



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: SEPTEMBER 16, 2010

Date: September 9, 2010
Case No.: **2010.0442C**
Project Address: **1270 VALENCIA STREET**
Zoning: Valencia Street NCT (Neighborhood Commercial Transit)
55-X Height and Bulk District
Block/Lot: 3644 / 009
Project Sponsor: Jeremy Paul
60 Otis Street
San Francisco, CA 94103
Staff Contact: Erika S. Jackson – (415) 558-6363
erika.jackson@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The applicant proposes to convert 2,178 square feet on the second floor to an office space (dba *Birthright Israel*). *Birthright Israel* is a non-profit organization that provides travel-related services to the public, which is considered a Business and Professional Service.

SITE DESCRIPTION AND PRESENT USE

The project is located on the west side of Valencia Street, between 24th and 25th Streets, Block 3644, Lot 009. The property is located within the Valencia Street NCT (Neighborhood Commercial Transit) Zoning District and a 55-X Height and Bulk District. The property is developed with a two story commercial building. The ground floor is proposed to be converted to a retail/bakery space. The subject lot has approximately 60 feet of frontage on Valencia Street and is 100 feet deep.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project site is located in the Valencia Street NCT District with a variety of neighborhood-serving uses. A mixture of food establishments, personal services, and small retail establishments defines the District. The surrounding properties are located within the Valencia Street NCT (Neighborhood Commercial Transit) Zoning District and the RTO-M (Residential, Transit-Oriented, Mission Neighborhood) Zoning District.

ENVIRONMENTAL REVIEW

The Project was determined by the Department to be Categorically Exempt from the California Environmental Quality Act ("CEQA") as a Class 1a exemption under CEQA Guidelines as described in the determination contained in the Planning Department files for this project.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	August 27, 2010	August 27, 2010	27 days
Posted Notice	20 days	August 27, 2010	August 27, 2010	20 days
Mailed Notice	20 days	August 27, 2010	August 24, 2010	23 days

PUBLIC COMMENT

- The Department is not aware of any opposition to this project.

ISSUES AND OTHER CONSIDERATIONS

- The proposal would enhance the district by providing a travel related office use in a Neighborhood Commercial Zoning District.
- The business creates more employment opportunities for the community.
- The proposed alterations are within the existing building footprint.
- The size of the proposed use is in keeping with other commercial and office uses in the District.
- The proposed use is located on the second floor and therefore does not directly affect the block face.
- This use will compliment the mix of goods and services currently available in the District and will contribute to the economic vitality of the neighborhood.
- The Project will occupy a previously vacant tenant space and will enhance the diverse economic base of the City.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization to allow for a Business and Professional Services Use in the Valencia Street NCT Zoning District.

BASIS FOR RECOMMENDATION

The Department believes this project is necessary and/or desirable under Section 303 of the Planning Code for the following reasons:

- The project is a neighborhood serving use.
- The District is well served by transit, therefore customers should not impact traffic.
- The proposed Project meets all applicable requirements of the Planning Code.

RECOMMENDATION: Approval with Conditions
--

Attachment Checklist

- | | |
|---|---|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Existing Conditions</u> |
| <input type="checkbox"/> Environmental Determination | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Parcel Map | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Sanborn Map | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Aerial Photo | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Context Photos | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> Site Photos | |

Exhibits above marked with an "X" are included in this packet

Planner's Initials

ES.J: G:\DOCUMENTS\Projects\CU\Valencia 1270\ExecutiveSummary.doc



SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|--|--|
| <input type="checkbox"/> Inclusionary Housing (Sec. 315) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 313) | <input type="checkbox"/> Child Care Requirement (Sec. 314) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 139) | <input type="checkbox"/> Other |

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Planning Commission Draft Motion

HEARING DATE: SEPTEMBER 16, 2010

Date: September 9, 2010
Case No.: **2010.0442C**
Project Address: **1270 VALENCIA STREET**
Zoning: Valencia Street NCT (Neighborhood Commercial Transit)
55-X Height and Bulk District
Block/Lot: 3644 / 009
Project Sponsor: Jeremy Paul
60 Otis Street
San Francisco, CA 94103
Staff Contact: Erika S. Jackson – (415) 558-6363
erika.jackson@sfgov.org

ADOPTING FINDINGS RELATING TO CONDITIONAL USE AUTHORIZATION PURSUANT TO PLANNING CODE SECTIONS 303, 726.1, AND 790.108 TO CONVERT THE SECOND FLOOR OF AN EXISTING BUILDING TO A BUSINESS AND PROFESSIONAL SERVICE USE WITHIN THE VALENCIA STREET NCT (NEIGHBORHOOD COMMERCIAL TRANSIT) ZONING DISTRICT AND A 55-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On June 1, 2010, Jeremy Paul (Project Sponsor) filed an application with the Planning Department (hereinafter "Department") for Conditional Use Authorization under Planning Code Sections 303, 726.1, and 790.108, to convert the second floor of an existing building to a business or professional service use, within the Valencia Street Neighborhood Commercial Transit District (Valencia NCT) and a 55-X Height and Bulk District.

On September 16, 2010, the Planning Commission (hereinafter "Commission") conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2010.0442C.

The Project was determined by the Department to be Categorical Exempt from the California Environmental Quality Act ("CEQA") as a Class 1a exemption under CEQA Guidelines as described in the determination contained in the Planning Department files for this project. The Commission has reviewed and concurs with said determination.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2010.0442C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the west side of Valencia Street, between 24th and 25th Streets, Block 3644, Lot 009. The property is located within the Valencia Street NCT (Neighborhood Commercial Transit) Zoning District and a 55-X Height and Bulk District. The property is developed with a two story commercial building. The ground floor is proposed to be converted to a retail/bakery space. The subject lot has approximately 60 feet of frontage on Valencia Street and is 100 feet deep.
3. **Surrounding Properties and Neighborhood.** The Project site is located in the Valencia Street NCT District with a variety of neighborhood-serving uses. A mixture of food establishments, personal services, and small retail establishments defines the District. The surrounding properties are located within the Valencia Street NCT (Neighborhood Commercial Transit) Zoning District and the RTO-M (Residential, Transit-Oriented, Mission Neighborhood) Zoning District.
4. **Project Description.** The applicant proposes to convert 2,178 square feet on the second floor to an office space (dba *Birthright Israel*). *Birthright Israel* is a non-profit organization that provides travel-related services to the public, which is considered a Business and Professional Service.
5. **Public Comment.** The Department has received no comment regarding the Project.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:
 - A. **Use.** Planning Code Section 726.1 states that a Conditional Use Authorization is required for Business and Professional Services, as defined by Planning Code Section 790.108 within the Valencia Street Neighborhood Commercial Transit District (Valencia NCT).

The Project proposes to convert 2,178 square feet on the second floor to an office space (dba Birthright Israel). Birthright Israel is a non-profit organization that provides travel-related services. Planning Code Section 790.108 includes travel services in the definition of Business and Professional Services.

7. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The size of the proposed use is in keeping with other commercial and office uses in the District. The proposed use is located on the second floor and therefore does not directly affect the block face. This use will compliment the mix of goods and services currently available in the District and will contribute to the economic vitality of the neighborhood.

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the existing building will remain the same and will not alter the existing appearance or character of the project vicinity. The proposed work will not affect the building envelope.

- ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Valencia NCT Zoning District does not require parking. The proposed use is designed to meet the needs of the immediate neighborhood and should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide. Furthermore, Valencia Street offers a variety of transit options.

- iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed use will not generate any noxious or offensive emissions.

- iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposed use is a tenant improvement in an existing building and would not significantly alter the structure.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purposed of the Valencia Street NCT Zoning District in that the intended use will provide a compatible use for the public during daytime hours.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

NEIGHBORHOOD COMMERCE

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1.1:

Encourage development which provides substantial net benefits and minimizes undesirable consequences. Discourage development that has substantial undesirable consequences that cannot be mitigated.

Policy 1.2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

Policy 1.3:

Locate commercial and industrial activities according to a generalized commercial and industrial land use plan.

The proposed development will provide service to the public and to the neighborhood and will provide resident employment opportunities to those in the community. Further, the Project Site is located within a Neighborhood Commercial District and is thus consistent with activities in the commercial land use plan.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 2.1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the City.

The Project will occupy a previously vacant tenant space and will enhance the diverse economic base of the City.

OBJECTIVE 6:

MAINTAIN AND STRENGTHEN VIABLE NEIGHBORHOOD COMMERCIAL AREAS EASILY ACCESSIBLE TO CITY RESIDENTS.

Policy 6.1:

Ensure and encourage the retention and provision of neighborhood-serving goods and services in the city's neighborhood commercial districts, while recognizing and encouraging diversity among the districts.

No commercial tenant would be displaced and the project would not prevent the district from achieving optimal diversity in the types of goods and services available in the neighborhood.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

- A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The proposal would enhance the district by providing a travel related office use in a Neighborhood Commercial Zoning District. The business creates more employment opportunities for the community. The proposed alterations are within the existing building footprint.

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The existing units in the surrounding neighborhood would not be adversely affected.

- C. That the City's supply of affordable housing be preserved and enhanced,

No housing is removed for this Project.

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The site is on Valencia Street and is well served by transit. It is presumable that the employees would commute by transit thereby mitigating possible impacts on street parking.

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The project will not affect industrial or service sector uses or related employment opportunities. Ownership of industrial or service sector businesses will not be affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

The Project will conform to the structural and seismic safety requirements of the City Building Code. This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

The subject building is identified as an historic building, however, no exterior alterations will be made to the building.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative impact on existing parks and open spaces.

- 10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
- 11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2010.0442C** subject to the following conditions attached hereto as "EXHIBIT A" in general conformance with plans filed with the Application dated May 6, 2010 and stamped "EXHIBIT B", which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on September 16, 2010.

