



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE OCTOBER 14, 2010

Date: October 14, 2010
Case No.: 2010.0482D
Project Address: 940 ELIZABETH STREET
Permit Application: 2009.12.24.3858
Zoning: RH-2 (Residential, House, Two-Family)
40-X Height and Bulk District
Block/Lot: 2807/014
Project Sponsor: Hawk N. Lee
1609 Noriega Street
San Francisco, CA 94122
Staff Contact: Michael Smith – (415) 558.6322
michael.e.smith@sfgov.org
Recommendation: **Do Not Take DR and approve project as proposed**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The proposal is construct a vertical addition, add a garage, and alter the appearance of the building's front façade. The proposed top floor would be set back 15-feet from the front of the building and minimally visible from the street. A new 10' wide curb cut would be installed for access to the new garage.

The proposed residence would have a two-car garage, full bath, office, and work room on the ground level; common rooms at the second floor; three-bedrooms and two baths on the third floor; and a family room and a full and a half bath on the fourth floor.

SITE DESCRIPTION AND PRESENT USE

The property at 940 Elizabeth Street is a mid-block lot that measures 25-feet in width and 114-feet in depth that is occupied by a two-story, single-family dwelling that was constructed in 1899 according to Assessor's records. In 1989 a permit was granted though never completed to construct a vertical and horizontal addition to the building. It appears that the addition was constructed. As a result of the alteration the Department determined the building is not a historic resource. The existing building has three bedrooms and two baths in approximately 1,400 square-feet and no off-street parking.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property is located at the western boundary of the Noe Valley neighborhood right below Twin Peaks. The neighborhood is architecturally mixed but Edwardian/Victorian architecture is the most predominant design influence.

The subject block face is located between Hoffman Avenue to the east and Grand View Avenue to the west. The block face slopes steeply upward from east to west as it rises towards Twin Peaks. There are 29 buildings on the subject block, primarily a mix of single-family and two-family dwellings. The buildings range in height from one to two floors over garage.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	October 4, 2010	October 1, 2010	13 days
Mailed Notice	10 days	October 4, 2010	October 1, 2010	13 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		X	
Other neighbors on the block or directly across the street		X	
Neighborhood groups			

The Department has also received 11 letters of opposition from other households within the immediate neighborhood. All of the letters express support for the DR request in particular the removal of the proposed fourth floor.

DR REQUESTOR

Don Watson, owner and occupant of 936 Elizabeth Street, the adjacent property to the east of the subject property.

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

The DR requestor has the following concerns: the plans that were noticed to the neighborhood are inaccurate because they do not indicate the light well on his property; and the proposed fourth floor is incompatible with the scale of the neighborhood.

Since the neighborhood notice the sponsor has revised the plans to reflect the DR requestor’s light well and has provided a matching light well on the subject property. The DR requestor still has concerns regarding the proposed light well because it does not go down far enough to fully capture/match his own light well.

To address his concerns, the DR requestor recommends extending the proposed light well down to the garage level and removing the top floor (fourth floor) of the building.

PROJECT SPONSOR'S RESPONSE

The project sponsor responded to the DR requestor's initial concerns by revising the plans to indicate the adjacent light well and provide a matching light well on the subject property. The fourth floor was revised to be set back 15-feet from the front wall as opposed to the front bay window. The sponsor is currently considering how to accommodate the light well extension while retaining the garage parking.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Categorical Exemption, Class 1 (State CEQA Guidelines Section 15301(e)(2)).

RESIDENTIAL DESIGN TEAM REVIEW

The Department does not feel that the proposed light well needs to extend down to the garage level because we do not generally require that light wells extend down to the garage level. The general logic behind this policy is that six-foot tall fences are permitted at the property line without a permit. Furthermore, open light wells at the ground floor make it much easier for people to enter an adjacent property thus impacting building security. As proposed the project would present an approximately six-foot wall to the DR requestor's light well, consistent with the height of a permitted fence.

The proposed light well is also larger than the DR requestor's light well and it is open to the sky unlike the adjacent light well. Thus, the subject property is shouldering more of the burden of providing light to the DR requestor's light well. The removal of the eave that covers the DR requestor's light well would do more to provide light to their home than extending the proposed light well to the garage level.

In regards to the building scale, the Department generally allows buildings to extend one story taller than the adjacent buildings with the taller element set back 15-feet from the front wall. The taller element is minimally visible from the street with the setback. The buildings adjacent to 940 Elizabeth Street are both three stories in height. The other recent projects on the block had different immediate contexts that were defined by shorter buildings. Thus, four story buildings are not appropriate everywhere on the block and must be reviewed on a case-by-case basis.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

RECOMMENDATION: Do not take DR and approve project as proposed.
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Attachments:

Block Book Map

Sanborn Map

Aerial Photographs

Section 311 Notice

DR Application

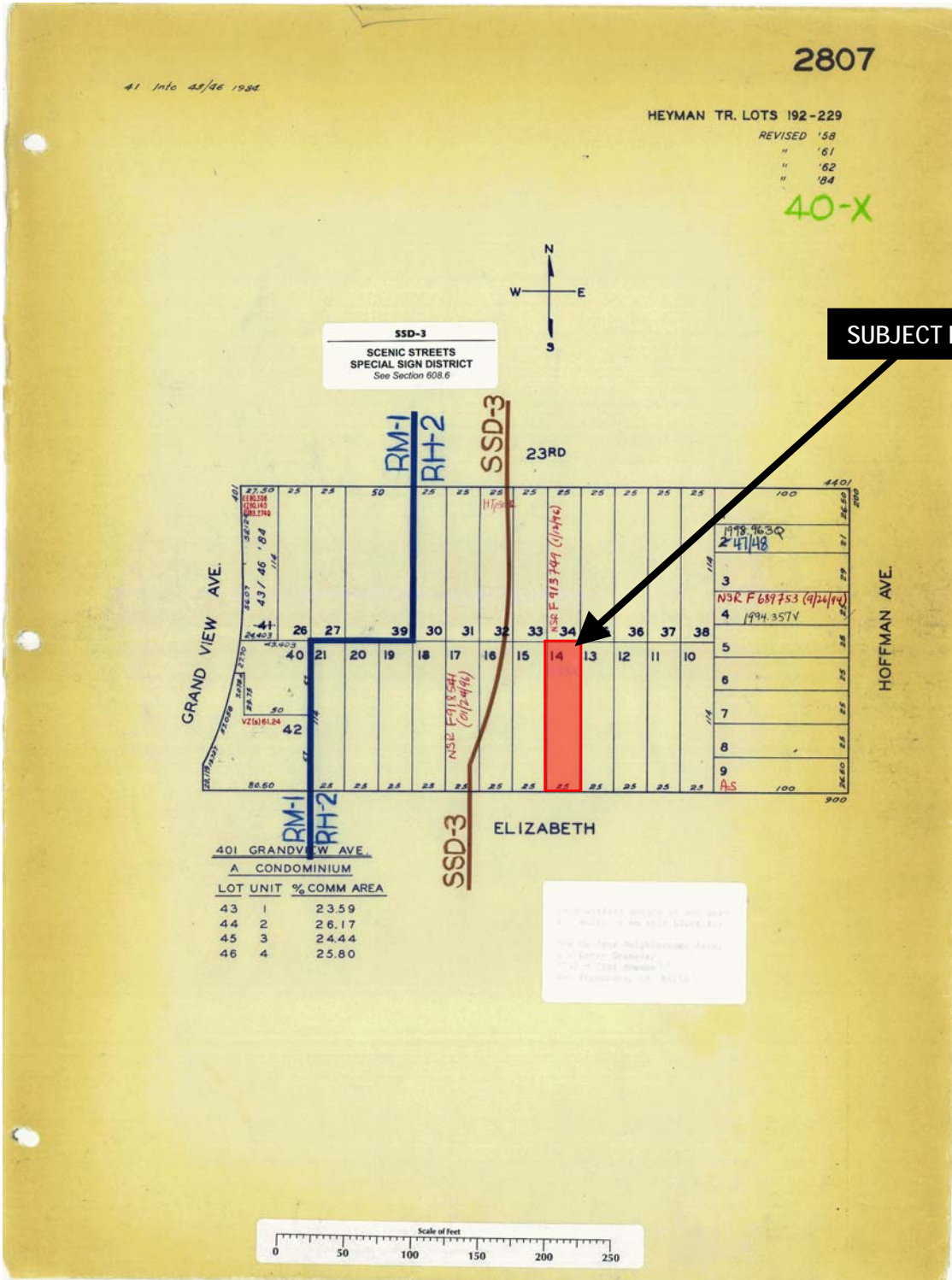
Response to DR Application (including)

 Reduced Plans

 Context Photographs

MES\G:\Documents\WORD\DRs\940 Elizabeth St\2010.0482D Report.doc

Parcel Map

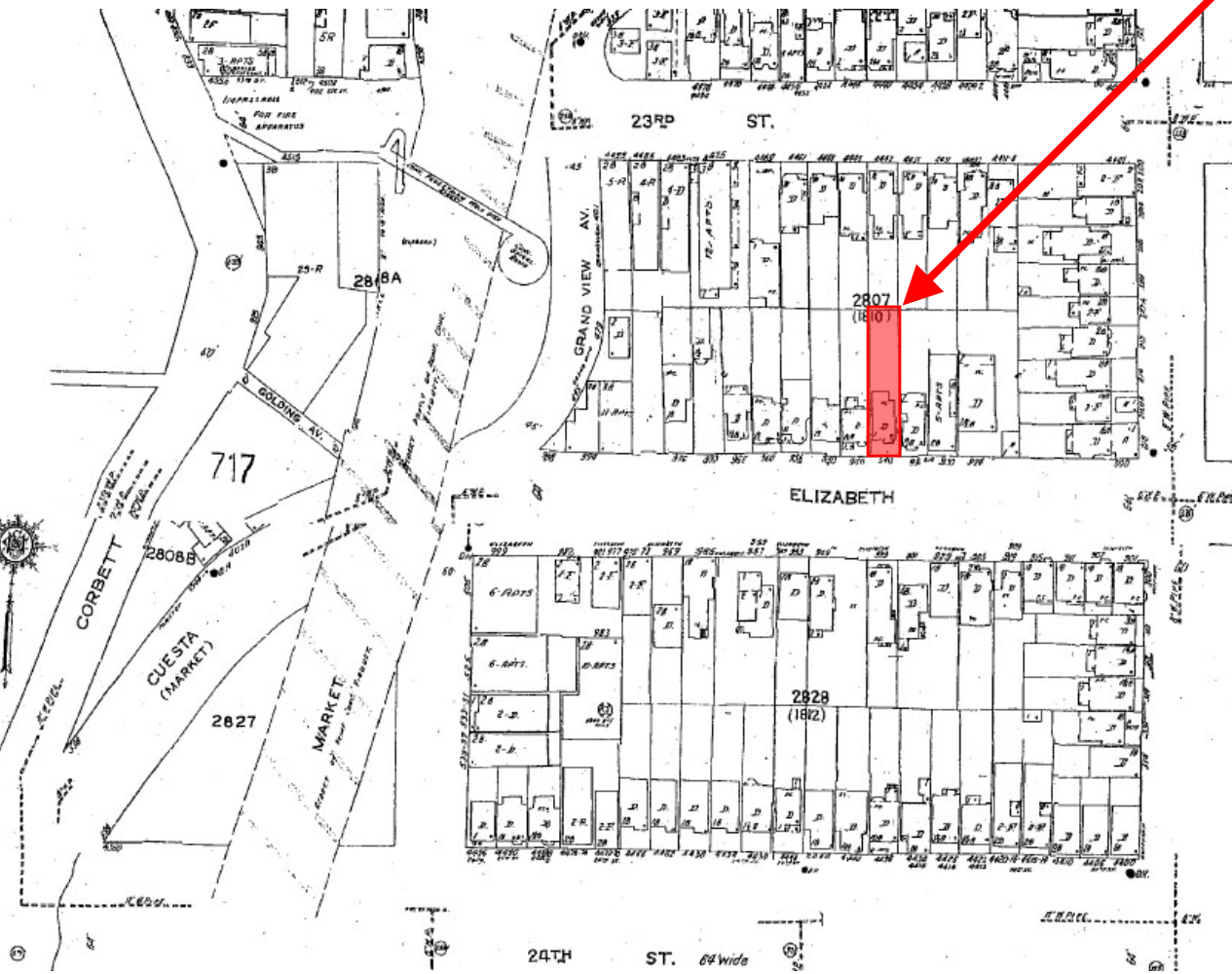


Discretionary Review Hearing
Case No. 2010.0482D
940 Elizabeth Street



Sanborn Map*

SUBJECT PROPERTY



*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case No. 2010.0482D
940 Elizabeth Street

Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR



Discretionary Review Hearing
Case No. 2010.0482D
940 Elizabeth Street

Aerial Photo



DR REQUESTOR

SUBJECT PROPERTY



Aerial Photo



SUBJECT PROPERTY

DR REQUESTOR



Discretionary Review Hearing
Case No. 2010.0482D
940 Elizabeth Street

Photo of Subject Building



Top photo is view looking east. Bottom photo is view looking west. Front façade is difficult to see behind large street tree.



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On December 24, 2009, the Applicant named below filed Building Permit Application No. 2009.12.24.3858 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Hawk Lee	Project Address:	940 Elizabeth Street
Address:	1609 Noriega Street	Cross Streets:	Hoffman Ave.
City, State:	San Francisco, CA 94122	Assessor's Block /Lot No.:	2807/014
Telephone:	(415) 681.6325	Zoning Districts:	RH-2 /40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS <input checked="" type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
FRONT SETBACK	10 feet, 8 inches	No Change
BUILDING DEPTH	60 feet	No Change
REAR YARD	43 feet, 4 inches	No Change
HEIGHT OF BUILDING	34 feet	37 feet
NUMBER OF STORIES	2 over basement	3 over basement
NUMBER OF DWELLING UNITS	1	No Change
NUMBER OF OFF-STREET PARKING SPACES	0	2

PROJECT DESCRIPTION

The proposal is construct a vertical addition, add a garage, and alter the appearance of the building's front façade. The proposed top floor would be set back 15-feet from the face of the bay window and minimally visible from the street. A new 10' wide curb cut would be installed for access to the new garage. The existing street tree will be maintained and a new street tree will be planted on the east side of the driveway. The building will have wood windows. See attached plans.

PLANNER'S NAME: Michael Smith
 PHONE NUMBER: (415) 558-6322
 EMAIL: michael.e.smith@sfgov.org

DATE OF THIS NOTICE: 5-11-10
 EXPIRATION DATE: 6-10-10

Don Watson
936 Elizabeth Street
San Francisco, CA, 94114
415-648-5327
dondhee@gmail.com

October 6, 2010

Hand Delivered

Mr. Michael Smith
San Francisco Planning Department
1650 Mission Street 4th Floor

RE: 940 Elizabeth Street (Block 2807, Lot 014)
Case No. 2009.12.24.3835
Hearing Date: October 14, 2010

Dear Mr. Smith:

Enclosed please find the original and 12 copies of the support for the Request of Discretionary Review regarding a Building Permit for Alteration of a Single Family Building at 940 Elizabeth Street. Please distribute a copy to each of the Planning commissioners and any other appropriate parties.

Thank you for you assistance.

Respectfully,

Don Watson
DR applicant

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- **DR Applicant Letter to Commissioners**
- **Pre DR App Letters to Planning Dept.**
- **Letters to Commissioners**
- **Plans and Charts**
- **Light Well Photos**
- **Recent Neighborhood Remodels-Photos**

Don Watson
936 Elizabeth Street
San Francisco, CA, 94114
Oct 4, 2010

Honorable Ron Miguel
President, San Francisco Planning Commission
And Planning Commissioners
1650 Mission Street Suite 400
San Francisco, CA, 94107

**RE: 940 Elizabeth Street (Block 2807 Lot 014)
Planning Department Case No. 2009 12.24.3858 (Alteration/ Addition)
Argument for Discretionary Review Request Regarding Building Permit
Application Building Permit Application No. 2009.12.24.3858
Hearing Date: October 14, 2010**

Dear President and Commissioners:

My wife Lynn and I have filed an application for a Discretionary Review, identified as Case No. 2010.0482D. We, and many other families share the same concerns. A petition dated May 21, 2010, signed by eighteen neighbors was signed and submitted to the Planning Department. Through neighborhood meetings, twenty-five of our neighbors have confirmed that they want the Planning Commission to take Discretionary Review and revise the plans so they are more compatible with the rest of the neighborhood as follows:

- Protect the character of a historically valuable 1899 Victorian Cottage
- Remove the proposed 4th level of the building entirely
- Set back the third level to fifteen feet from the front of the building
- Provide a light well that goes to the bottom of the windows in the light well of 936 Elizabeth

Project Description

As proposed, this plan would expand the footprint of the building at 940 Elizabeth Street by extending the wall adjacent to our house at 936 Elizabeth St. to our mutual property line without adequate consideration for our light-well. It would provide an adjacent light-well that vertically descends from the top of the front deck safety wall, down a thirty foot high wall, to the floor of their second level; the level

above their garage. It is also the level above the windows of our first floor living area at 936 Elizabeth, which, because of the extreme steepness of the hill, is almost at the same plane as their proposed garage.

The proposal would virtually demolish the historic cottage and replace it with a full lot width flat roof rising to a height of thirty feet from the curb at the front and forty feet from the curb for the majority of the house.

Enclosures

I have provided:

- Photos of recent neighboring remodels
- "Private Meeting Sign-in Sheet" listing our objections to the project proposal
- Petition of opposition to the project in its proposed form signed by eighteen neighbors
- Pre DR application letters of protest written by concerned neighbors
- Letters written by the former neighbor at 946 Elizabeth and her architect expressing dismay that this project could proceed in a configuration denied her
- Letters written by neighbors supporting the Discretionary Review
- A chart showing the number of floors in each house on our block
- Photos of our light-well at 936 Elizabeth and the relationship to the historic Victorian cottage
- Example drawing of the proposed garage demonstrating the negligible impact that extending the proposed light-well to match our first floor windows would have on the proposed garage at 940 Elizabeth

Neighborhood Outreach

Despite clams to the contrary by the sponsors Lorie Tatsugawa, and her associate Don Walling, they have demonstrated little interest in negotiating or discussing our concerns. Their initial pre-application contact was a single offering to immediately adjacent property owners to view the plans during the Christmas 2009 holidays when neighbors were occupied or out of town as we were. No other meetings with the neighborhood to discuss the plans were offered.

Exceptional and Extraordinary Circumstances

The following four circumstances are "Exceptional and Extraordinary" and I therefore request that you take Discretionary Review of this case.

The 1899 Cottage was previously considered of historic value by the city

We respectfully object to the loss of a legitimate historically valuable asset to the city; the Victorian Cottage front portion of the building could be restored, as others on our block have been. In 1979 this Cottage was considered of sufficient historic value by the city to require its preservation in exchange for allowance of an exceptional twelve foot two story extension into the required rear yard "green zone". The reason given at that time by the Planning Department for not allowing the expansion of the cottage to our adjacent property line, and for not allowing a garage to be built beneath it; was that the Victorian Cottage, built in 1899, had

historical value to the City of San Francisco. The unjustified reversal of the previous decision by the city qualifies as Exceptional and Extraordinary Circumstances warranting Discretionary Review.

Four level houses has been denied by the City Planners

Janis Stone, former owner of 946 Elizabeth, and her Architect, in 2003-2004, have stated that Planning "would only allow us to do 2 stories over a garage since the proposed third story would have been too high in relationship to the existing adjacent homes and therefore not in continuity with the height of the other structures." See enclosed letters. Allowance of a four level project now when it was previously denied on the adjacent property qualifies as Exceptional and Extraordinary Circumstances warranting Discretionary Review.

The 900 Elizabeth block is one of the steepest in the city

The 900 block of Elizabeth Street is one of the steepest streets in San Francisco, 25% grade, so steep it has stairs in place of a sidewalk. This warrants "Exceptional and Extraordinary" consideration. Any three level house built on the uphill side of another three level house is already almost one level higher than its down hill neighbor. I respectfully argue that a blanket, arbitrary maximum height, applied to residential buildings in the city, does not work for every topography. When they are built on the property line, as is being done more and more, it effects their neighbor. And the higher the building is the worse the consequences. This block does not and should not have buildings that are four levels high. Allowance of a four level building on such a steep block of homes only two and three levels high qualifies as Exceptional and Extraordinary Circumstances warranting Discretionary Review.

A "good-neighbor" light well should allow light and air to reach all windows

For Lynn and me, a daily and direct diminishing of the "quality of life" would be the loss of fresh air and light throughout the day directly to our bathrooms and bedroom with windows on the light well. The roof of our house built in 1906 extends over the light well (see enclosed photo). For over a hundred years there has been over a six feet distance between our light well and the adjacent wall of 940 Elizabeth allowing plenty of space for bounce light in the morning and direct sunlight all afternoon year round to reach all windows in the light well. We were told by the planner that the light well at 940 Elizabeth would match our lowest windows. This is not the case. The revised plans show a light well that inexplicably does not continue down to our first floor windows. I engaged an architect to draw revised plans to demonstrate the feasibility of extending the light well in 940 Elizabeth to fully match our windows. See enclosed drawing showing the negligible impact this light well would have. Loss of light and air to existing rooms in our house through failure to provide a fully matching adjoining light well qualifies as Exceptional and Extraordinary Circumstances warranting Discretionary Review.

Conclusion

I have named four items that constitute Exceptional and Extraordinary Circumstances. We respectfully ask the Commission to accept our request. Protect the character of a historically valuable 1899 Victorian Cottage and preserve our light and air by:

- Removing the proposed 4th level of the building entirely,
- Setting back the third level to fifteen feet from the front of the building, and
- Providing a light well that goes to the bottom of the windows in the light well of 936 Elizabeth

Thank you for your time and consideration.

Sincerely,

A handwritten signature in cursive script that reads "Don Watson".

Don Watson

Don Watson
936 Elizabeth Street
San Francisco, CA, 94114-3120
415-648-5327. dondhee@gmail.com
May 19,2010

Michael Smith
Planning Department Suite 400
1650 Mission Street
San Francisco, CA, 94103

Dear Mr. Smith:

After making an appointment with you for 4pm May 24 concerning Building Permit Application No. 2009.12.24.3858 for 940 Elizabeth Street, I consulted an architect to help us get a more professional understanding of the plans submitted by applicant Hawk Lee who apparently represents the owner. I have also talked to several neighbors and there are some serious concerns about the plans as presented. Following is a list of irregularities about which we are concerned:

1. There is no "datum" establishing a base for vertical calculations, no measurements of vertical dimensions and only one obscure measurement from somewhere on the hill grade to the trim on the bay window. So, there is no way to establish how high the proposed construction would ultimately be.
2. The elevation drawing- A1.1 and the various floor plans do not match. The elevation drawing shows the bay windows closer together and in varying quantity than the plan drawings. But which will actually get built?
In the elevations there is a door to the garage on the east side of the garage door, but plan A1 shows shrubbery instead.
A1.1 elevation shows two windows east of the penthouse sliding doors, but plan A6 shows three windows there. On the west side, plan A6 shows a wider window than the elevation presents. Which is it?
3. There is no attic in either 940 Elizabeth or our house at 936 Elizabeth as stated in the plans. The proposed design would actually be raising the roof level ten feet on the property lines; a huge difference in a neighborhood mostly consisting of two floors over a garage. This proposal is for three floors over a garage; something that was denied it's uphill neighbor 946 Elizabeth Street by the Planning Department because it was inconsistent with the neighborhood. The Planning Department also denied a previous owner of 940 Elizabeth Street who wanted permission to remove this same existing "Frontier Victorian Façade" roofline. The planners felt that this, over 100 years old, house has historic value to the city of San Francisco. You could look at the file on this property for reference. The proposed design offers nothing in the way of roofline design, to blend with the neighborhood's dominant peaked roof pattern.
4. There needs to be a more precise explanation regarding the integration of the proposed stairs from the front door and garage entrance driveway to the city sidewalk/stairs. There is no elevation drawing covering this. This is an engineering feat and in the past hasn't been done well on this block resulting in a replacement of city steps that are irregular and dangerous. Some neighbors are quite concerned and want to see how this would be done.

Reviewing the proposed project for conformance to the Residential Design Guidelines is not possible without accurate, consistent, and dimensioned drawings. We ask that the

Planning Department reconsider the acceptance of these plans by the city until they are drawn accurately and resubmitted. We, as a neighborhood, cannot assess the proposal until we know what the intended design is.

The most conspicuous irregularity is that the engineer has not taken into consideration the issue of the city's guidelines on "good neighbor policies". I refer to the lack of consideration of our lightwell at 936 Elizabeth Street, which is adjacent to the proposed project's interior stairs. Again, the plans are inaccurate in that they do not even show that we have a lightwell. We pointed this out to Mr. Hawk Lee when we reviewed the plans in his office before they were submitted to the city. He said that he hadn't drawn the plans and then gave us a form where we could express our concerns or objections. He said he was required to submit it along with the plans to the city.

