



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Memo to the Planning Commission

HEARING DATE: AUGUST 5, 2010

(Continued from July 15, 2010, Hearing)

*Date:* July 29, 2010  
*Case No.:* 2010.0236 DDD  
*Project Address:* 71 CUVIER STREET  
*Permit Application:* 2009.10.15.9021  
*Zoning:* RH-1 (Residential, House Districts, One-Family)  
40-X Height and Bulk District  
*Block/Lot:* 6722/018  
*Project Sponsor:* Emily Huang  
1736 Stockton Street  
San Francisco, CA 94133  
*Staff Contact:* Corey Teague – (415) 575-9081  
[corey.teague@sfgov.org](mailto:corey.teague@sfgov.org)

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**

### NEW MATERIAL

This project was originally scheduled to be heard at the June 10<sup>th</sup> hearing. However, the Project Sponsor and DR Requestors agreed to two continuances while they worked towards a mutual agreement. While an agreement is still possible, it has not been finalized as of the date of this memo.

The enclosed case packet is a reprinting of the original packet published on June 3, 2010. While no materials or analysis have been revised, the original photos included with the DR Requestors' applications were added.

Please feel free to contact me with any questions or comments you may have.



# SAN FRANCISCO PLANNING DEPARTMENT

## Discretionary Review Analysis

HEARING DATE JUNE 10, 2010

*Date:* June 3, 2010  
*Case No.:* 2010.0236 DDD  
*Project Address:* 71 CUVIER STREET  
*Permit Application:* 2009.10.15.9021  
*Zoning:* RH-1 (Residential, House Districts, One-Family)  
40-X Height and Bulk District  
*Block/Lot:* 6722/018  
*Project Sponsor:* Emily Huang  
1736 Stockton Street  
San Francisco, CA 94133  
*Staff Contact:* Corey Teague – (415) 575-9081  
[corey.teague@sfgov.org](mailto:corey.teague@sfgov.org)  
*Recommendation:* **Do not take DR and approve project as proposed.**

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### PROJECT DESCRIPTION

The proposal is to construct a new three-story single-family home. The proposed house includes four bedrooms on the third floor, the living room, dining room, and other living space on the second floor, and a home office area, guest room, and two tandem parking spaces on the ground floor. The front of the house is 30 feet high, measured from the curb to the roof line (31 feet 4 inches to the top of the parapet). The rear of the house is approximately 34 feet, measured from grade. The rear of the third floor includes an "L" shaped setback of four feet from the rear and three feet from the northern property line. A rear deck with a depth of 3 feet 5 inches accesses the second floor and includes a spiral staircase to grade.

### SITE DESCRIPTION AND PRESENT USE

The Project site is a standard 25 by 100 foot (2500 square feet) lot that is currently vacant. A two-story single-family home previously occupied the site. However, it was significantly damaged by a fire in February 2008. The damaged home was deemed a hazard by the Department of Building Inspection and eventually demolished in October 2009 as a result.

### SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Project site lies in a large area of RH-1 zoning near the intersection of I-280 and San Jose Avenue. The subject block of Cuvier Street dead-ends at the southern border of San Jose Avenue and includes a variety of building types and sizes. Single-family homes are the dominant building type in the area, which also includes several two-family homes. The predominant scale of the area is two to three stories, and there is no dominant architectural style in the area or along Cuvier Street.

The intersection of Cuvier and Bosworth is two blocks west of Mission Street. Additionally, the St John the Evangelist Catholic Church is nearby on St Mary's Avenue.

### HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	June 1, 2010	June 1, 2010	10 days
Mailed Notice	10 days	June 1, 2010	May 27, 2010	15 days

### PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	1	2 (DR Requestors)	
Other neighbors on the block or directly across the street	6	1 (DR Requestor) 1 (Non-DR Requestor)	1
Neighborhood groups			

Other than the three DR Requestors, the Department received one letter of opposition to the project as proposed from one other property on the same block of Cuvier Street, one phone call of support for the project by a nearby resident, 8 letters of support from neighbors in the immediate area, and 65 letters of support from others in the City.