Linda D. Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: September 16, 2010

Exhibit A

Conditions of Approval

1. This authorization is for a Conditional Use Authorization under Planning Code Sections 303, 726.1, and 790.108, to convert the second floor of an existing building to a business or professional service use offering travel-related services, within the Valencia Street Neighborhood Commercial Transit District (Valencia NCT) and a 55-X Height and Bulk District, in general conformance with plans filed with the Application dated May 6, 2010 and stamped "EXHIBIT B" included in the docket for Case No. 2010.0442C, reviewed and approved by the Commission on September 16, 2010.
2. Prior to the issuance of the Building Permit for the Project the Zoning Administrator shall approve and order the recordation of a notice in the Official Records of the Recorder of the City and County of San Francisco for the premises (Assessor's 33644, Lot 009), which notice shall state that construction has been authorized by and is subject to the conditions of this Motion. From time to time after the recordation of such notice, at the request of the Project Sponsor, the Zoning Administrator shall affirm in writing the extent to which the conditions of this Motion have been satisfied.
3. Violation of the conditions contained in this Motion or of any other provisions of the Planning Code may be subject to abatement procedures and fines up to \$250 a day in accordance with Planning Code Section 176.
4. Should monitoring of the Conditions of Approval contained in Exhibit A of this Motion be required, the Project Sponsor or successors shall pay fees as established in Planning Code Section 351(e)(1).
5. The property owner shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean condition. Such maintenance shall include, at a minimum, daily litter pickup and disposal, and washing or steam cleaning of the main entrance and abutting sidewalks at least once each week.
6. Signs and exterior lighting for the business shall be reviewed and approved by the Planning Department before they are installed.
7. The Project shall appoint a Community Liaison Officer to address issues of concern to neighbors related to the operation of this Project. The Project Sponsor shall report the name and telephone number of this Officer to the Zoning Administrator and the neighborhood for reference. The Applicant will keep the above parties apprised should a different staff liaison be designated.
8. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor. This authorization may be extended at the discretion of the Zoning

Administrator only if the failure to issue a permit by the Department of Building Inspection is delayed by a city, state, or federal agency or by appeal of the issuance of such permit.

Parcel Map



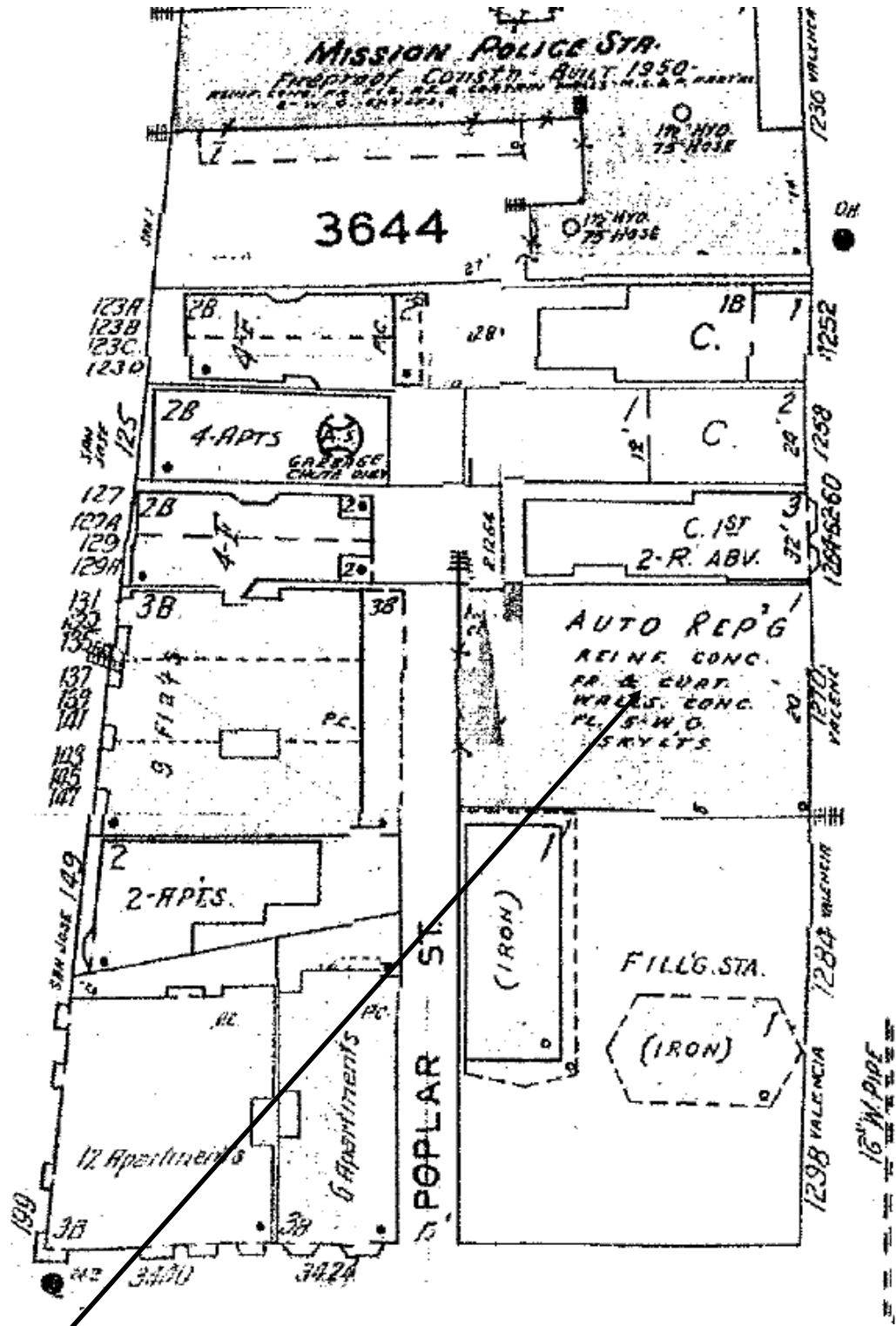
SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2010.0442C
1270 Valencia Street
3644 / 009

Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

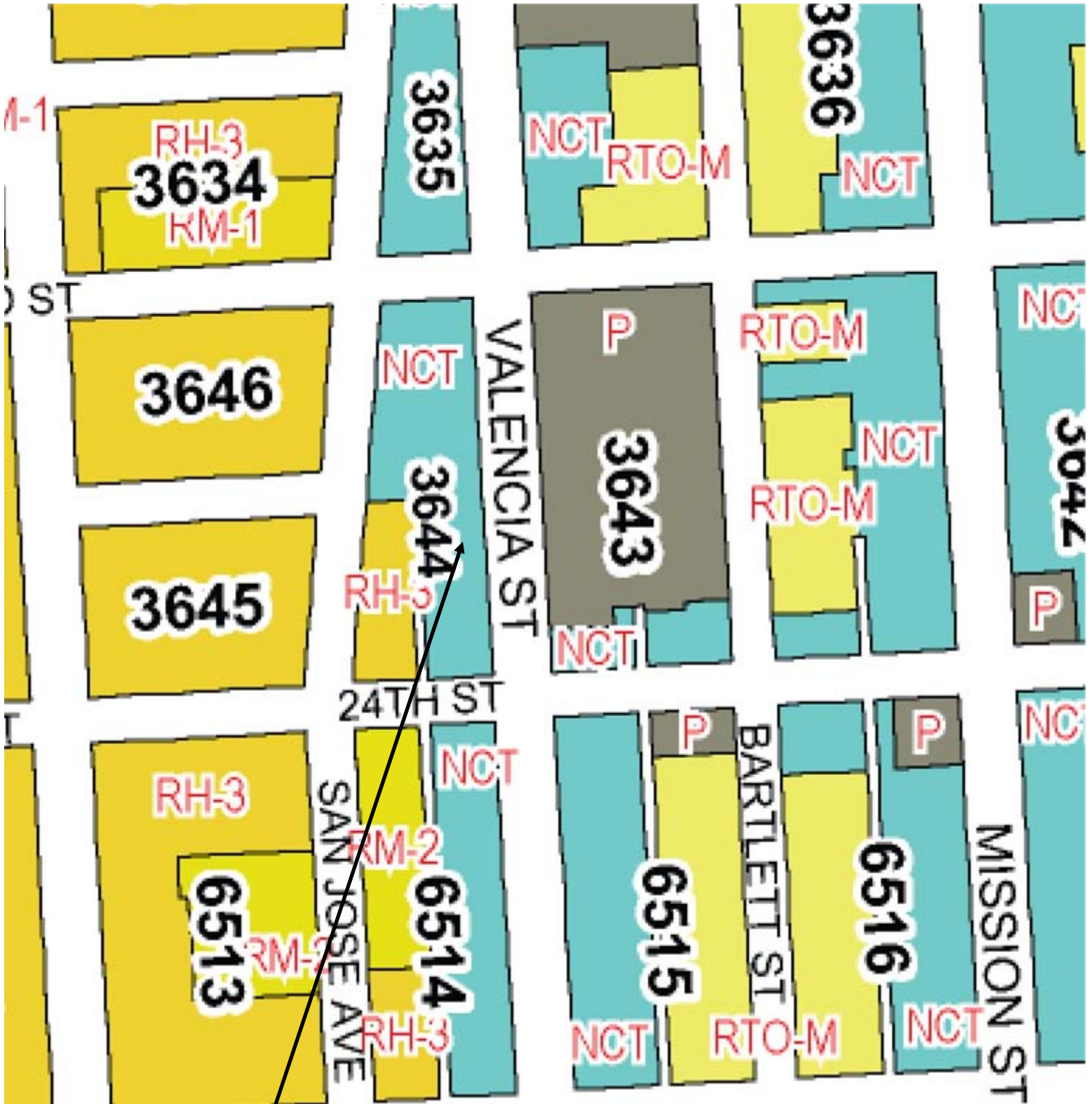


SUBJECT PROPERTY

Conditional Use Hearing
 Case Number 2010.0442C
 1270 Valencia Street
 3644 / 009