The proposed design would block the light and air to two bathrooms, a bedroom and the hallways on two floors. There are four operable windows for light and ventilation in our lightwell. Being in the middle of the house, the rooms are dependent on the lightwell for illumination during the day. Blocking our lightwell with a wall is not acceptable, it would have a negative effect on us personally every day and it would substantially diminish the value of our house because of the dark, interior rooms. Our consultant pointed out that it appears that it would be very easy to adjust the proposed design to allow some light and air to our lightwell by indenting the east exterior wall adjacent to the proposed interior stairs where there now appears to be dead space, and further open that indentation toward the street at the third floor deck and through a small portion of the closet on the second floor below. This is adjacent to our lightwell and though it is not ideal, it would be better than no light at all. Eliminating the proposed third floor would also allow more light into the lightwell. The skylight in our upstairs bathroom water closet would also be in shadow if another floor were added at 940 Elizabeth.

Another major concern is the foundation for the proposed expansion adjacent to our common property line. Since there are no drawings showing how it will be constructed or to what depth the foundation will go, how can we be assured and substantiate that the new foundation will be of a quality and to a depth that it does not exert downward pressure onto our foundation? We ask that drawings of the proposed foundation showing design, materials and depth measurement be submitted before a permit is given. I would also like to be able to have our own structural engineer inspect the work at the same time as the city inspector.

Our house is over one hundred years old. It has had only four owners. We maintain it with the loving care deserving of a historical San Francisco Victorian house. We consider it a contract with our neighbors to help our city retain its unique and beautiful character. We hope our neighbors and the city planners will do the same. Thank you in advance for considering our requests.

Respectfully,

Don Watson

October 3, 2010

Ron Miguel
President, Planning Commission
600 DeHaro St
San Francisco, CA 94107

Re: Discretionary Review Hearing 14 October 2010
Building Permit Application No. 2009.12.24.3858
At 940 Elizabeth Street

Dear Mr. Miguel,

We have lived at 929 Elizabeth St. for 13 years and we have seen quite a bit of house remodeling in our neighborhood, including our own home, over that time. Change is often difficult especially for neighbors who are directly impacted. Our hope with each proposed remodel is that the project sponsor and neighbors will work together to create projects that respect the neighborhood and each other.

We appreciate the work that the planning department has put into the review of this project. Michael Smith, the planner, has had numerous projects in our neighborhood, including our own, and we appreciate his professionalism and the experience that he brings to this review. Unfortunately, the planning department does not live in our neighborhood and sometimes it is up to the neighbors to raise a red flag when project designs are seriously out of character with our neighborhood.

Review of the project proposed at 940 Elizabeth Street has raised significant concern in the neighborhood. Some of the concerns have been partially addressed but as of yet the project sponsors seem unwilling to work with their neighbors to make the necessary modifications to create a project that is in character with the buildings that exist.

Our first concern is that there is an error in the drawing of the downhill neighbors house at 936 Elizabeth. A light well near the front of the house has not been shown nor accommodated on the project plans. As a neighborhood, it is essential that current conditions be accurately stated. The Planning Department cannot do its job properly if they don't know the conditions of the site.

Our understanding is that the Planning Dept has asked the project sponsor to create a light well to the floor above the beginning of the neighbor's light well. Because our hill is steep the light well has not been fully accommodated. This is a serious problem.

Secondly, the Residential Design Guidelines say that where a consistent pattern has been established, we should not interfere with that pattern. The north side of Elizabeth Street has no four-story buildings. The proposed project is a four-story building.

Back in 2002, 946-948 Elizabeth, which is the adjacent uphill neighbor from the proposed project, was requesting a fourth story for their project. The planning department determined that the size and massing were inappropriate for the site and the project was reduced to 2 stories over garage. Letters from the owner of that property and architect of the project are attached for your reference.

The height and number of stories of the proposed project does not follow the consistent pattern of size of the buildings on the north side of the block and it does not follow the topography of the hill. The current plan appears to maximize the volume of the envelope without regard to the impact on the neighbors or neighborhood.

Lastly, we understand the project will require that the neighbor at 946-948 Elizabeth will have to remove a lot line window. While this may be allowable, it is not neighbor friendly and given the proposed size of the project strikes us as selfish.

We all know through the changes and building that has happened in our neighborhood that neighbor-friendly projects can be built and be beneficial to all. We are supporting the DR filed by our neighbors at 936 Elizabeth because when the neighborhood is not vigilant about outsized projects we all suffer in the future.

We ask that the Planning Commission request changes to this project to address the Design Guidelines regarding light/air with the light well and out of context mass and sizing.

Thank you for your assistance and dedication.

Sincerely,

The image shows two handwritten signatures in black ink. The signature on the left is 'Chris Remedios' and the signature on the right is 'Pete Remedios'. Both are written in a cursive, flowing style.

Chris & Pete Remedios
929 Elizabeth Street

volume of the envelope without regard to the impact on the neighbors or neighborhood.

We commend the owners for wanting to fix up 940 Elizabeth as the house has not been treated well over the past decade. We look forward to welcoming a newly spruced up home in its place. We ask that the Planning Department follow its guidelines to help neighbors create projects that respect neighbors and neighborhoods. We all know through the changes and building that has happened in our neighborhood that neighbor-friendly projects can be built and be wonderful and that when the neighborhood is not vigilant about outsized projects we all suffer in the future.

We hope that the project sponsors and the Planning Department will make some modifications to this project. If that is not possible, we would support a filing for Discretionary Review.

Thank you for your assistance and dedication.

Sincerely,

A handwritten signature in black ink, appearing to read "Chris Remedios". The signature is written in a cursive, flowing style. To the left of the main signature, there are two smaller, less distinct handwritten initials or marks.

Chris & Pete Remedios
929 Elizabeth Street

cc: Don & Lynn Watson, 936 Elizabeth Street
Hawk Lee, 940 Elizabeth St Project Contact

***You were the planner assigned to the 946-948 Elizabeth Street building project back in 2002. The size of the project was determined to be inappropriate for our street prior to 311 Notification. No changes have taken place in the neighborhood since then to make this situation any different.**

June 5, 2010

Michael Smith
Planning Department
City and County of San Francisco
1600 Mission Street, Suite 500
San Francisco, CA 94103

Re: Section 311 Notice for
Building Permit Application No. 2009.12.24.3858
At 940 Elizabeth Street

Dear Michael,

Welcome back to Elizabeth Street. It is nice to work with someone who has had experience with our neighborhood. Our preference is that neighbors work together to create projects that respect the neighborhood and each other. We ask that the Planning Department enforce the Residential Design Guidelines for the health of our neighborhoods and city.

We have reviewed the plans for the project proposed at 940 Elizabeth Street. There are a couple of concerns that we would like to raise in regard to the project.

Our first concern is that there is an error in the drawing of the downhill neighbors house at 936 Elizabeth. A light well near the front of the house has not been shown on the plans and has not been accommodated on the project plans. Given the level of detail needed to have the project approved it seems very suspicious when current conditions are misstated. We had a similar situation with the project above us at 931 Elizabeth and were able to bring that to your attention.

As a neighborhood, it is essential that current conditions be accurately stated. The Planning Department cannot do its job properly if they don't know the conditions of the site.

Secondly, the Residential Design Guidelines say that where a consistent pattern has been established, we should not interfere with that pattern. The north side of Elizabeth Street has no four-story buildings. The proposed project is a four-story building. As I'm sure you recall, 946-948 Elizabeth* was requesting a fourth story for their project back in 2002. The size and massing was considered inappropriate for the site and the project was reduced to 2 stories over garage.

The height and number of stories of the proposed project does not follow the consistent pattern of size of the buildings on the north side of the block and it does not follow the topography of the hill. The current plan appears to maximize the

Mr. Smith,

I received a notice of the **subject building permit** in the mail because I am a property owner/resident within 150 feet of the proposed project. I called and left you a voicemail message today to express my concerns about the project, as the notice directs, but my call was not returned. According to the notice the expiration date is 6-10-10, which I am interpreting to be the last day to register concerns about the project--hence this email. I have two concerns that deserve consideration in your review of this application:

1) The proposed vertical addition will block views of Diamond Heights from my property, which is located behind the residence at 940 Elizabeth Street, and

2) The owner/occupant at 940 Elizabeth Street has demonstrated a habit of major unfinished home remodeling projects, as evidenced by a rear addition which is in an off-and-on state of noisy construction (mostly on weekends) and covered by tarps which are unsightly and flap loudly in the wind. I have owned my home for nearly a year and this project has been going on that whole time and presumably for many months prior to my moving to the neighborhood.

Based on these concerns, I'm requesting that the vertical addition be disallowed and that an enforceable time limit be placed in the construction permit.

Respectfully,

Jeff Bingham, Homeowner
4449 23rd Street

October 3, 2010

Ron Miguel, SF Planning Commission President
600 DeHaro Street
San Francisco, CA 94107

Re: Case #2010.0482D—940 Elizabeth St.
Building Permit Application #2009.12.24.3838
DR Hearing Date: October 14, 2010

Dear Mr. Miguel,

I am writing this letter in support of the Discretionary Review Application filed by Don and Lynn Watson in opposition to the proposed project at 940 Elizabeth Street. The DR Application was filed on behalf of our neighborhood and drafted with the input of many neighbors surrounding the project site on Elizabeth Street, 23rd Street, and Grand View Avenue. We have come together out of concern for our community and to preserve the character of our neighborhood.

The proposed project at 940 Elizabeth does not comply with the Residential Design Guidelines in regards to neighborhood compatibility. Further, it does not preserve any aspect of the historical 1899 cottage that was protected by the city in past. As proposed, its scale and mass are inappropriate. For many there would be a great loss of light and privacy, for everyone, there would be an enormous loss of character to our neighborhood. The 900 block of Elizabeth Street is unique and much loved in the city of San Francisco. There are exceptional circumstances in this case that require special consideration beyond simple compliance with the building code.

The DR application's requests for changes are modest in comparison with the scale of the project. The resulting structure would still have nearly 3000 square feet of living space and would be the largest single-family house in the neighborhood. It should also be noted that our block has had a significant number of renovations and new building developments over the past decade. We work very hard with each other, developers and the Planning Department to resolve issues of concern and are supportive of new development in our city. In contrast, the project sponsors have not been similarly forthcoming. It is exceptionally rare that a case has to be taken to Discretionary Review.

Thank for your time and your consideration.

Sincerely,



Sandra Kawano
915 Elizabeth Street
San Francisco, CA 94114

cc: John Rahaim, Director of Planning
Scott Sanchez, Acting Zoning Administrator
Michael Smith, SF Planning Department
Christina Olague, SF Planning Commission Vice President
Michael J. Antonini, SF Planning Commissioner
Gwyneth Borden, SF Planning Commissioner
Kathrin Moore, SF Planning Commissioner
Hisashi Sugaya, SF Planning Commissioner

October 2, 2010

Ron Miguel, Christina Olague
Michael J. Antonini, Gwyneth Borden
Kathrin Moore, Hisashi Sugaya
C/o San Francisco Planning Dept.
1650 Mission St. #400
San Francisco, CA 94103

Dear San Francisco Planning Commission,

We are writing in support of the Discretionary Review, case #210.0482D, regarding the property plans for 940 Elizabeth St.

As across the street neighbors, we were dismayed to learn the scope of this project. Our Noe Valley neighborhood has worked hard to maintain and foster the qualities that make San Francisco charming and unique. Although we certainly respect the right of the property owner to make improvements, it is the size of the remodel that causes us concern. The plans call for a home of 3700 square feet on four levels, a house that would dwarf the neighbor's property and is not in keeping with the character of the neighborhood. The current plans do not leave a light well for the downhill neighbor. This is unacceptable.

Our block of Elizabeth St. is one of the steepest in San Francisco with a grade of 17%. Again, with a project of this magnitude, we are concerned about the impact on the foundation of the neighboring properties.

In summary, we believe the project to be too massive for its location and to be out of keeping with the character of the neighborhood. We ask that the plans be modified to a three level structure, the light well restored to the Watson's property at 936 Elizabeth St., and we would like to request story poles so that all neighbor's can be alerted to the proposed plans at 940 Elizabeth St.

Thank you for your attention to this matter.

Sincerely,



Richard and Beverly Lindberg
919 Elizabeth St.
San Francisco, CA 94114

Cc: Michael Smith, John Rahaim, Don and Lynn Watson

Lynn Watson
936 Elizabeth Street
San Francisco, CA, 94114
Oct 4, 2010

Honorable Ron Miguel
President, San Francisco Planning Commission
And Planning Commissioners
1650 Mission Street Suite 400
San Francisco, CA, 94107

Dear President and Commissioners:

**RE: 940 Elizabeth Street (Block 2807 Lot 014)
Planning Department Case No. 2009 12.24.3858 (Alteration/ Addition)
Argument for Discretionary Review Request Regarding Building Permit
Application Building Permit Application No. 2009.12.24.3858
Hearing Date: October 14, 2010**

Light and air are essential elements to the quality of life. This is not news. People understood the need for light and air in the home over 100 years ago. The small Victorian cottage that was built at 940 Elizabeth Street in 1899 had side yard set backs as well as front and backyards. When Mr. Charles Meanwell built a home next door at 936 Elizabeth for his family, (the house where my husband and I live now), he put a side yard setback on the down hill side. In the middle of the house on the uphill side, the side next to the existing home at 940 Elizabeth, he created a light well midway down the side of the house. This light well began right under the roof and ran down the side of the house, past the 2nd floor bathroom and hall, on down the 1st floor past the bathroom and bedroom on that floor to just above the ground, as it still does today. The cottage at 940 Elizabeth was set 6 feet 8 inches from the adjacent property line, so the light well at 936 Elizabeth, just inches from the property line got lots of light year round and plenty of fresh air when the windows were open.

Light and air were still important in 1979 when the cottage at 940 Elizabeth St. was remodeled. The original cottage was widened in the back by a rear addition from property line to property line, but the addition was set back to just behind the light well at 936 Elizabeth. At the same time a second floor was added, but again this new addition began behind the light well at 936 Elizabeth. As a result the light was curtailed at certain times of the year and day in the garden of 936 Elizabeth, but there was still a lot of light and plenty of fresh air available to the light well of 936 Elizabeth and the entry of 940 Elizabeth.

Now someone else wants to renovate the cottage. The plan is to go up

Lynn Watson
936 Elizabeth Street
San Francisco, CA, 94114
Oct 4, 2010

guel
San Francisco Planning Commission
Planning Commissioners
1st Suite 400
94107

Commissioners:

Elizabeth Street (Block 2807 Lot 014)
Department Case No. 2009 12.24.3858 (Alteration/ Addition)

three levels from property line to property line closing off our light well, except for a corresponding 2 foot deep light well on two levels of 940 Elizabeth, but not including the 940 Elizabeth garage level which is on the same grade as our first floor. Because of the grade of the hill we live on, these 2 levels are above our first floor where we have a bathroom and bedroom. As their plan stands now, our first floor rooms will be blocked off by the adjacent wall of 940 Elizabeth. In addition they plan to add a fourth level that will be set back to the present set back of the 1979 addition, but will still be taller than our house by ten feet. This will diminish the amount of light and air in our light well as well as putting our backyard garden in the shade most of the day. We grow vegetables in our rear garden in both the summer and winter. Sunlight is important.

I ask you, please, eliminate the fourth level on 940. Elizabeth. Require that the third level be set back the same distance as the 2nd level was in 1979. Even if the original cottage frontage is raised to accommodate a garage underneath, thereby lifting it to the level of a 2nd floor, if the side yard setback is maintained both 940 Elizabeth and 936 Elizabeth will retain a modicum of light and air, not possible in the current plan.

The quality of city life should not be sacrificed to monster mansions. Leave those to the suburbs where they belong. Please take another look at this plan.

Respectfully,

A handwritten signature in cursive script that reads "Lynn Watson". The signature is written in black ink and is positioned above the printed name.

Lynn Watson

**LYNN AND DON WATSON'S TENURE AT 936 ELIZABETH STREET, SAN FRANCISCO,
CA 94114**

(AKA how many times their quality of life has repeatedly been diminished.)

Since I am now the resident who has lived on Elizabeth Street since 1965, I feel strongly other information should be revealed that I have knowledge about.

In 1970 the Watsons' first rented at 939 Elizabeth St. In 1972 they decided to buy a run-down Victorian at 936 Elizabeth St.

It took them many years and a great deal of not only money but also their own labor to bring it up to code and to their liking.

FIRST 940 ELIZABETH STREET SAGA

940 Elizabeth began the saga in their lives around 1979 when a realtor-owner and her boyfriend-business partner decided to remodel. After many meetings with the Watsons & neighbors, the following was resolved:

- 1. Due to the historic nature of the house—pre-1906 Earthquake structure—the front had to be preserved.**
- 2. Granted: 2 floors above & 3 levels behind the cottage allowed 12' into green zone.**
- 3. Results:**
 - a. Ground excavated in new addition and dumped into backyard instead of being hauled.**
 - b. Created the need for a retaining wall plus fence, 12' high.**
 - c. Immediately blocked light into Watson's garden and back part of house.**
- 4. Promises: owner promised this was to be a one-family house; when renovation finished it was immediately divided into 2 units with no recourse to any neighbors.**

NEXT 940 ELIZABETH STREET SAGA

- 1. Around 2002 a very disagreeable number of people became tenants. They ran a car rental business out of the property that was not only illegal but had those rentals occupying parking in front of 940 and all up and down the hill.**

September 25, 2010

Re: 946-48 Elizabeth St Project

To Whom It May Concern:

I was the owner/developer of the property at 946/48 Elizabeth Street, which was designed and built in 2003/2004. I had designed a plan to build a 3 story (over the garage) property with the height within the 40 foot height limit but over 30 feet. I presented the plan to the City and was denied the design because they said it did not fit in with the neighborhood continuity because the height of my property would have exceeded the height of the neighboring properties. They cited that the rooflines should be continuous and my roofline would throw that line off. I was made to reduce my plan by 25% because of this decision.

I have been made aware of the decision of the same people to allow the downhill neighbor to build a property that is exactly what was DENIED to me 6 years ago. I find this decision very unfair.

What has changed in that time period? Do you now allow more to be built and allow the "character of the neighborhood" to deteriorate? Is this an economic decision?

If you want to preserve the look of the neighborhood then be CONSISTENT.

Sincerely,
Janis Stone
866-224-8024

October 1, 2010

Ron Miguel
San Francisco Planning Commission President
600 DeHaro Street
San Francisco, CA 94107

Re: Case #2010.0482D—940 Elizabeth St.
Building Permit Application #2009.12.24.3838

Dear Mr. Miguel,

I am writing to you in support of the neighborhood Discretionary Review submitted by Don Watson regarding the proposed project at 940 Elizabeth St. At nearly 40 feet tall as measured from the curb and three stories over garage (four floors), the project proposal is grossly outsized for the block and the neighborhood. It should be noted that in 2002 the Planning Department required that the project sponsors of the house next door (946 Elizabeth) remove a planned fourth floor (3rd floor over garage) from their project, citing the fact that such a house would be out of character with the neighborhood. I cannot understand why a similar project was modified then, while this project is (so far) being allowed to include a fourth floor.

If the project is allowed to go forward in it's current configuration, at ~3750 sq feet and nearly 40 feet tall from the curb, it would be the largest and tallest single family house in the neighborhood. The city of San Francisco greatly needs infill density providing increased dwelling units, not monster single-family houses.

In 2002, through the efforts of this neighborhood and the Planning Commission, a two-unit condo at 919/921 Elizabeth was right-sized. The Commission took the input of the neighborhood and reduced the massing of that building to address our concerns. As a result we now have a building that respects the neighborhood and provides homes for two families.

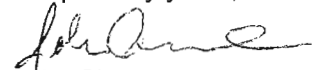
Please take similar action and support the DR filing. The following are sorely needed to bring the project within the norms for the neighborhood:

- Remove the entire top floor
- Set back the proposed third floor (second floor over garage)
- (Most importantly) ensure that the project sponsors have the decency to respect their neighbor's need for light and ensure the proposed lightwell matches all the way to the living quarters of 936 Elizabeth (that is, to the basement level of 940 which matches the first floor over garage of 936 Elizabeth)

Please support the neighborhood's desire to save the character of this historic 1899 cottage and ensure the above changes are made to the project.

I thank you for your time and consideration.

Respectfully yours,



John Sheets
915 Elizabeth St

cc: John Rahaim, Director of Planning
Michael Smith, SF Planning Department
Scott Sanchez, Acting Zoning Administrator
Christina Olague, SF Planning Commission Vice President
Michael J. Antonini, SF Planning Commissioner
Gwyneth Borden, SF Planning Commissioner
Kathrin Moore, SF Planning Commissioner
Hisashi Sugaya, SF Planning Commissioner

Dear Commissioner:

I am writing about the new house project at 940 Elizabeth Street.
(See building permit above.)

I have had the opportunity to review the owners' plans, and was shocked to learn that the new home is 3 floors over garage (effectively 4 floors), with a total living space exceeding 3700 square feet. (I did not think that a single family home in San Francisco could be 4 stories tall.)

I should note that my home at 901 Elizabeth is 760 square feet. Most of my neighbors' homes going up the hill do not exceed 2,000 square feet. Needless to say, 3700 square feet is a huge monster of a home that will tower over its neighbors. In fact, plans for the new project show it is just as tall as the home on the uphill side. (This is on a hill that measures a 17-degree upward slope.) So much for stair-stepping roof lines.

I was also dismayed to learn that the project owners did not want to run a light well down to the ground floor. Cutting off this source of daylight plunges the den and a bathroom of the neighbors' house at 936 Elizabeth into total darkness. Is it legal to totally cut off your neighbor's daylight?

Mostly I am unhappy that the new owners want to tear down a lovely Victorian home, and build a structure with a contemporary façade that, judging from the plans, looks cheap and tacky.

I support my neighbors' Discretionary Review (DR), and would ask that the Planning Commission make the owner of 940 Elizabeth keep the Victorian home, or at least cut off the 4th floor, and agree to extend the light well down to their ground floor, so the downhill neighbors' den and bathroom are not left in total darkness.

I understand that there will be an opportunity for the neighbors to speak to the Planning Commission in mid-October. I hope to be there to present my opinion.

I've lived on Elizabeth Street in Noe Valley since 1992, and seeing developers exploit lax building codes and zoning laws is just a travesty of the design process.

Sincerely,

John Bird

901 Elizabeth St.

San Francisco, CA 94114

415-821-5829



4200 California Street, Suite 111, • San Francisco, CA 94118 • Phone: 415.876.7314 • Fax: 415.751.7568

September 28, 2010

To whom it may concern,

We, Architectural Development Inc., did the architectural drawings for the project at 946 Elizabeth St., approximately 7 years ago. Originally, we had submitted a design for 3 stories over a garage/basement. However city planning would only allow us to do 2 stories over a garage since the proposed third story would have been too high in relationship to the existing adjacent homes and therefore not in continuity with the height of the other structures.

Sincerely,

A large, stylized handwritten signature in black ink, which appears to be 'Gary Jerabeck'. The signature is written over the word 'Sincerely,' and extends downwards into the contact information.

Gary Jerabeck, President
Architectural Development, Inc
4200 California St., Ste#111
San Francisco, CA 94118
Ph.415/876-7314 X222
Fax 415/751-7568

Regarding: Building Permit Application Number 2009.12.24.3835
Discretionary Review Case Number 2010.0482D

October 3, 2010

Dear Commissioners Miguel, Olague, Antonini, Borden, Moore and Sugaya,

I am writing in opposition to the proposed radical remodeling of the historic Victorian era cottage at 940 Elizabeth Street in Noe Valley.

As a long time resident of the neighborhood and licensed architect, I have become aware with some surprise that the San Francisco Planning Department has appeared to have lost their institutional memory.

The cottage at 940 Elizabeth was built in 1899 and survived intact until the cottage was renovated and expanded in 1979 following a review by the San Francisco Planning Department. That City review resulted in the preservation of the facade and front portion of the historic cottage, in accordance with the recommendations of the San Francisco General Plan, the Planning Department and the Residential Design Guidelines to preserve historic elements and neighborhood character. A two-story addition was placed behind the cottage and a rear yard projection was permitted in recognition of the owner's preservation effort.

How is it, 30 years later, with fewer preserved examples from the pre-earthquake period that the San Francisco Planning Department is permitting the virtual demolition of a charming historic Victorian era cottage?

Please stop this tragedy. Please vote to accept Discretionary Review and save the Victorian cottage from destruction and replacement with an out of scale, insensitive, unaffordable behemoth. There are many possible options for remodeling and expansion of the cottage to preserve it while modernizing it for yet another generation to appreciate and enjoy.