### DR REQUESTORS

1. **Judith Kucera** – 77 Cuvier Street: Adjacent neighbor to the south.
2. **Ruth Jensen** – 18 Marsilly Street: Adjacent neighbor to the rear (east).
3. **Iliana Hernandez** – 26 Cuvier Street: Further north and across the street on the same block.

### DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

Judith Kucera's concerns include (please see the DR application for a full description):

- The proposal does not meet Code Section 101.1 regarding neighborhood preservation because it is larger than the surrounding homes.
- The proposal's height, proximity, and window placement would negatively impact her access to sunlight and privacy.
- The proposal may result in the death of her property line avocado tree, which currently provides privacy and habitat area and has sentimental value.

#### Proposed Alternatives:

- Using the footprint of the original house that was demolished due to fire damage;
- Reduce the ceiling heights of the first and third floor to 8 feet and 9 feet, respectively;
- Remove the parapet or use a see-through material;

- Set the third floor back nine feet six inches at the front; and
- Provide a five foot side setback at the rear to protect the roots of the property line avocado tree and address privacy issues.

Ruth Jensen's concerns include (please see the DR application for a full description):

- The proposal's height and depth are out of character with the neighborhood;
- The proposal may result in the death of the property line avocado tree at 77 Cuvier Street, which provides bird habitat, noise abatement, and attractive views.
- The number and size of windows and doors in the rear of the proposal will result in a loss of privacy and light pollution into her rear yard and home.

**Proposed Alternatives:**

- Reduce the depth of the proposal to the depth of the original building; and
- Reduce the height of the proposal.

Iliana Hernandez' concerns include (please see the DR application for a full description):

- The proposal's overall size is not compatible with the neighborhood;
- The proposal is too tall compared to its immediate neighbors and doesn't follow the "grouping" pattern of taller homes on the street.
- The proposal's height will significantly shade her home in the morning, limiting her family's access to sunlight;
- The proposal's ground floor may be converted to an illegal unit sometime in the future; and
- The overall size of the home will result in on-street parking issues.

**Proposed Alternatives:**

- Reduce the proposal's height by reducing the ceiling heights to eight feet and/or excavating the site.
- Add more off-street parking based on the large size of the proposal.

## PROJECT SPONSOR'S RESPONSE

See attached *Response to Discretionary Review* for a complete response.

### Potential Revisions

The Project Sponsor met with the DR Requestors and other neighbors to clarify issues and work towards a package of compromise solutions. The Project Sponsor has agreed to the following amendments, if necessary, but they are not included as part of the plans in this report:

- Reduce the overall height of the proposal by three feet by 1) removing the parapet, and 2) reducing the ceiling height on the third floor from 9 feet 6 inches to only 9 feet.
- Reduce the depth of the proposal by one foot.
- Provide a 2 foot 6 inch side setback at the rear of the building near the property-line avocado tree.
- Reduce window numbers and sizes at the rear of the building.
- Remove, reduce, and use opaque glass for the various lightwell windows.

- Enlarge the garage to help ensure adequate room for two, potentially larger, vehicles.
- Interior changes (including the garage enlargement) that will reduce the overall habitable floor area by 241 square feet.

## PROJECT ANALYSIS

### Height

The character of Cuvier Street on the subject block is mixed in terms of height and roof types. There are both flat and sloped roofs, and building heights range from small two-story homes to tall three-story homes. Additionally, several buildings are two-stories plus a partially submerged basement level. Therefore, despite the fact that the two houses adjacent to the proposal are two-stories, the RDT determined that there was not a defined character on the block that would necessitate a front setback on the third floor.

### Depth

As proposed, the Project will leave a rear yard of more than 30 feet (not including the rear deck and stairs). Additionally, the third floor includes an "L" shaped setback in the rear to help reduce the impact of the new building on the mid-block open space and light and air to the adjacent properties. While this represents an approximately four foot extension beyond the original building envelope, it is not inconsistent with other buildings on the western block face, and therefore is not an exceptional or extraordinary condition.