Zoning Map

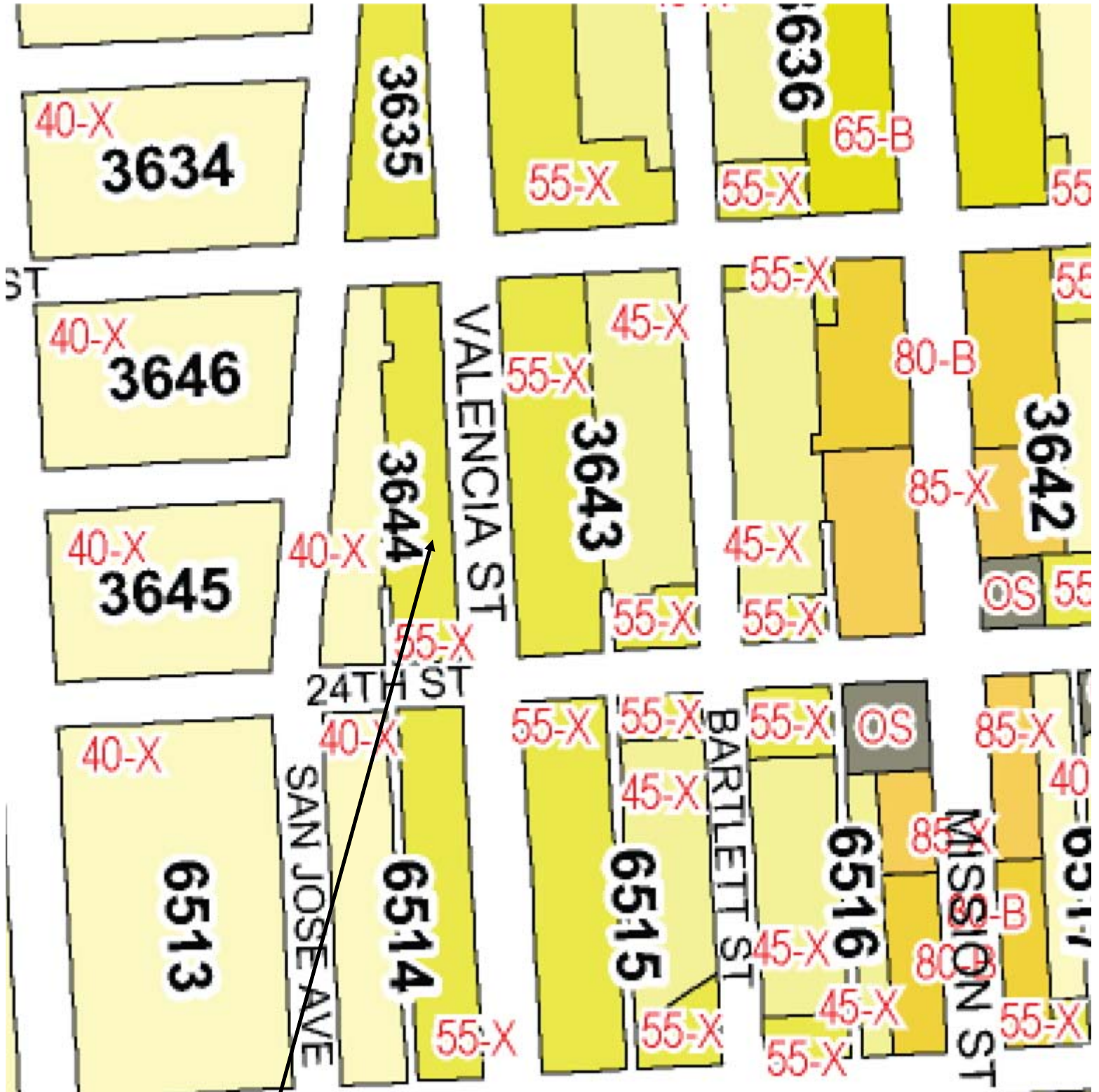


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2010.0442C
1270 Valencia Street
3644 / 009

Height & Bulk Map

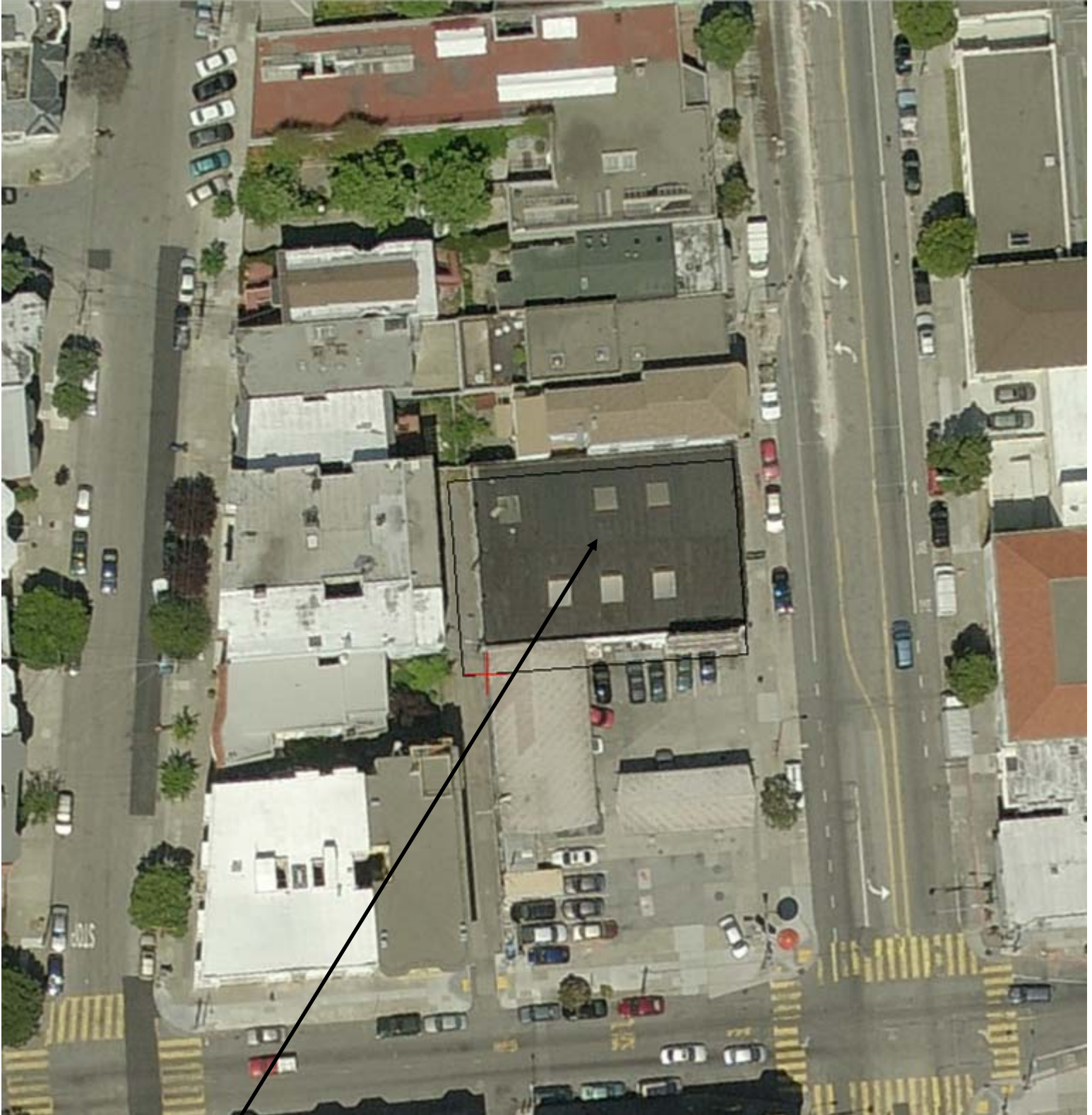


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2010.0442C
1270 Valencia Street
3644 / 009

Aerial Photograph

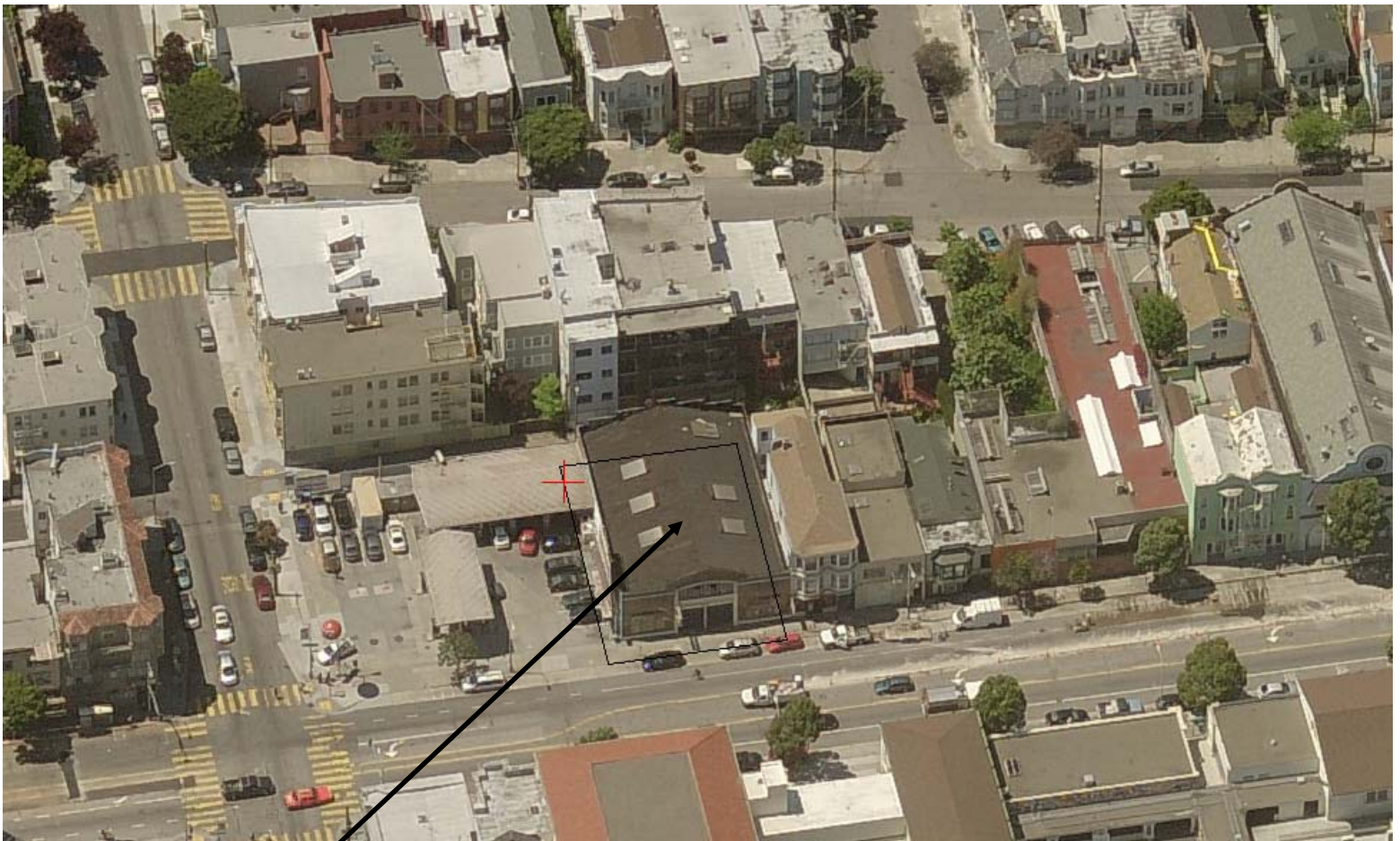


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2010.0442C
1270 Valencia Street
3644 / 009

