALL. COLOR SELECTED BY ARCHITECT.

LETTERS AND NUMERALS ARE RAISED 1/32" AND ARE SANS SERIF UPPERCASE CHARACTERS AND ARE ACCOMPANIED BY GRADE II BRAILLE. CHARACTERS ARE MINIMUM 5/8" HIGH AND MAXIMUM 2" HIGH.

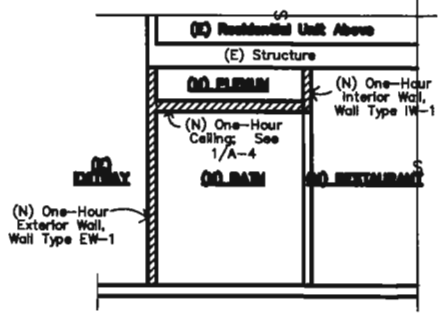


IDENTIFICATION SYMBOLS:
 1. UNISEX SANITARY FACILITIES ARE IDENTIFIED WITH A 12" DIAMETER CIRCLE 1/4" THICK WITH A 1/4" THICK TRIANGLE SUPERIMPOSED WITHIN THE CIRCLE. THIS SYMBOL IS CENTERED ON THE DOOR AT A HEIGHT OF 60" AND THEIR COLOR AND CONTRAST IS DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR.
 2. RAISED LETTERS ARE PROVIDED AND ARE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 1117B.5.6, 1117B.5.6.1, 1117B.5.6.2, 1117B.5.6.3. SIGN IS INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE THE DOOR, MOUNTED AT THE HEIGHT OF 60" ABOVE THE FINISHED FLOOR TO THE CENTER OF THE SIGN.

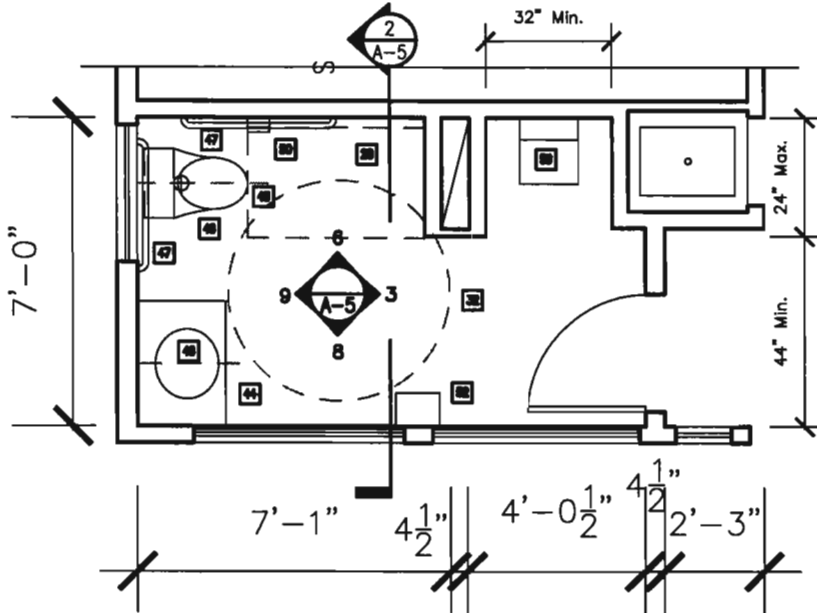
4 IDENTIFICATION...SYMBOL...AT...ADA...BATH
 SCALE: ...NONE NOTE: Field verify all dimensions and conditions.



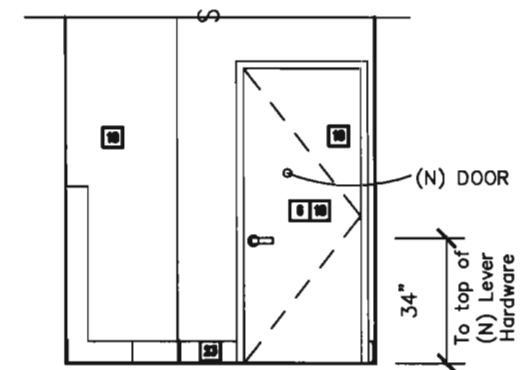
7 DETAIL...AT...EXISTING...ENTRY...DOORS
 SCALE: ...1/2"=.1'-0" NOTE: Field verify all dimensions and conditions.



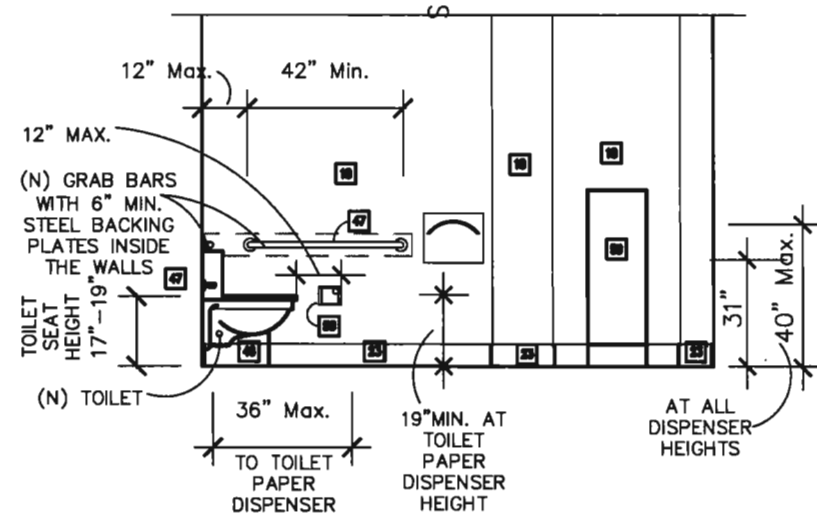
2 SECTION...AT...(N)...BATH
 SCALE: ...NONE NOTE: Field verify all dimensions and conditions.



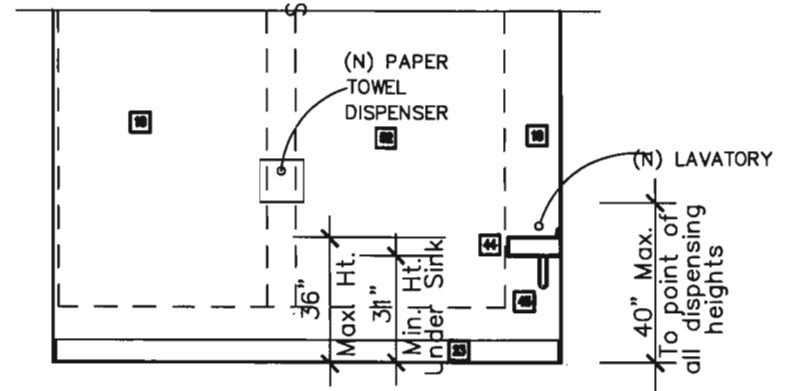
5 ENLARGED...PLAN...AT...(N)...BATH
 SCALE: ...1/2"=.1'-0" NOTE: Field verify all dimensions and conditions.



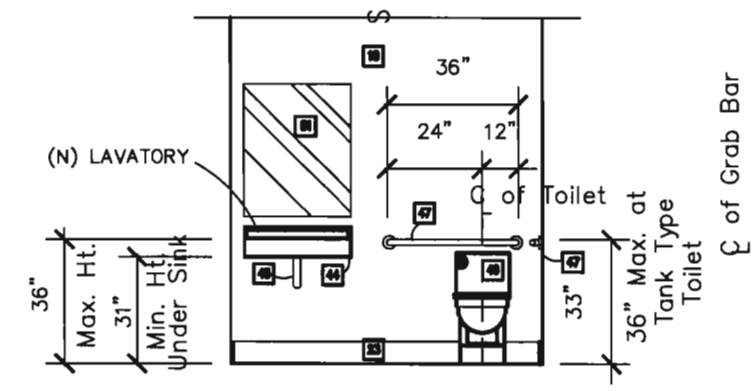
3 INTERIOR...ELEVATION...AT...(N)...BATH
 SCALE: ...1/2"=.1'-0" NOTE: Field verify all dimensions and conditions.



6 INTERIOR...ELEVATION...AT...(N)...BATH
 SCALE: ...1/2"=.1'-0" NOTE: Field verify all dimensions and conditions.



8 INTERIOR...ELEVATION...AT...(N)...BATH
 SCALE: ...1/2"=.1'-0" NOTE: Field verify all dimensions and conditions.



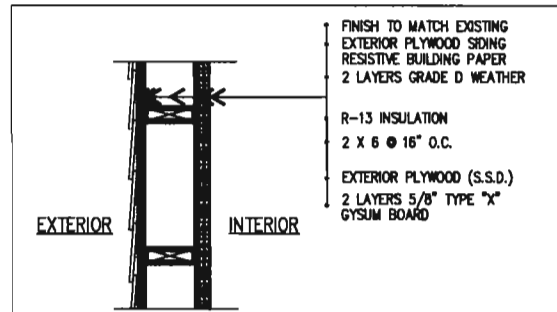
9 INTERIOR...ELEVATION...AT...(N)...BATH
 SCALE: ...1/2"=.1'-0" NOTE: Field verify all dimensions and conditions.