### Overall Size

Neither the Planning Code, Residential Design Guidelines, nor the General Plan regulate the overall size of a new single-family home in terms of square footage, number of bedrooms, or similar features.

### Ground Floor Design – Illegal Unit

The Project is subject to the "Rooms Down" policy and limited to providing either a full bathroom or a wet bar, but not both. The Project complies by providing only a full bathroom.

### Lightwell and Privacy

The DR Requestor's house at 77 Cuvier Street has a side setback of approximately four feet adjacent to the proposed lightwell at 71 Cuvier Street. In response, the proposed lightwell at 71 Cuvier Street is setback approximately five feet from the property line. This results in a separation of approximately nine feet, which adequately reduces the potential impacts on light and privacy to 77 Cuvier Street.

### Off-Street Parking

The Project is only required to provide one off-street parking space, and it provides two tandem spaces. There is no policy or guideline in the Residential Design Guidelines or General Plan that supports providing more off-street parking for a single-family home.

### Avocado Tree

The Department of Public Works Code Section 8.02-8.11 defines and protects "significant" and "landmark" trees that are located on or near the public right of way. However, trees that fall in the rear yards of Project sites and their adjacent lots are not considered "significant" and thus not subject to any

City controls, including the Planning Code. Nor are there any policies or guidelines in the Residential Design Guidelines or General Plan that address the issue of property-line trees and their preservation, relocation, or removal.

## ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15303 (Class Three – New Construction).

## RESIDENTIAL DESIGN TEAM REVIEW

The Building Permit Application was originally reviewed by the Residential Design Team (RDT), who requested a setback at the rear of the third floor. The Project Sponsor complied by providing the “L” shaped setback described above. The RDT also reviewed the requests for Discretionary Review and had no additional comments.

**Under the Planning Department’s proposed DR Reform Policy, this project would not be referred to the Planning Commission as this project does not meet the threshold of exceptional or extraordinary.**

## BASIS FOR RECOMMENDATION

The Department believes the project does not have exceptional or extraordinary circumstances for the following reasons:

- The proposal lies on a block of Cuvier Street that has a mixed character that includes a range of heights and architectural styles.
- The proposed depth of the building leaves adequate area for the existing mid-block open space.
- The RDT found that the project did not meet the threshold of exceptional or extraordinary.
- The proposal is consistent with the Planning Code, Residential Design Guidelines, and the General Plan.

<b>RECOMMENDATION:</b> <b>Do not take DR and approve project as proposed.</b>
-------------------------------------------------------------------------------

## Design Review Checklist

### NEIGHBORHOOD CHARACTER (PAGES 7-10)

QUESTION	
The visual character is: (check one)	
Defined	
Mixed	X

**Comments:** The neighborhood includes a range of building types and sizes, ranging from one to three stories. Single-family homes are the dominant land use, but two-family homes are also in the area.

### SITE DESIGN (PAGES 11 - 21)

QUESTION	YES	NO	N/A
<b>Topography (page 11)</b>			
Does the building respect the topography of the site and the surrounding area?	X		
Is the building placed on its site so it responds to its position on the block and to the placement of surrounding buildings?	X		
<b>Front Setback (pages 12 - 15)</b>			
Does the front setback provide a pedestrian scale and enhance the street?	X		
In areas with varied front setbacks, is the building designed to act as transition between adjacent buildings and to unify the overall streetscape?			X
Does the building provide landscaping in the front setback?	X		
<b>Side Spacing (page 15)</b>			
Does the building respect the existing pattern of side spacing?			X
<b>Rear Yard (pages 16 - 17)</b>			
Is the building articulated to minimize impacts on light to adjacent properties?	X		
Is the building articulated to minimize impacts on privacy to adjacent properties?	X		
<b>Views (page 18)</b>			
Does the project protect major public views from public spaces?			X
<b>Special Building Locations (pages 19 - 21)</b>			
Is greater visual emphasis provided for corner buildings?			X
Is the building facade designed to enhance and complement adjacent public spaces?			X
Is the building articulated to minimize impacts on light to adjacent cottages?			X

**Comments:** The proposal includes a front setback in proportion with the existing street front. The rear yard is large enough to respect the existing mid-block open space and the third floor is set back to minimize impacts on light and air to adjacent neighbors.