Site Photographs



SUBJECT PROPERTY

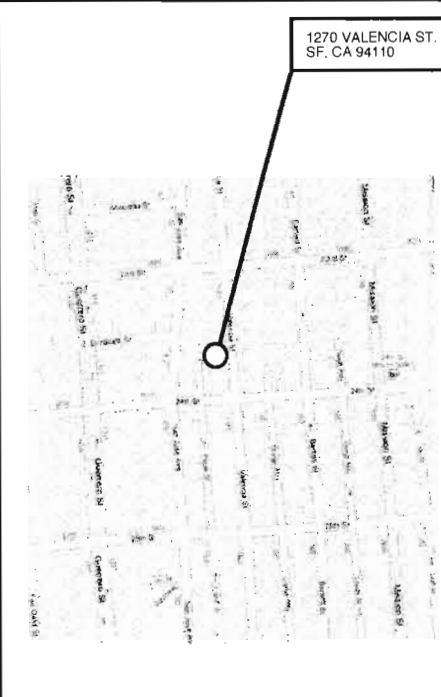


Conditional Use Hearing
Case Number 2010.0442C
1270 Valencia Street
3644 / 009

GENERAL NOTES -

- ALL CONSTRUCTION SHALL CONFORM TO THE 2007 CBC, 2007 CMC, 2007 CPC, 2007 CFC, 2007 NEC AND ANY OTHER GOVERNING CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE TO FACE OF STUD OR CONCRETE IN PLAN UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO TOP OF PLATE OR TOP OF SUBFLOOR IN SECTION OR ELEVATION UNLESS OTHERWISE NOTED.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY DIMENSIONS AND CONDITIONS AT THE JOB SITE.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- VERIFY BOTH EXISTING AND FINISH GRADES WITH CIVIL AND LANDSCAPE DRAWINGS.
- VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL AND MECHANICAL / ELECTRICAL DRAWINGS BEFORE THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- COORDINATE ALL DETAILS WITH SHEAR WALLS AND ENCASED STRUCTURAL POSTS AS REQUIRED BY THE STRUCTURAL DRAWINGS.
- INSTALL BATT INSULATION BETWEEN STUDS AND JOISTS AT ALL EXTERIOR WALLS, CEILINGS, AND FLOORS EXCEPT WHERE SHOWN ON THE DRAWINGS.
- WINDOW SIZES AND DOOR HEAD HEIGHTS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.
- WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED ON THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- SEALANT, CAULKING, AND FLASHING, ETC., LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- ALL ATTICS, RAFTER SPACES, SOFFITS, CRAWL SPACES, ETC., SHALL BE FULLY VENTILATED.
- VERIFY THE BUILDING LOCATION AND PAD ELEVATIONS WITH CIVIL DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- DOORS, WINDOWS, KEYING, LIGHTING, AND NUMBERING SHALL COMPLY WITH THE STATE AND LOCAL BUILDING SECURITY ORDINANCES.
- PROVIDE WOOD BACKING FOR ALL TOWEL BARS, SHELF BRACKETS, ETC.
- MEET ALL CALIFORNIA ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO:
 - MINIMUM ROOF / CEILING INSULATION R-30, CONCRETE SLAB INSULATION NOT REQUIRED
 - MINIMUM WALL INSULATION IN FRAMED EXTERIOR WALLS R-13, USE R-19 WHERE POSSIBLE. ALL INSULATION TO MEET CEC QUALITY STANDARDS.
 - MINIMUM FLOOR INSULATION OVER CRAWL OR UNOCCUPIED SPACES R-19; CONCRETE SLAB INSULATION NOT REQUIRED.
 - INFILTRATION CONTROL:
 - DOORS AND WINDOWS WEATHERSTRIPPED
 - EXHAUST SYSTEMS DAMPERED
 - DOORS AND WINDOWS CEC-CERTIFIED AND LABELED
 - ALL JOINTS AND PENETRATIONS CAULKED AND SEALED
 - DUCTS CONSTRUCTED, AND INSTALLED PER UMC
 - SPACE CONDITIONING EQUIPMENT SIZING: REVIEW CALCS IN ENERGY REPORT
 - SET-BACK THERMOSTAT REQUIRED ON ALL HEATING AND COOLING SYSTEMS
 - WATER HEATER BLANKET INSULATION (R-12 MIN.); FIRST 20 FEET OF PIPES CLOSEST TO TANK INSULATED (R-3 MIN.)
 - HVAC EQUIPMENT, WATER HEATERS, SHOWER HEADS, AND FAUCETS MUST BE CEC CERTIFIED
 - ALL WINDOWS TO BE DOUBLE GLAZED EXCEPT AS NOTED. CONFIRM WITH DRAWINGS AND OWNER
 - LIGHTING - 40 LUMENS / WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS AND BATHROOMS PER 2007 T24 STANDARD. IF MORE THAN ONE LIGHT IS PROVIDED IN BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT
 - ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON ALL RECEPTACLE SWITCHES OR ELECTRICAL BASES ON EXTERIOR WALLS
- REFERENCE PAF# 2007.12.10.0140 FOR BUILDING, STAIRS, AND EGRESS COMPLIANCE

4 GENERAL NOTES
N.T.S.



2 SITE LOCATION
1/16"=1'-0"

SYMBOLS

- Section no. (1/A0.0) Section marker
- Detail no. (1/A0.0) Detail marker
- Elev. no. (1/A0.0) Interior elevation marker
- Room name (1/A0.0) Room identification
- Door identification (D-01) Door identification
- Window identification (A) Window identification
- Revision symbol (A) Revision symbol
- North arrow (N) North arrow

WALLS

- EXISTING WALL
- NEW WALL
- EXISTING BRICK SIDING
- NEW WALL FINISHING
- DEMOLITION WALL

6 PROJECT SYMBOLS
N.T.S.

OWNER

RON MALLIA
1270 VALENCIA STREET
SAN FRANCISCO, CA

ARCHITECT

MICHAEL HARRIS, AIA
101 SOUTH PARK
SAN FRANCISCO, CA 94107
PH. 415. 243.8272
F. 415.543.8679

SCOPE OF WORK:

INTERIOR REMODEL AS SHOWN ON ALL. WORK IS LIMITED TO THE INTERIOR REMODEL OF AN EXISTING STORAGE SPACE (5'2" OCCUPANCY) TO OFFICES (B OCCUPANCY). NEW KITCHENETTE AND TWO BATHROOMS WILL BE ADDED. STAIR EGRESS EXISTING. THIS PERMIT DOES NOT INCLUDE ANY WORK TO OTHER FLOORS OR SPACES.

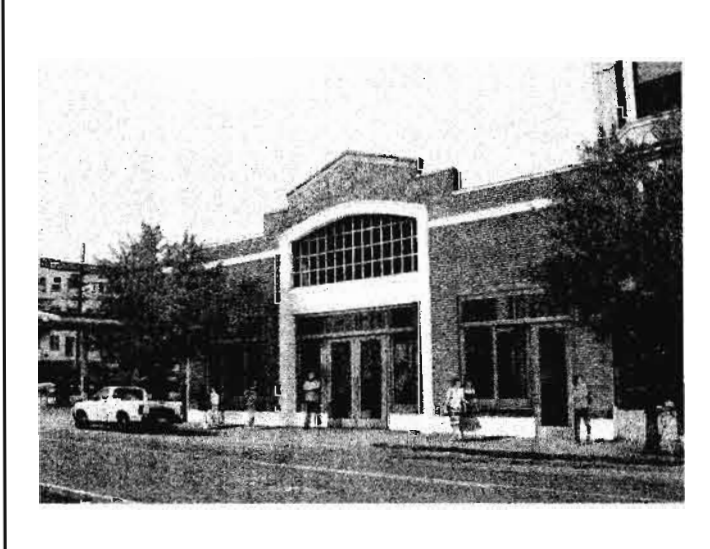
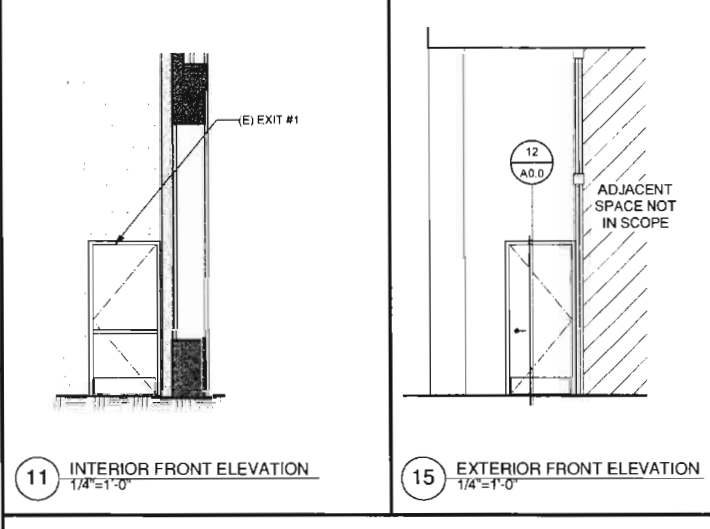
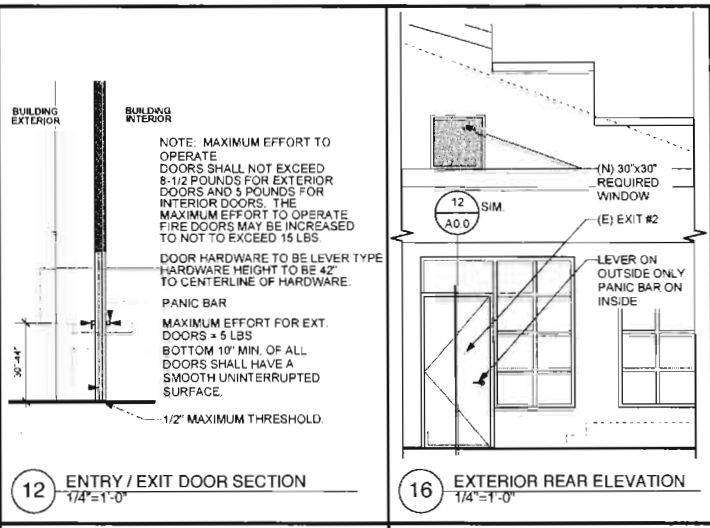
OCCUPANCY SEPARATIONS

PER TABLE 3-B-A, 2-HOUR SEPARATION IS REQUIRED BETWEEN A AND B OCCUPANCIES. THE 1ST FLOOR (A OCCUPANCY) AND 2ND FLOOR (B OCCUPANCY) ARE SEPARATED BY AN EXISTING 2-HOUR CEILING.