Thank you for your consideration,



Eric Maltman, Registered Architect
330 Hoffman Avenue (between Elizabeth and 24th Street)
San Francisco, CA 94114

Copies to:
John Rahaim, Director of San Francisco Planning Department
Michael Smith, San Francisco Planning Department

Regarding: Building Permit Application Number 2009.12.24.3835
Discretionary Review Case Number 2010.0482D

October 3, 2010

Dear Commissioners Miguel, Olague, Antonini, Borden, Moore and Sugaya,

I am writing in opposition to the proposed radical remodeling of the historic Victorian era cottage at 940 Elizabeth Street in Noe Valley.

As a long time resident of the neighborhood and licensed architect, I have become aware with some surprise that the San Francisco Planning Department has appeared to

U a

U a

429 Grand View Avenue
San Francisco, CA 94114

October 6, 2010

Dear Commissioner President Miguel:

I am writing to you to express my concern over the proposed project at 940 Elizabeth Street (Building permit application # is 2009.12.24.3835, and DR case # is 2010.0482D 6/9/2010-940 Elizabeth St).

In fact, the construction planned for this site far exceeds both the character and capacity of the neighborhood. At 3700 square feet, it would be at least 600 square feet larger than any previous construction in the area. Also, at four levels, it would extend up nearly 20 feet above its neighbors to the east and north, and would *parallel the roof line* of a home *two doors to the west*.

This is one of the steepest streets in the entire city, ergo in the world, so invoking a blanket 40 foot height standard here is to miss the point of location entirely. Massive, shoehorned buildings are ill-advised and troubling here, particularly when one takes into account such a precipitous hillside. The mass as well as the shadow of such a building is untenable generally, and in the 900 block of Elizabeth Street specifically.

Finally, I should add that I am a developer myself, having remodeled several homes in San Francisco over the past decade. One of these projects was 976-78 Elizabeth Street, a mere seven doors uphill from the project in question. It is a matter of record that my architect, Angela Matt, and I, never for a moment considered designing a four-level, forty-foot building. It would have made no sense in this block, in this neighborhood. The developers proposing an out-of-scale structure at 940 Elizabeth need to consider the neighborhood beyond the boundaries of their lot before they attempt to force-fit their design into Elizabeth Street.

I am available for questions and further clarification in this matter. My phone number is 415-860-1947 and my email address is dbwilkins@gmail.com.

Sincerely,



Douglas B. Wilkins

Carol Robinson
926 Elizabeth Street
San Francisco, CA 94114
October 4, 2010

Michael Smith
San Francisco Planning Commission
1650 Mission Street, #400
San Francisco, CA 94103

Re: 940 Elizabeth Street Case #210.0482D

Dear Mr. Smith,

I am writing to you to voice my strong support for the Discretionary Review application filed by Don and Lynn Watson regarding 940 Elizabeth Street.

My name is Carol Robinson. I have lived at 926 Elizabeth for 37 years and on this block for 40 years. I have had a small income tax business on 24th and Vicksburg for over 20 years.

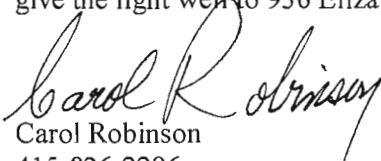
My concern is a proposed 3rd floor over garage level structure at 940 Elizabeth Street, currently a small renovated Victorian, and blocking the light wells into the home at 936 Elizabeth Street.

The 900 block of Elizabeth Street is unique topographically, even in San Francisco. There is a 17% gradient from top to bottom of this block. The hill is so steep that it is one of the few blocks in the City that has sidewalk steps. I am very concerned about the ability of a foundation that would support such a large size building on this incline. The entire block (with one exception) is one or at most 2 living levels over garage.

The exception is across from my house. Each day I look at what seems to be a silo towering over a small Victorian cottage. Yes, the cottage is "preserved," yes the silo with an addition of 2 stories, one room in depth, is set back from the street. However, it is completely out of character with the neighborhood. Set back from the street does not mean invisible. It still infringes on the air and light in the living spaces of nearby properties, effecting light, plants and the quality of life on our block. It is certainly not in keeping with the character of our neighborhood. The proposed structure to be built at 940 Elizabeth Street as planned is definitely not in keeping with this block.

I invite you to drive up the 900 block of Elizabeth Street, feel the incline and view the houses on our hill. A 3 story over garage residence would stick out like a sore thumb, would not be safe considering the incline, and would definitely NOT belong in this neighborhood.

I implore you to save the Victorian. If that is not possible, please at least take off the 4th floor and give the light well to 936 Elizabeth Street.


Carol Robinson
415-826-2296

October 2, 2010

Jeffery and Greta Bingham
4449 23rd Street
San Francisco, CA 94114

Ron Miguel
President
San Francisco Planning Commission
600 DeHaro Street
San Francisco, CA 94107

Dear Mr. Miguel,

We are writing to you concerning the plans to remodel 940 Elizabeth Street (Building Permit Application number 2009.12.24.3838, Discretionary Review application Case #. 2010.0482D). This property is within 150 feet of our property. From our back yard we face the back of the house to be remodeled.

We are opposed to the remodel of 940 Elizabeth Street, as it is currently proposed, for several reasons. We are opposed primarily because the proposed remodel is totally inconsistent with the character of our hillside Noe Valley neighborhood and it directly harms our friends and neighbors, the Watsons, by blocking their light well--a critical feature of their home.

As stated in the San Francisco Department of City Planning *Residential Design Guidelines* (November 1989), "a single building out of context with its surroundings can have a remarkably disruptive effect ... and shall be discouraged." This 4-story box would destroy a beautiful Victorian cottage and would totally disrupt the delightful stair-stepped rhythm and pattern of the streetscape--creating a jarring break in the repetition of consistent rooflines on our hillside streets.

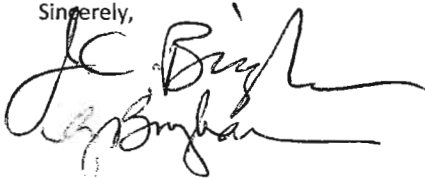
We live in a charming area of great historical significance. Homes in our neighborhood date from the 1890s. The proposed 940 Elizabeth remodel does not take the historic context of our unique neighborhood into consideration. The loss of yet another historic home should not be taken lightly. As neighbors, we want to see the Victorian cottage saved. Also, the size and scale of the project is completely out of character for the area. We encourage you to come to our neighborhood and see for yourself.

Furthermore, we are personally opposed the 940 Elizabeth "mansionization" project as it directly impacts our property in an adverse manner. The building of a 4-story structure directly behind our home will greatly reduce our access to light. Our yard and the rear of our home will be in the shadow of this gigantic box. Also, we will experience a significant loss of privacy since the plan calls for a top story balcony looking directly into our back yard and bedroom window. If the project is redesigned to retain the existing, gabled roofline and the vertical addition is disallowed the impact will be mitigated to our satisfaction.

I would also like to point out that the homeowners of 940 Elizabeth Street have demonstrated a habit of major unfinished home remodeling projects, as evidenced by an on-and-off state of noisy construction (mostly on weekends) that is covered by tarps which are unsightly and flap loudly in the wind. I have owned my home for nearly a year and the project has been going on that whole time and presumably for months prior to us moving to the neighborhood.

Given our concerns about the height of the proposed structure, we hereby request placement of story poles as part of the review process. Also, after the project is redesigned, and hopefully reduced in scale, we request that an enforceable time limit be placed in the construction permit.

Sincerely,

A handwritten signature in black ink, appearing to read "Jeffery and Greta Bingham". The signature is written in a cursive, flowing style with a large initial "J" and "G".

Jeffery and Greta Bingham
4449 23rd Street

c: John Rahaim, Director of Planning
Michael Smith, Planner
Don Watson

Bruce Ian Smith
926 Elizabeth St.
San Francisco, CA 94114
October 6, 2010

Michael Smith
San Francisco Planning Commission
1650 Mission Street, #400
San Francisco, CA 94103

Re: 940 Elizabeth Street Case #210.0482D

Dear Mr. Smith,

I am writing to you to voice my strong support for the Discretionary Review application filed by Don and Lynn Watson regarding 940 Elizabeth Street.

My name is Bruce Smith and I have lived at 926 Elizabeth for 6 years.

My concern is a proposed 3rd floor over garage level structure at 940 Elizabeth Street, currently a small renovated Victorian, which, if built according to the proposal will block the light wells of the Watson home at 936 Elizabeth, and most of the sunlight to their backyard.

The 900 block of Elizabeth Street is unique topographically, even in San Francisco. The hill is so steep that it is one of the few blocks in the City that has sidewalk steps. I am somewhat concerned about the ability of a foundation to support such a large size building on this incline. The entire block (with one exception) is one or at most 2 living levels over garage.

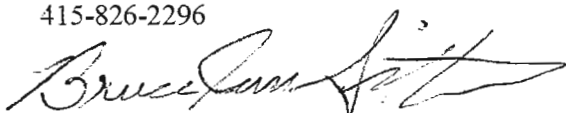
The exception is across from the house I live in. The previous owners built an addition on the back of their house which resembles a grain silo, and in no way does it fit into the architectural make up of the rest of the block, or for that matter, the neighborhood. While "preserving" the original cottage, the result was something much less than aesthetically pleasing. It is completely out of character of the original structure, as well. Set back from the street does not mean invisible. It still infringes on the air and light in the living spaces of nearby properties, effecting light, plants and the quality of life on our block. The proposed structure to be built at 940 Elizabeth Street as planned is definitely not in keeping with this block, either.

Although I am a believer in the rights of an owner to develop their property to suit their needs, I think it is a real shame to allow construction of something so out of character to the neighborhood, especially when that construction will have a direct and negative impact on their neighbors.

I invite you to drive up the 900 block of Elizabeth Street, feel the incline and view the houses on our hill. A 3 story over garage residence would stick out like a sore thumb, may not be safe considering the incline, and would definitely NOT belong in this neighborhood.

I sincerely hope that you will join us in saving the Victorian, helping maintain the character of the block, and insuring that the Watsons will not be adversely impacted.

Bruce Ian Smith
415-826-2296



PRIVATE MEETING SIGN-IN SHEET ⁴¹⁵ ⁶⁸¹⁻⁶³²⁵

MEETING DATE: 01-12-2010
 MEETING TIME: 12:00 NOON - 1:00 PM
 MEETING ADDRESS: 1609 NORIEGA STREET, SAN FRANCISCO, CALIFORNIA 94122
 PROJECT ADDRESS: 940 ELIZABETH STREET
 PROPERTY OWNER NAME: LORIE K. TATSUGAWA
 PROJECT SPONSOR: LORIE K. TATSUGAWA

NAME ADDRESS PHONE#

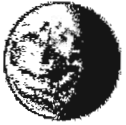
DON WATSON 936 Elizabeth St 415-648-5327
 SF 94114

Lyn Watson

"

"

The current proposed design would completely block all light coming into our "light court" on the uphill side of us in the middle of the house. We feel the design is too high with a third floor and that there should be at least a matching "light court" at 940. We also have serious concerns about the new foundation putting pressure on our foundation. We would like to have an agreement in writing that the structural part of the new foundation can be inspected by our own structural engineer and approved at the foundation is being built.



"Kathy Willems"
<kathrynaw@mindspring.com
>
05/24/2010 07:55 AM

To "Michael Smith" <michael.e.smith@sfgov.org>
cc "John Schoenecker" <schoenecker@mindspring.com>
bcc
Subject Permit Application for 946 Elizabeth

Hi, Michael Smith -

I am writing regarding the residential project at 940 Elizabeth Street, Building Permit Application No 2009.12.24.3858. My concern in this mail is to draw your attention to the number of parking spaces.

Just as a reminder, parking on the 900 block of Elizabeth is perpendicular to the curb, and allowed only on the North side of the street.

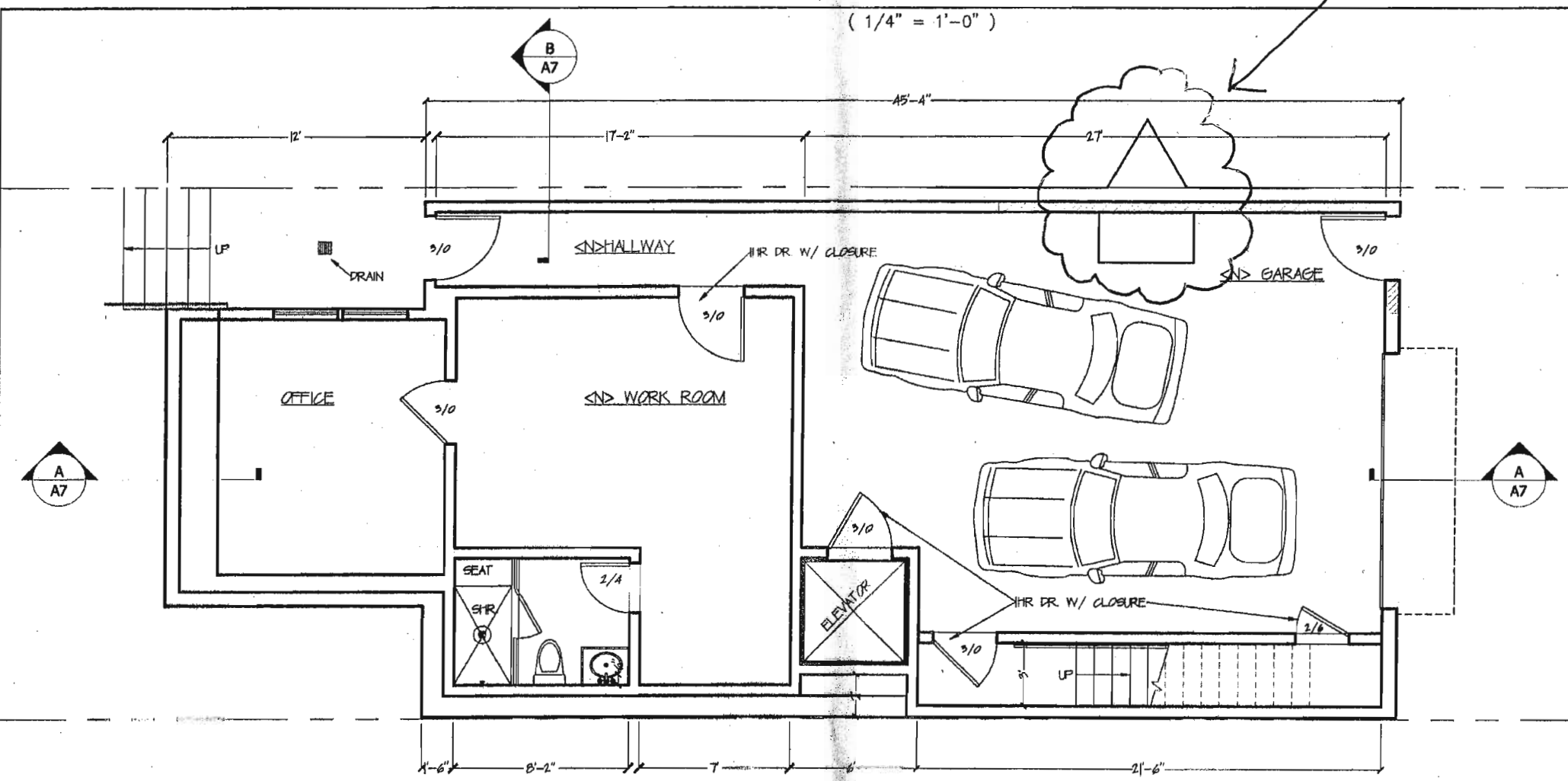
At present, there is no driveway for 940 Elizabeth; thus, there is uninterrupted curb space available for parking between the driveways of 936 Elizabeth and 946 Elizabeth. This curb space is approximately 31.5 feet long. It can accommodate 4 cars.

The proposed driveway for 940 Elizabeth will remove the middle two spaces of street parking from availability.

Please take this issue into consideration in your review of the project.

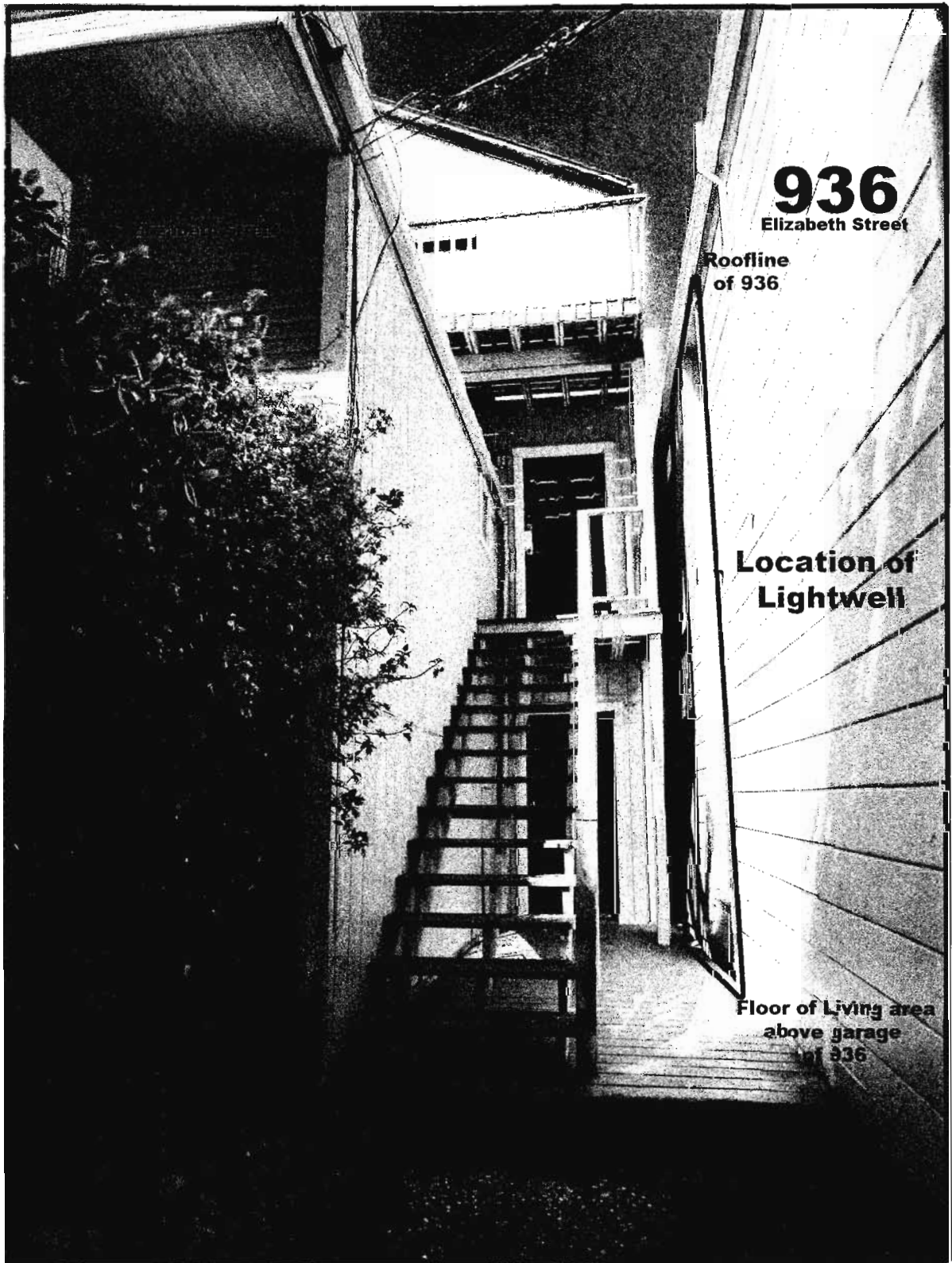
Thank you for your time,
Kathy Willems

PROPOSED LIGHTWELL AT 940 ELIZABETH LOWERED TO
MATCH EXISTING LIGHTWELL AT 936 ELIZABETH

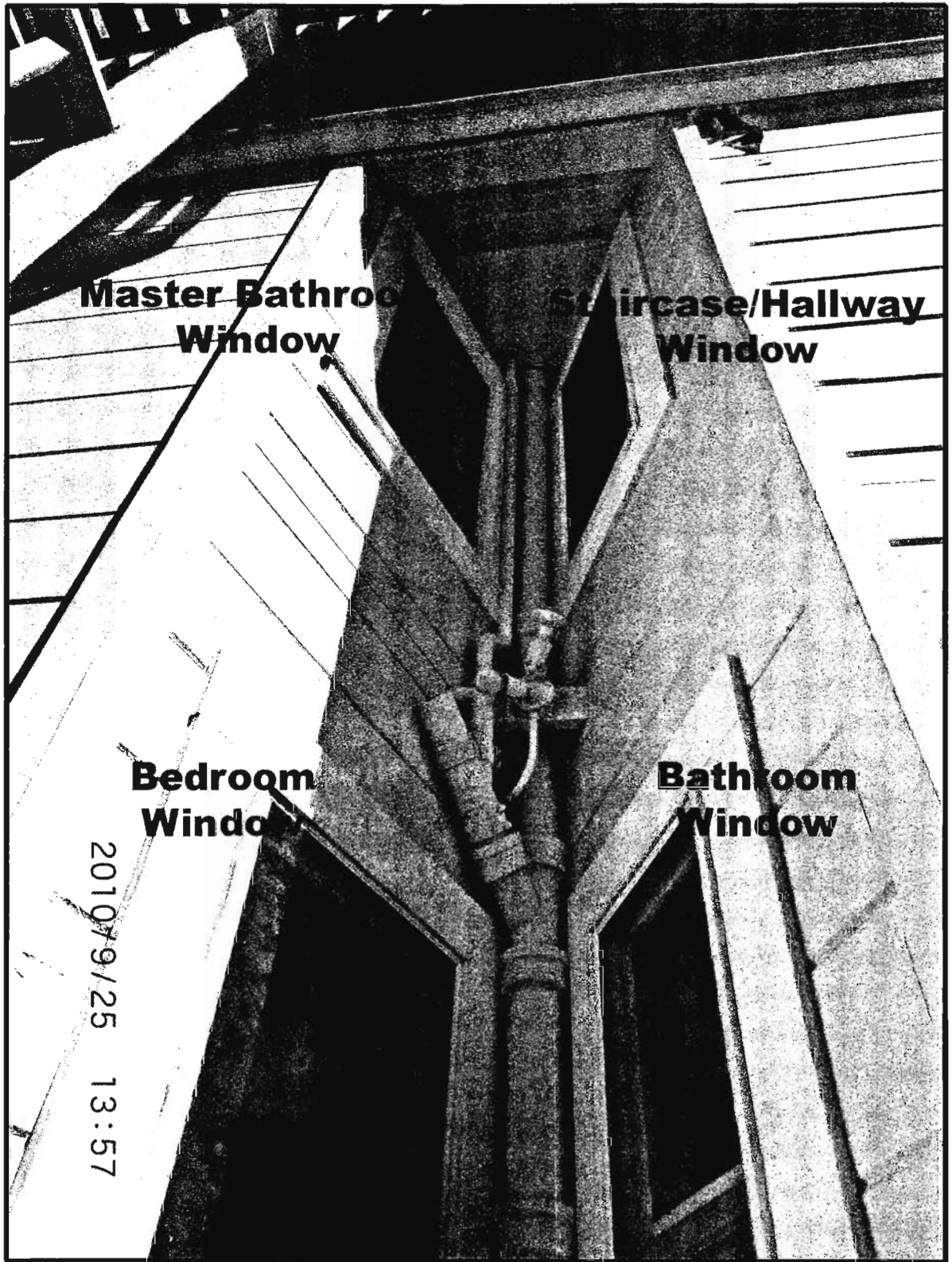


900 BLOCK ELIZABETH ST. NUMBER OF FLOORS PER HOUSE

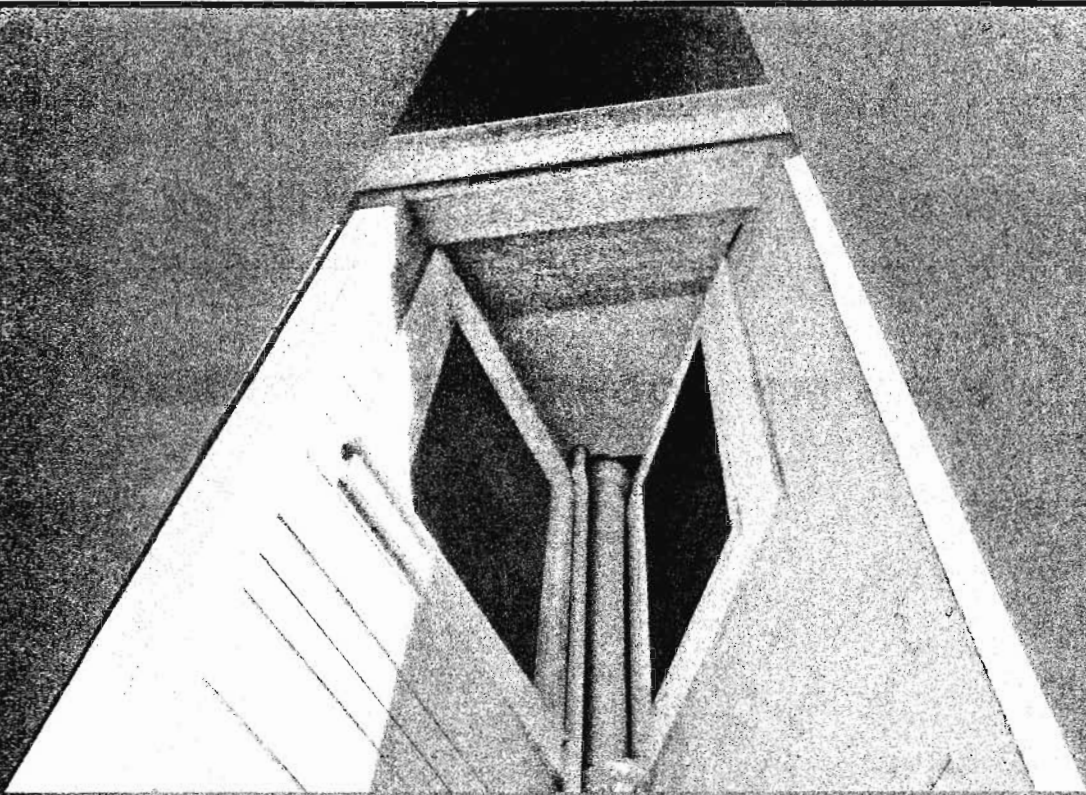
ADDRESS	2 FLOORS	3 FLOORS	4 FLOORS
901	X		
907	X		
909	X		
915	X		
919/921		CONDO	
925			X
926	X		
929	X		
930		APTS	
931		X	
936		X	
939	X		
940		X	
945	X		
946		X	
947	X		
949		X	
952	X		
955	X		
956		X	
957		X	
960		X	
965	X		
966	X		
969		X	
970	X		
971		X	
973/975		CONDO	
976		X	
978		X	
981		APTS	
987	X		
TOTALS	15	16	1