**BUILDING SCALE AND FORM (PAGES 23 - 30)**

QUESTION	YES	NO	N/A
<b>Building Scale (pages 23 - 27)</b>			
Is the building's height and depth compatible with the existing building scale at the street?	X		
Is the building's height and depth compatible with the existing building scale at the mid-block open space?	X		
<b>Building Form (pages 28 - 30)</b>			
Is the building's form compatible with that of surrounding buildings?	X		
Is the building's facade width compatible with those found on surrounding buildings?	X		
Are the building's proportions compatible with those found on surrounding buildings?	X		
Is the building's roofline compatible with those found on surrounding buildings?	X		

**Comments:** The proposal falls in an area of mixed character in terms of scale, form, and facades, with buildings ranging from two to three stories and including various entry types, roof types, and bays. As such, the proposed three-story building with an elevated entry and bay/awning system is compatible with the surrounding buildings.

**ARCHITECTURAL FEATURES (PAGES 31 - 41)**

QUESTION	YES	NO	N/A
<b>Building Entrances (pages 31 - 33)</b>			
Does the building entrance enhance the connection between the public realm of the street and sidewalk and the private realm of the building?	X		
Does the location of the building entrance respect the existing pattern of building entrances?			X
Is the building's front porch compatible with existing porches of surrounding buildings?	X		
Are utility panels located so they are not visible on the front building wall or on the sidewalk?	X		
<b>Bay Windows (page 34)</b>			
Are the length, height and type of bay windows compatible with those found on surrounding buildings?	X		
<b>Garages (pages 34 - 37)</b>			
Is the garage structure detailed to create a visually interesting street frontage?	X		
Are the design and placement of the garage entrance and door compatible with the building and the surrounding area?	X		
Is the width of the garage entrance minimized?	X		
Is the placement of the curb cut coordinated to maximize on-street parking?			X
<b>Rooftop Architectural Features (pages 38 - 41)</b>			
Is the stair penthouse designed to minimize its visibility from the street?			X



Are the parapets compatible with the overall building proportions and other building elements?	X		
Are the dormers compatible with the architectural character of surrounding buildings?			X
Are the windscreens designed to minimize impacts on the building's design and on light to adjacent buildings?			X

**Comments:** The proposal falls in an area of mixed character in terms of architectural features. The proposal has a front setback of nearly ten feet, and the entry is raised and inset, enhancing the public/private connection. The bays, garage, and roof are compatible with the mixed character of the area.

**BUILDING DETAILS (PAGES 43 - 48)**

QUESTION	YES	NO	N/A
<b>Architectural Details (pages 43 - 44)</b>			
Are the placement and scale of architectural details compatible with the building and the surrounding area?	X		
<b>Windows (pages 44 - 46)</b>			
Do the windows contribute to the architectural character of the building and the neighborhood?	X		
Are the proportion and size of the windows related to that of existing buildings in the neighborhood?	X		
Are the window features designed to be compatible with the building's architectural character, as well as other buildings in the neighborhood?	X		
Are the window materials compatible with those found on surrounding buildings, especially on facades visible from the street?	X		
<b>Exterior Materials (pages 47 - 48)</b>			
Are the type, finish and quality of the building's materials compatible with those used in the surrounding area?	X		
Are the building's exposed walls covered and finished with quality materials that are compatible with the front facade and adjacent buildings?	X		
Are the building's materials properly detailed and appropriately applied?	X		

**Comments:** The proposal includes high quality materials such as wood windows, shingle siding, and copper awnings over the bay windows. While the copper awnings are unique, they are not incompatible with the surrounding area.