SPACE OCCUPANCY
TYPE OF CONSTRUCTION
BLOCK #
ZONING

EXISTING	PROPOSED
S-2	B
V-NR	V-NR
3644	3644
009	009
NC-3	NC-3

1 PROJECT DATA
N.T.S.

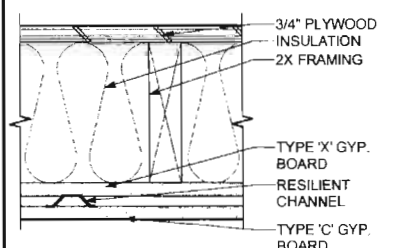


10 PROPOSED IMAGE
N.T.S.

ARCHITECTURAL

- A0.0 TITLE SHEET
- A0.1 EXISTING AND EGRESS
- A1.1 EXISTING PLAN, PROPOSED PLAN
- A1.2 LIGHTING PLAN / RCP
- A2.1 ENLARGED BATHROOM, ENLARGED KITCHEN, ADA TYPICALS, GENERAL NOTES

9 PROJECT INDEX
N.T.S.



13 2 HOUR CEILING DETAIL TYPICAL
3"=1'-0"

D.A. CHECKLIST (p. 1 of 2):

The address of the project is 1272 VALENCIA STREET

For ALL tenant improvement projects in commercial use spaces, this checklist is required to be reproduced on the plan set and stored.

- The proposed use of the project is OFFICES (e.g. Retail, Office, Restaurant, etc.)
- Describe the area of remodel, including which floor: UPPER FLOOR - SPACE #4 REMODEL ONLY
- The construction cost of this project excluding disabled access upgrades is \$ 20,000, which is (check one) more than / less than the Accessibility Threshold amount of \$ 126,765 based on the "2006 ENR Construction Cost Index" (The cost index & threshold are updated annually).
- Is this a City project and/or does it receive public funding? Check one: Yes / No. Note: If Yes, then see Step 3 on the Instructions page for additional forms required.

Conditions below must be fully documented by accompanying drawings (Read A through G below carefully and check the most applicable box (one box only):

A: All existing conditions serving the area of remodel fully comply with access requirements. No further upgrades are required.

B: All existing conditions serving the area of remodel that do not fully comply with access requirements will be fully upgraded with this project.

C: Proposed project (check one) is less than the threshold / is over the threshold & falls under CBC 11348.2.1 Ex. 2: Partial upgrades, including Equivalent Facilitation will be provided up to 20% of the project value as itemized on Form C. Priority of upgrades are to be considered in the order listed on p. 2 of the D.A. Checklist. Fill out (hardship request form(s) for non-complying items, including for Equivalent Facilitation items. Checking box C means there are still non-complying items serving the area of remodel.

D: Access features will either fully comply or be provided with Code defined Equivalent Facilitation. Submit an Unreasonable Hardship Request (UHR) for the Equivalent Facilitation items.

E: Hardship appeal to be filed with Access Appeals Commission (AAC). Note: No further plan check will be performed until access items have been resolved before the Access Appeals Commission.

F: Consisting only of Barrier Removal, Notice of Accessibility Violation (NOV) Compliance or Exempted Work; Fill out Form F.

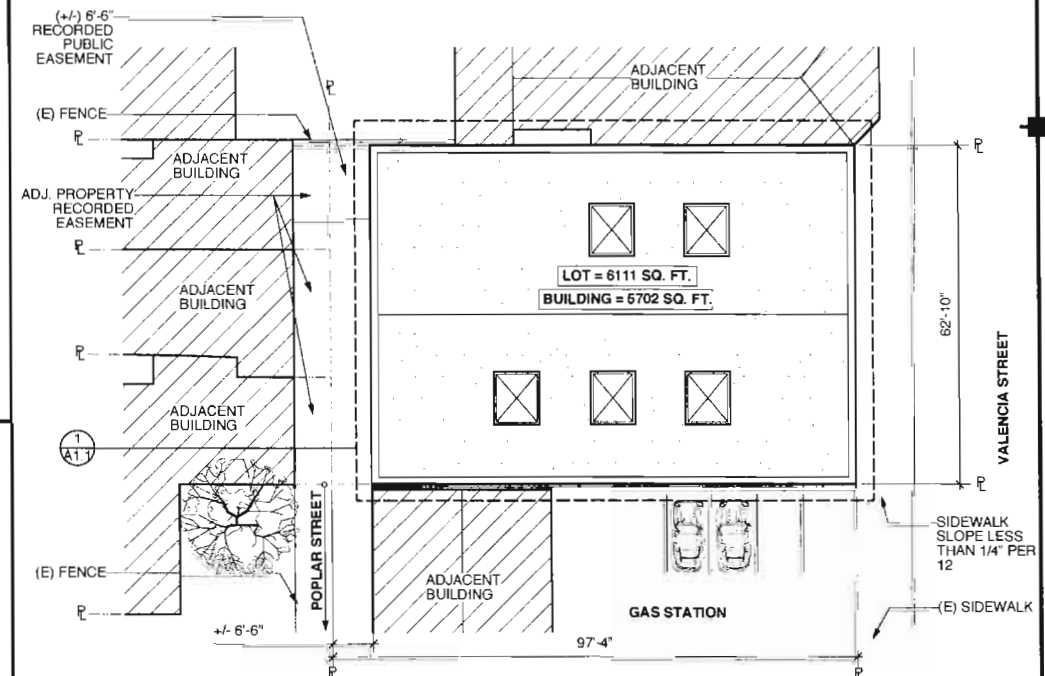
G: Minor revision to previously approved permit drawings only. (Note: This shall NOT be used for new or additional work) Provide previous approved permit application here: _____ Description of revision: _____

D.A. CHECKLIST (p. 2 of 2):

Check all applicable boxes and specify where on the drawings the details are shown:

Notes: upgrades below are listed in priority based on CBC 11348.2.1 Ex. 1	Existing Fully Complying	Upgrade to Fully Complying	Partial Upgrade / Hardship	Equivalent Facilitation / Hardship	None existing & not req'd by Code	Access Appeals Commission	Barrier Removal NOV	Location of detail(s) include detail no. & drawing sheet (fill out where appropriate)	Comments/Construction Cost
1. One accessible entrance serving the area of remodel. Note: This should be a primary entrance. Adu upgrade may be required if it is not.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A0.0, A0.1	
2. An accessible route to the area of remodel:									
2a. path of travel	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A0.1, A1.1	
2b. ramps	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
2c. elevator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
2d. stairs (if no elevator)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		REF: PAF# 2007.12.10.0140 FOR EXISTING COMPLIANCE
2e. other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
3. At least one accessible restroom for each sex serving the area of remodel.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A0.1, A1.1, A2.1	
4. Accessible public pay phone.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
5. Accessible drinking fountains (h=low)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
6. Signage.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A1.1	
7. Visual Alarm.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
8. Others:									
Parking	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
path from parking area	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
Shower	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		

18 DA CHECKLIST
N.T.S.



17 SITE PLAN
1/16"=1'-0"

MICHAEL HARRIS ARCHITECTURE

101 SOUTH PARK
SAN FRANCISCO
CA 94107

415 243 8272
FAX 543 8679

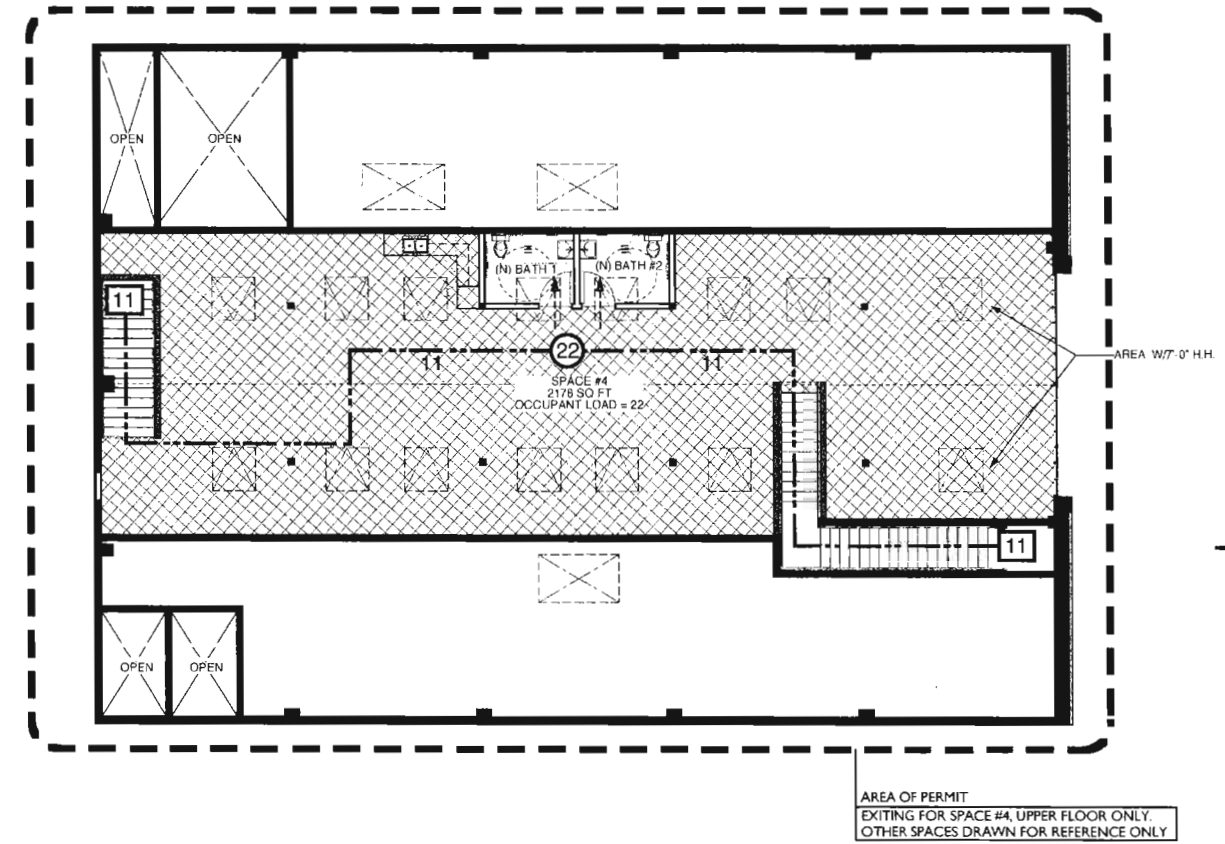
1272 VALENCIA ST
SAN FRANCISCO, CA

TITLE SHEET

- PROJECT NUMBER
- DRAWN BY MICHAEL HARRIS ARCHITECTURE
- DATE MAY 6, 2010 (J.HARRIS)
- PLANNING PERMIT SET
- BLDG. PERMIT SET
- PRELIM. BID
- BID SET
- CONSTRUCTION SET
- BLDG. PERMIT RESUB
- REVISION