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MIN. FIRE & SOUND ASSEMBLY COMPONENTS:
 EXTERIOR SIDE: ONE LAYER 48" WIDE 5/8" TYPE "X" GYPSUM SHEATHING APPLIED PARALLEL TO 2 X 6 WOOD STUDS WITH 1-3/4" GALVANIZED ROOFING NAILS, 0.120" SHANK, 7/16" OR 1/2" HEADS, 4" O.C. AT VERTICAL JOINTS AND 7" O.C. AT INTERMEDIATE STUDS AND TOP AND BOTTOM PLATES. JOINTS OF GYPSUM SHEATHING MAY BE LEFT UNTREATED. EXTERIOR CLADDING TO BE ATTACHED THROUGH SHEATHING TO STUDS. INTERIOR SIDE: ONE LAYER 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED PARALLEL OR AT RIGHT ANGLES TO STUDS WITH 6D COATED NAILS, 1-7/8" LONG, 0.0195" SHANK, 1/4" HEADS, 7" O.C.

FIRE RATING: UL U208	1 HOUR	SOUND RATINGS: STC IC	N/A N/A
EXTERIOR WALL, 1-HOUR RATED		EW-1	

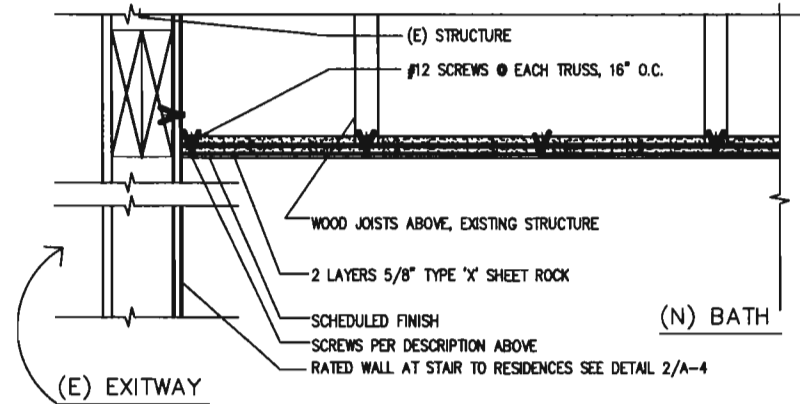
1 EXTERIOR...ONE-HOUR...WALL PLAN...SECTION...ALONG...(E) ALLEYWAY...AT...COMMERCIAL...SPACE

A-6 SCALE: ...NONE

NOTE: FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.

ONE HOUR RATED CEILING PER UL CEILING DETAIL U314:

ALL GYPSUM PRODUCTS NOTED ARE BY NATIONAL GYPSUM COMPANY. USE 2 LAYERS 5/8" FIRE SHIELD GYPSUM WALLBOARD. USE MECHANICAL FASTENERS SPACED NOT OVER 24" O.C. AND AN ASSIGNED WORKING LOAD OF 200 POUNDS IN EITHER SHEAR OR PULLOUT. APPLY GYPSUM BOARD PERPENDICULAR TO THE STUDS WITH 1" TYPE S OR S-12 SCREWS SPACED 8" O.C. AT PERIMETER AND 12" O.C. IN THE FIELD. JOINTS AND SCREW HEADS SHALL BE SEALED WITH JOINT TAPE SYSTEM.

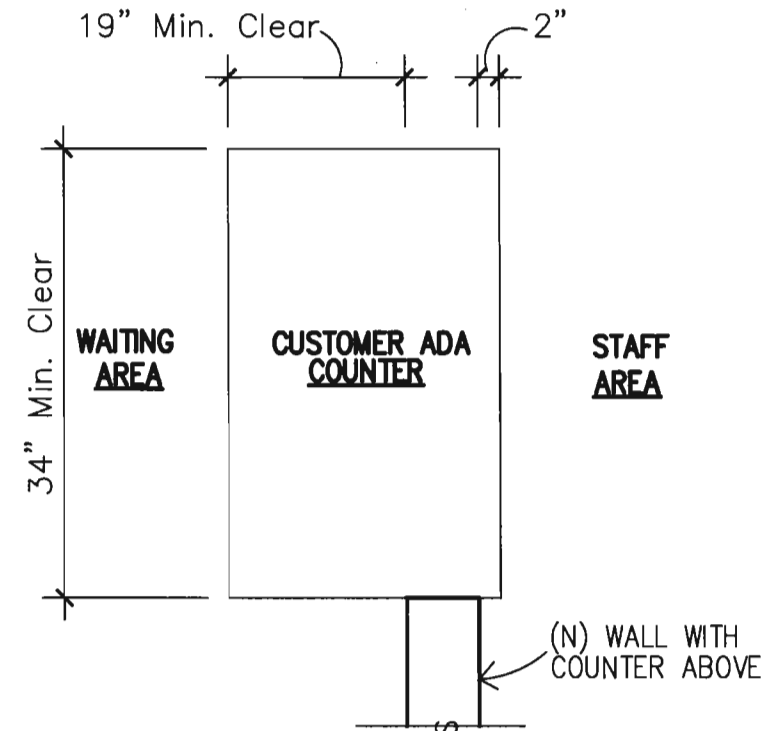


For Floor/Ceiling Assemblies, One-Hour, use as appropriate to structural condition, either UL One-Hour Floor/Ceiling Assembly L504, L513, L523, L534 or L544.
 NOTE: Field verify all dimensions and conditions.

2 ONE-HOUR...CEILING..DETAIL

A-6 SCALE: ...NONE

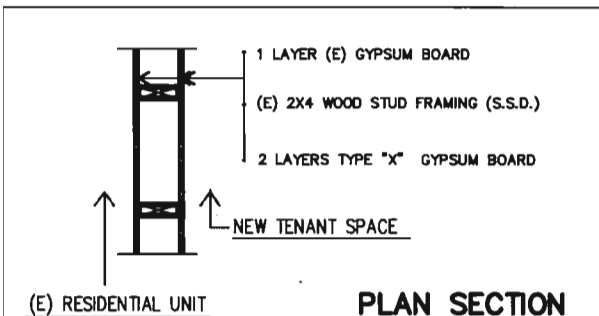
NOTE: FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.



3 PLAN...AT...(N)...WAITING...AREA COUNTERTOPS

A-6 SCALE: ...NONE

NOTE: FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.



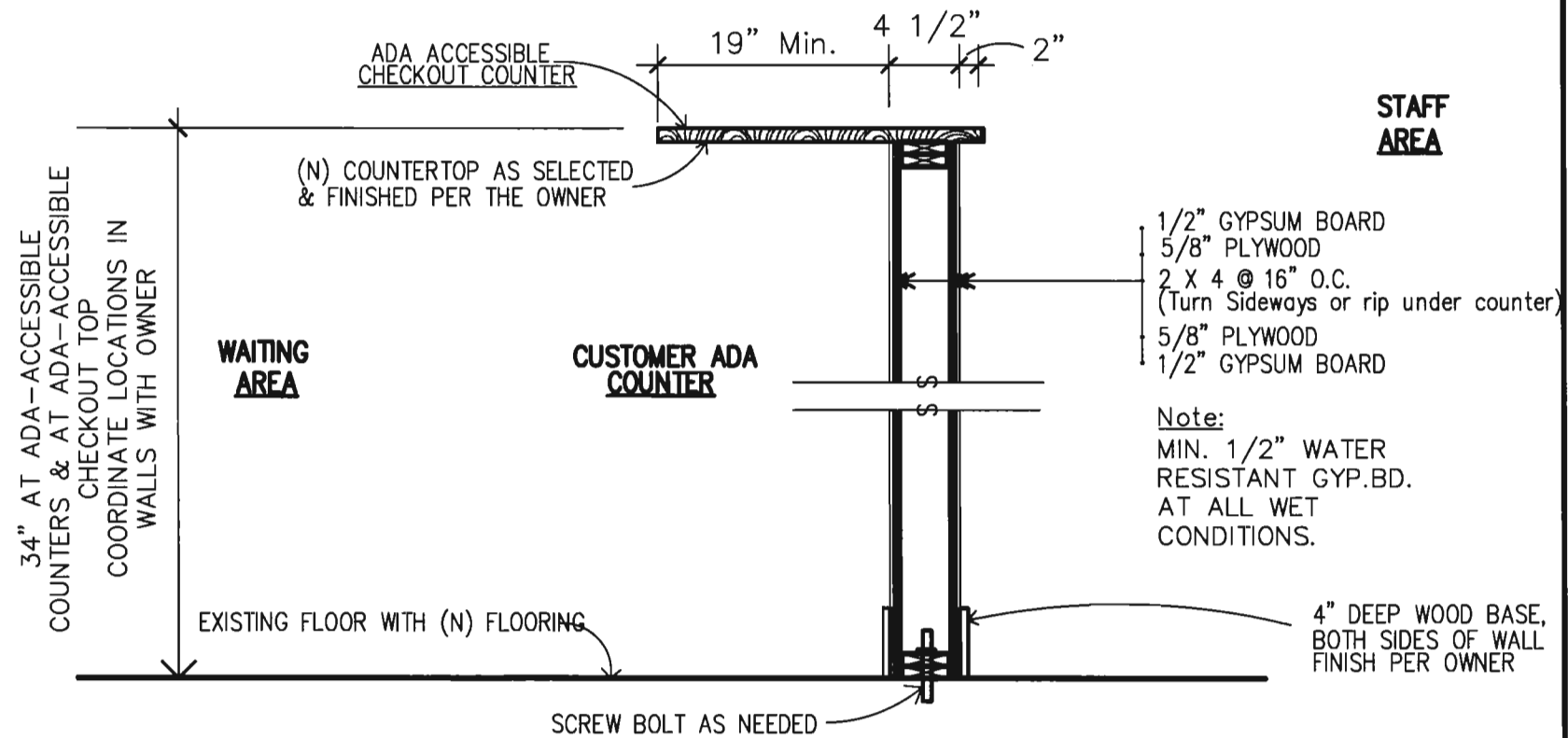
MIN. FIRE & SOUND ASSEMBLY COMPONENTS:
 TWO LAYERS 5/8" TYPE "X" GYPSUM BOARD APPLIED PARALLEL OR AT RIGHT ANGLES TO SHOP SIDE OF 2 X 4 OR 6 WOOD STUDS 16" O.C. WITH 1-1/4" TYPE W/DRYWALL SCREWS 12" O.C. JOINTS STAGGERED 16" ON OPPOSITE SIDES. USE R-13 BATT INSULATION MINIMUM WHERE SOUND ATTENUATION IS REQUIRED.