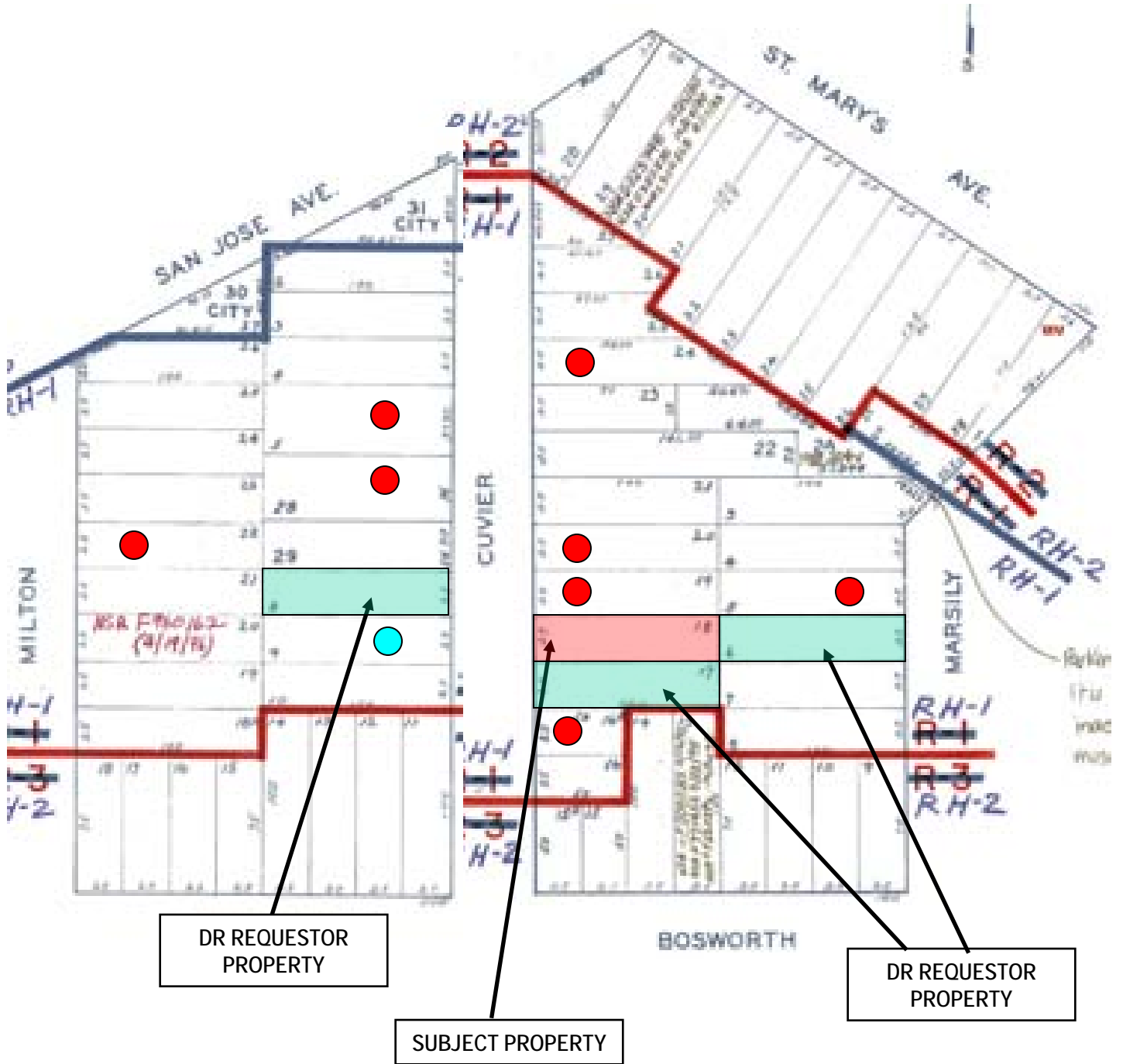
**Attachments:**

- Block Book Map
- Sanborn Map
- Aerial Photographs
- Zoning Map
- Section 311 Notice

DR Applications with Arborist Email  
Response to DR Applications dated May 27, 2010  
Additional Sponsor Materials  
Reduced Plans