A0.0













4 EXITING DIAGRAM - UPPER ATTIC
3/32"=1'-0"

EGRESS LOAD

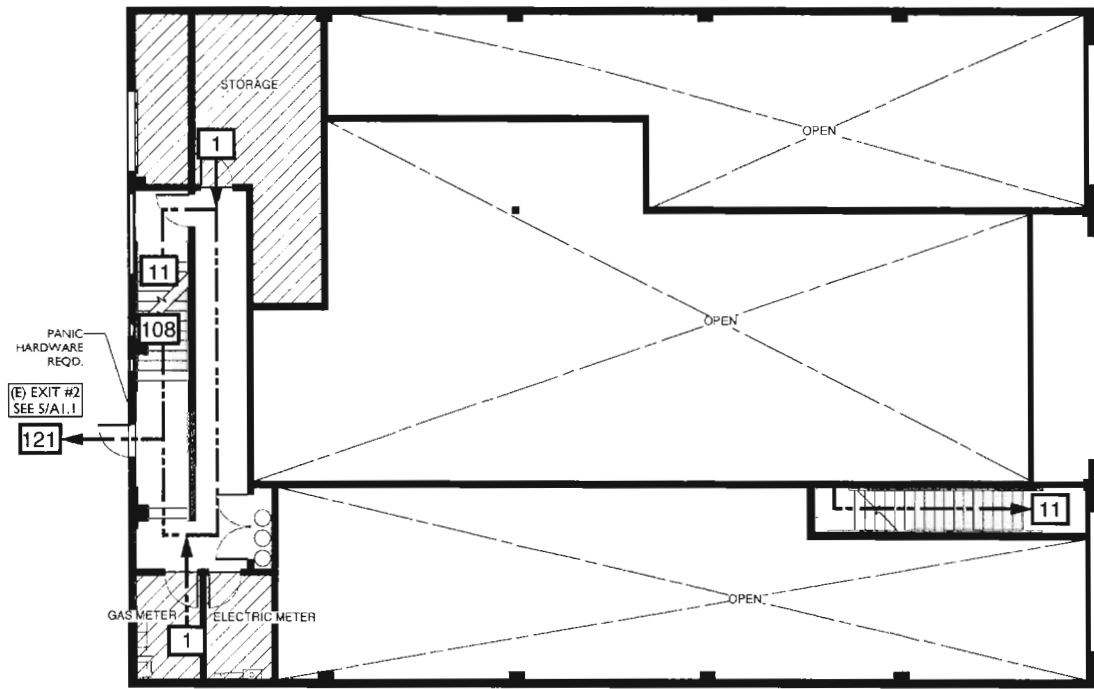
SPACE	SIZE (SF)	OCCUPANCY / LOAD		OCCUPANCY	OCCUPANCY (REAR STAIRWAY)	EXIT EGRESS (STAIRWAY)	EXIT EGRESS (DOOR)	REQ'D EXIT WIDTH (STAIRWAY)	REQ'D EXIT WIDTH (DOOR)
		TYPE	P/SF						
SPACE #1	1088	M/B	100	11					
SPACE #2	2038	A	15	136					
SPACE #3 (UNCONCENTRATED)	1183	A	15	80					
SPACE #3 BAR/FOOD PREP	143	A	200	1					
POPLAR STREET LEVEL	489	SP	300	2					
SPACE #4	2178	B	100	22					
TOTAL	0			252	121	0.3	0.2	3'1"	2'1"

NOTE STAIR IS 60" WIDE
NOTE DOOR IS 36" WIDE

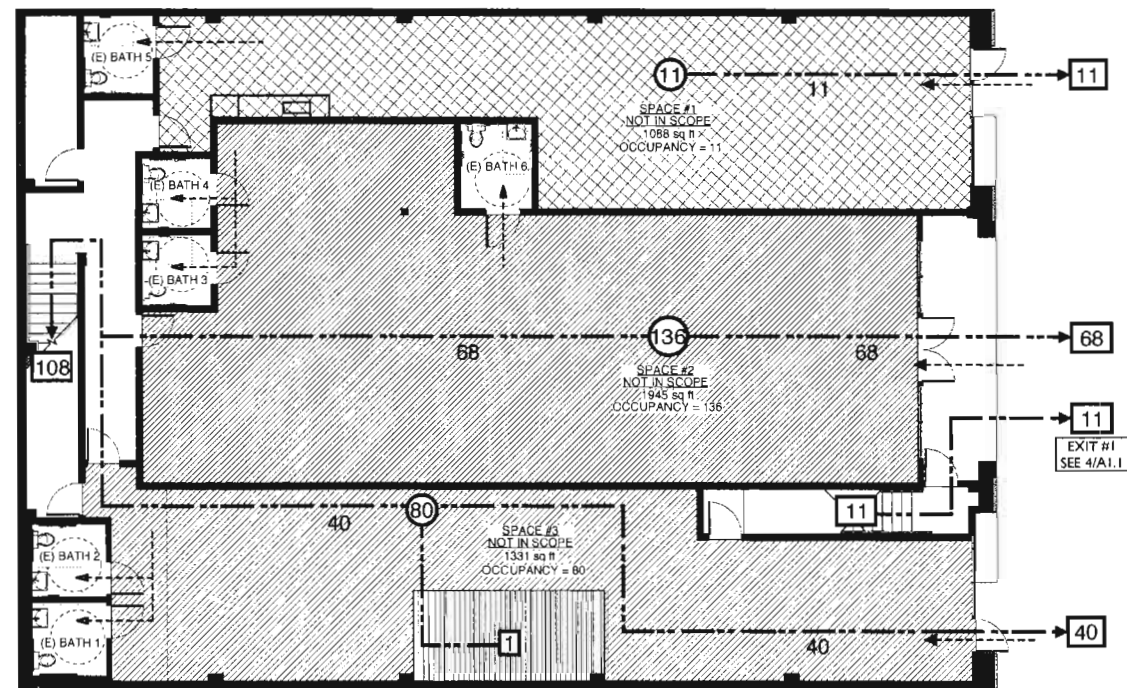
LEGEND

-  EXISTING WALL
-  NEW WALL
-  NEW WALL/FURRING
-  M/B OCCUPANCY
-  A OCCUPANCY
-  S2 OCCUPANCY
-  EGRESS PATH OF TRAVEL
-  ACCESSIBLE ENTRY & PATH TO ACCESSIBLE BATHROOMS AND FIXTURES

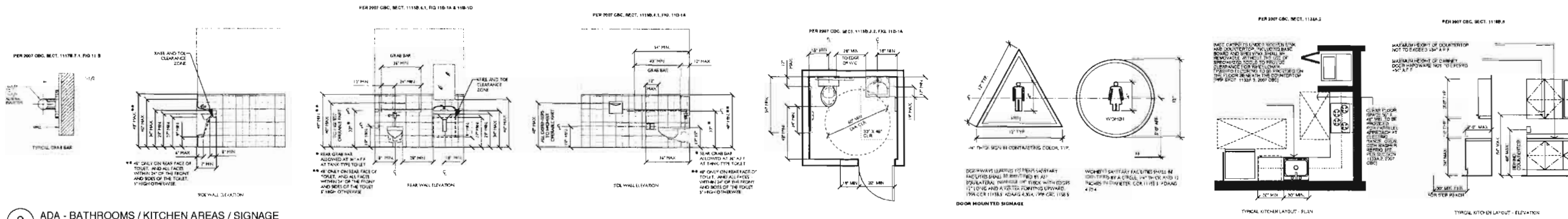
3 EGRESS LOAD / NOTES
N.T.S.



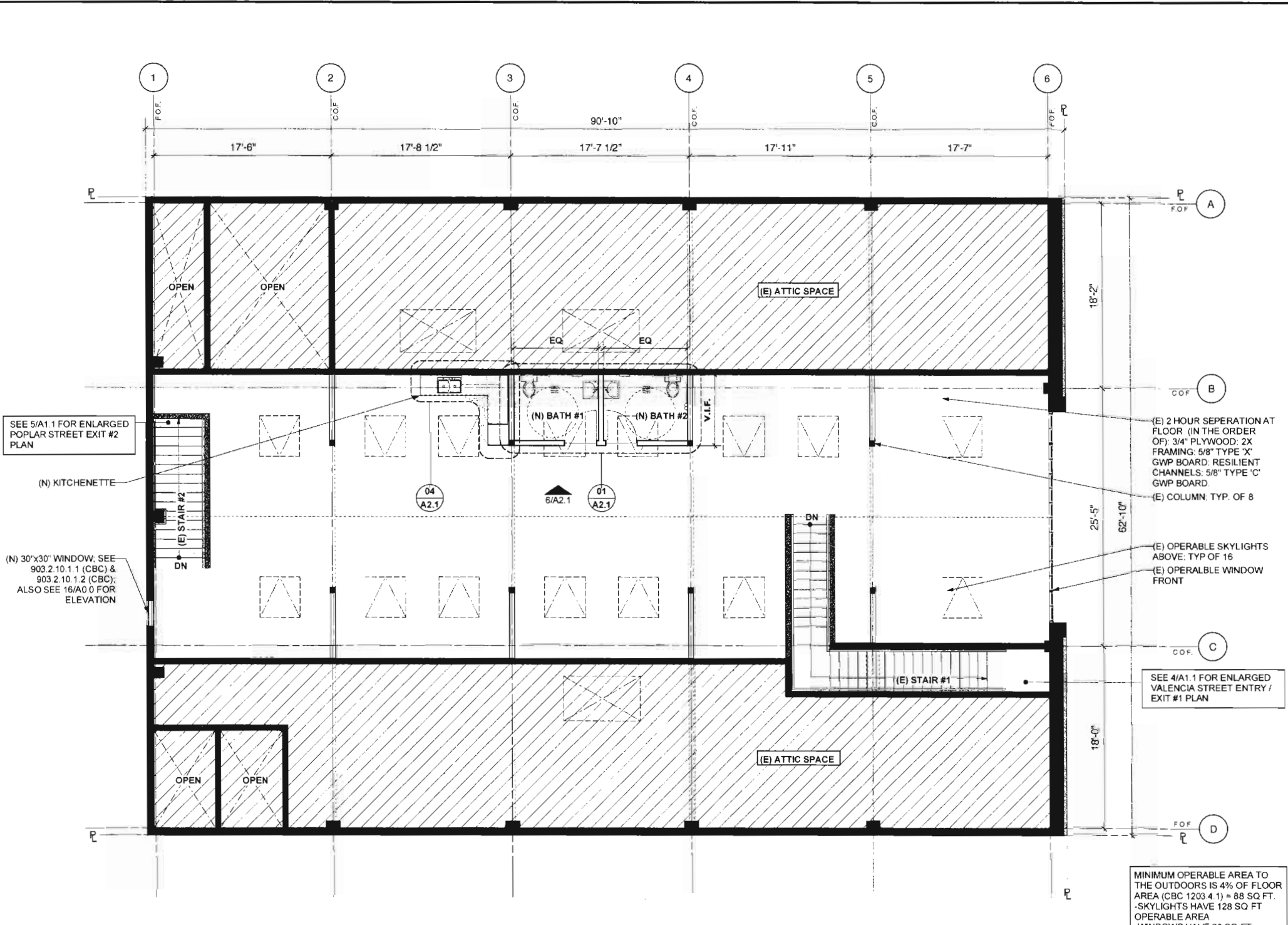
2 EXITING DIAGRAM - POPLAR STREET LEVEL
3/32"=1'-0"