FIRE RATING: U314	1 HOUR	SOUND RATINGS: STC IC	N/A N/A
BEARING INTERIOR WALL, RATED		IW-1	

4 INTERIOR...ONE-HOUR...WALL PLAN...SECTION...AT...EXISTING WALL...BETWEEN...COMMERCIAL TENANT...&...RESIDENTIAL...UNIT

A-6 SCALE: ...NONE

NOTE: FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.



5 NEW...ADA...COUNTERTOP...AT...FRONT...COUNTER...AREA

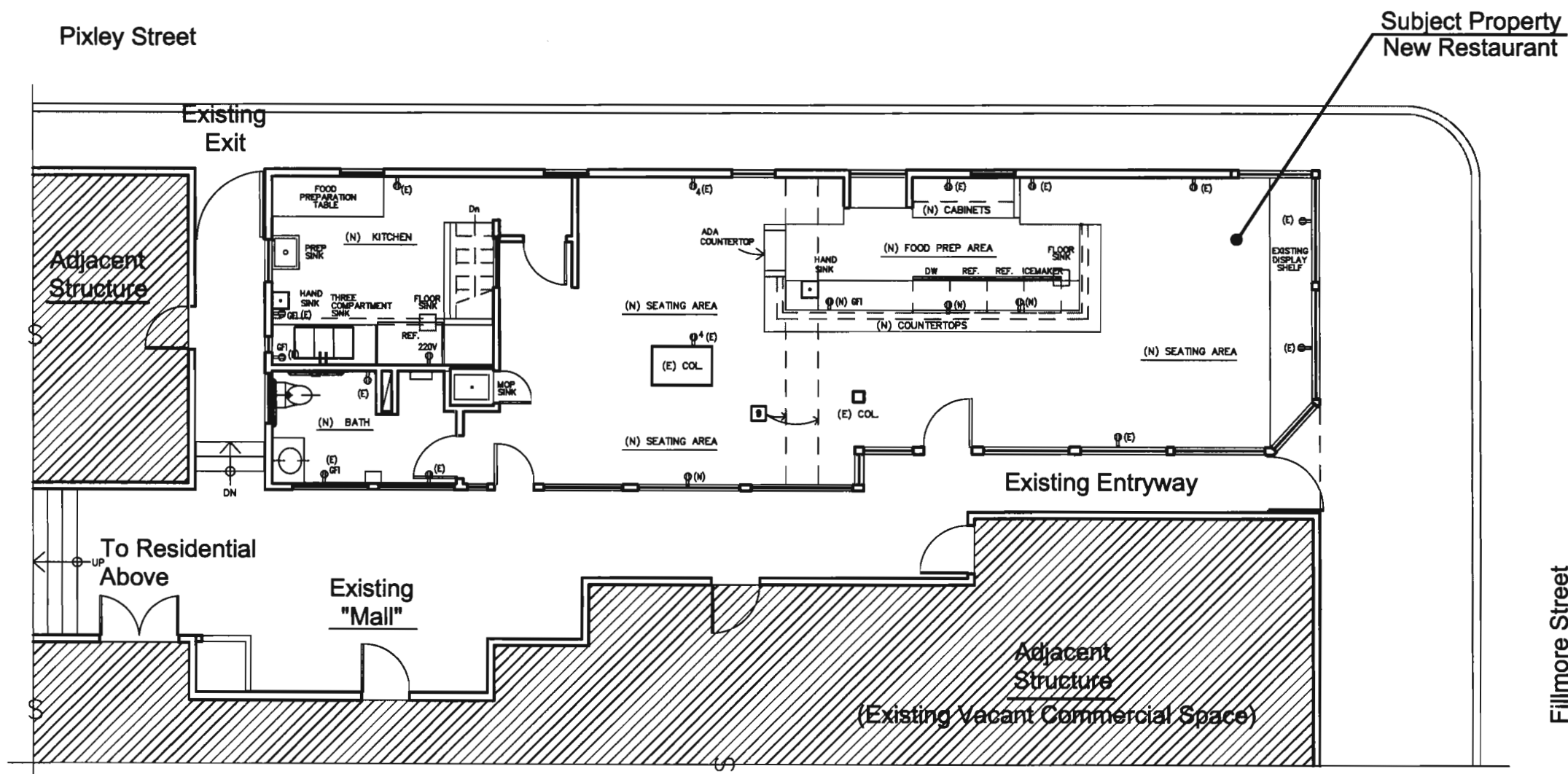
A-6 SCALE: ...NONE

NOTE: FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.

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**3131 Fillmore Street
Restaurant**
San Francisco, CA 94123

APN No.: Block 0515 Lot 006



EXISTING...&...NEW...ELECTRICAL...PLAN

SCALE: ...1/4" = .1'-0"

NOTE: Field verify all dimensions and conditions.