*CT: G:\Documents\D\2010\71 Cuvier St\DR Analysis.doc*

# Parcel Map

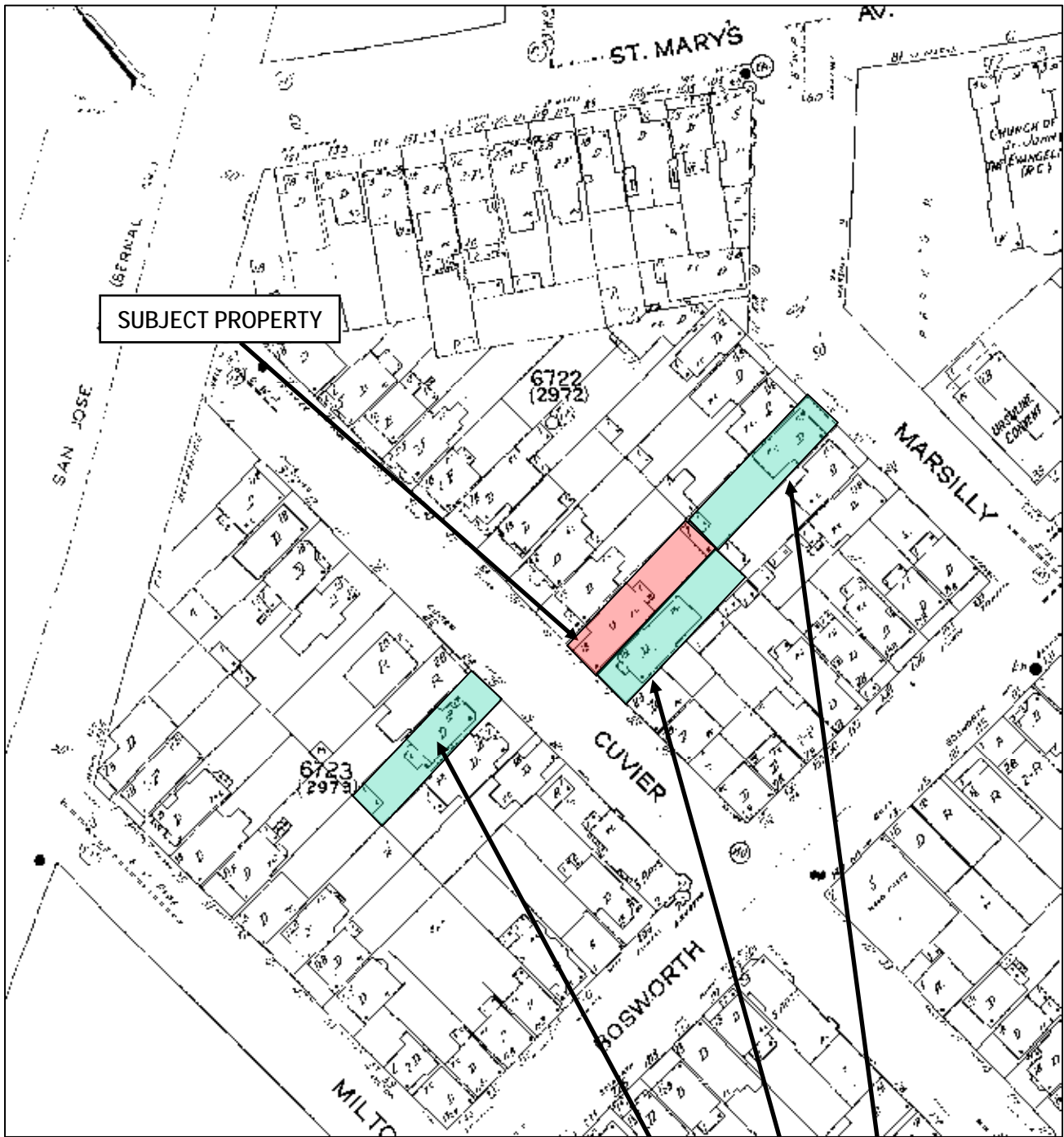


- Neighbors that Support the Project
- Neighbors that Oppose the Project



Discretionary Review  
**Case Number 2010.0236DDD**  
 Single-Family, New Construction  
 71 Cuvier Street

# Sanborn Map\*



\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

Discretionary Review  
Case Number 2010.0236DDD  
Single-Family, New Construction  
71 Cuvier Street