940/936 Elizabeth Street
Current Condition of 936 Elizabeth Lightwell



**936 Elizabeth Street
Current Condition of Lightwell**

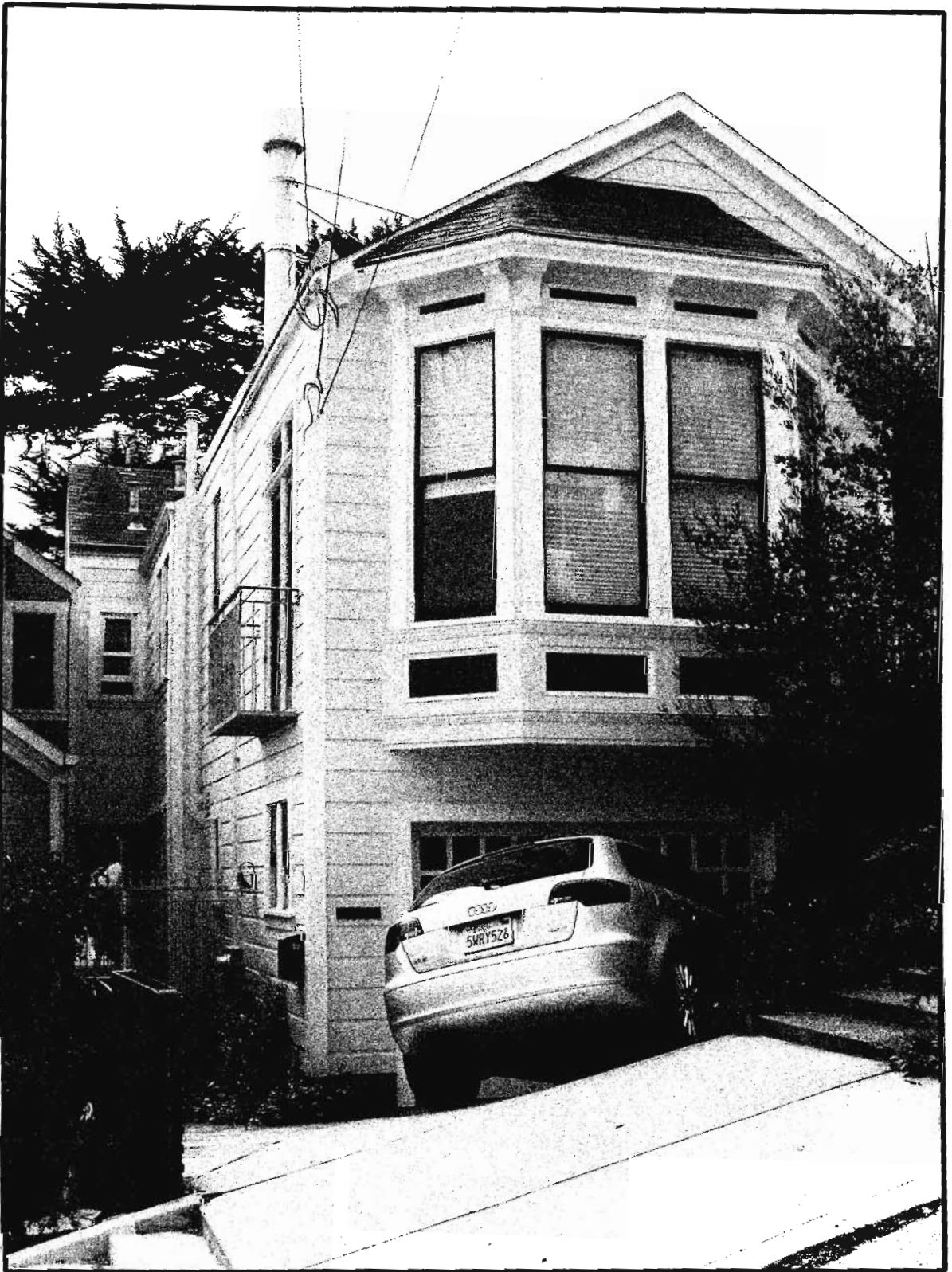


**Proposed lightwell of 940 Elizabeth
would be built next to property line
and start above first floor living area
of 936 Elizabeth**

940 Elizabeth Street - Proposed Lightwell



952 Elizabeth Street
Example of a Beautifully Restored Home



939 Elizabeth Street
Example of a Beautifully Restored Home

REUBEN & JUNIUS^{LLP}

October 1, 2010

By Messenger

Honorable Ron Miguel
President, San Francisco Planning Commission
And Planning Commissioners
1650 Mission Street, 4th Floor
San Francisco, CA 94103

**Re: 940 Elizabeth Street (Block 2807, Lot 014)
Planning Department Case No. 2009.12.24.3858 (Alteration/Addition)
Opposition to Discretionary Review Request Regarding
Building Permit for Alteration for Single Family Home
Hearing Date: October 14, 2010
Our File No.: 6610.01**

Dear President Miguel and Commissioners:

We represent Laurie Tatsugawa and Don Walling ("Project Sponsors") the owners of a single family home at 940 Elizabeth Street ("Property"). The Project Sponsors propose to alter their home by constructing a vertical addition and making renovations.

As a result of diligent design work, including design changes and an additional top floor setback requested by the Department staff, the Project before the Commission is a project that has minimal impact on the neighborhood.

In addition, and of very significant importance, the Project complies fully with the Planning Code, and with the Residential Design Standards. The Department staff's analysis confirms the Project's compliance with all requirements and standards. The Planning Department and Planning Director have recommended that the Planning Commission not take DR, and approve the Project as proposed (see Planning Department DR Analysis). Accordingly, the request for DR should be rejected.

A. Project Description

The proposal is to construct a vertical addition and make certain renovations. Per the Planning Department's request, the top floor has been set back 15 feet from the front face of the building, and is minimally (if at all) visible from the street.

Plans for the proposed Project, along with a rendering, are attached as **Exhibit A**. Neighborhood photographs are attached as **Exhibit B**, showing that it is not at all unusual for adjacent houses on this block to be roughly the same height.

B. Neighborhood Outreach and Response to DRs

The Project Sponsor has actively informed, communicated, and met with neighborhood residents about the Project. Only one neighbor has filed a DR. The DR requestor had a lightwell issue that has been largely resolved with a matching lightwell that begins at the roof of the building and continues for two stories downward. Incredibly, and with no explanation, the DR requestor has a permanent cover over his lightwell, that he has taken no steps to remove, so that very little sunlight can enter. (See photographs attached as **Exhibit B**). Under the circumstances, it strains credulity that the DR requestor would have the boldness to make a demand for a lightwell to extend three stories down into the garage. The DR requestor's remaining issue is the added 3 vertical feet (from 34 to 37 feet). However, as shown on the plans attached as **Exhibit A**, such change will not have any adverse impact on the DR requestor.

C. The DR Does Not Include any Exceptional or Extraordinary Circumstances

The Planning Commission's authority to review permits on a case-by-case basis under "Discretionary Review" (Municipal Code of the City and County of San Francisco, Part III, Section 26(a))¹ must be carefully exercised. In 1943, the California Supreme Court held that the San Francisco Board of Permit Appeals, pursuant to the above-referenced Section 26(a), had the authority to exercise its "sound discretion" in granting or denying building permits (See *Lindell Co. v. Board of Permit Appeals* (1943) 23 Cal.2d 303). In 1954, then San Francisco City Attorney Dion R. Holm issued Opinion No. 845, in which he opined that the Planning Commission has similar discretion to grant or deny building permits. However, the City Attorney cautioned the Planning Commission with respect to the judicious exercise of this discretion. In his opinion, the City Attorney stated as follows:

I think it is entirely plain, on the authority of the above-enunciated general principles, that the reservation of authority in the present ordinances to deal in a special manner with exceptional cases is unassailable upon constitutional grounds . . . this is, however, a sensitive discretion and one which must be exercised with the utmost restraint. (*City Attorney Opinion No. 845, p. 8, emphasis in original*).

¹ Section 26(a) provides that "[i]n the granting or denying of any permit, or the revoking or the refusing to revoke any permit, the granting or revoking power may take into consideration the effect of the proposed business or calling upon surrounding property and upon its residents and inhabitants thereof, and in granting or denying said permit, or revoking or refusing to revoke a permit, may exercise its sound discretion as to whether said permit should be granted, transferred, denied or revoked."

As noted in the discretionary review handout the “discretionary review is a special power of the Commission, outside the normal building permit application approval process. It is supposed to be used only when there are exceptional and extraordinary circumstances associated with a proposed project. The Commission has been advised by the City Attorney that the Commission’s discretion is sensitive and must be exercised with utmost constraint.”

On June 18, 2009, the Planning Commission approved a resolution in favor of a new DR policy (“DR Reform”). The DR Reform, for the first time, provides a definition for “exceptional and extraordinary circumstances” that must exist before the Commission can take DR and disapprove or modify a project. The definition approved by the Commission provides that “exceptional and extraordinary circumstances occur where the standard application of adopted design standards to a project does not enhance or conserve neighborhood character, or balance the right to develop the property with impacts on nearby properties or occupants. These circumstances may arise due to complex topography, irregular lot configuration, unusual context, or other circumstances not addressed in the design standards.”

Pursuant to the DR Reform’s interim procedures, the Department concluded that there are no exceptional or extraordinary circumstances in this case. Upon the effective date of the DR Reform’s Phase I, the DR application would not be entitled to a hearing before the Planning Commission, and would be dismissed at staff level. This case is being heard by the Planning Commission only because the Board of Supervisors has not yet adopted the DR Reform.

As noted in the staff report, there are no exceptional and extraordinary circumstances in this case that would justify the Planning Commission’s exercise of its discretionary review powers.

The DR requestor has failed to meet his burden of proof, as the issues raised in the DR application are not exceptional or extraordinary circumstances.

D. Conclusion

The DR requestor has failed to meet his burden of proof, namely establishing that exceptional and extraordinary circumstances exist. The DR requestor has failed to make the requisite showing to warrant the exercise of the Commission’s power of discretionary review. The Project is a reasonable and modest single-family home improvement project that has been carefully designed to be consistent with the Planning Code, the Residential Design Standards, and the character of the neighborhood. The Department staff and Planning Director fully support the Project as proposed. The Commission should therefore reject the request for DR, for all the reasons discussed above.

One Bush Street, Suite 600
San Francisco, CA 94104

tel: 415-567-9000
fax: 415-399-9480

www.reubenlaw.com

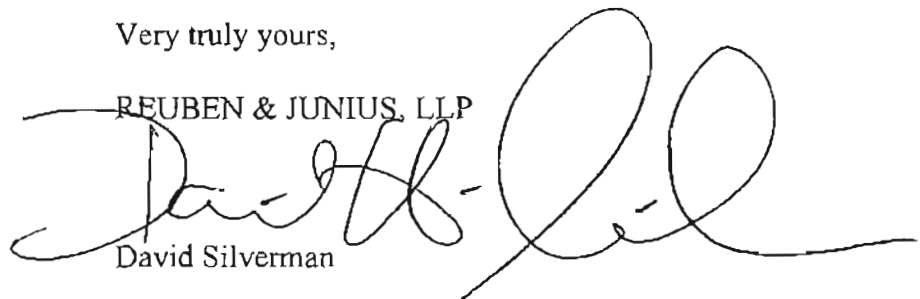
In sum:

- There are no exceptional or extraordinary circumstances that would justify discretionary review in this case;
- The Project has been designed to be consistent with the surrounding neighborhood, in terms of its design, height, mass and scale.
- The Project complies with the Planning Code and General Plan requirements;
- The Project complies with the Residential Design Standards;
- The Project Sponsor has cooperated with the neighbors to solicit their input;
- The Project Sponsor has cooperated with Department staff by increasing the top floor setback to 15 feet from the front façade;
- Planning Department staff has concluded that the DR Requestor has not presented exceptional or extraordinary circumstances, and fully supports the Project as proposed; and
- Upon the effectiveness of the proposed DR Reform as approved by the Planning Commission, this case would have been dismissed by Planning staff and would not have been heard by the Commission.

For all of the above reasons, the Project Sponsor respectfully requests that the Commission not take DR and approve the Project as proposed, pursuant to the Planning Director's recommendation.

Very truly yours,

REUBEN & JUNIUS, LLP

A large, stylized handwritten signature in black ink, appearing to read 'David Silverman', is written over the typed name and extends to the right.

David Silverman

Enclosures

President Ron Miguel and Commissioners

October 1, 2010

Page 5

cc: Commissioner Michael Antonini
Commissioner Gwyneth Borden
Commissioner Kathrin Moore
Commissioner Christina Olague
Commissioner Hisashi Sugaya
John Rahaim - Planning Director
Scott Sanchez – Acting Zoning Administrator
Linda Avery - Commission Secretary
Michael Smith – Neighborhood Planner, Planning Department
Don Watson – DR Requestor

(All with Enclosures)

Exhibit List

- Exhibit A - Project Plans
- Exhibit B - Photographs of nearby houses on the Project block with same heights
- Exhibit C - Photographs of DR Requestor's blockage of his own lightwell at the roof

EXHIBIT A

BUILDING DATA:

ADDRESS: 940 ELIZABETH STREET
 SAN FRANCISCO, CALIF
 STORIES: 3 STORIES
 OCCUPANCY: SINGLE FAMILY
 TYPE: SB
 ZONING: RH2
 BLOCK: 2807 LOT: 014

SCOPE OF WORK:

RAISE ATTIC ROOF ON 3RD FLOOR AND HORIZONTAL ADDITION.

REMODEL 3RD FL. REMODEL ATTIC SPACE TO FAMILY RM. WITH 1 1/2 BATHROOM.

2ND FL. HORIZONTAL ADDITION W/ 2 BEDROOMS AND REMODEL FAMILY TO MASTER BEDROOM W/ MASTER BATH.

GRN FL. RELOCATE KITCHEN, LIVING RM AND BATH RM.

BASEMENT: ADD GARAGE AND ELEVATOR AND REMODEL <E> BATH AND OFFICE

DEMOLITION NOTE:

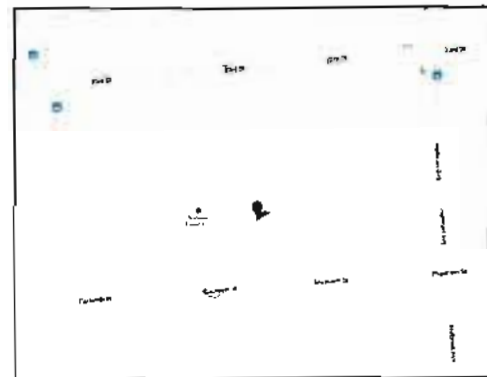
ALTERATION IS NOT TO EXCEED THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS. A SEPARATE AND ADDITIONAL PERMIT IS REQUIRED TO REPAIR DRY-ROT OR FOR ANY ALTERATION WHICH EXCEEDS THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS.



VICINITY MAP

INDEX:

- A1. SITE & LOCATION PLAN
- A1.1. <E> AND <N> FRONT & REAR ELEVATION WITH ADJACENT BUILDINGS ELEVATIONS AND ROOF PLAN
- A2. NEW AND EXISTING BASEMENT PLANS
- A3. NEW AND EXISTING GRN FL. PLANS
- A4. NEW AND EXISTING 2ND FLOOR PLAN
- A5. NEW 3RD FLOOR PLAN
- A6. SECTIONS & PROPOSED FRONT ELEVATION
- A7. EXISTING ELEVATIONS AND
- A8. EXISTING SITE PLAN



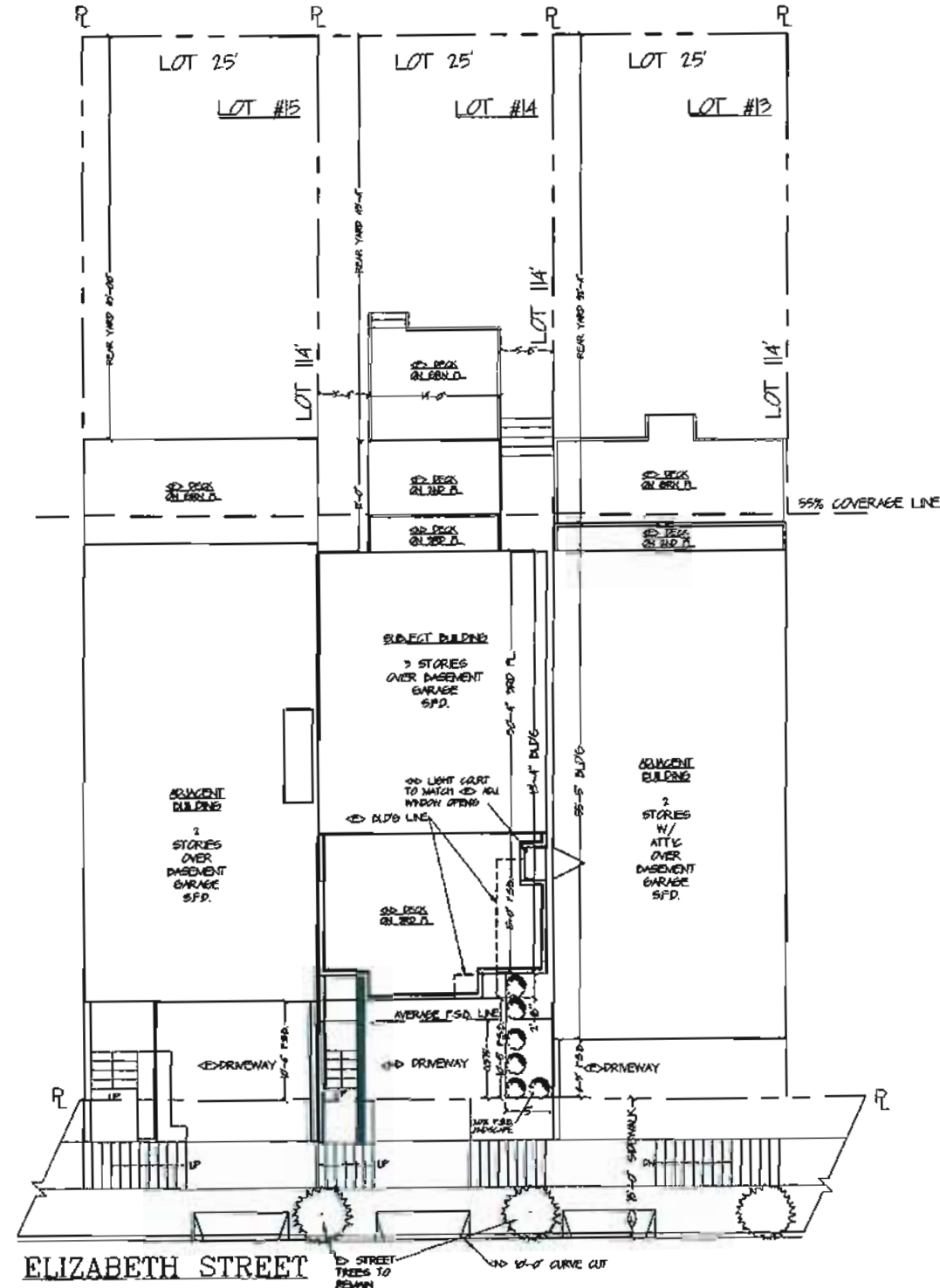
LOCATION PLAN



AERIAL VIEW

BY USE OF THESE PLANS THE OWNER AND THE GENERAL CONTRACTOR HAVE AGREED TO INDEMNIFY THE ENGINEER FOR ALL LEGAL COST ASSOCIATED WITH ANY OWNER AND CONTRACTOR DISPUTES AND HOLD ENGINEER HARMLESS. THE ENGINEER'S LIABILITY IS LIMITED TO FEES RECEIVED FOR SERVICES RENDERED

CODE REQ. ALL CONSTRUCTION WORK SHALL COMPLY WITH THE 2007 CALIFORNIA BUILDING CODE (CBC), 2007 CALIFORNIA PLUMBING CODE (CPC), 2007 CALIFORNIA MECHANICAL CODE (CMC), 2007 CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (BEEES), AND 2007 SAN FRANCISCO BUILDING CODE.