NORTH

DOOR LEGEND	LIGHTING SYMBOLS LEGEND	PLUMBING SYMBOLS LEGEND	KEY NOTES
<p>① 6'-8" H X 3'-0" W, with Lock. Exterior Door, to Remain.</p> <p>② 6'-8" H X 2'-6" W, Ptd. Exterior Door, to Remain.</p> <p>③ 6'-8" H X 2'-4" W, Ptd. Interior Door. Remove.</p> <p>④ 6'-8" H X 2'-0" W, Ptd. Interior Door. Remove.</p> <p>⑤ 6'-8" H X 2'-6" W, Ptd. Interior Door. Remove.</p> <p>⑥ 6'-8" H X 2'-8" W, Ptd. Interior Door. Remove.</p> <p>⑦ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.</p> <p>⑧ 6'-8" H X 2'-0" W, Ptd. Interior Door, Locked.</p> <p>⑨ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.</p>	<p>2' X 4' FLOURESCENT SURFACE MOUNTED</p> <p>CEILING LIGHT High Efficacy</p> <p>TRACK LIGHTING</p> <p>NEW EXIT LIGHT WITH EMERGENCY LIGHTS</p> <p>CEILING HEIGHT</p> <p>SWITCH</p> <p>THREE-WAY SWITCH</p> <p>DIMMER SWITCH</p> <p>THREE-WAY DIMMER SWITCH</p> <p>SMOKE DETECTOR</p> <p>FAN/FLOURESCENT FL.V LIGHT FIXTURE</p>	<p>EXISTING COLD WATER FIXTURE</p> <p>EXISTING HOT WATER FIXTURE</p> <p>NEW COLD WATER FIXTURE</p> <p>NEW HOT WATER FIXTURE</p> <p>NEW HOT WATER HEATER ON 18" MIN. HEIGHT FIRE-RATED PLYWOOD PLATFORM</p> <p>NEW TANKLESS HOT WATER HEATER</p> <p>SUPPLY AIR</p> <p>RETURN AIR</p> <p>WALL LEGEND</p> <p>EXISTING WALL, NON-RATED</p> <p>EXISTING WALL, RATED</p> <p>NEW WALL, NON-RATED</p> <p>NEW, ONE-HOUR WALL</p> <p>EXISTING CEILING, NON-RATED</p> <p>EXISTING, ONE-HOUR CEILING</p> <p>NEW, ONE-HOUR CEILING</p>	<p>① (E) SIDEWALK TO REMAIN</p> <p>② (E) WINDOW TO REMAIN</p> <p>③ (E) WINDOW TO REMAIN REMOVE (E) WALL BLOCKING WINDOW, ADD INTERIOR MOLDING.</p> <p>④ (E) WINDOW TO REMAIN. PAINT OUT & BLOCK OFF WINDOW WITH 1/2" G.W.B. PTD.</p> <p>⑤ (E) METAL GATE, LOCKABLE, WITH (N) PANIC BAR & LEVER HARDWARE OR LEFT OPEN DURING BUSINESS HOURS. STRING GATE OUT.</p> <p>⑥ (N) DOOR. FINISH PER OWNER.</p> <p>⑦ (E) DOOR TO BE REMOVED.</p> <p>⑧ (E) DOOR TO REMAIN. FINISH AS PER OWNER.</p> <p>⑨ LINE OF (E) BASEMENT WALLS BELOW.</p> <p>⑩ (E) G.W.B. CEILING TO REMAIN. FINISH AS PER OWNER.</p> <p>⑪ (E) COLUMN TO REMAIN</p> <p>⑫ (N) WALL. FINISH AS PER OWNER.</p> <p>⑬ (E) WALL TO REMAIN. PAINT FINISH AS PER OWNER.</p> <p>⑭ ADD (N) METAL THRESHOLD. SEE DETAIL 3/A-5.</p> <p>⑮ (N) ADA LEVER HARDWARE, MOUNTED 34" MAX. TO CENTERLINE OF HARDWARE FROM THE FLOOR, MAX. 5 LBS. FORCE.</p> <p>⑯ (N) QUARRY TILE FLOORING, AS SELECTED BY THE OWNER.</p> <p>⑰ (N) 6" MIN. HIGH QUARRY TILE CONE BASE, AS SELECTED BY THE OWNER.</p> <p>⑱ PAINT OR OTHER FINISH AS PER OWNER.</p> <p>⑲ (E) 2x4 LAY-IN GRID ACoustICAL CEILING TO BE REMOVED; FINISH AS PER OWNER.</p> <p>⑳ (N) CEILING, ONE-HOUR; SEE 1/A-8. PAINT OR OTHER FINISH AS PER OWNER.</p> <p>㉑ LINE OF (E) SOFFIT ABOVE.</p> <p>㉒ (E) WOOD BASE; FINISH AS PER THE OWNER.</p> <p>㉓ (N) WOOD BASE; FINISH AS PER THE OWNER.</p> <p>㉔ (N) FLOORING; FINISH AS PER THE OWNER.</p> <p>㉕ (N) ADA ACCESSIBLE ENTRY SIGNAGE INDICATING SUCH AND FRONT GATE DOOR LEFT OPEN DURING BUSINESS HOURS.</p> <p>㉖ (N) LEVEL AREA 5'-0" MIN. LENGTH</p> <p>㉗ (N) ADA CLEARANCE 60" X 60"</p> <p>㉘ (N) ADA CLEARANCE 30" X 48"</p> <p>㉙ 18" ADA CLEARANCE AT DOOR</p> <p>㉚ 24" ADA CLEARANCE AT DOOR</p> <p>㉛ 12" ADA CLEARANCE AT THE DOOR</p> <p>㉜ (N) ADA CLEARANCE 60" DIAMETER</p> <p>㉝ 44" ADA CLEARANCE</p> <p>㉞ (N) ADA COUNTERTOP; SEE 2/A-8.</p> <p>㉟ ELECTRICAL PANEL TO REMAIN. ADD (N) 220 SERVICE. REPLACE PANEL IF REQUIRED.</p> <p>㊱ (E) TELEPHONE LINES TO REMAIN</p> <p>㊲ (E) LIGHT TO REMAIN</p> <p>㊳ (E) LIGHT TO BE MOVED</p> <p>㊴ (E) SMOKE DETECTORS REMOVED AND REPLACED WITH BATTERY-OPERATED SMOKE DETECTORS</p> <p>㊵ REMOVE (E) PLUMBING AT (E) WALL</p> <p>㊶ (E) LAVATORY TO BE REMOVED</p> <p>㊷ (E) TOILET TO BE REMOVED</p> <p>㊸ (E) TOILET PAPER HOLDER TO BE REMOVED</p> <p>㊹ (N) LAVATORY</p> <p>㊺ INSULATE PIPE UNDER SINK</p> <p>㊻ (N) TOILET</p> <p>㊼ (N) ADA GRAB BAR(S)</p> <p>㊽ CENTERLINE OF (N) TOILET</p> <p>㊾ CENTERLINE OF (N) LAVATORY</p> <p>㊿ (N) TOILET PAPER HOLDER 18" MIN. ABOVE FINISHED FLOOR AND 12" MAX. IN FRONT OF (N) TOILET</p> <p>① (N) MIRROR</p> <p>② (N) PAPER TOWEL DISPENSER, 48" MAX. HEIGHT TO DISPENSING POINT</p> <p>③ (N) TUB SINK</p> <p>④ (N) DRINKING FOUNTAIN, 36" MAX. AND WITH 8" MIN. KNEE CLEARANCE</p> <p>⑤ (E) STAIR TO RESIDENTIAL UNITS ABOVE TO REMAIN</p> <p>⑥ MECHANICAL VENT TO REMAIN. FINISH AS PER THE OWNER.</p> <p>⑦ MECHANICAL VENT & DUCT TO BE MOVED.</p> <p>⑧ HIGH GLOSS WHITE PAINTED FINISH ON WALLS.</p> <p>⑨ (N) URINAL</p>

Owner: Mr. Kamran Shirazi
3131 Fillmore Street
San Francisco, CA 94112
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3131 Fillmore Street
Restaurant
SAN FRANCISCO, CA 94123

APN No.: Block 0515 Lot 006

Drawing Title: Sheet Number:

EXISTING &
NEW
ELECTRICAL
PLAN

A-7

**3131 Fillmore Street
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San Francisco, CA 94123

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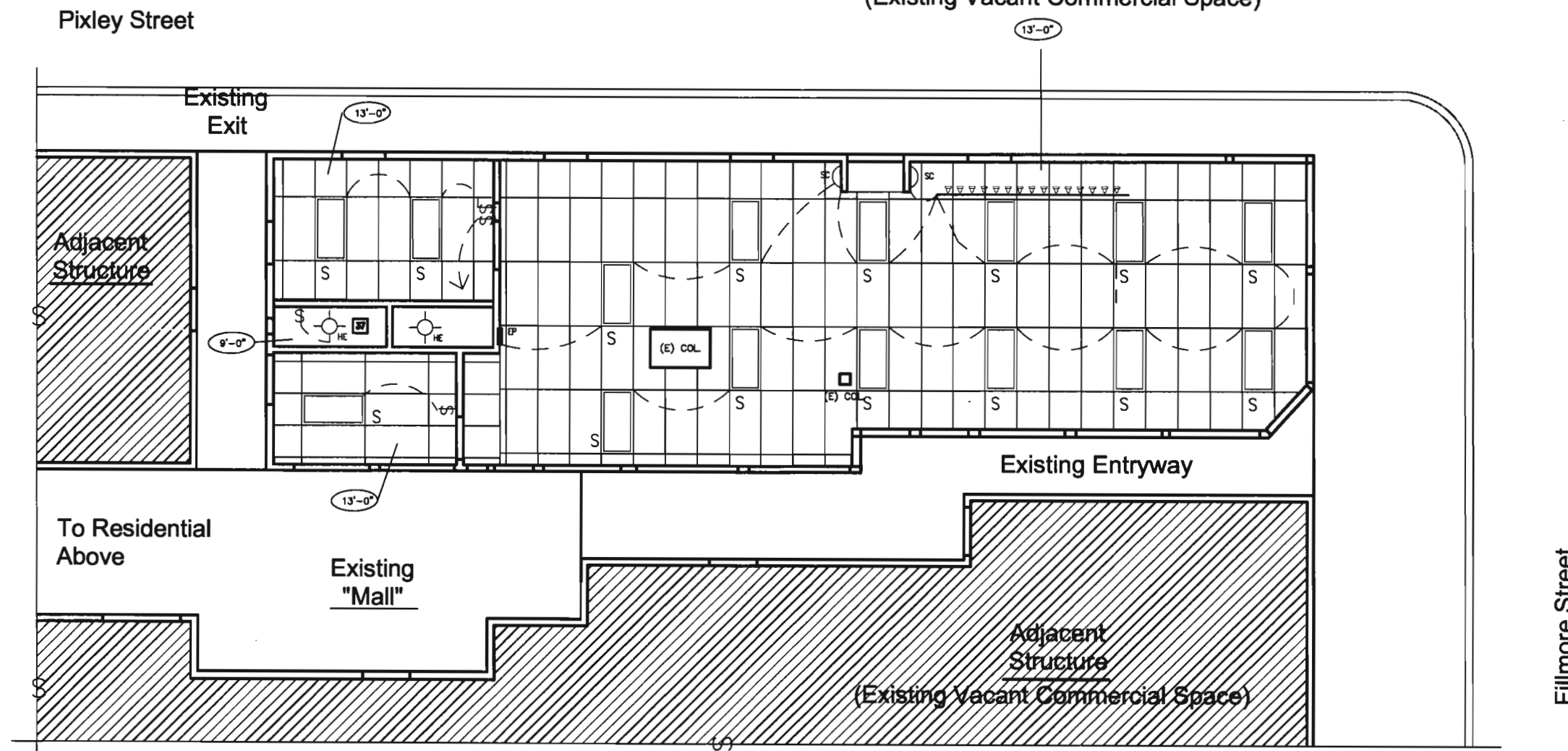
**3131 Fillmore Street
Restaurant**
SAN FRANCISCO, CA 94123