# Aerial Photo



DR REQUESTOR  
PROPERTY

SUBJECT PROPERTY  
(NOW VACANT)

DR REQUESTOR  
PROPERTY



Discretionary Review  
Case Number 2010.0236DDD  
Single-Family, New Construction  
71 Cuvier Street

# Aerial Photo

DR REQUESTOR  
PROPERTY



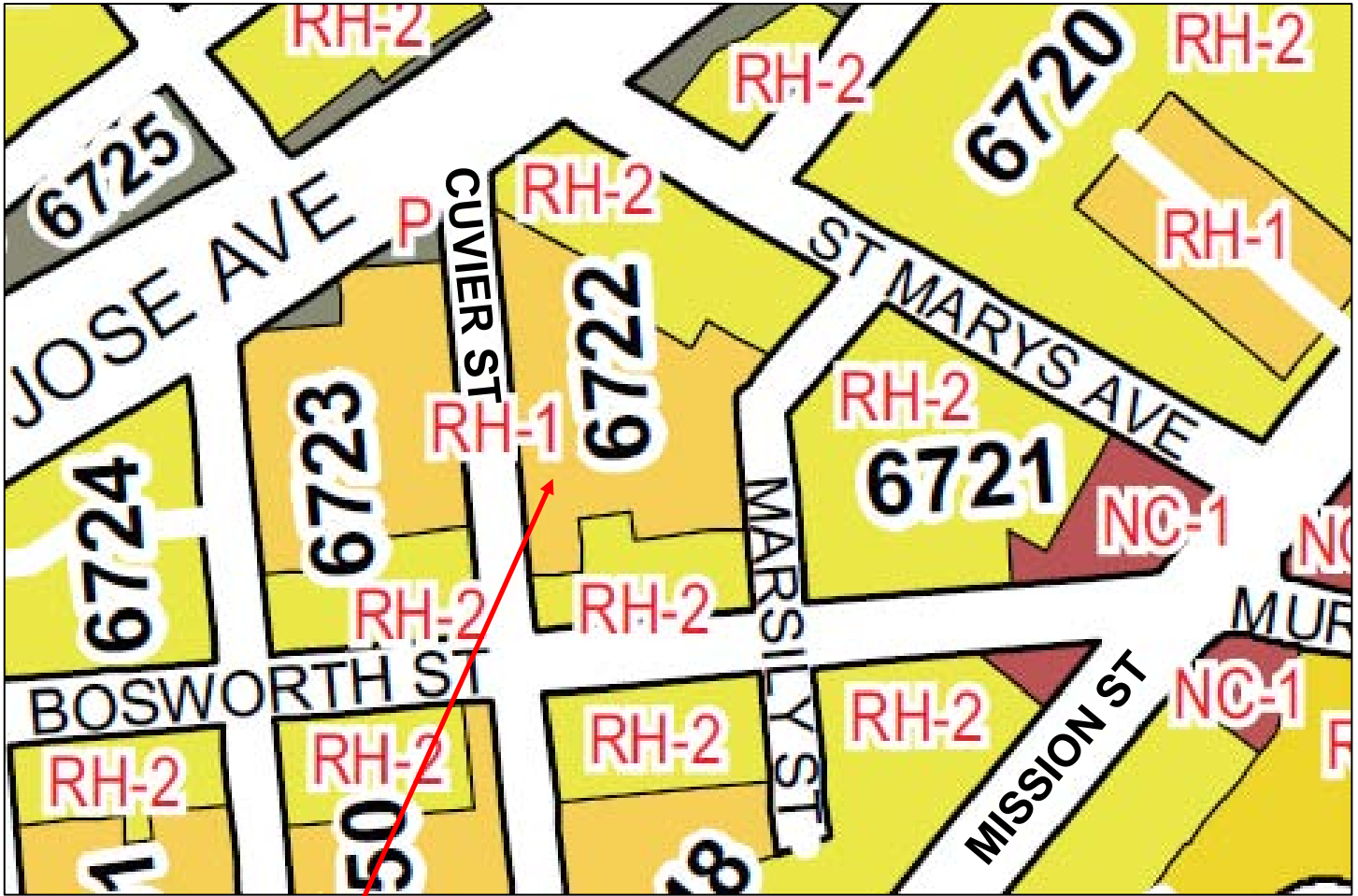
SUBJECT PROPERTY  
(NOW VACANT)