PROPOSED SITE PLAN
 (1/8" = 1'-0")

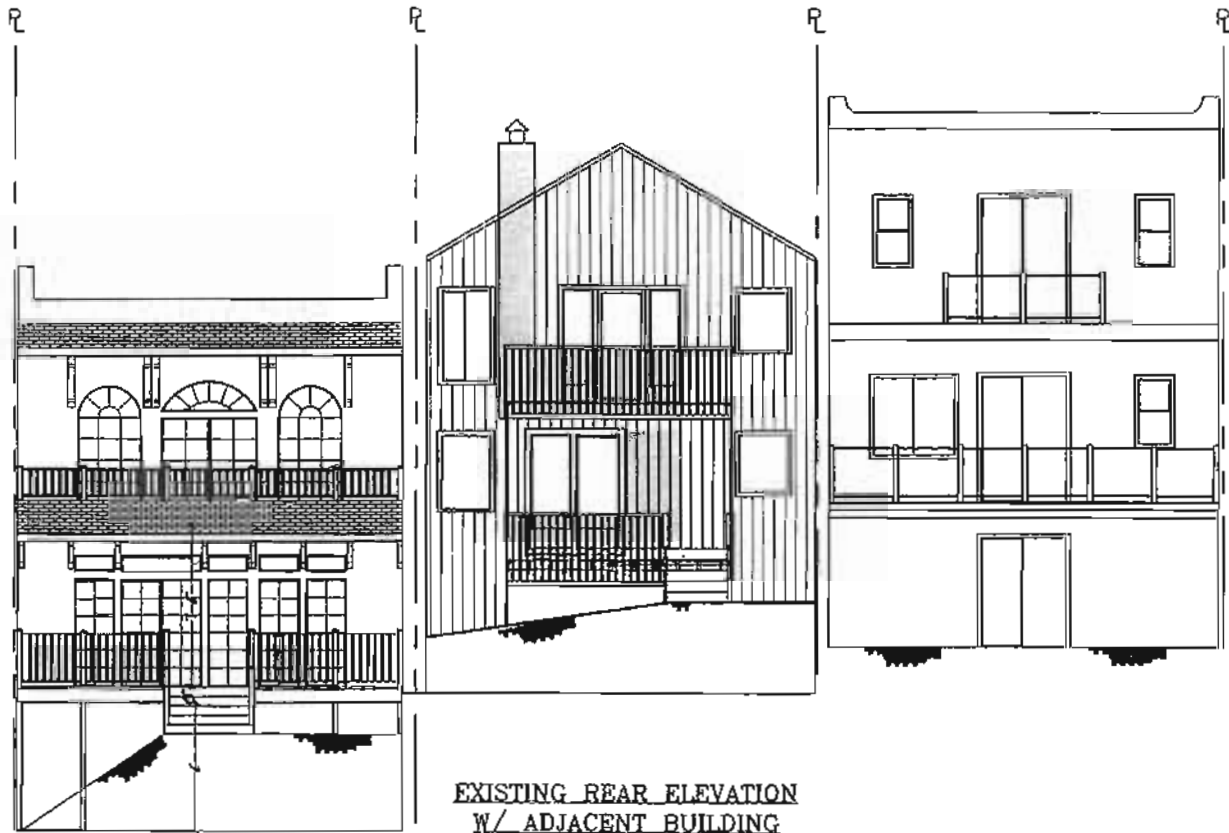
REVISIONS	BY
02-16-10	HL
04-09-10	HL
06-17-10	HL

HAWK N. LEE, P. E.
 Consulting Engineer
 1809 Noriega Street
 San Francisco, California 94122
 (415) 881-8325 fax (415) 881-1012

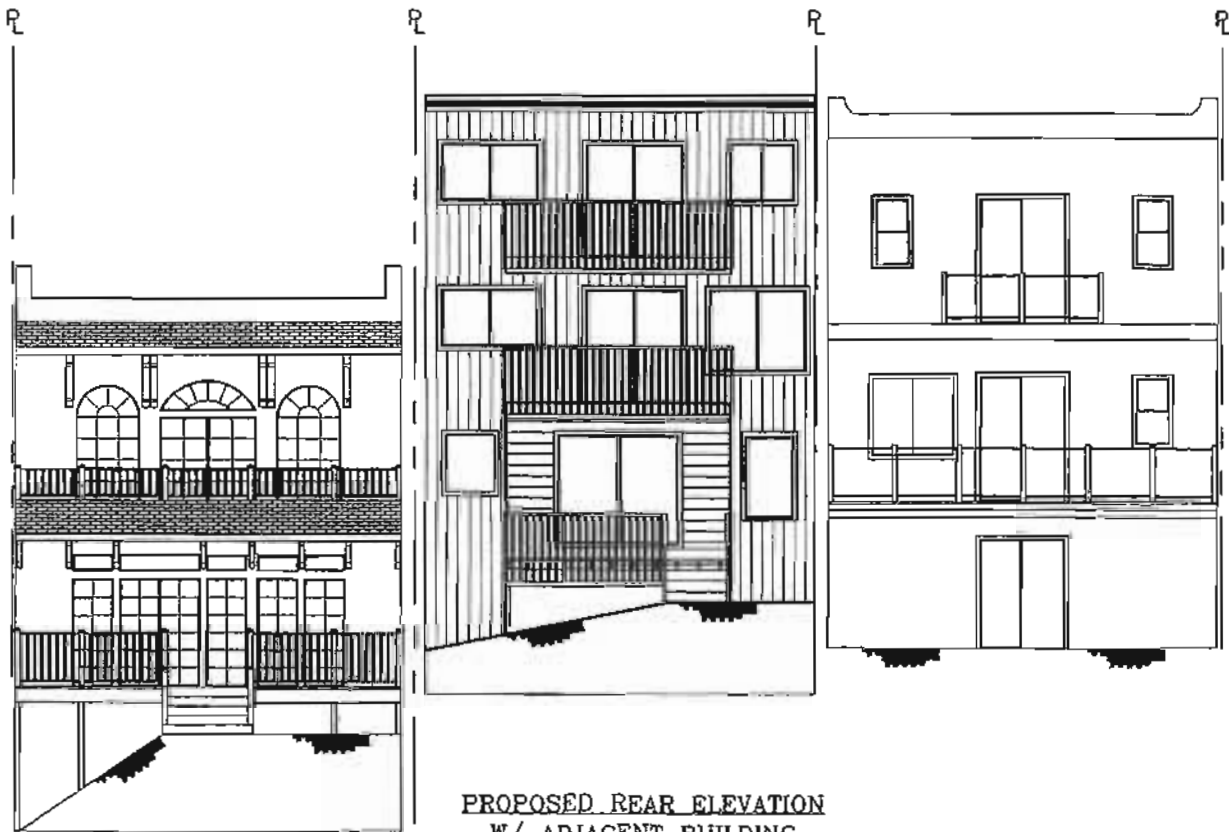
LOT 14
 BLOCK 2807
 940 ELIZABETH STREET
 SAN FRANCISCO, CALIFORNIA

RAISE ATTIC ROOF ON 3RD FLOOR
 & HORIZONTAL ADDITION

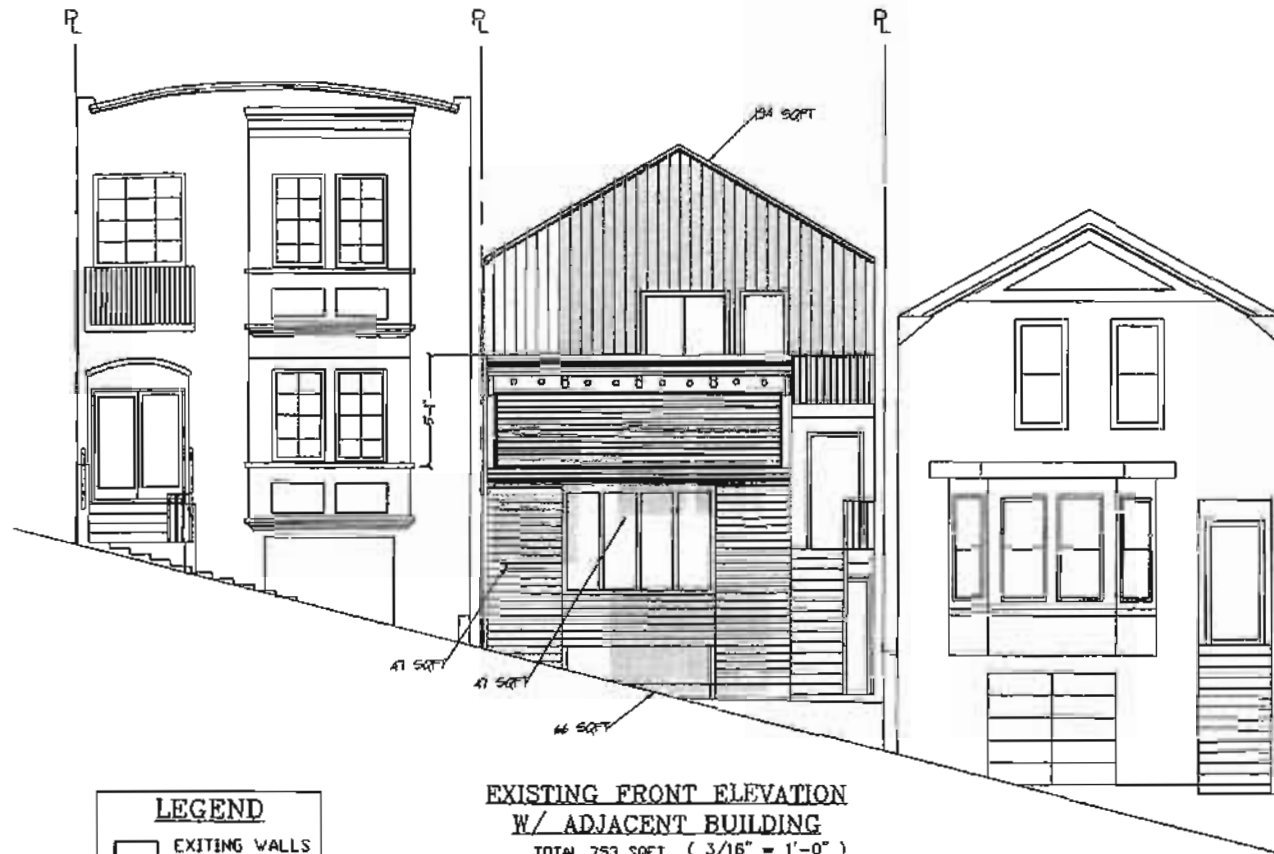
2009 1224 3858
 Date: 11-19-09
 Scale: AS SHOWN
 Drawn: H LEE
 Job: 940 E
 Sheet: A1
 Of: Sheet



EXISTING REAR ELEVATION
W/ ADJACENT BUILDING
TOTAL 739 SQFT (3/16" = 1'-0")



PROPOSED REAR ELEVATION
W/ ADJACENT BUILDING
(3/16" = 1'-0")



EXISTING FRONT ELEVATION
W/ ADJACENT BUILDING
TOTAL 753 SQFT (3/16" = 1'-0")

LEGEND
 □ EXISTING WALLS TO REMAIN
 □ DEMOLISHED WALLS



PROPOSED FRONT ELEVATION
W/ ADJACENT BUILDING
(3/16" = 1'-0")

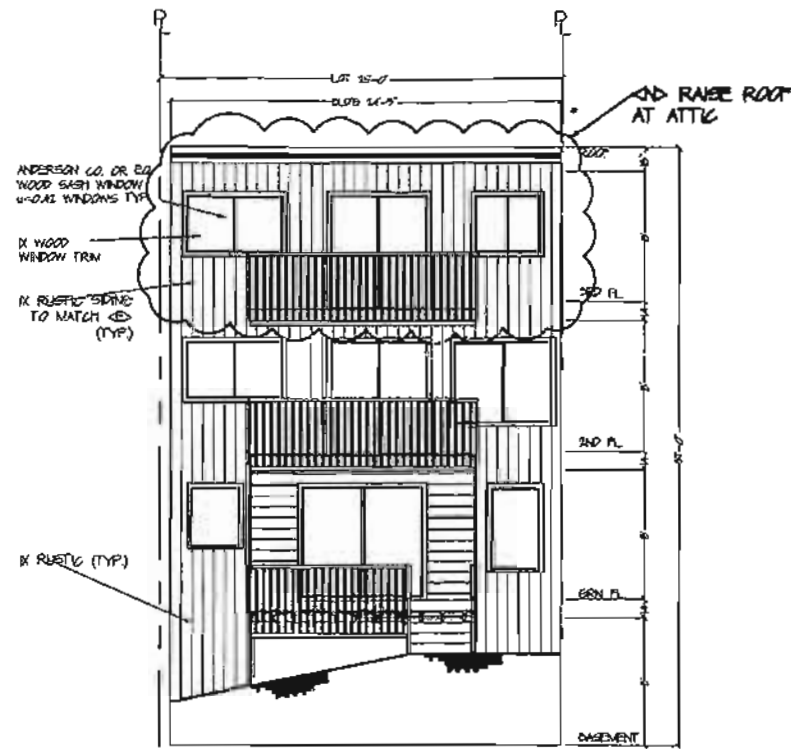
REVISIONS	BY
02-16-10	HL
04-08-10	HL
06-17-10	RL

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 Consulting Engineer
 1609 Noriega Street
 San Francisco, California 94122
 (415) 681-6325 fax (415) 681-1012

LOT 14
 BLOCK 2807
 940 ELIZABETH STREET
 SAN FRANCISCO, CALIFORNIA

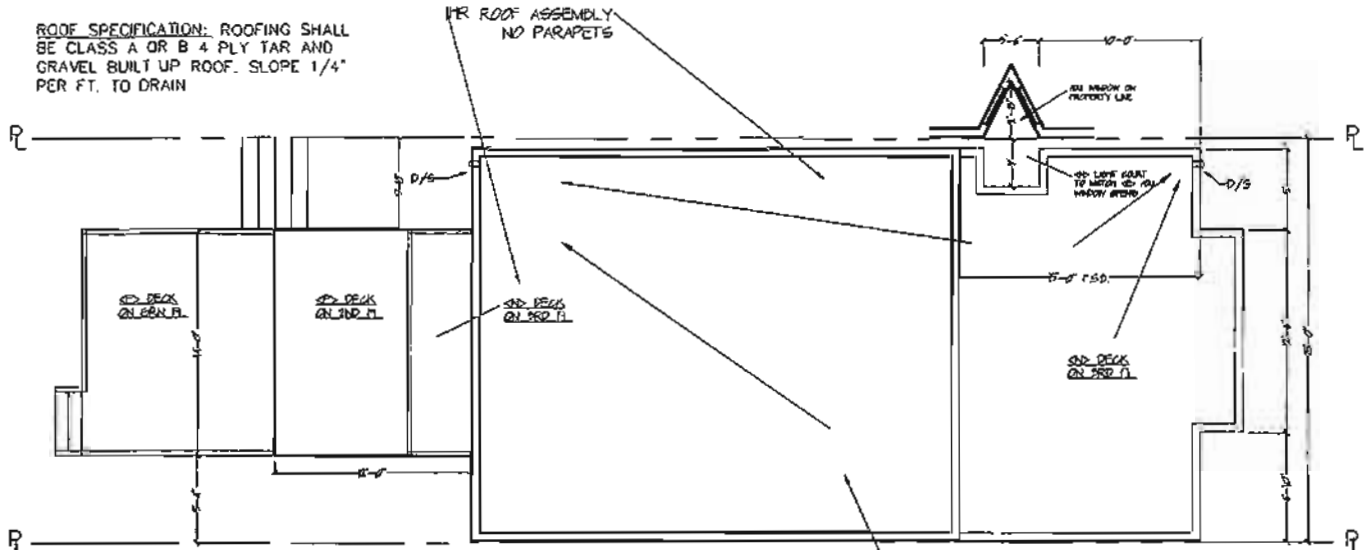
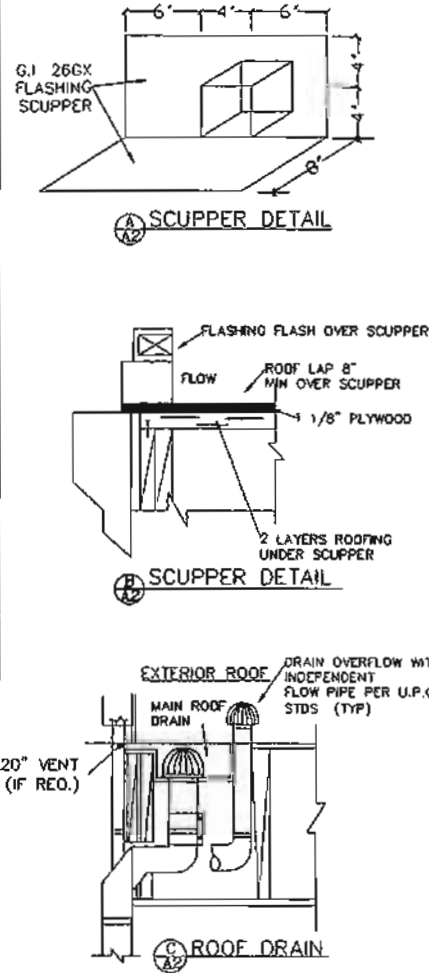
RAISE ATTIC ROOF ON 3RD FLOOR
 & HORIZONTAL ADDITION

Date: 11-19-09
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 940 E
 Sheet
 A1.1
 Of 1 Sheet

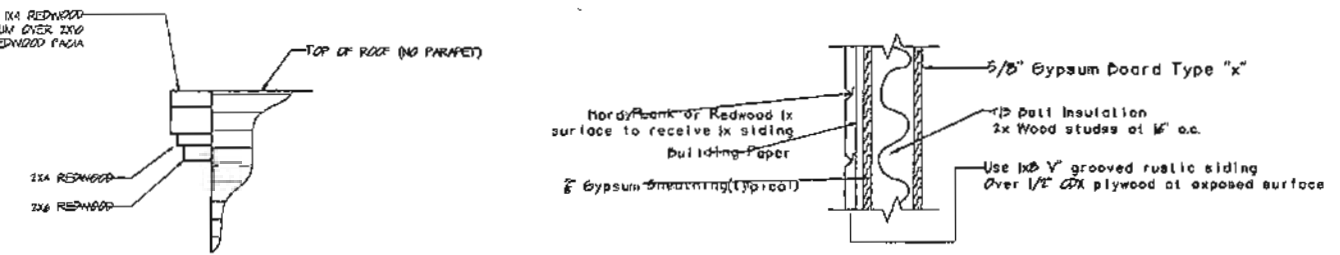


PROPOSED REAR ELEVATION
(3/16" = 1'-0")

Emergency Escape Or Rescue Windows
In every sleeping room in every dwelling unit shall have at least a window or door approved for emergency egress and rescue which shall open into a public street, public alley, yard or exit court. The emergency door or window shall be operated from the inside to provide a full clear opening per California Building Code Section 1026 without the use of special tools. Minimum net clear area of 5.7 sq. ft. Dimensions: ht. 24" minimum, 20" minimum width, sill height not more than 44".

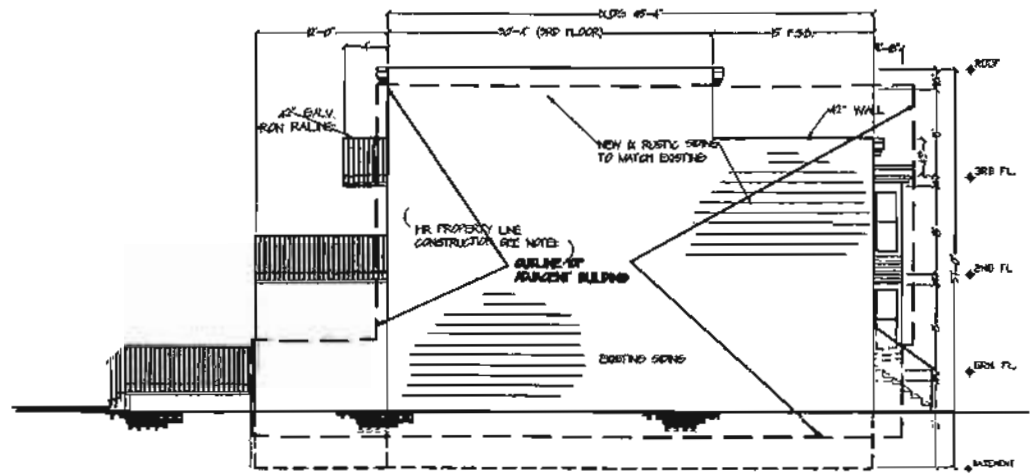


ROOF PLAN
(3/16" = 1'-0")

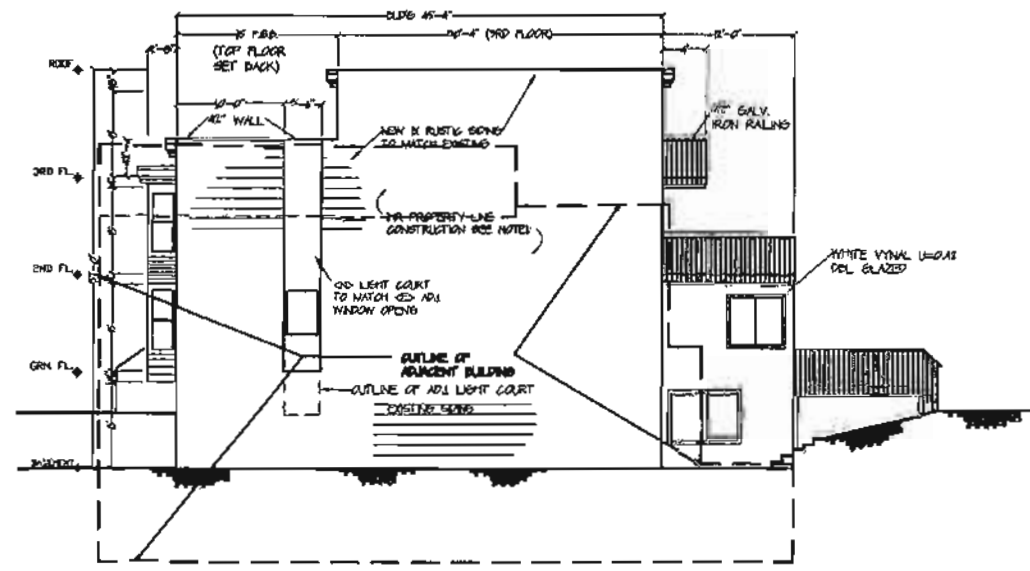


(E) CORNACE DETAIL

(D) NOTE 1: ONE HOUR PROPERTY LINE WALL CONSTRUCTION DETAIL



PROPOSED WEST ELEVATION
(1/8" = 1'-0")



PROPOSED EAST ELEVATION
(1/8" = 1'-0")

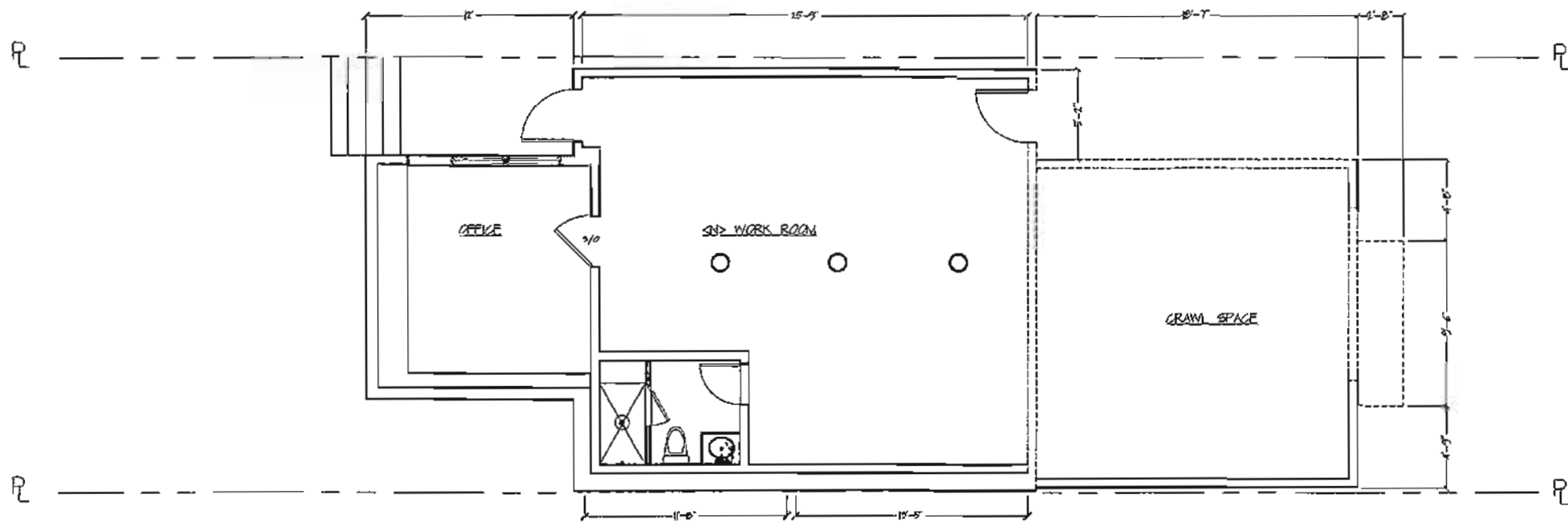
REVISIONS	BY
02-16-10	HL
04-09-10	HL
06-17-10	HL

HAWK N. LEE, P. E.
Consulting Engineer
1809 Noriega Street
San Francisco, California 94122
(415) 681-6335 fax (415) 681-1012

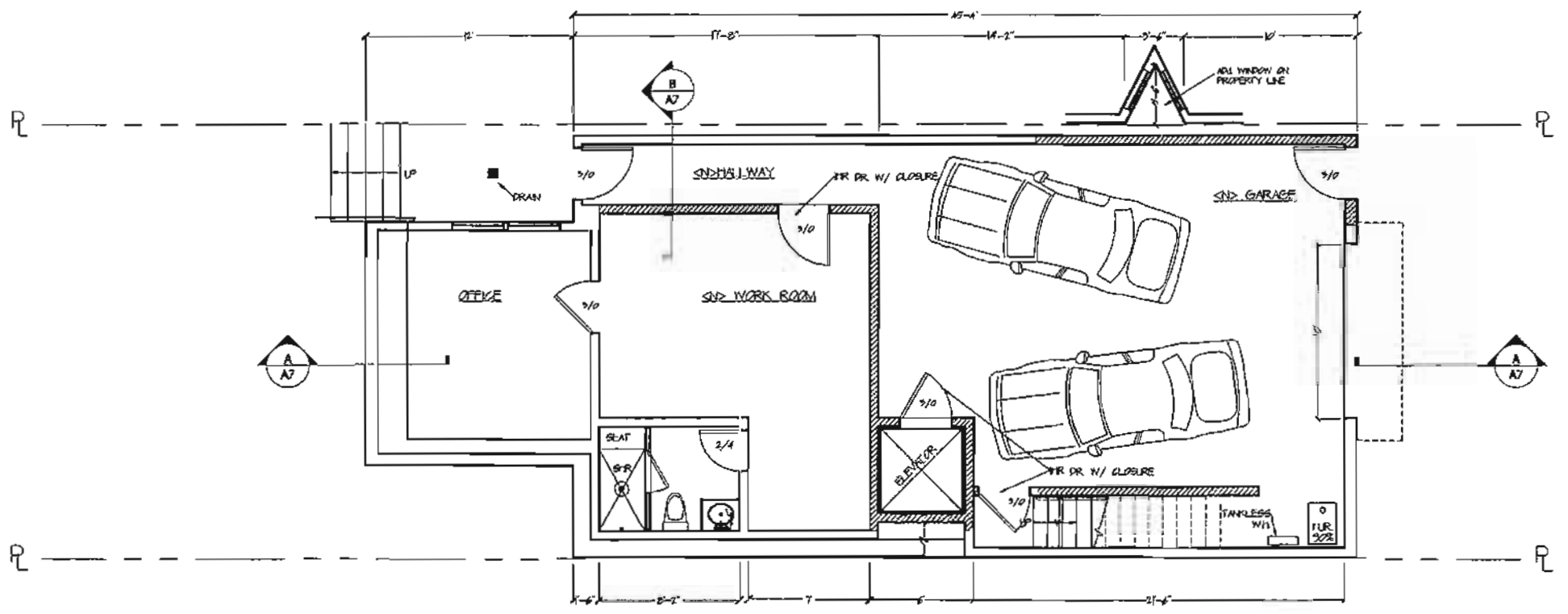
LOT 14
BLOCK 2807
940 ELIZABETH STREET
SAN FRANCISCO, CALIFORNIA

RAISE ATTIC ROOF ON 3RD FLOOR
& HORIZONTAL ADDITION

Date: 11-19-09
Scale: AS SHOWN
Drawn: H. LEE
Job: 940 E
Sheet
A2
Of Sheet



EXISTING BASEMENT FLOOR PLAN
 AREA 816 FT² (1/4" = 1'-0")



PROPOSED BASEMENT FLOOR PLAN
 LIVING AREA 525 FT²
 GARAGE 713 FT² (1/4" = 1'-0")

- ⊙ FAN
- ⊙ SMOKE DETECTOR W/ BATTERY BACKUP
- ⊕ HEATING REGISTER
- ⊙ ALL RECESS FLOURESENTS PLUG IN TUBE HI EFF. (TYP.)
- ⊙ SWITCH (SINGLE POLE)
- ⊙ 3 WAY SWITCH
- ⊙ TEL TELEPHONE OUTLET
- ⊙ TELEVISION OUTLET

LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALLS
	DEMOLISHED WALLS

ARCHITECTURAL

1. DURING BIDDING AND NEGOTIATION PERIOD, THE GENERAL AND SUBCONTRACTOR(S) SHALL CONFIRM, IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY HAWK N. LEE, P.E. (ENGINEER) IN WRITING, ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
2. UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A SPECIFIC CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUB-CONTRACTORS AND GENERAL CONTRACTORS WORK.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY, AND CONFIRMING THAT WORK IS BUILDABLE, AS SHOWN, BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM HAWK N. LEE, P.E. (ENGINEER) BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.
4. GENERAL CONTRACTOR SHALL APPLY FOR AND OBTAIN AT THE CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY CITY AND STATE AGENCIES.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL REGULATORY AGENCIES, APPLICABLE BUILDING CODES AND REQUIREMENTS.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFECTS FOUND IN EXISTING BASE BUILDING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT ADJOINING SURFACES, ALIGN AND SAND SMOOTH.
7. GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PORTIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS AND LIGHT SWITCHES WITH THE ENGINEER IN THE FIELD, BEFORE PROCEEDING WITH CONSTRUCTION.
8. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
9. CONTRACTOR SHALL PROVIDE ALL EXISTING CONSTRUCTION AND FINISHES AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY HIM OR HIS SUBCONTRACTOR(S).
10. GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR EXISTING FINISH FLOOR, FURNISHINGS AND EXISTING FINISHES IN AREAS OF DEMOLITION AND CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED BY THE WORK OF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR.
11. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS.
12. CABINET WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE STANDARDS ESTABLISHED IN THE "MANUAL OF MILLWORK".