APN No.: Block 0515 Lot 006
Sheet Number:

**EXISTING
LIGHTING PLAN**

A-8

**Subject Property
(Existing Vacant Commercial Space)**



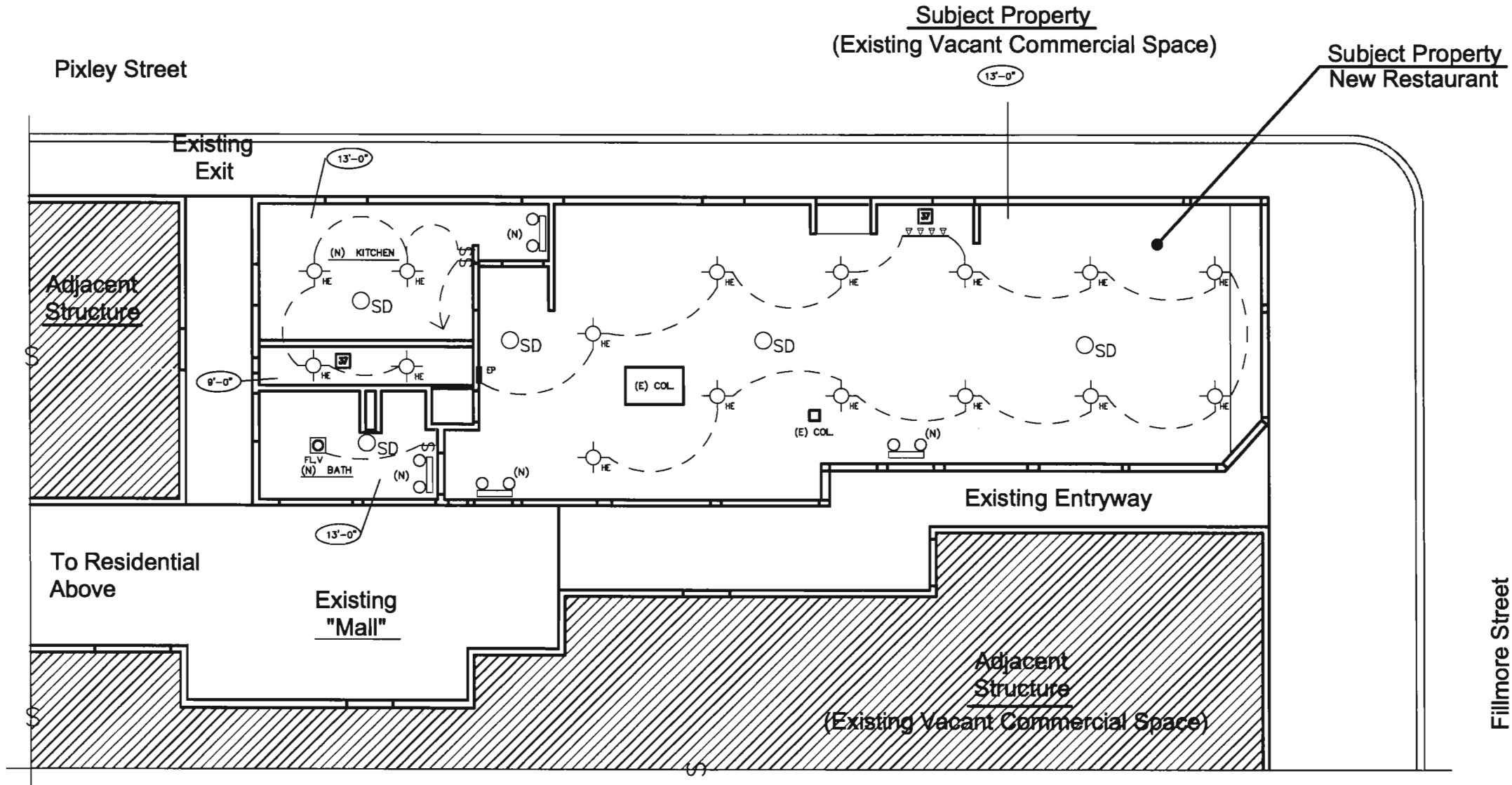
1 EXISTING...LIGHTING...PLAN

SCALE: ...1/4" = 1'-0"

NOTE: Field verify all dimensions and conditions.