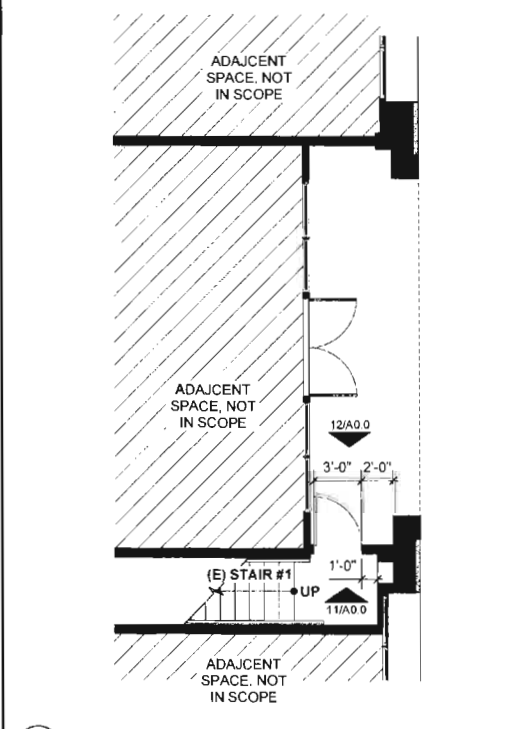
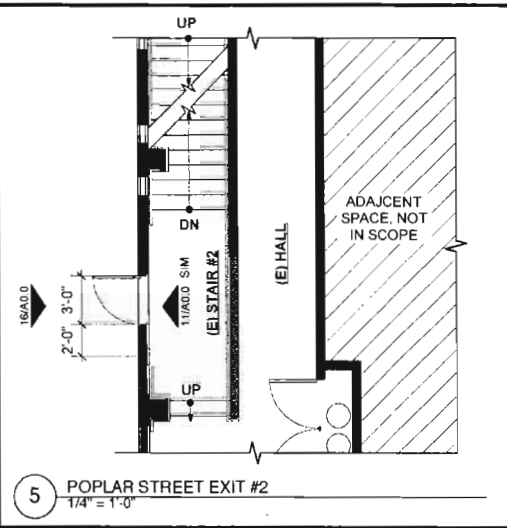
1 EXITING DIAGRAM - 1ST FLOOR
3/32"=1'-0"



2 ADA - BATHROOMS / KITCHEN AREAS / SIGNAGE
N.T.S.



1 1ST FLOOR PLAN
1/8"=1'-0"



LEGEND

- EXISTING WALL (FULL)
- EXISTING WALL (PARTIAL)
- NEW WALL
- NOT IN SCOPE

3 NOTES
N.T.S.

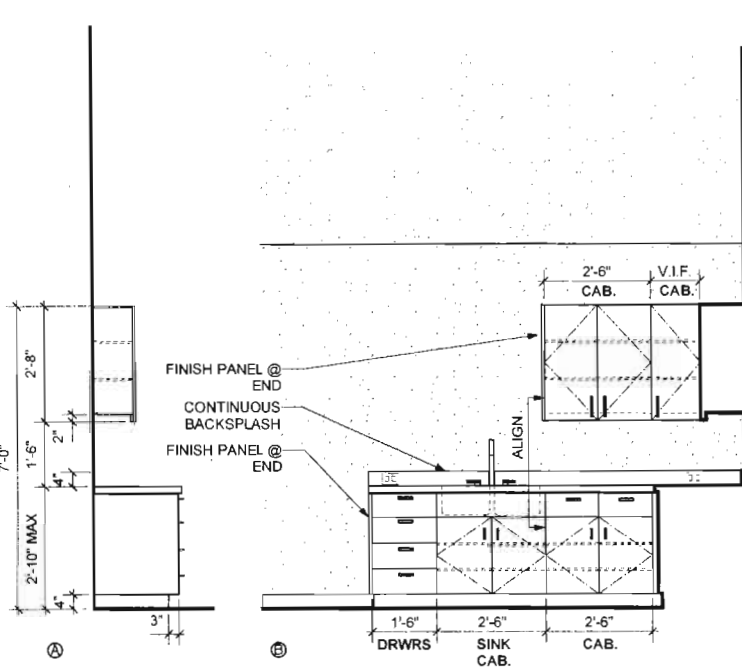
1272 VALENCIA ST
SAN FRANCISCO, CA

FLOOR PLAN

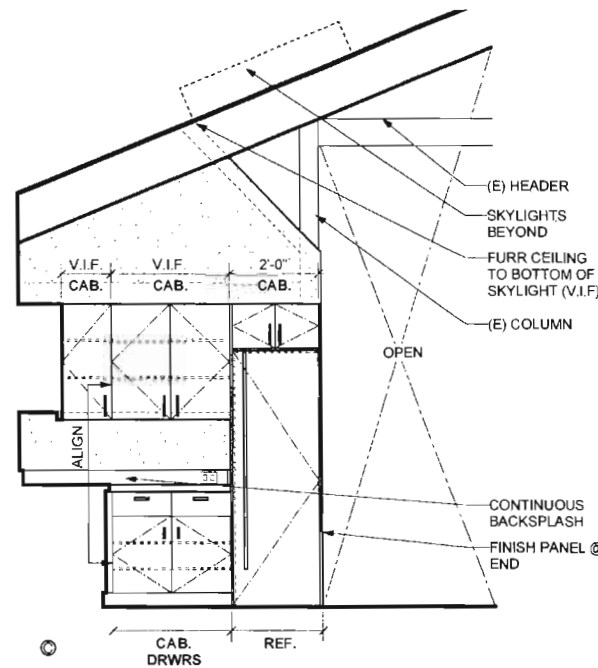
PROJECT NUMBER	MICHAEL HARRIS ARCHITECTURE
DRAWN BY	MAY 6, 2010 (J.HARRIS)
DATE	
PLANNING PERMIT SET	
BLDG. PERMIT SET	
PRELIM. BID	
BID SET	
CONSTRUCTION SET	
BLDG. PERMIT RESUB	
REVISION	