ELECTRICAL REQUIREMENTS:

1. ALL ELECTRICAL CONDUCTOR WIRES WITH 4 PRONGS OUTLETS SHALL HAVE NEUTRALS, SUCH AS COOKING APPLIANCES, DRYERS, ETC.
2. FRONT AND REAR OF THE HOME SHALL BE PROVIDED WITH RECEPTACLE WITHIN 6 FEET 6 INCHES OF GRADE AND SHALL BE WATERPROOF AND GFCI PROTECTED AT BOTH LOCATIONS. NEC SECTION 210-52
3. THERE SHALL BE TWO SMALL APPLIANCES OUTLETS BRANCH CIRCUITS FOR THE KITCHEN AND SHALL BE LIMITED TO SERVICE THE KITCHEN COUNTERS AND WALLS IN THE KITCHEN. NEC SECTION 210-52(B)
4. OUTSIDE PLUGS, RANGE HOODS, DISPOSALS, DISHWASHERS, AND MICROWAVES SHALL HAVE ITS OWN SEPARATE CIRCUITS.
5. BATHROOM OUTLETS SHALL HAVE DEDICATED 20 AMP. CIRCUIT AND BE GFCI PROTECTED. THIS CIRCUIT CANNOT SERVE OTHER RECEPTABLES, LIGHT, FANS, ETC. PER NEC SECTION 210.52.

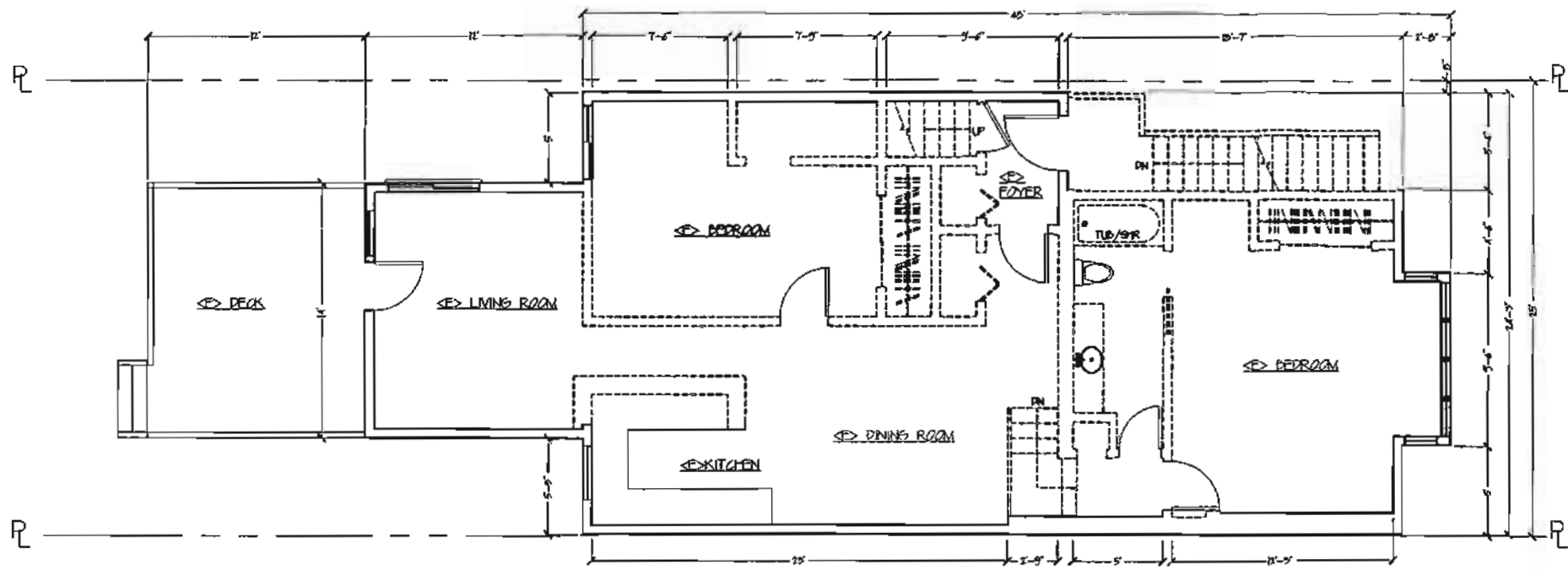
REVISIONS	BY
02-18-10	HL
04-09-10	HL
06-17-10	HL

HAWK N. LEE, P. E.
 Consulting Engineer
 1808 Noriega Street
 San Francisco, California 94122
 (415) 681-6325 fax (415) 881-1012

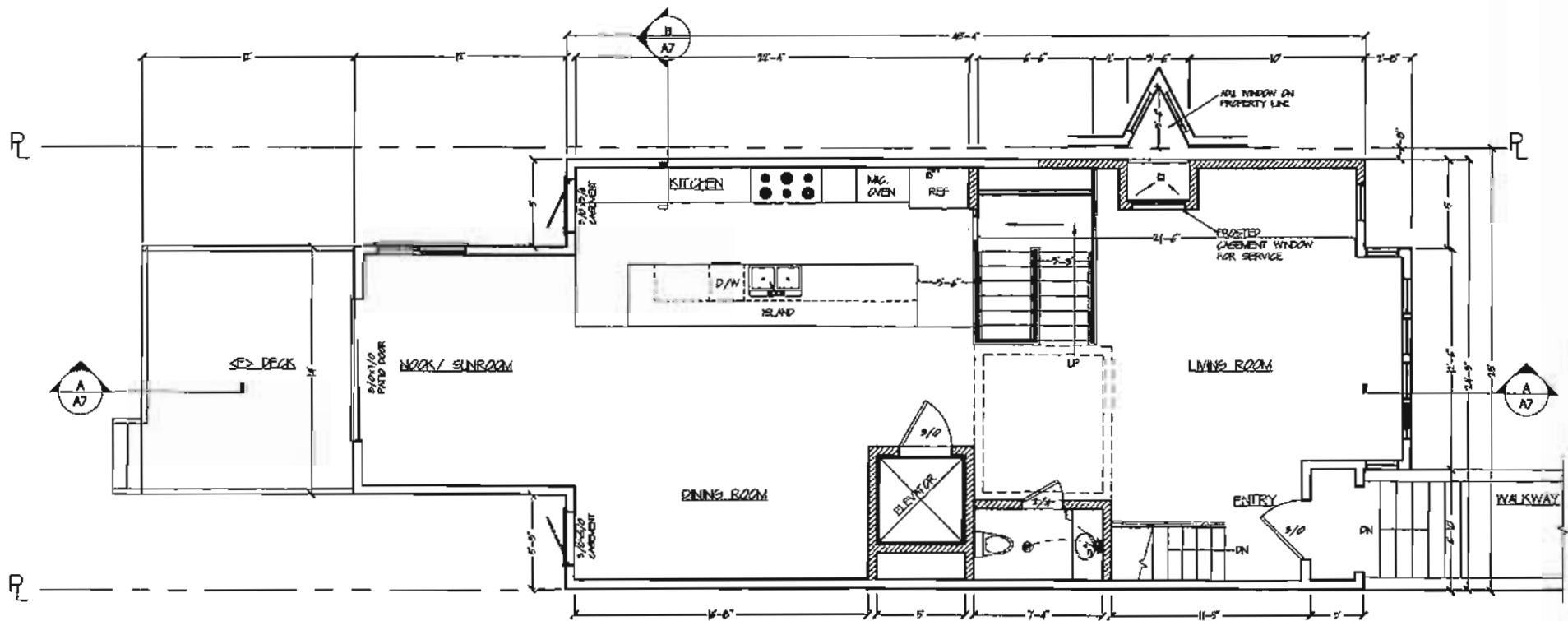
BLOCK 2807 LOT 14
 940 ELIZABETH STREET
 SAN FRANCISCO, CALIFORNIA

RAISE ATTIC ROOF ON 3RD FLOOR
 & HORIZONTAL ADDITION

Date: 11-19-09
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 940 E
 Sheet
 Of **A3** Sheet



EXISTING GRN FLOOR PLAN
LIVING AREA 1197 FT² (1/4" = 1'-0")



PROPOSED GRN FLOOR PLAN
LIVING AREA 1296 FT² (1/4" = 1'-0")

- ⊙ FAN
- ⊙ SMOKE DETECTOR W/ BATTERY BACKUP
- ⊙ HEATING REGISTER
- ⊙ ALL RECESS FLOURESENTS PLUG IN TUBE H EFF.(TYP)
- ⊙ SWITCH (SINGLE POLE)
- ⊙ 3 WAY SWITCH
- ⊙ TELEPHONE OUTLET
- ⊙ TELEVISION OUTLET

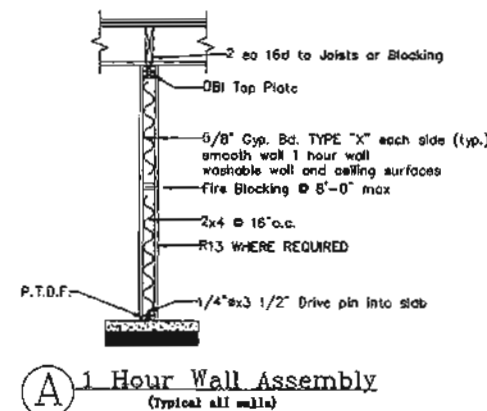
LEGEND

- ▭ EXISTING WALLS TO REMAIN
- ▨ NEW WALLS
- ▭ DEMOLISHED WALLS

REMODELING NOTES

1. CONTRACTOR TO PAINT INTERIOR OF ALL WORK, WHERE WORK IS PERFORMED.
2. PATCH ALL EXISTING WALLS, CEILINGS, AND FLOORS WHERE ADJACENT DEMOLITION, ELECTRICAL, PLUMBING, OR MECHANICAL REMOVAL OCCURS; NEW FINISHES TO MATCH EXISTING.
3. NEW ELECTRICAL AND MECHANICAL WORK SHOWN ON PLANS REPRESENTS MINIMUM REQUIRED; UTILIZE ALL EXISTING OUTLETS, LIGHT FIXTURES, ETC. IN COMBINATION WITH NEW, TO PROVIDE THE ELECTRICAL WORK AS SHOWN ON PLANS.
4. STUB OFF AND RE-ROUTE ALL PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS AS REQUIRED TO COMPLETE THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AT SITE FOR DEMOLITION AND NEW CONSTRUCTION.
6. CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES AS REQUIRED.

INTERIOR FINISH SCHEDULE ALL FLOORS				
ROOM	SUBFLOOR	FIN. FLR.	BASE	WALL AND CEILING
STAIRS	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
LIVING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
DINING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
FAMILY	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
OFFICE	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
KITCHEN	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
BEDROOM	WOOD	CARPET	WOOD	5/8" GYPSUM WALL BOARDS
BATHS	WOOD	TILE	WOOD	5/8" GYPSUM WALL BOARDS WATERPROOF (TYP.)



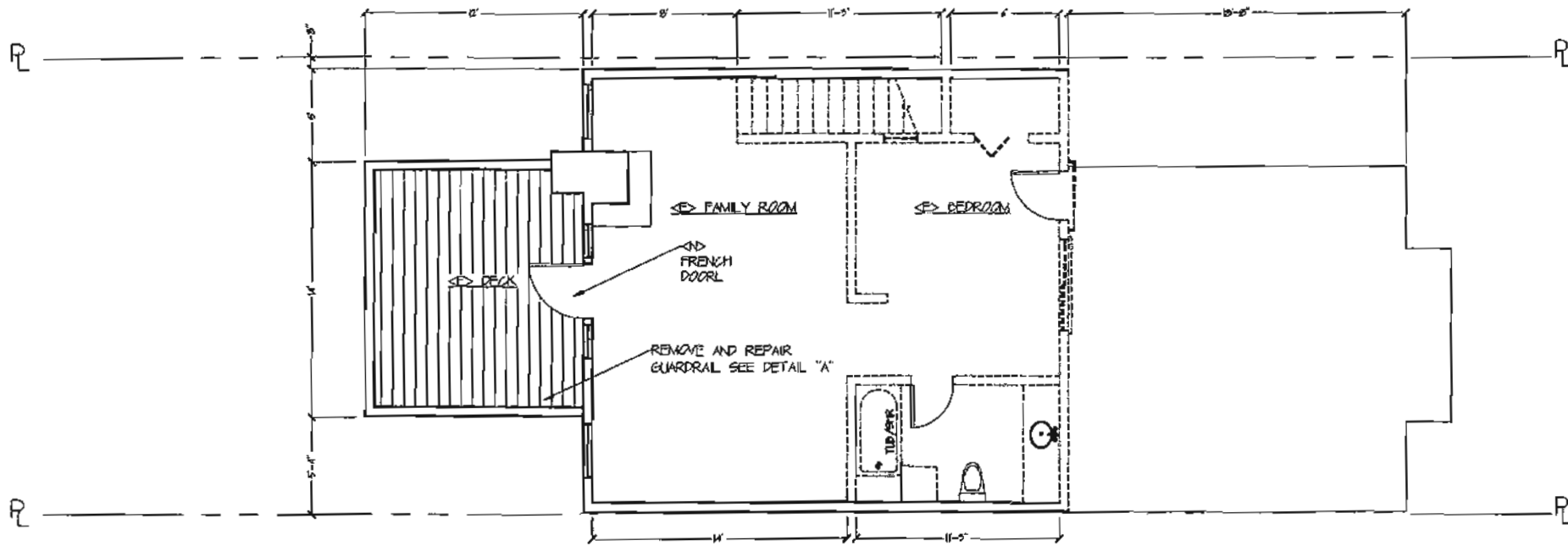
REVISIONS	BY
02-18-10	HL
04-09-10	HL
06-17-10	HL

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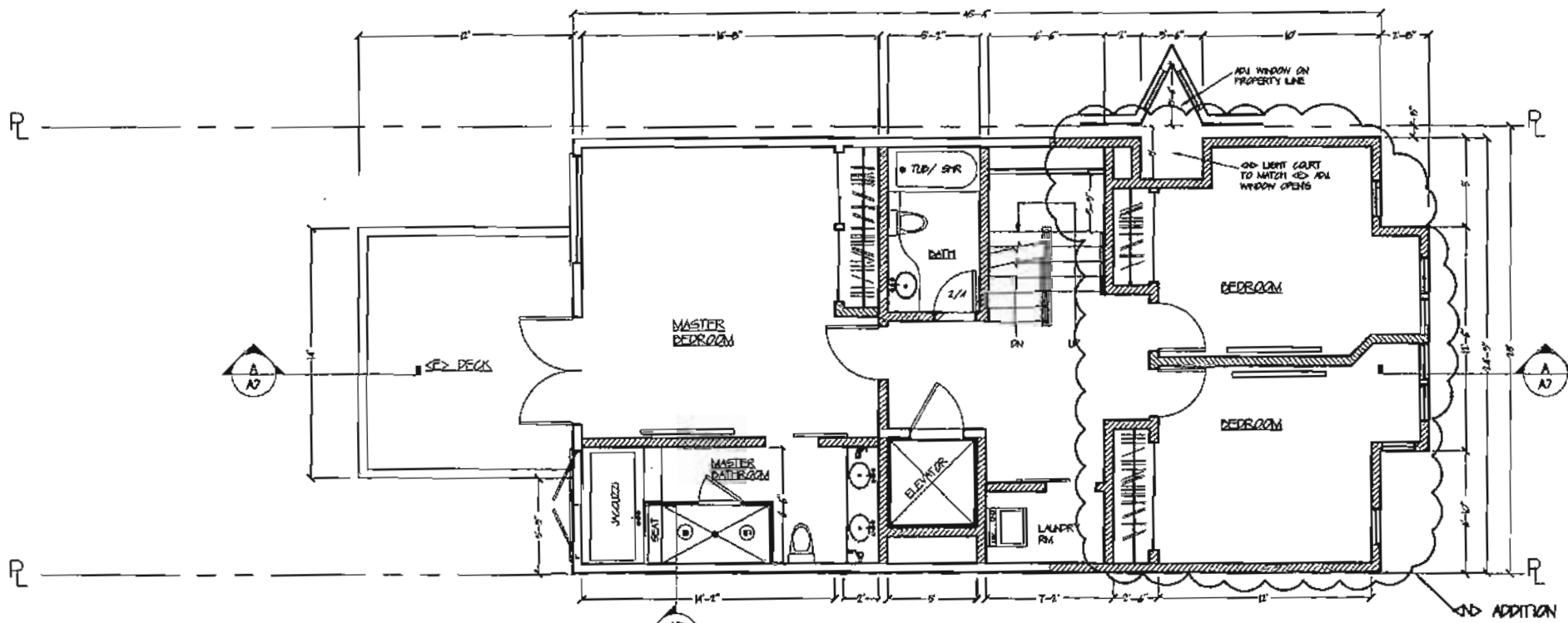
LOT 14
BLOCK 2807
940 ELIZABETH STREET
SAN FRANCISCO, CALIFORNIA

RAISE ATTIC ROOF ON 3RD FLOOR
& HORIZONTAL ADDITION

Date: 11-18-09
Scale: AS SHOWN
Drawn: H. LEE
Job: 940 E
Sheet: A4
Of: Sheet



EXISTING 2ND FLOOR PLAN
LIVING AREA 649 FT² (1/4" = 1'-0")

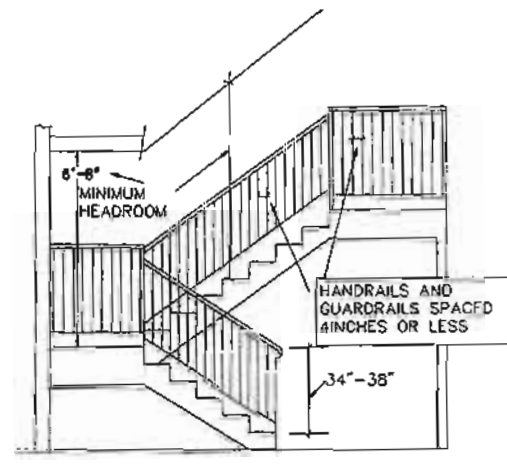


PROPOSED 2ND FLOOR PLAN
LIVING AREA 1124 FT² (1/4" = 1'-0")

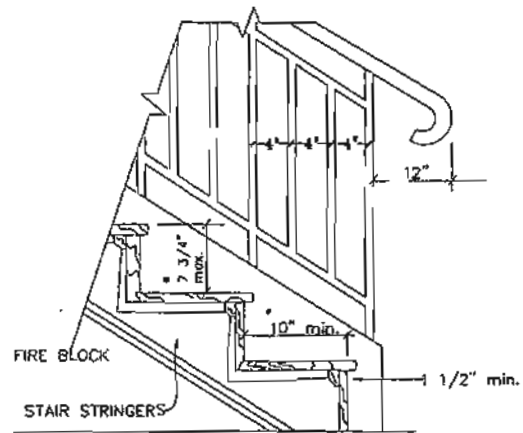
- ⊙ FAN
- ⊙ SMOKE DETECTOR W/ BATTERY BACKUP
- ⊙ HEATING REGISTER
- ⊙ ALL RECESS FLOURESENTS
- ⊙ PLUG IN TUBE HI EFF. (TYP.)
- ⊙ SWITCH (SINGLE POLE)
- ⊙ 3 WAY SWITCH
- ⊙ TEL TELEPHONE OUTLET
- ⊙ TELEVISION OUTLET

LEGEND

	EXISTING WALLS TO REMAIN
	NEW WALLS
	DEMOLISHED WALLS



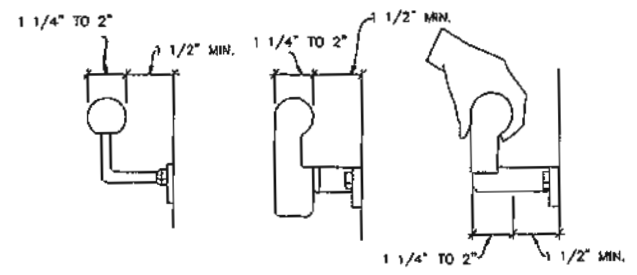
(A) STAIR WELL HEADROOM



(B) STAIR DETAIL
NO SCALE

* R3 OCCUPANCY:
RUN 10" MIN.
RISE 7 3/4" MAX.