DOOR LEGEND	LIGHTING SYMBOLS LEGEND	PLUMBING SYMBOLS LEGEND	KEY NOTES
<p>① 6'-8" H X 3'-0" W, with Lock. Exterior Door, to Remain.</p> <p>② 6'-8" H X 2'-6" W, Ptd. Exterior Door, to Remain.</p> <p>③ 6'-8" H X 2'-4" W, Ptd. Interior Door. Remove.</p> <p>④ 6'-8" H X 2'-0" W, Ptd. Interior Door. Remove.</p> <p>⑤ 6'-8" H X 2'-6" W, Ptd. Interior Door. Remove.</p> <p>⑥ 6'-8" H X 2'-8" W, Ptd. Interior Door. Remove.</p> <p>⑦ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.</p> <p>⑧ 6'-8" H X 2'-0" W, Ptd. Interior Door, Locked.</p> <p>⑨ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.</p>	<p>2' X 4' FLOURESCENT SURFACE MOUNTED</p> <p>CEILING LIGHT High Efficacy</p> <p>SC TRACK LIGHTING</p> <p>NEW EXIT LIGHT WITH EMERGENCY LIGHTS</p> <p>CEILING HEIGHT</p> <p>SWITCH</p> <p>THREE-WAY SWITCH</p> <p>DIMMER SWITCH</p> <p>THREE-WAY DIMMER SWITCH</p> <p>SMD SMOKE DETECTOR</p> <p>FAN/FLOURESCENT LIGHT FIXTURE</p> <p>TELEPHONE</p> <p>JB JUNCTION BOX</p> <p>DUPLEX ELECTRICAL OUTLET, 18" A.F.F., U.O.N.</p> <p>NO. OF ELECTRICAL OUTLETS GANGED</p> <p>ELECTRICAL OUTLET GROUND FAULT INTERRUPTED</p>	<p>EXISTING COLD WATER FIXTURE</p> <p>EXISTING HOT WATER FIXTURE</p> <p>NEW COLD WATER FIXTURE</p> <p>NEW HOT WATER FIXTURE</p> <p>NEW HOT WATER HEATER ON 18" MIN. HEIGHT FIRE-RATED PLYWOOD PLATFORM</p> <p>NEW TANKLESS HOT WATER HEATER</p> <p>SUPPLY AIR</p> <p>RETURN AIR</p> <p>EXISTING WALL, NON-RATED</p> <p>EXISTING WALL, RATED</p> <p>NEW WALL, NON-RATED</p> <p>NEW, ONE-HOUR WALL</p> <p>EXISTING CEILING, NON-RATED</p> <p>NEW, ONE-HOUR CEILING</p> <p>EXISTING, ONE-HOUR CEILING</p>	<p>① (E) SIDEWALK TO REMAIN</p> <p>② (E) WINDOW TO REMAIN</p> <p>③ (E) WINDOW TO REMAIN. REMOVE (E) WALL BLOCKING WINDOW. ADD INTERIOR MOLDING.</p> <p>④ (E) WINDOW TO REMAIN. PAINT OUT & BLOCK OFF WINDOW WITH 1/2" G.W.B., PTD.</p> <p>⑤ (E) METAL GATE. LOCKABLE. WITH (N) PARKING BAR & LEVER HARDWARE OR LEFT OPEN DURING BUSINESS HOURS. SWING GATE OUT.</p> <p>⑥ (N) DOOR. FINISH PER OWNER.</p> <p>⑦ (E) DOOR TO BE REMOVED.</p> <p>⑧ (E) DOOR TO REMAIN. FINISH AS PER OWNER.</p> <p>⑨ LINE OF (E) BASEMENT WALLS BELOW.</p> <p>⑩ (E) G.W.B., CEILING TO REMAIN. FINISH AS PER OWNER.</p> <p>⑪ (E) COLUMN TO REMAIN</p> <p>⑫ (N) WALL. FINISH AS PER OWNER.</p> <p>⑬ (E) WALL TO REMAIN. PAINT FINISH AS PER OWNER.</p> <p>⑭ ADD (N) METAL THRESHOLD. SEE DETAIL 3/A-S.</p> <p>⑮ (N) ADA LEVER HARDWARE, MOUNTED 34" MAX. TO CENTERLINE OF HARDWARE FROM THE FLOOR, MAX. 5 LBS. FORCE.</p> <p>⑯ (N) QUARRY TILE FLOORING, AS SELECTED BY THE OWNER.</p> <p>⑰ (N) 6" MIN. HIGH QUARRY TILE CONE BASE, AS SELECTED BY THE OWNER.</p> <p>⑱ PAINT OR OTHER FINISH AS PER OWNER.</p> <p>⑲ (E) 2x4 LAY-IN GRID ACoustICAL CEILING TO BE REMOVED; FINISH AS PER THE OWNER.</p> <p>⑳ (N) CEILING, ONE-HOUR; SEE 1/A-S. PAINT OR OTHER FINISH AS PER OWNER.</p> <p>㉑ LINE OF (E) SOFFIT ABOVE.</p> <p>㉒ (E) WOOD BASE; FINISH AS PER THE OWNER.</p> <p>㉓ (N) WOOD BASE; FINISH AS PER THE OWNER.</p> <p>㉔ (N) FLOORING; FINISH AS PER THE OWNER.</p> <p>㉕ (N) ADA ACCESSIBLE ENTRY SIGNAGE INDICATING SUCH AND FRONT GATE DOOR LEFT OPEN DURING BUSINESS HOURS.</p> <p>㉖ (N) LEVEL AREA 5'-0" MIN. LENGTH</p> <p>㉗ (N) ADA CLEARANCE 80" X 80"</p> <p>㉘ (N) ADA CLEARANCE 30" X 48"</p> <p>㉙ 18" ADA CLEARANCE AT DOOR</p> <p>㉚ 24" ADA CLEARANCE AT DOOR</p> <p>㉛ 12" ADA CLEARANCE AT THE DOOR</p> <p>㉜ (N) ADA CLEARANCE 80" DIAMETER</p> <p>㉝ 44" ADA CLEARANCE</p> <p>㉞ (N) ADA COUNTERTOP; SEE 2/A-S.</p> <p>㉟ (E) ELECTRICAL PANEL TO REMAIN. ADD (N) 220 SERVICE. REPLACE PANEL IF REQUIRED.</p> <p>㊱ (E) TELEPHONE LINES TO REMAIN</p> <p>㊲ (E) LIGHT TO REMAIN</p> <p>㊳ (E) LIGHT TO BE MOVED</p> <p>㊴ (E) SMOKE DETECTORS REMOVED AND REPLACED WITH BATTERY-OPERATED SMOKE DETECTORS</p> <p>㊵ REMOVE (E) PLUMBING AT (E) WALL</p> <p>㊶ (E) LAVATORY TO BE REMOVED</p> <p>㊷ (E) TOILET TO BE REMOVED</p> <p>㊸ (E) TOILET PAPER HOLDER TO BE REMOVED</p> <p>㊹ (N) LAVATORY</p> <p>㊺ INSULATE PIPE UNDER SINK</p> <p>㊻ (N) TOILET</p> <p>㊼ (N) ADA GRAB BAR(S)</p> <p>㊽ CENTERLINE OF (N) TOILET</p> <p>㊾ CENTERLINE OF (N) LAVATORY</p> <p>㊿ (N) TOILET PAPER HOLDER 18" MIN. ABOVE FINISHED FLOOR AND 12" MAX. IN FRONT OF (N) TOILET</p> <p>① (N) MIRROR</p> <p>② (N) PAPER TOWEL DISPENSER, 48" MAX. HEIGHT TO DISPENSING POINT</p> <p>③ (N) TUB SINK</p> <p>④ (N) DRINKING FOUNTAIN, 36" MAX. AND WITH 8" MIN. KNEE CLEARANCE</p> <p>⑤ (E) STAIR TO RESIDENTIAL UNITS ABOVE TO REMAIN</p> <p>⑥ (E) MECHANICAL VENT TO REMAIN. FINISH AS PER THE OWNER.</p> <p>⑦ (E) MECHANICAL VENT & DUCT TO BE MOVED.</p> <p>⑧ HIGH GLOSS WHITE PAINTED FINISH ON WALLS.</p> <p>⑨ (N) URINAL</p>