A1.1

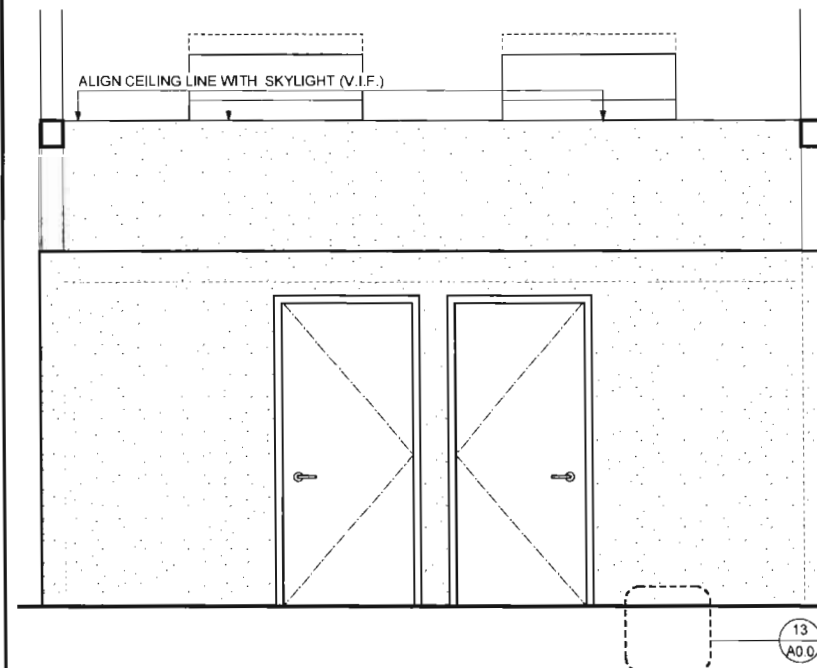




3 INTERIOR ELEVATION - KITCHENETTE
1/2"=1'-0"



SEE 5/A1.1 FOR ADDITIONAL ADA NOTES



6 EXTERIOR BATHROOM ELEVATION
1/2"=1'-0"

BATHROOM KEYNOTE LEGEND

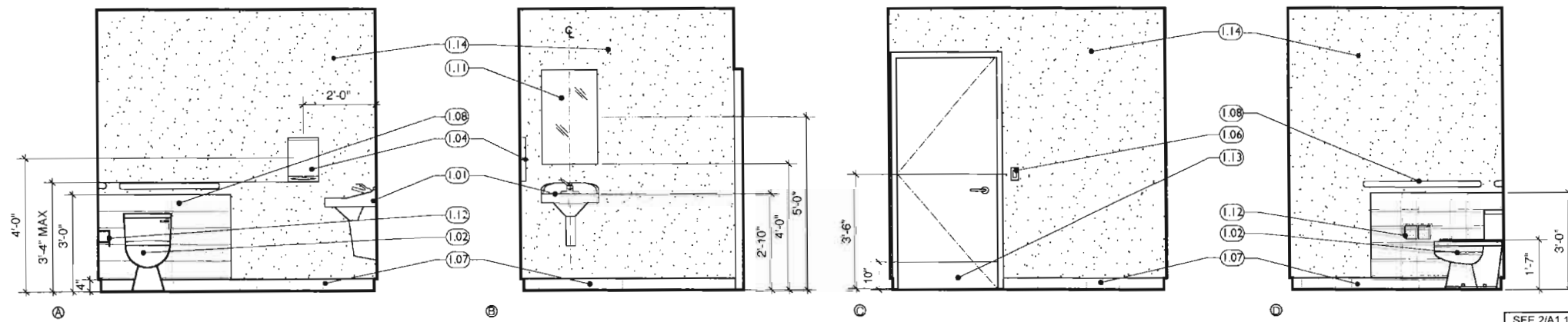
- 1.01 WALL-HUNG LAVATORY W/ SINGLE HOLE FAUCET/MIXER
- 1.02 FLOOR MTD. W.C. AND FLUSH CONTROLS
- 1.03 BLOCKING TO BE PROVIDED FOR INSTALLATION OF GRAB BARS. BLOCKING TO ALLOW FOR 42" BAR ON WALL ADJACENT TO TOILET AND 36" BAR BEHIND BAR TO EXTEND 24" FROM TOILET RIM.
- 1.04 WALL MTD. PAPER TOWEL DISPENSER. SEE ELEV FOR LOCATION AND A1.3
- 1.05 FLOOR TILE OR EPOXY FINISH
- 1.06 LIGHT SWITCH
- 1.07 5" MIN RUBBER BASE OR TILE FRP OR TILE
- 1.11 WALL MTD. MIRROR: CTR. ON LAVATORY, TYP.
- 1.12 WALL MTD. TOILET PAPER HOLDER. SEE 13/A1.3, TYP.
- 1.13 KICK PLATE ON INSIDE OF DOOR, TYP.
- 1.14 PAINTED GWB WALL
- 1.15 PAINTED BRICK WALL
- 1.16 (E) COLUMN
- 1.17 EXHAUST FAN ABOVE

8 BATH NOTES
N.T.S.

MICHAEL HARRIS ARCHITECTURE

101 SOUTH PARK
SAN FRANCISCO
CA 94107

415 243 8272
FAX 543 8679



2 INTERIOR ELEVATION - BATH #1
1/2"=1'-0"

SEE 2/A1.1 FOR ADDITIONAL ADA NOTES

GENERAL ACCESS NOTES FOR SANITARY FACILITIES:

PER 2007 CBC, SECT. 1115B.1
SANITARY FACILITIES THAT SERVE BUILDINGS, FACILITIES OR PORTIONS OF BUILDING FACILITIES THAT ARE REQUIRED BY THESE STANDARDS TO BE ACCESSIBLE TO PERSONS WITH DISABILITIES SHALL BE ON AN ACCESSIBLE ROUT SHALL CONFORM TO THE REQUIREMENTS OF THE 2007 CBC, SECTION 1115B.1.

TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE, OR OTHER APPROVED MATERIALS WHICH EXTENDS UPWARD ONTO THE WALLS AT LEAST 5". WALLS WITHIN WATER CLOSETS COMPARTMENTS AND WALLS WITHIN 24" OF THE FRONT AND SIDES OF URINALS SHALL BE SIMILARLY FINISHED TO A HEIGHT OF 48" AND, EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE. [PER 2007 CBC, SECT. 1115B.3]

FLUSH CONTROLS FOR WATER CLOSET AND URINALS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LB. ELECTRONIC AUTOMATIC FLUSHING CONTROLS ARE ACCEPTABLE AND PREFERABLE. [PER 2007 CBC, SECT. 1115B.1, 2007 CBC]

FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LB. LEVER-OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS (PREFERABLE) ARE EXAMPLES OF ACCEPTABLE DESIGN. SELF CLOSING FAUCET VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS. [PER 2007 CBC, SECT. 1115B.4.3]

STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS, FASTENERS AND MOUNTING DEVICES SHALL MEET THE FOLLOWING SPECIFICATIONS [PER 2007 CBC, SECT. 1115B.7.2]:

1. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF A 250-LB POINT LOAD SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
2. SHEAR STRESSES INDUCED IN THE GRAB BAR OR SEAT INDUCED BY THE APPLICATION OF A 250-LB POINT LOAD SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT, AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.
3. SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF A 250-LB. POINT LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
4. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF A 250-LB. POINT LOAD, PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF A 250-LB. POINT LOAD, SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND THE SUPPORTING STRUCTURE.
5. GRAB BARS SHALL NOT ROTATE IN THEIR FITTINGS A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8" [PER 2007 CBC, SECT. 1115B.7.3]

GENERAL NOTES

1. BATHROOMS TO HAVE EXHAUST FANS @ 82 CFM
2. BATHROOMS TO HAVE OCCUPANCY SENSOR SWITCH
3. SEE A1.2 FOR INFORMATION RCP INFORMATION

LEGEND

- EXISTING WALL
- NEW WALL

7 NOTES
N.T.S.

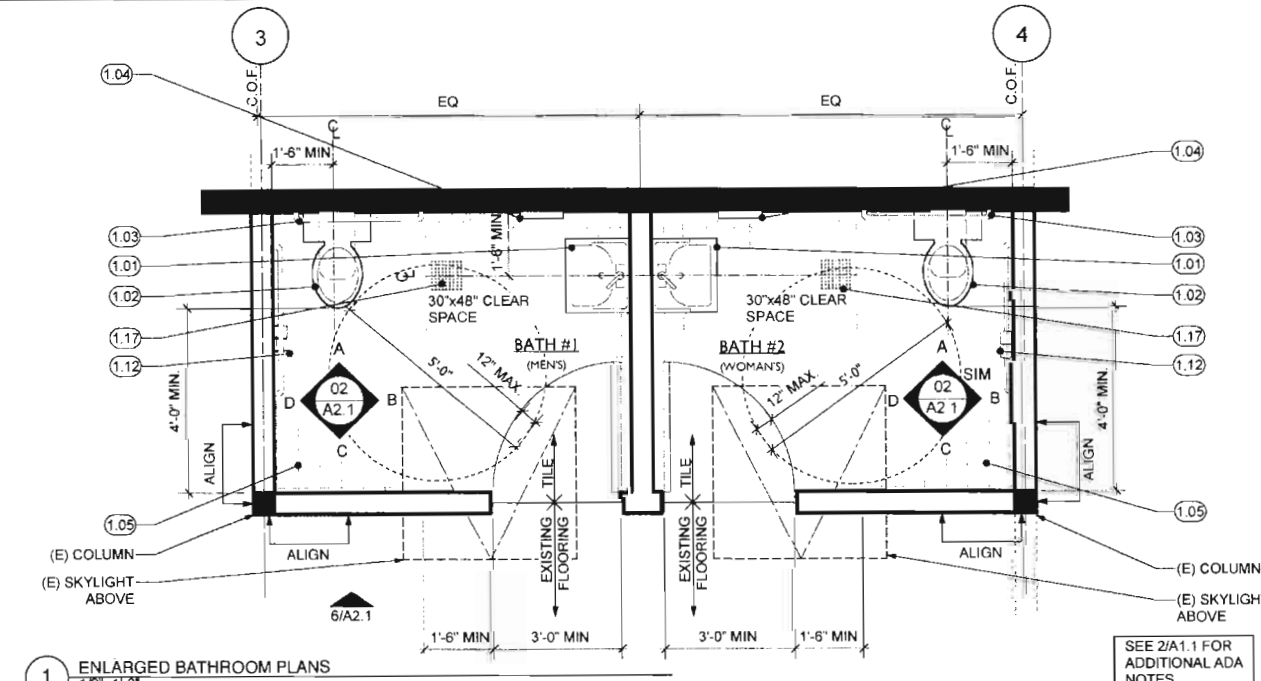
1272 VALENCIA ST
SAN FRANCISCO, CA

ENLARGED BATHROOM
ENLARGED MILLWORK

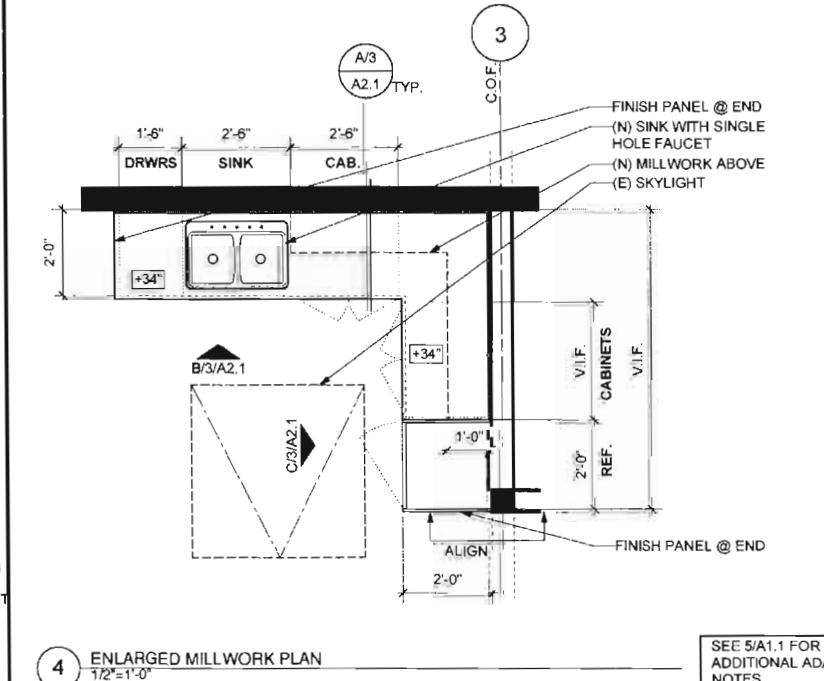
PROJECT NUMBER	MICHAEL HARRIS ARCHITECTURE
DRAWN BY	MAY 6, 2010 (J.HARRIS)
DATE	
PLANNING PERMIT SET	
BLDG PERMIT SET	
PRELIM. BID	
BID SET	
CONSTRUCTION SET	
BLDG. PERMIT RESUB	
REVISION	A

A2.1

N



1 ENLARGED BATHROOM PLANS
1/2"=1'-0"



4 ENLARGED MILLWORK PLAN
1/2"=1'-0"