3/8" MAXIMUM DIFFERENCE BETWEEN LARGEST AND SMALLEST TREAD WIDTH OR RISER HEIGHTS



(C) HANDRAILS

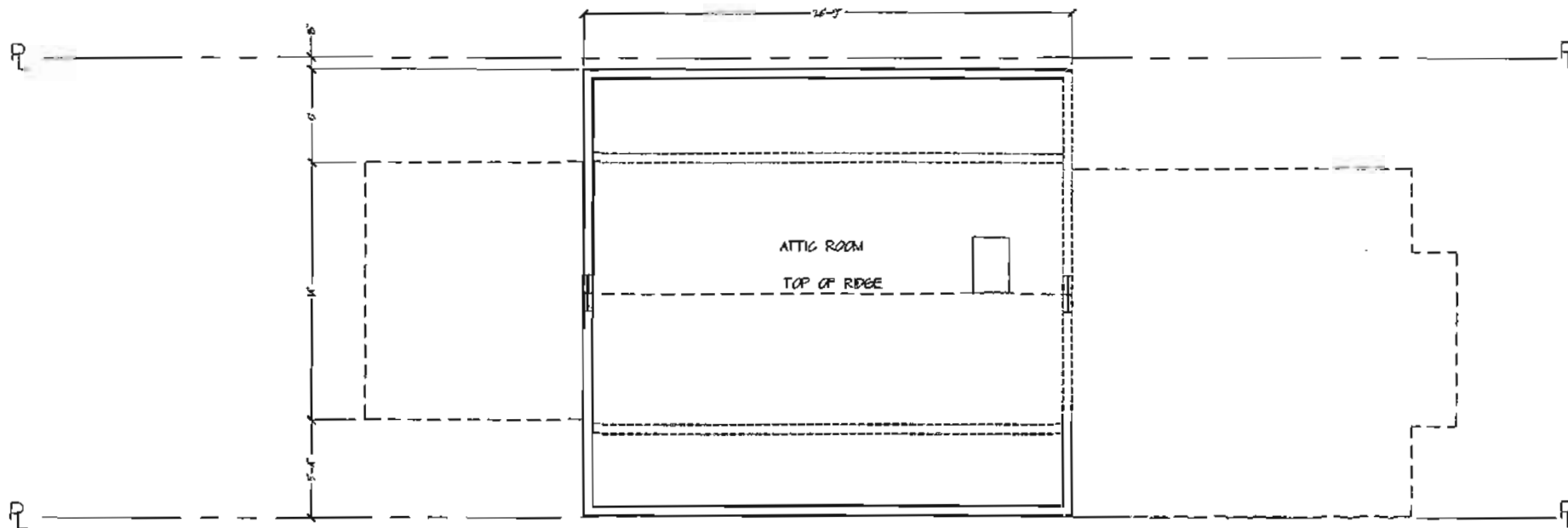
REVISIONS	BY
02-18-10	HL
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08-17-10	HL

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BLOCK 2807 LOT 14
940 ELIZABETH STREET
SAN FRANCISCO, CALIFORNIA

RAISE ATTIC ROOF ON 3RD FLOOR
& HORIZONTAL ADDITION

Date: 11-19-09
Scale: AS SHOWN
Drawn: H. LEE
Job: 940 E
Sheet: **A5**
Of: 2 Sheet

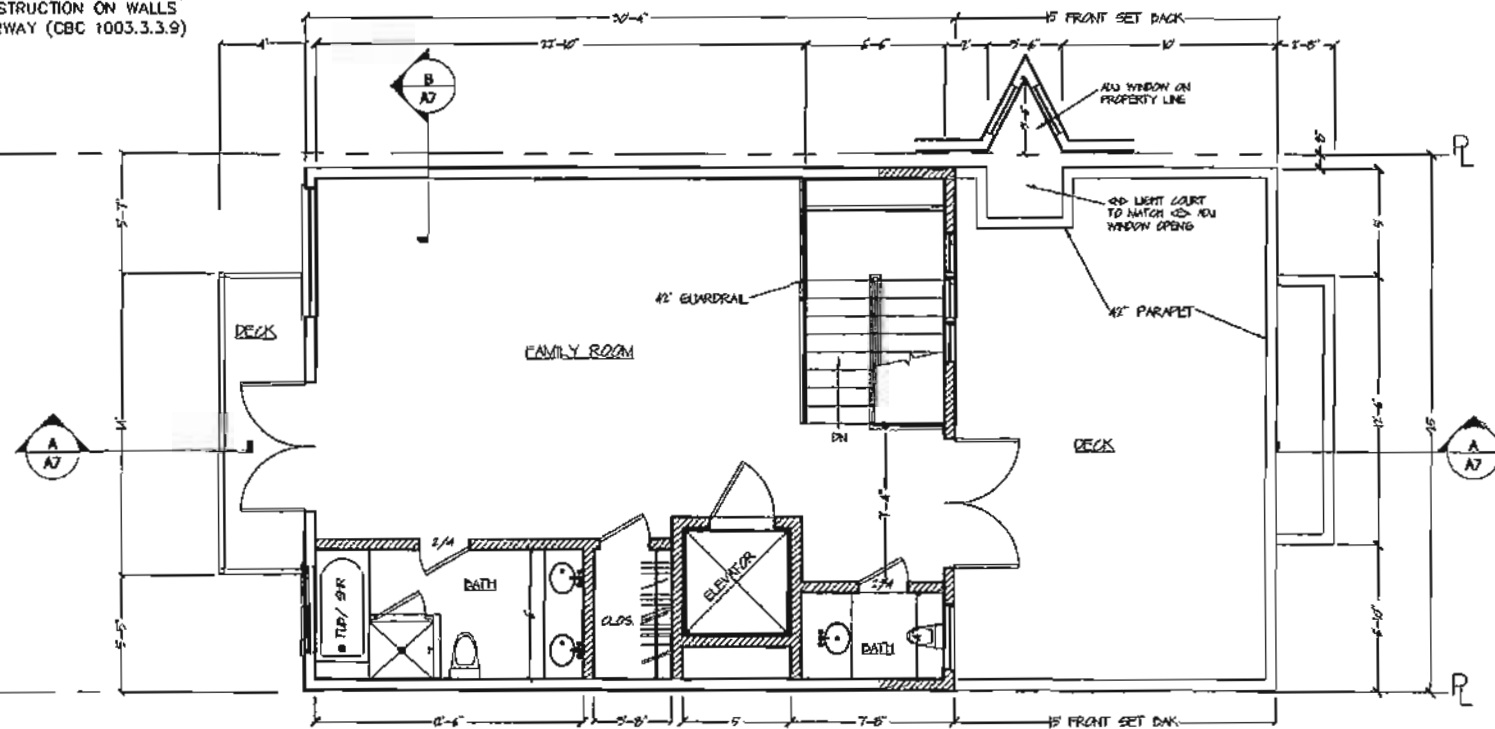


EXISTING ATTIC FLOOR PLAN

AREA 650 FT² (1/4" = 1'-0")

STAIRWAY REQUIREMENT

- * PROVIDE A MINIMUM 36" INCH WIDTH STAIRWAY (CBC 12003.3.3.2)
- * PROVIDE A MINIMUM 36" INCHES LANDING FOR THE STAIRWAY (CBC 1003.3.3.5)
- * PROVIDE HANDRAILS FOR STAIRWAY. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1-1/4 INCHES NOR MORE THAN 2 INCHES IN CROSS DIMENSION AND SHALL HAVE SMOOTH SURFACE WITH NO SHARP CORNERS (CBC 1003.3.3.6)
- * PROVIDE A 1 HOUR FIRE RESISTIVE CONSTRUCTION ON WALLS AND CEILING UNDER THE INTERIOR STAIRWAY (CBC 1003.3.3.9)



PROPOSED 3RD FLOOR PLAN

LIVING AREA 800 FT² (1/4" = 1'-0")

- ⊙ FAN
- ⊙ SMOKE DETECTOR W/ BATTERY BACKUP
- ⊙ HEATING REGISTER
- ⊙ ALL RECESS FLOURESENTS PLUG IN TUBE HI EFF.(TYP.)
- ⊙ SWITCH (SINGLE POLE)
- ⊙ 3 WAY SWITCH
- ⊙ TELEPHONE OUTLET
- ⊙ TELEVISION OUTLET

LEGEND

- ▭ EXISTING WALLS TO REMAIN
- ▨ NEW WALLS
- DEMOLISHED WALLS

MECHANICAL SPECIFICATIONS:

1. All work shall be performed by Mechanical Contractor in conformance with the Series 2007 California Mechanical Code.
2. The contractor shall obtain all required mechanical permits.
3. Provide 200 square inches vent for garage and add 2 square inch of vent for each additional 100 square feet of garage area.
4. Provide combustion air for furnaces and water heaters at 1 square inches per 1,000 b.t.u. of the rated capacity of the units.
5. Install thermostat w/ night set back controller at each unit.
6. Provide 18 inch high platform for all water heaters installed in the garage.
7. Provide seismic straps tie to the wall for the water heaters at 4" from the top and bottoms of the water heater.
8. All outlet register to be H & C or equal units connected to the furnace.
9. All new ducts in the garage shall be 22 gauge ridged sheet metal pipes.
10. All joints shall be sealed with on approved sealer to keep all ducts air tight. The duct work workmanship shall be of the highest quality. The ducts will be installed in concealed space hanging from the ceiling.
11. Fire and smoke dampers shall be installed where duct work penetrates rated wall assemblies.
12. Terminate gas vents min. 4'-0" from the property line and 3'-0" above any openings.
13. Terminate exhaust outlets outside and 3'-0" min. away from the property line and any window openings.
14. Dryer vents shall not exceed 14'-0" without booster pumps. Provide dryer booster pump when the length of the dryer vent exceeds 14'-0".
15. The contractor shall request clarification if conflicts arise from the construction documents.
16. The contractor may substitute materials that are equivalent to specified items on these plans for this construction project.

ELECTRIC LEGEND

- | | |
|--|--|
| ⊙ DUPLEX OUTLET | ⊙ SWITCH (SINGLE POLE) |
| ⊙ DUPLEX OUTLET(220 VOLTS) | ⊙ 3 WAY SWITCH |
| ⊙ DUPLEX OUTLET(SPLIT WRED) | ⊙ THERMOSTAT |
| ⊙ DUPLEX OUTLET(WATER PROOFED) | ⊙ GARAGE DOOR KEY OPERATOR |
| ⊙ DUPLEX OUTLET(GROUND FAULT INTERRUPTER TYPE) | ⊙ CEILING FIXTURE (SURFACE MOUNTED) |
| ⊙ WALL FIXTURE | ⊙ RECESS FLOURESCENT (ALL RECESS FLOURESCENT PLUG IN TUBE HI EFF.(TYP.)) |
| ⊙ TEL TELEPHONE OUTLET | ⊙ SMOKE DETECTOR (110V) PER SEC. 1210(3) U.S.B. |
| ⊙ INTERCOM | ⊙ BASEBOARD HEATER |
| ⊙ TELEVISION OUTLET | ⊙ FLOURESCENT LIGHT |
| ⊙ JUNCTION BOX | ⊙ EXHAUST FAN |
| ⊙ GAS OUTLET | ⊙ MECHANICAL VENT |
| ⊙ HI EFF. WATER PROOF | ⊙ FAN-LIGHT COMBINATION |
| | ⊙ FAN-LIGHT-HEATER COMBINATION |

PRODUCTS SPECIFIED ARE AS MANUFACTURED BY SINCLAIR PAINT CO., UNLESS OTHERWISE INDICATED. EQUIVALENT PRODUCTS MANUFACTURED BY SHERWIN-WILLIAMS, DUNN-EDWARDS, FULLER-O'BRIEN, OR GLIDDEN IN CONFORMANCE WITH MATERIALS LIST ARE ACCEPTABLE.

MATERIALS SELECTED FOR COATING SYSTEMS FOR EACH TYPE SURFACE SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER.

INTERIOR PAINTING

FLAT FINISH ON GYPSUM WALLBOARD	SEMIGLOSS FINISH ON GYPSUM WALLBOARD
1 COAT #7	1 COAT #7
1 COAT #6	1 COAT #4
	1 COAT #9

EXTERIOR PAINTING

FLAT FINISH ON CEMENT PLASTER AND CONCRETE

2 COATS #5

MATERIALS LIST:

1. RED OXIDE PRIMER	6. FLAT LATEX WALL FINISH
2. ZINC DUST PRIMER	7. PVA SEALER
3. SASH AND TRIM PRIMER	8. LATEX ENAMEL UNDERCOATER
4. ENAMEL UNDERCOATER	9. ALKYD EGGSHELL ENAMEL
5. ACRYLIC MASONRY PAINT	

REVISIONS	BY
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BLOCK 2807 LOT 14
 940 ELIZABETH STREET
 SAN FRANCISCO, CALIFORNIA

RAISE ATTIC ROOF ON 3RD FLOOR
 & HORIZONTAL ADDITION

Date: 11-19-09

Scale: AS SHOWN

Drawn: H. LEE

Job: 940 E

Sheet

A6
 Sheet

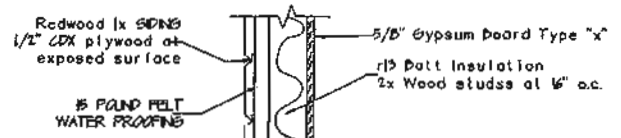
REVISIONS	BY
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06-17-10	HL

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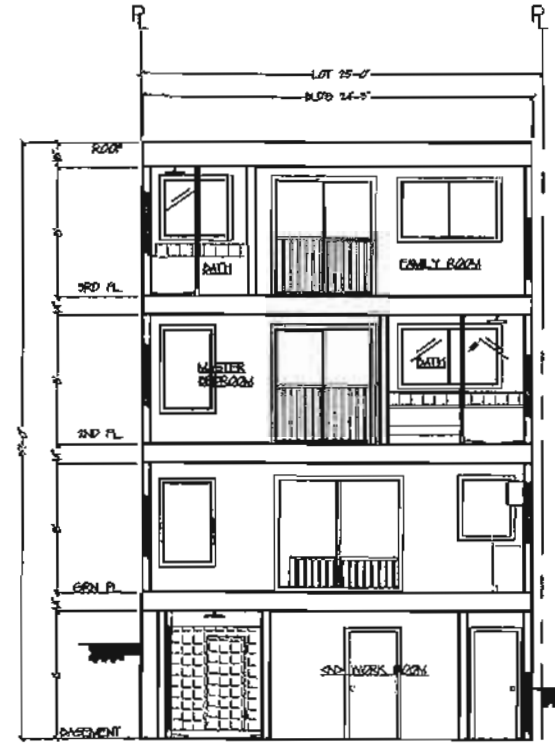
BLOCK 2807 LOT 14
 940 ELIZABETH STREET
 SAN FRANCISCO, CALIFORNIA

RAISE ATTIC ROOF ON 3RD FLOOR
 & HORIZONTAL ADDITION

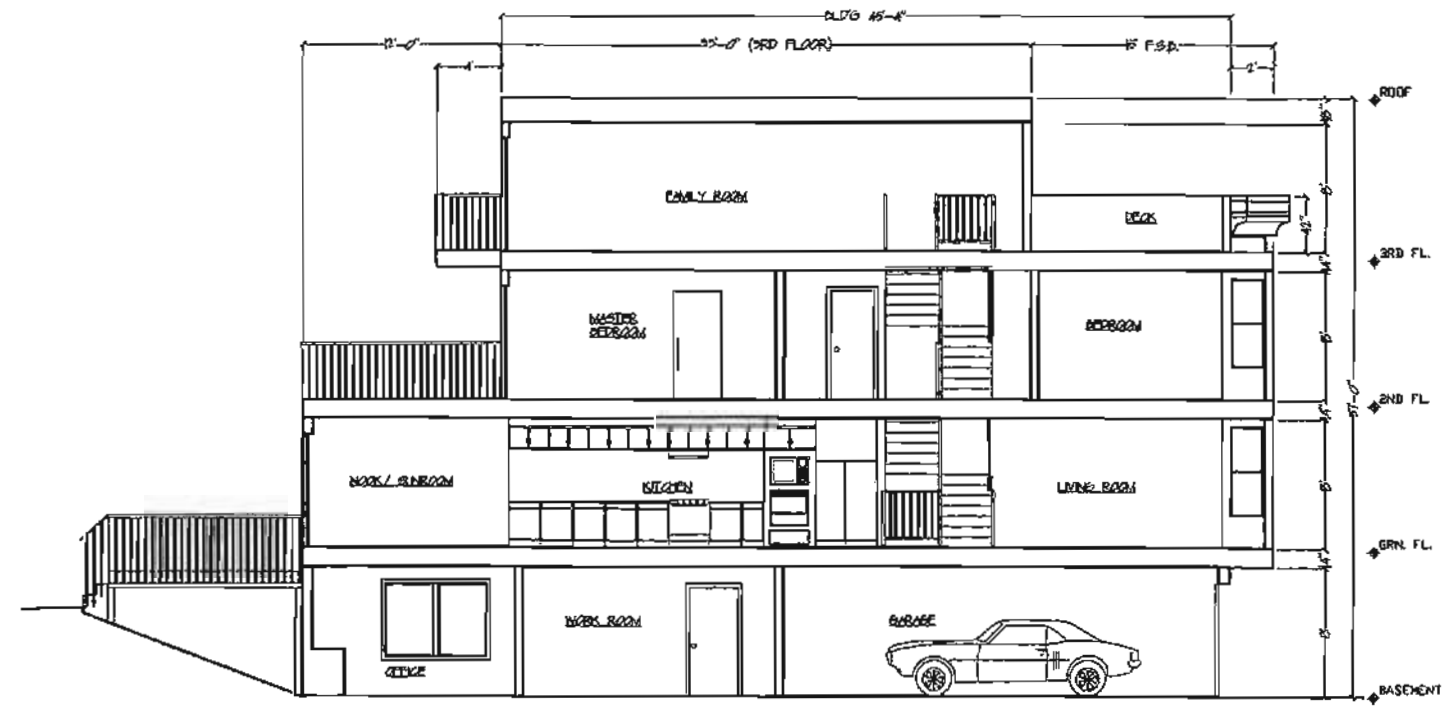
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 Drawn: H. LEE
 Job: 940 E
 Sheet
 A7
 Of Sheet



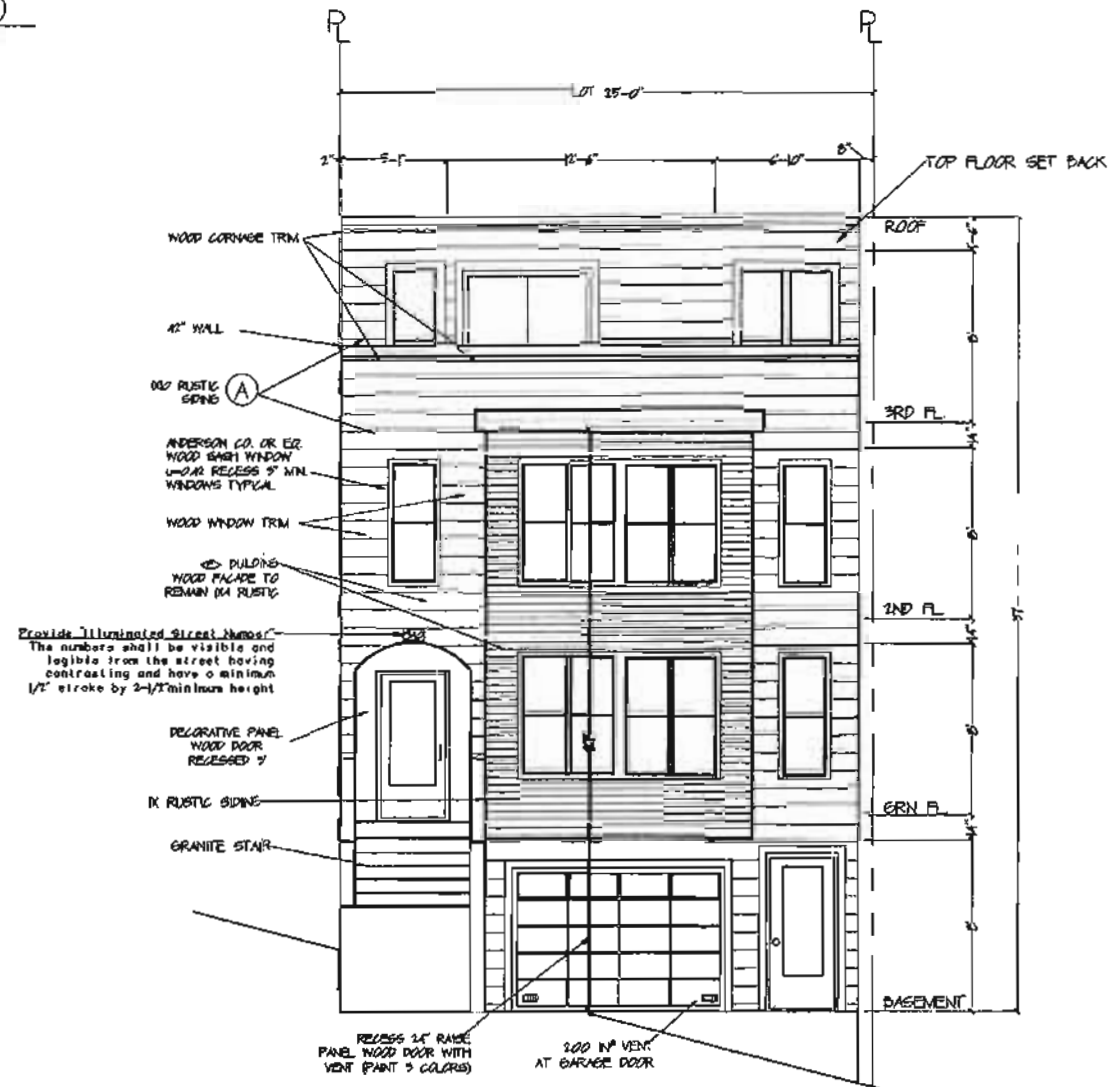
(A) SIDING DETAIL (SECTION)



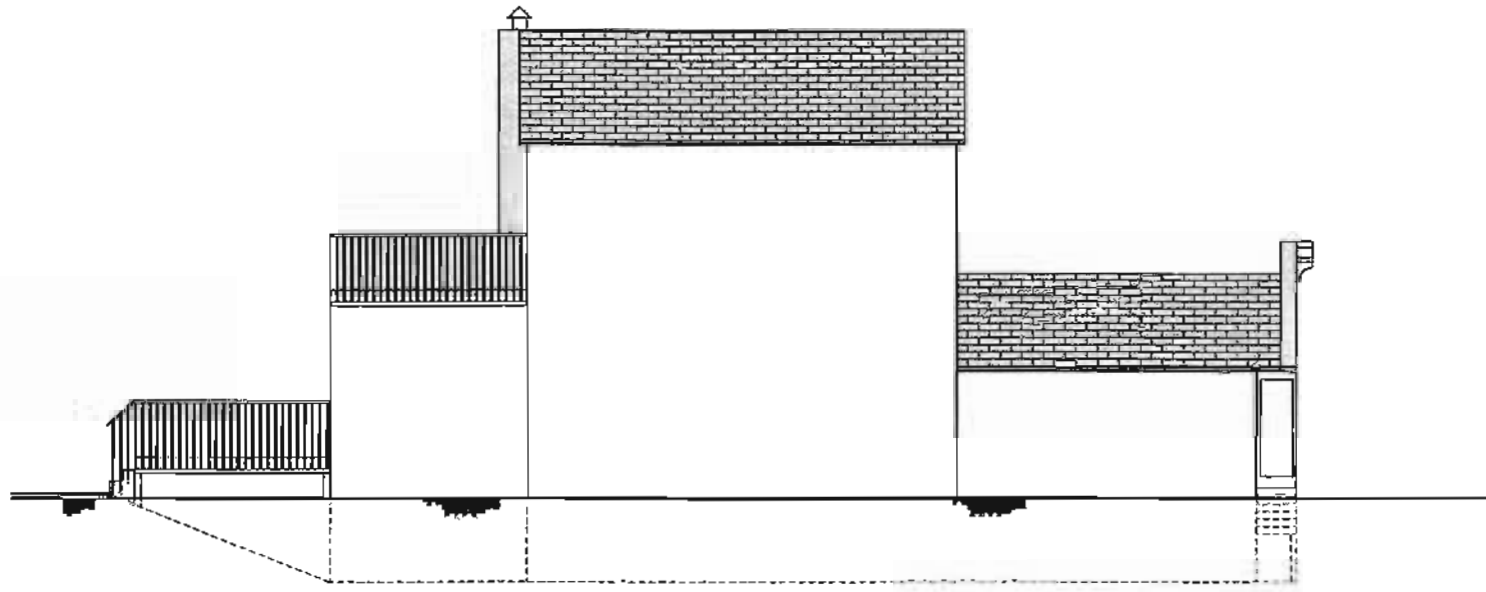
(B) BUILDING SECTION "B-B"
 Scale: 3/16"=1'-0"