NEW...LIGHTING...PLAN
 SCALE: 1/4" = 1'-0"
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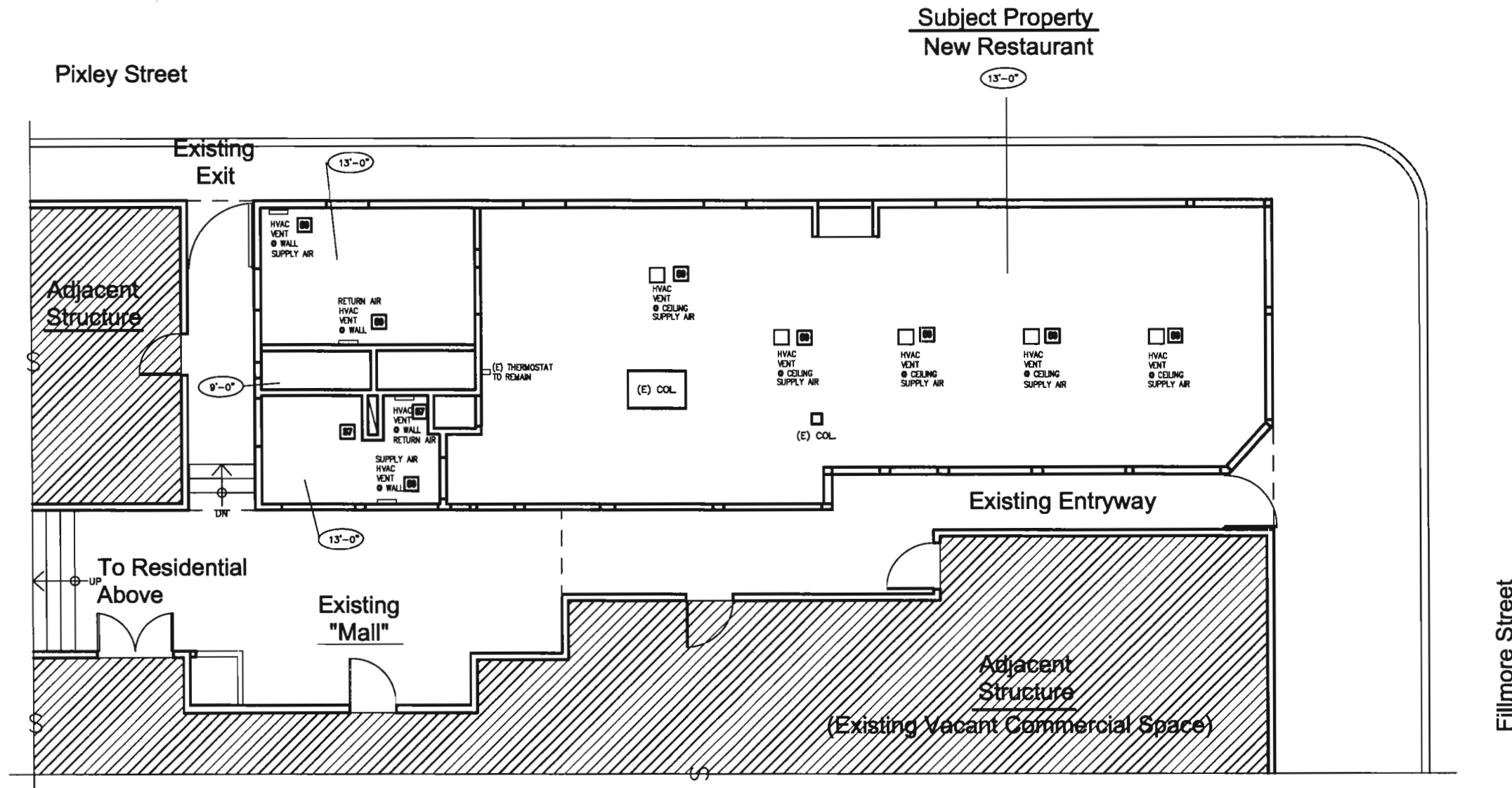
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DOOR LEGEND	LIGHTING SYMBOLS LEGEND	PLUMBING SYMBOLS LEGEND	KEY NOTES
<p>① 6'-8" H X 3'-0" W, with Lock. Exterior Door, to Remain.</p> <p>② 6'-8" H X 2'-6" W, Ptd. Exterior Door, to Remain.</p> <p>③ 6'-8" H X 2'-4" W, Ptd. Interior Door. Remove.</p> <p>④ 6'-8" H X 2'-0" W, Ptd. Interior Door. Remove.</p> <p>⑤ 6'-8" H X 2'-6" W, Ptd. Interior Door. Remove.</p> <p>⑥ 6'-8" H X 2'-8" W, Ptd. Interior Door. Remove.</p> <p>⑦ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.</p> <p>⑧ 6'-8" H X 2'-0" W, Ptd. Interior Door, Locked.</p> <p>⑨ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.</p>	<p>2' X 4' FLOURESCENT SURFACE MOUNTED</p> <p>CEILING LIGHT High Efficacy</p> <p>TRACK LIGHTING</p> <p>NEW EXIT LIGHT WITH EMERGENCY LIGHTS</p> <p>CEILING HEIGHT</p> <p>SWITCH</p> <p>THREE-WAY SWITCH</p> <p>DIM DIMMER SWITCH</p> <p>THREE-WAY DIMMER SWITCH</p> <p>SMOKE DETECTOR</p> <p>FAN/FLOURESCENT LIGHT FIXTURE</p>	<p>EXISTING COLD WATER FIXTURE</p> <p>EXISTING HOT WATER FIXTURE</p> <p>NEW COLD WATER FIXTURE</p> <p>NEW HOT WATER FIXTURE</p> <p>NEW HOT WATER HEATER ON 18" MIN. HEIGHT</p> <p>FIRE-RATED PLYWOOD PLATFORM</p> <p>NEW TANKLESS HOT WATER HEATER</p> <p>SUPPLY AIR</p> <p>RETURN AIR</p>	<p>① (E) SIDEWALK TO REMAIN</p> <p>② (E) WINDOW TO REMAIN</p> <p>③ (E) WINDOW TO REMAIN, REMOVE (E) WALL BLOCKING WINDOW, ADD INTERIOR MOLDING.</p> <p>④ (E) WINDOW TO REMAIN, PAINT OUT & BLOCK OFF WINDOW WITH 1/2" G.I.B.S., PTD.</p> <p>⑤ (E) METAL GATE, LOCKABLE, WITH (N) PANIC BAR & LEVER HARDWARE OR LEFT OPEN DURING BUSINESS HOURS. SWING GATE OUT.</p> <p>⑥ (N) DOOR. FINISH PER OWNER.</p> <p>⑦ (E) DOOR TO BE REMOVED.</p> <p>⑧ (E) DOOR TO REMAIN, FINISH AS PER OWNER.</p> <p>⑨ LINE OF (E) BASEMENT WALLS BELOW.</p> <p>⑩ (E) G.I.B.S., CEILING TO REMAIN, FINISH AS PER OWNER.</p> <p>⑪ (E) COLUMN TO REMAIN</p> <p>⑫ (M) WALL. FINISH AS PER OWNER.</p> <p>⑬ (E) WALL TO REMAIN, PAINT FINISH AS PER OWNER.</p> <p>⑭ ADD (N) METAL THRESHOLD. SEE DETAIL 3/A-3.</p> <p>⑮ (N) ADA LEVER HARDWARE, MOUNTED 34" MAX. TO CENTERLINE OF HARDWARE FROM THE FLOOR, MAX. 5 LBS. FORCE BY THE OWNER.</p> <p>⑯ (N) QUARRY TILE FLOORING, AS SELECTED BY THE OWNER.</p> <p>⑰ (N) 6" MIN. HIGH QUARRY TILE CONE BASE, AS SELECTED BY THE OWNER.</p> <p>⑱ PAINT OR OTHER FINISH AS PER OWNER.</p> <p>⑲ (E) 2x4 LAY-IN GRID ACOUSTICAL CEILING TO BE REMOVED, FINISH AS PER THE OWNER.</p> <p>⑳ (N) CEILING, ONE-HOUR; SEE 1/A-B. PAINT OR OTHER FINISH AS PER OWNER.</p> <p>㉑ LINE OF (E) SOFFIT ABOVE.</p> <p>㉒ (E) WOOD BASE; FINISH AS PER THE OWNER.</p> <p>㉓ (N) WOOD BASE; FINISH AS PER THE OWNER.</p> <p>㉔ (N) FLOORING; FINISH AS PER THE OWNER.</p> <p>㉕ (N) ADA ACCESSIBLE ENTRY SIGNAGE INDICATING SUCH AND FRONT GATE.</p> <p>㉖ (N) ADA ACCESSIBLE ENTRY SIGNAGE, DOOR LEFT OPEN DURING BUSINESS HOURS.</p> <p>㉗ (N) LEVEL AREA 5'-0" MIN. LENGTH</p> <p>㉘ (N) ADA CLEARANCE 60" X 60"</p> <p>㉙ (N) ADA CLEARANCE 30" X 48"</p> <p>㉚ 18" ADA CLEARANCE AT DOOR</p> <p>㉛ 24" ADA CLEARANCE AT DOOR</p> <p>㉜ 12" ADA CLEARANCE AT THE DOOR</p> <p>㉝ (N) ADA CLEARANCE 60" DIAMETER</p> <p>㉞ 44" ADA CLEARANCE</p> <p>㉟ (N) ADA COUNTERTOP; SEE 2/A-4.</p> <p>㊱ (E) ELECTRICAL PANEL TO REMAIN, ADD (N) 220 SERVICE. REPLACE PANEL IF REQUIRED.</p> <p>㊲ (E) TELEPHONE LINES TO REMAIN</p> <p>㊳ (E) LIGHT TO REMAIN</p> <p>㊴ (E) LIGHT TO BE MOVED</p> <p>㊵ (E) SMOKE DETECTORS REMOVED AND REPLACED WITH BATTERY-OPERATED SMOKE DETECTORS</p> <p>㊶ REMOVE (E) PLUMBING AT (E) WALL</p> <p>㊷ (E) LAVATORY TO BE REMOVED</p> <p>㊸ (E) TOILET TO BE REMOVED</p> <p>㊹ (E) TOILET PAPER HOLDER TO BE REMOVED</p> <p>㊺ (N) LAVATORY</p> <p>㊻ INSULATE PIPE UNDER SINK</p> <p>㊼ (N) TOILET</p> <p>㊽ (N) ADA GRAB BAR(S)</p> <p>㊾ CENTERLINE OF (N) TOILET</p> <p>㊿ CENTERLINE OF (N) LAVATORY</p> <p>① (N) TOILET PAPER HOLDER 18" MIN. ABOVE FINISHED FLOOR AND 12" MAX. IN FRONT OF (N) TOILET</p> <p>② (N) MIRROR</p> <p>③ (N) PAPER TOWEL DISPENSER, 48" MAX. HEIGHT TO DISPENSING POINT</p> <p>④ (N) TUB SINK</p> <p>⑤ (N) DRINKING FOUNTAIN, 36" MAX. AND WITH 8" MIN. KNEE CLEARANCE</p> <p>⑥ (E) STAIR TO RESIDENTIAL UNITS ABOVE TO REMAIN, FINISH AS PER THE OWNER.</p> <p>⑦ (E) MECHANICAL VENT & DUCT TO BE MOVED.</p> <p>⑧ HIGH GLOSS WHITE/TA PAINED FINISH ON WALLS.</p> <p>⑨ (N) URINAL</p>
	<p>ELECTRICAL SYMBOLS LEGEND</p> <p>ELECTRICAL PANEL</p> <p>DUPLEX ELECTRICAL OUTLET, 18" A.F.F., U.O.N.</p> <p>NO. OF ELECTRICAL OUTLETS GANGED</p> <p>ELECTRICAL OUTLET GROUND FAULT INTERRUPTED</p> <p>TELEPHONE</p> <p>JUNCTION BOX</p>	<p>WALL LEGEND</p> <p>EXISTING WALL, NON-RATED</p> <p>EXISTING WALL, RATED</p> <p>NEW WALL, NON-RATED</p> <p>NEW, ONE-HOUR WALL</p> <p>EXISTING CEILING, NON-RATED</p> <p>NEW, ONE-HOUR CEILING</p> <p>EXISTING, ONE-HOUR CEILING</p>	

3131 Fillmore Street Restaurant
 SAN FRANCISCO, CA. 94123

APN No.: Block 0515 Lot 006
 Drawing Title: **NEW LIGHTING PLAN**
 Sheet Number: **A-9**