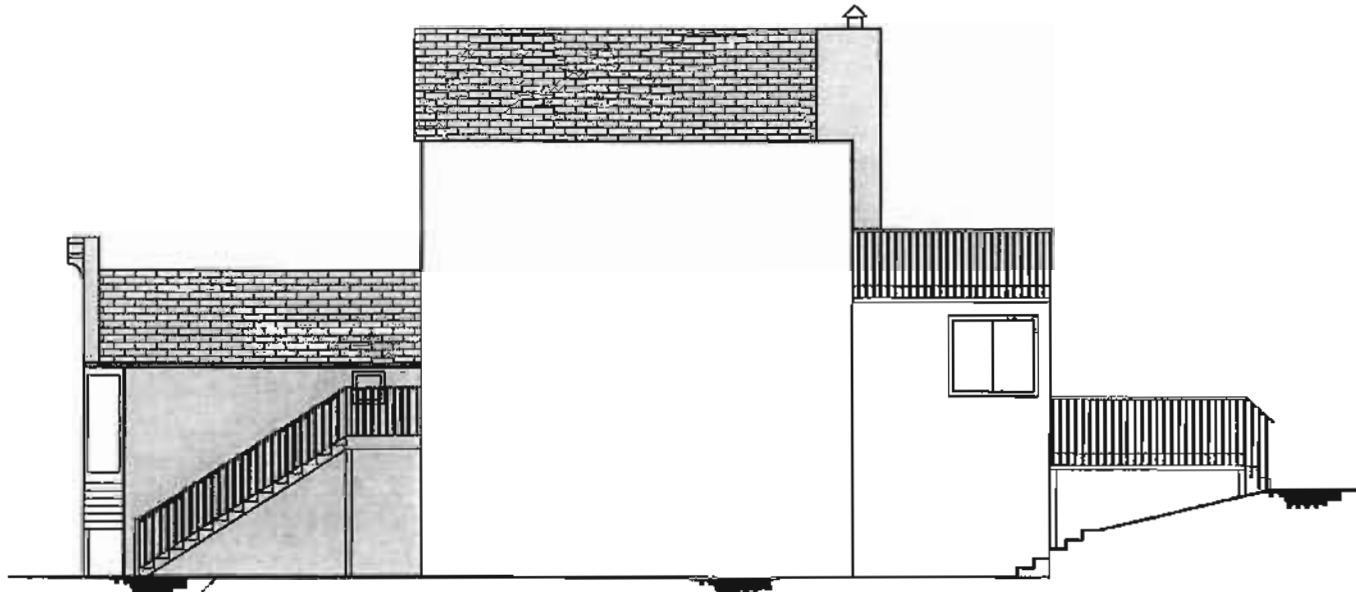
(A) BUILDING SECTION "A-A"
 Scale: 3/16"=1'-0"



PROPOSED FRONT ELEVATION
 (1/4" = 1'-0")

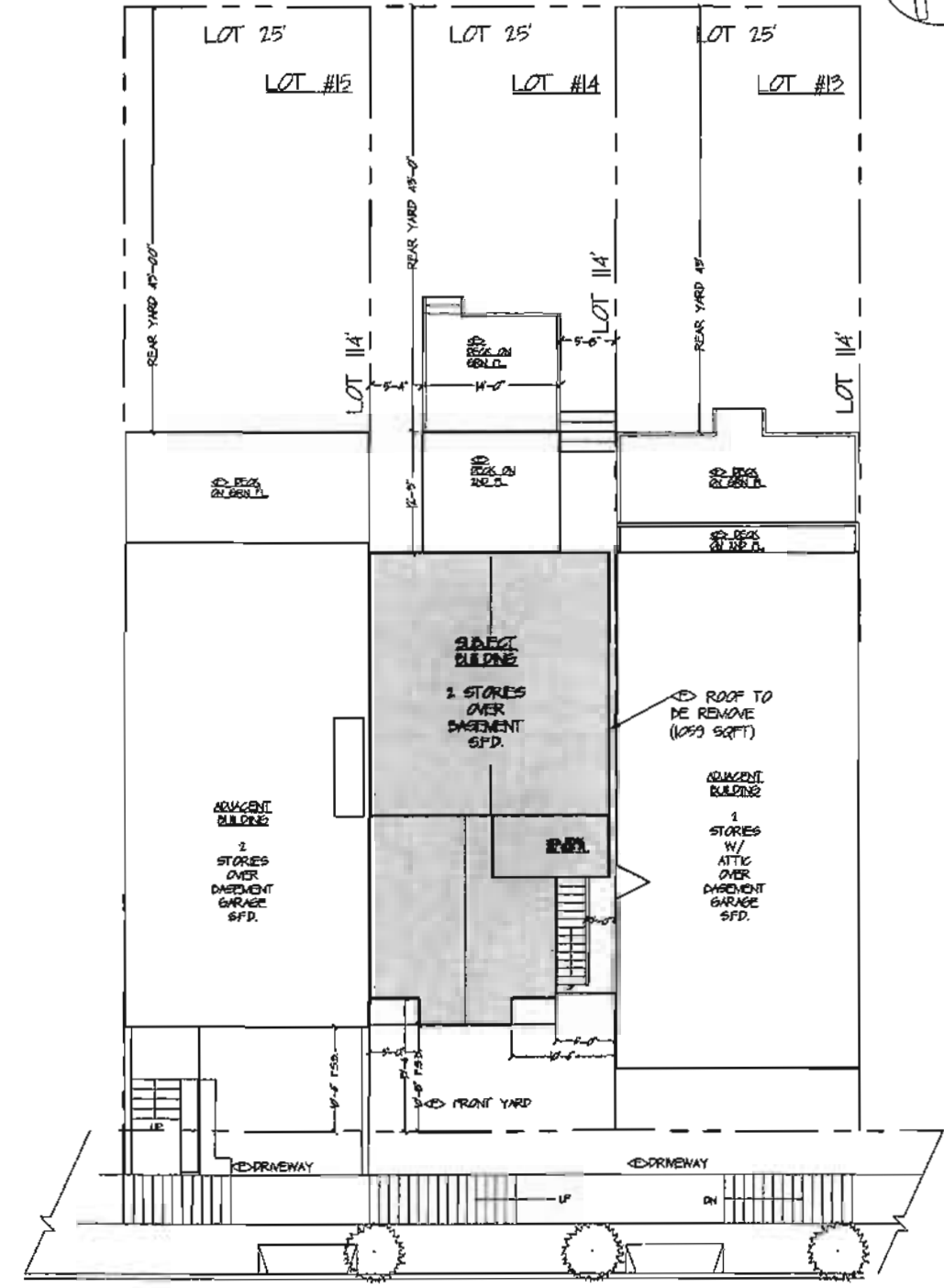


EXISTING WEST ELEVATION
TOTAL 1214 SQFT (3/16" = 1'-0")



EXISTING EAST ELEVATION
TOTAL 1214 SQFT (3/16" = 1'-0")

LEGEND
 [Solid line] EXISTING WALLS TO REMAIN
 [Dashed line] DEMOLISHED WALLS



ELIZABETH STREET

EXISTING SITE PLAN
(1/8" = 1'-0")

REVISIONS	BY
02-18-10	HL
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06-17-10	HL

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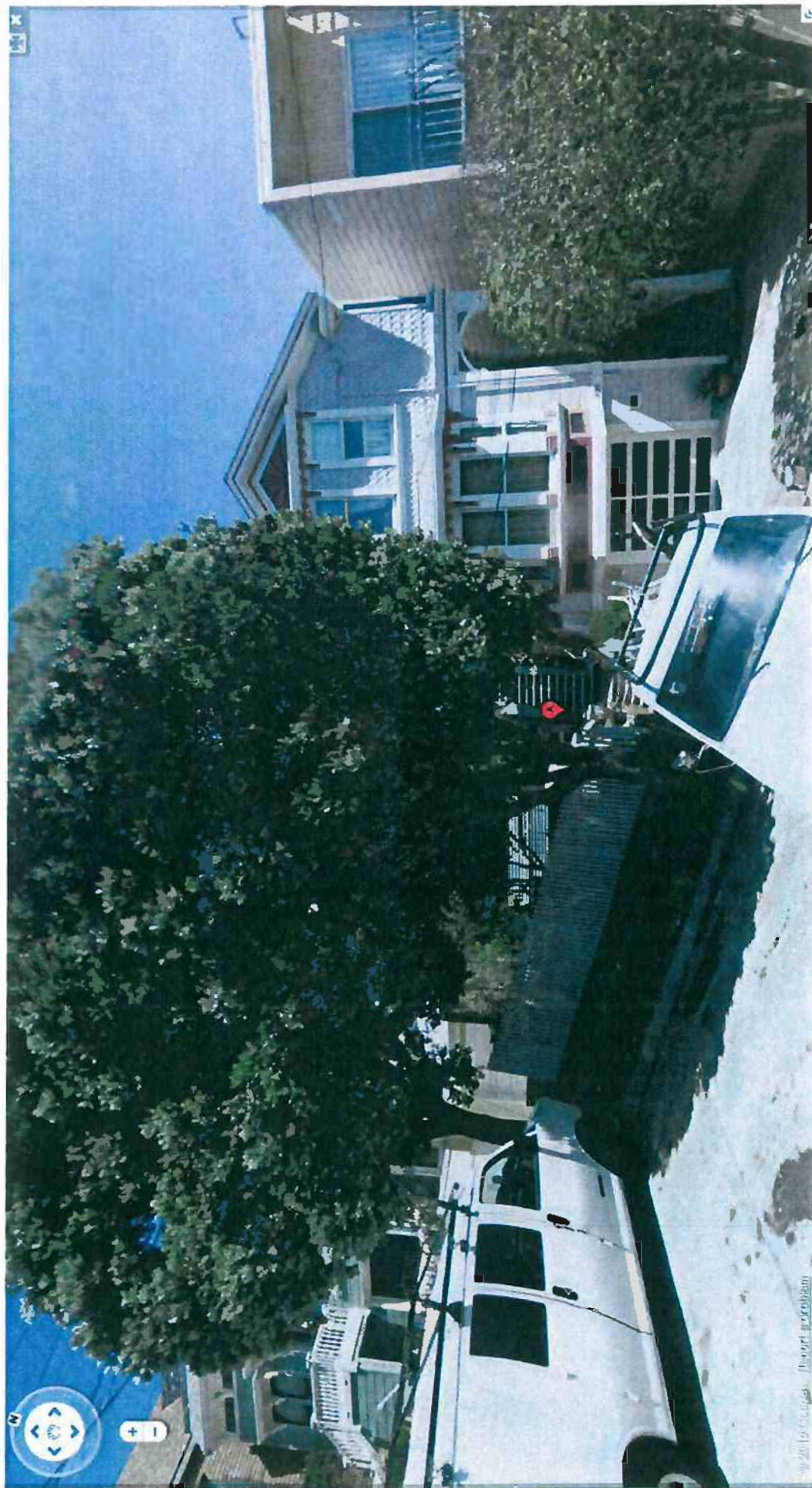
BLOCK 2807 LOT 14
 940 ELIZABETH STREET
 SAN FRANCISCO, CALIFORNIA

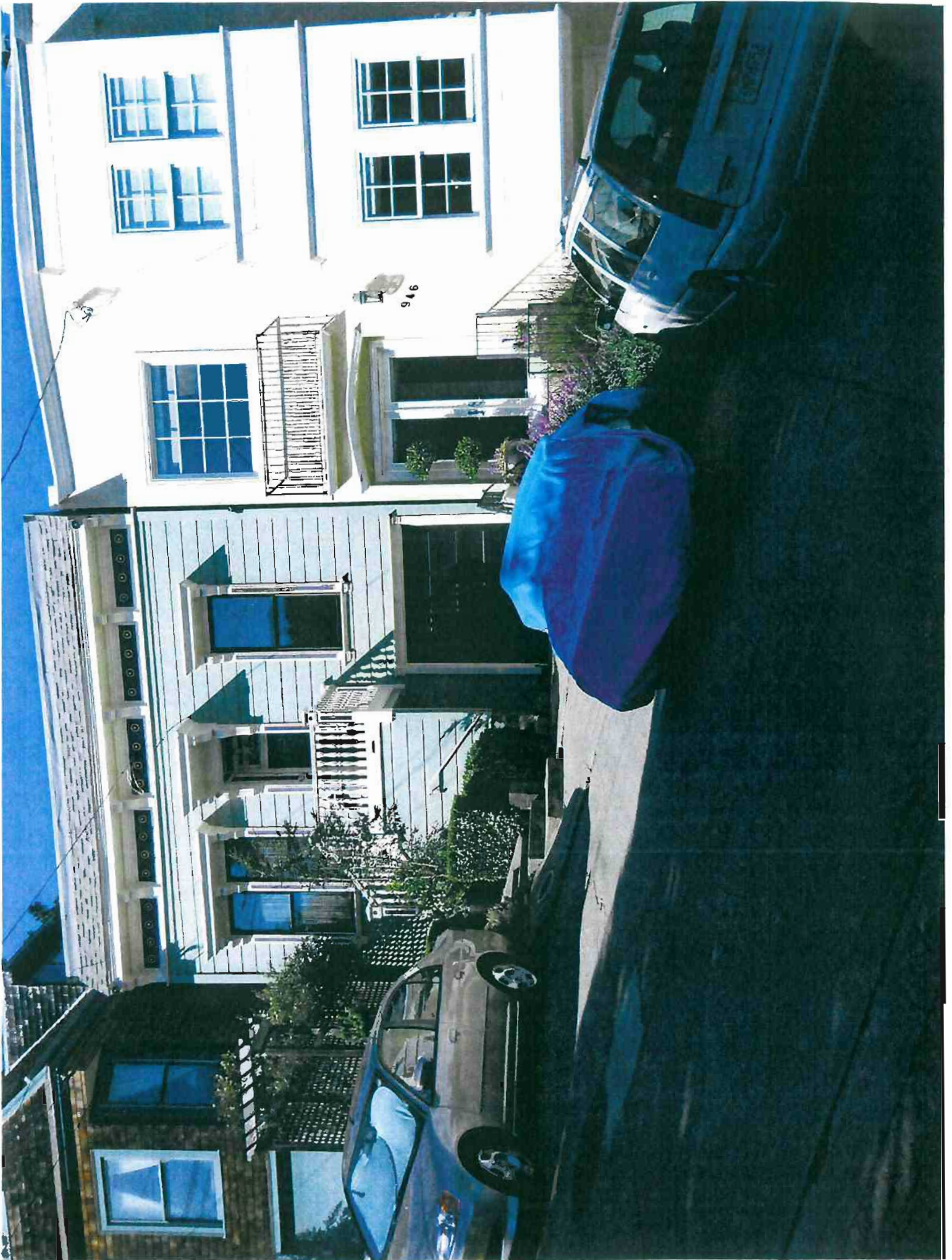
RAISE ATTIC ROOF ON 3RD FLOOR
 & HORIZONTAL ADDITION

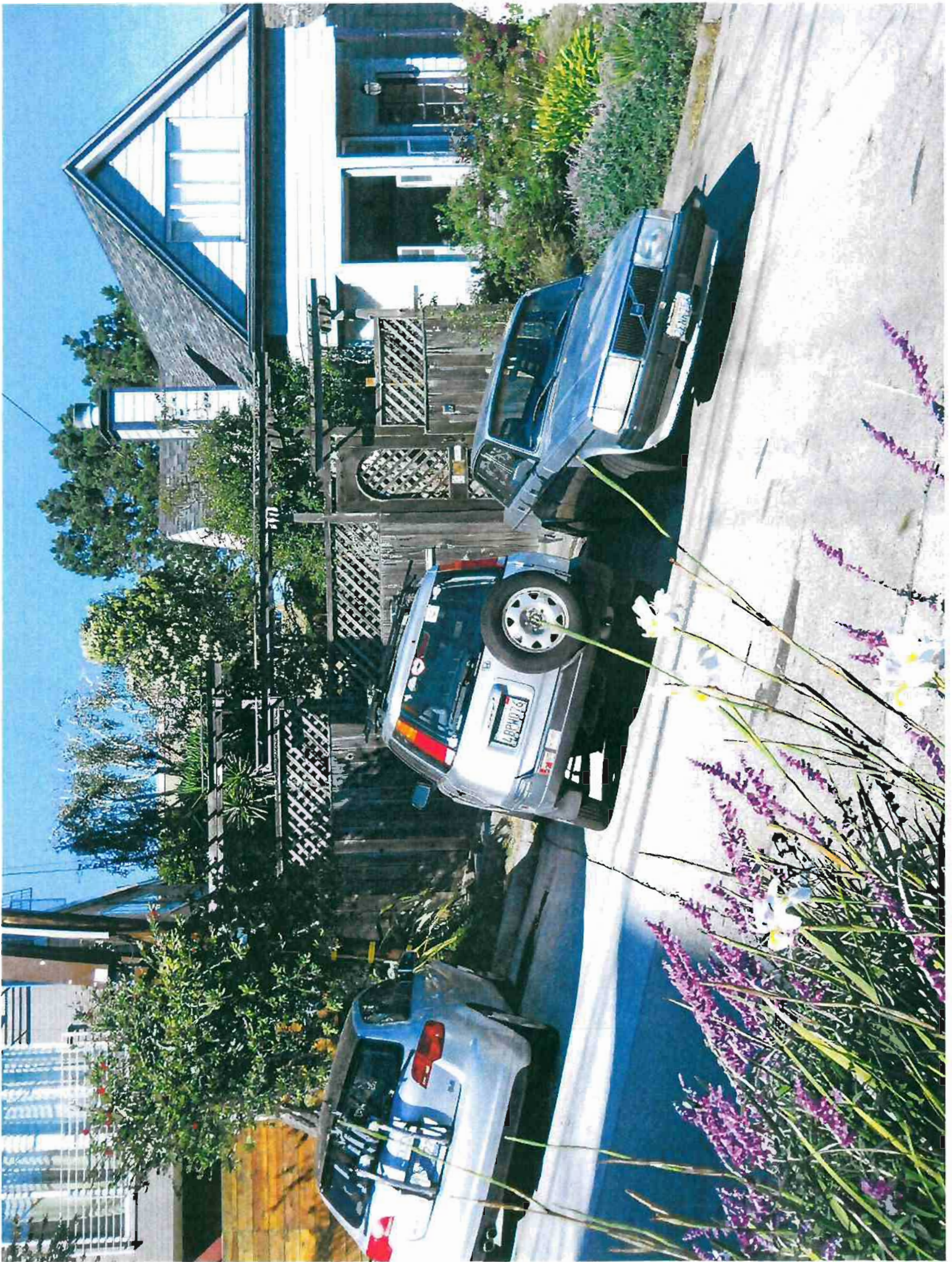
Date: 11-19-09
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 940 E
 Sheet: A8
 Of: Sheet

EXHIBIT B

940 Elizabeth Street





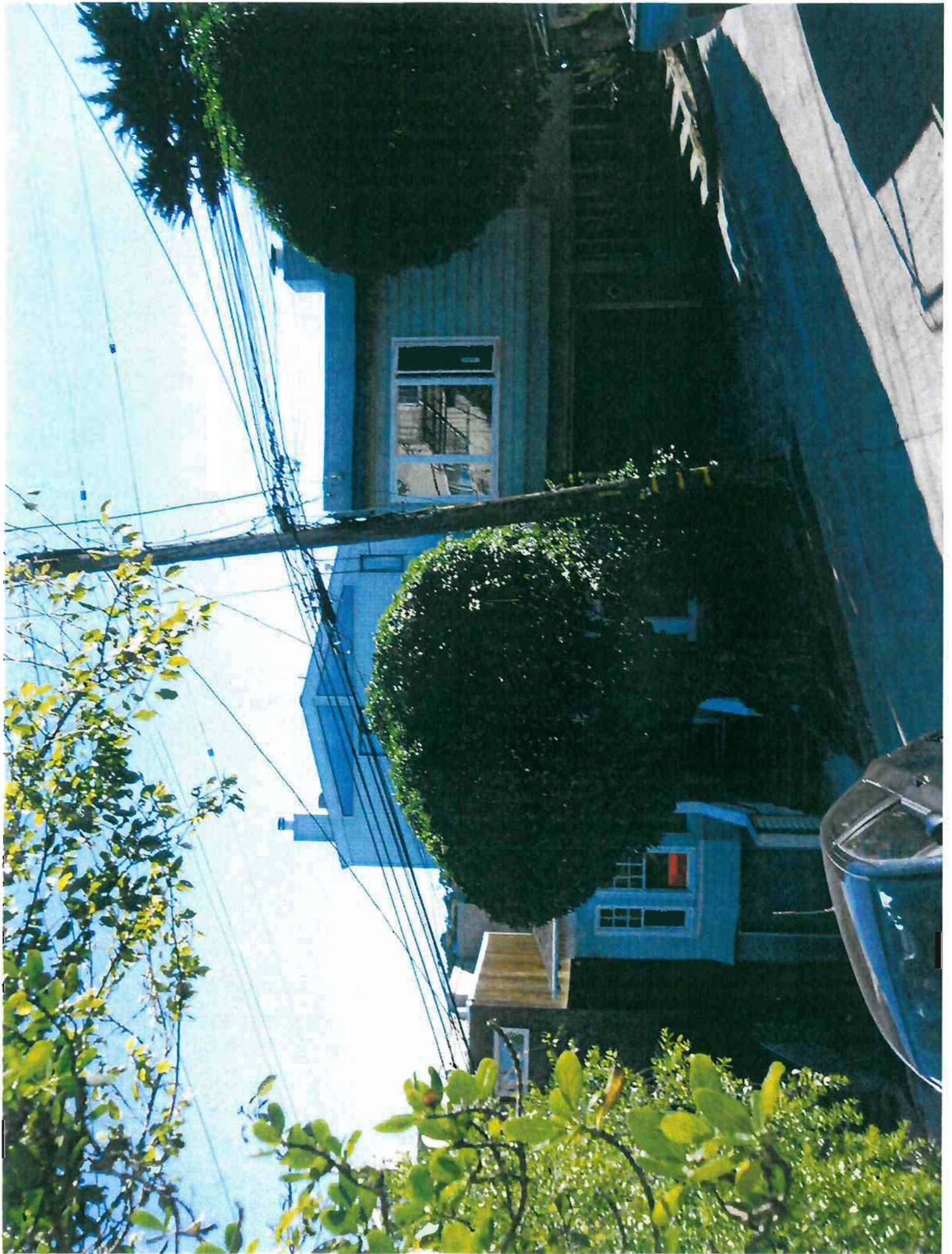






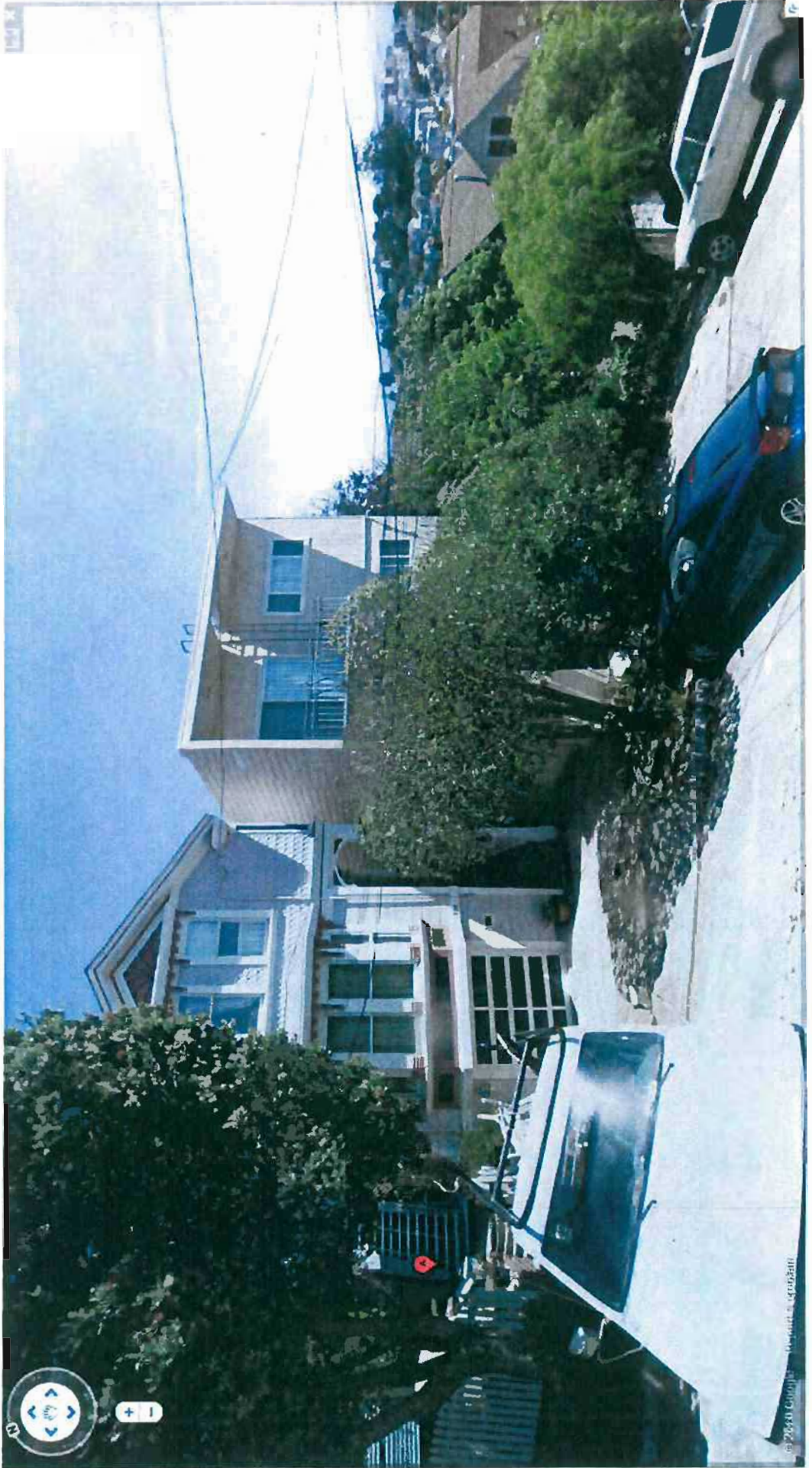








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EXHIBIT C