1 EXISTING...&...NEW...PLUMBING...&...HVAC...PLAN
SCALE: 1/4" = 1'-0"
NOTE: Field verify all dimensions and conditions.

DOOR LEGEND	LIGHTING SYMBOLS LEGEND	PLUMBING SYMBOLS LEGEND	KEY NOTES
<p>① 6'-8" H X 3'-0" W, with Lock. Exterior Door, to Remain.</p> <p>② 6'-8" H X 2'-6" W, Ptd. Exterior Door, to Remain.</p> <p>③ 6'-8" H X 2'-4" W, Ptd. Interior Door. Remove.</p> <p>④ 6'-8" H X 2'-0" W, Ptd. Interior Door. Remove.</p> <p>⑤ 6'-8" H X 2'-6" W, Ptd. Interior Door. Remove.</p> <p>⑥ 6'-8" H X 2'-8" W, Ptd. Interior Door. Remove.</p> <p>⑦ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.</p> <p>⑧ 6'-8" H X 2'-0" W, Ptd. Interior Door, Locked.</p> <p>⑨ 6'-8" H X 2'-8" W, Ptd. Interior Door, Locked.</p>	<p>2' X 4' FLOURESCENT SURFACE MOUNTED</p> <p>CEILING LIGHT High Efficacy</p> <p>TRACK LIGHTING</p> <p>NEW EXIT LIGHT WITH EMERGENCY LIGHTS</p> <p>CEILING HEIGHT 8'-6"</p> <p>SWITCH</p> <p>THREE-WAY SWITCH</p> <p>DIMMER SWITCH</p> <p>THREE-WAY DIMMER SWITCH</p> <p>SMOKE DETECTOR</p> <p>FAN/FLOURESCENT LIGHT FIXTURE</p> <p>ELECTRICAL PANEL</p> <p>TELEPHONE</p> <p>JUNCTION BOX</p> <p>DUPLIX ELECTRICAL OUTLET, 18" A.F.F., U.O.N.</p> <p>NO. OF ELECTRICAL OUTLETS GANGED</p> <p>ELECTRICAL OUTLET GROUND FAULT INTERRUPTED</p>	<p>EXISTING COLD WATER FIXTURE</p> <p>EXISTING HOT WATER FIXTURE</p> <p>NEW COLD WATER FIXTURE</p> <p>NEW HOT WATER FIXTURE</p> <p>NEW HOT WATER HEATER ON 18" MIN. HEIGHT</p> <p>FIRE-RATED PLYWOOD PLATFORM</p> <p>NEW TANKLESS HOT WATER HEATER</p> <p>SUPPLY AIR</p> <p>RETURN AIR</p> <p>WALL LEGEND</p> <p>EXISTING WALL, NON-RATED</p> <p>EXISTING WALL, RATED</p> <p>NEW WALL, NON-RATED</p> <p>NEW, ONE-HOUR WALL</p> <p>EXISTING CEILING, NON-RATED</p> <p>NEW, ONE-HOUR CEILING</p> <p>EXISTING, ONE-HOUR CEILING</p>	<p>① (E) SIDEWALK TO REMAIN</p> <p>② (E) WINDOW TO REMAIN</p> <p>③ (E) WINDOW TO REMAIN. REMOVE (E) WALL BLOCKING WINDOW; ADD INTERIOR MOLDING.</p> <p>④ (E) WINDOW TO REMAIN. PAINT OUT & BLOCK OFF WINDOW WITH 1/2" G.W.B., PTD.</p> <p>⑤ METAL GATE, LOCKABLE, WITH (N) PANIC BAR & LEVER HARDWARE OR LEFT OPEN DURING BUSINESS HOURS. SWING GATE OUT.</p> <p>⑥ (N) DOOR. FINISH PER OWNER.</p> <p>⑦ (E) DOOR TO BE REMOVED.</p> <p>⑧ (E) DOOR TO REMAIN. FINISH AS PER OWNER.</p> <p>⑨ LINE OF (E) BASEMENT WALLS BELOW.</p> <p>⑩ (E) G.W.B., CEILING TO REMAIN. FINISH AS PER OWNER.</p> <p>⑪ (E) COLUMN TO REMAIN</p> <p>⑫ (N) WALL. FINISH AS PER OWNER.</p> <p>⑬ (E) WALL TO REMAIN; PAINT FINISH AS PER OWNER</p> <p>⑭ ADD (N) METAL THRESHOLD. SEE DETAIL 3/A-5.</p> <p>⑮ (N) ADA LEVER HARDWARE, MOUNTED 34" MAX. TO CENTERLINE OF HARDWARE FROM THE FLOOR, MAX. 5 LBS. FORCE</p> <p>⑯ (N) QUARRY TILE FLOORING, AS SELECTED BY THE OWNER.</p> <p>⑰ (N) 6" MIN. HIGH QUARRY TILE CONE BASE, AS SELECTED BY THE OWNER.</p> <p>⑱ PAINT OR OTHER FINISH AS PER OWNER.</p> <p>⑲ (E) 2x4 LAY-IN GRID ACOUSTICAL CEILING TO BE REMOVED; FINISH AS PER THE OWNER.</p> <p>⑳ (N) CEILING, ONE-HOUR; SEE 1/A-6. PAINT OR OTHER FINISH AS PER OWNER.</p> <p>㉑ LINE OF (E) SOFFIT ABOVE.</p> <p>㉒ (E) WOOD BASE; FINISH AS PER THE OWNER.</p> <p>㉓ (N) FLOORING; FINISH AS PER THE OWNER.</p> <p>㉔ (N) ADA ACCESSIBLE ENTRY SIGNAGE INDICATING SUCH AND FRONT GATE DOOR LEFT OPEN DURING BUSINESS HOURS.</p> <p>㉕ (N) LEVEL AREA 5'-0" MIN. LENGTH</p> <p>㉖ (N) ADA CLEARANCE 60" X 60"</p> <p>㉗ (N) ADA CLEARANCE 30" X 48"</p> <p>㉘ 18" ADA CLEARANCE AT DOOR</p> <p>㉙ 24" ADA CLEARANCE AT DOOR</p> <p>㉚ 12" ADA CLEARANCE AT THE DOOR</p> <p>㉛ (N) ADA CLEARANCE 60" DIAMETER</p> <p>㉜ 44" ADA CLEARANCE</p> <p>㉝ (N) ADA COUNTERTOP; SEE 2/A-6.</p> <p>㉞ (E) ELECTRICAL PANEL TO REMAIN. ADD (N) 220 SERVICE. REPLACE PANEL IF REQUIRED.</p> <p>㉟ (E) TELEPHONE LINES TO REMAIN</p> <p>㊱ (E) LIGHT TO REMAIN</p> <p>㊲ (E) LIGHT TO BE MOVED</p> <p>㊳ (E) SMOKE DETECTORS REMOVED AND REPLACED WITH BATTERY-OPERATED SMOKE DETECTORS</p> <p>㊴ REMOVE (E) PLUMBING AT (E) WALL</p> <p>㊵ (E) LAVATORY TO BE REMOVED</p> <p>㊶ (E) TOILET TO BE REMOVED</p> <p>㊷ (E) TOILET PAPER HOLDER TO BE REMOVED</p> <p>㊸ (N) LAVATORY</p> <p>㊹ INSULATE PIPE UNDER SINK</p> <p>㊺ (N) TOILET</p> <p>㊻ (N) ADA GRAB BAR(S)</p> <p>㊼ CENTERLINE OF (N) TOILET</p> <p>㊽ CENTERLINE OF (N) LAVATORY</p> <p>㊾ (N) TOILET PAPER HOLDER 18" MIN. ABOVE FINISHED FLOOR AND 12" MAX. IN FRONT OF (N) TOILET</p> <p>㊿ (N) MIRROR</p> <p>① (N) PAPER TOWEL DISPENSER, 48" MAX. HEIGHT TO DISPENSING POINT</p> <p>② (N) TUB SINK</p> <p>③ (N) DRINKING FOUNTAIN, 38" MAX. AND WITH 8" MIN. KNEE CLEARANCE</p> <p>④ (E) STAIR TO RESIDENTIAL UNITS ABOVE TO REMAIN</p> <p>⑤ (E) MECHANICAL VENT TO REMAIN. FINISH AS PER THE OWNER.</p> <p>⑥ (E) MECHANICAL VENT & DUCT TO BE MOVED.</p> <p>⑦ HIGH GLOSS WHITE PAINTED FINISH ON WALLS</p> <p>⑧ (N) URINAL</p>

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3131 Fillmore Street
Restaurant
SAN FRANCISCO, CA. 94123

APN No.: Block 0515 Lot 006
Drawing Title: Sheet Number:

**EXISTING &
NEW PLUMBING
& HVAC PLAN**
A-10