DR REQUESTOR  
PROPERTY



Discretionary Review  
Case Number 2010.0236DDD  
Single-Family, New Construction  
71 Cuvier Street

# Zoning Map



SUBJECT PROPERTY



Discretionary Review  
Case Number 2010.0236DDD  
Single-Family, New Construction  
71 Cuvier Street



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

## NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On October 15, 2009, the Applicant named below filed Building Permit Application No. 2009.10.15.9021 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Emily Huang	Project Address:	71 Cuvier Street
Address:	1736 Stockton Street, Ground Floor	Cross Streets:	Bosworth Street
City, State:	San Francisco, CA 94133	Assessor's Block /Lot No.:	6722/018
Telephone:	(415) 217-7055 ext. #3	Zoning Districts:	RH-1 / 40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE			
<input type="checkbox"/> DEMOLITION	and/or	<input checked="" type="checkbox"/> NEW CONSTRUCTION	or <input type="checkbox"/> ALTERATION
<input type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS	<input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE)	<input type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
FRONT SETBACK .....	Vacant .....	+/- 9 feet 6 inches
SIDE SETBACKS .....	Vacant .....	None
BUILDING DEPTH.....	Vacant .....	+/- 69 feet 6 inches
REAR YARD.....	Vacant .....	+/- 30 feet 6 inches
HEIGHT OF BUILDING .....	Vacant .....	+/- 28 feet
NUMBER OF STORIES .....	Vacant .....	3
NUMBER OF LEGAL DWELLING UNITS .....	Vacant .....	1
NUMBER OF OFF-STREET PARKING SPACES .....	Vacant .....	2

### PROJECT DESCRIPTION

The proposal is to construct a 3-story single-family home on the currently vacant property.

PLANNER'S NAME: Corey Teague  
 PHONE NUMBER: (415) 573-9081  
 EMAIL: corey.teague@sfgov.org

DATE OF THIS NOTICE: 3-1-10  
 EXPIRATION DATE: 3-31-10



RECEIVED

**APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")**

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name Richard Pence  
Iliana Hernandez Telephone No. 415-469-8638

D.R. Applicant's Address 26 Currier St  
San Francisco CA 94112  
Number & Street (Apt. #)  
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): 415-469-8638  
If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name Jose & Vilma Hernandez Telephone No. 1-916-780-3022  
Address 26 Currier St,  
San Francisco  
Number & Street (Apt. #)  
City Zip Code

Address of the property that you are requesting the Commission consider under the Discretionary Review: 71 Currier Street, S.F.

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: Ken O'Sullivan & Tina O'Neal; unknown telephone #

Building Permit Application Number of the project for which you are requesting D.R.: 2009.10.15.9021 (Alteration)

Where is your property located in relation to the permit applicant's property?  
across the street, one house north.

**A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST**  
Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

1. Have you discussed this project with the permit applicant?  YES  NO  G
2. Did you discuss the project with the Planning Department permit review planner?  YES  NO  G
3. Did you participate in outside mediation on this case? Community Board  G Other  G  NO  G

10.02360

71 CUNTER ST  
S.F.

4. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the results, including any changes that were made to the proposed project so far.

SEE ATTACHED

**B. DISCRETIONARY REVIEW REQUEST**

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

SEE ATTACHED

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

SEE ATTACHED

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

SEE ATTACHED

Project Address: 71 Cuvier Street/Block:6722/Lot:018

Continued Page 4 of Discretionary Review

Item A

Question 4.

Met with Emily Huang in August 2009 regarding proposed building at 71 Cuvier Street. Voiced our concerns over the height of building 30'-6". Concerned that proposed building would severely impact 26 Cuvier Street morning sunlight. That the proposed building would shadow 26 Cuvier Street by 1.5-2 hours. Resulting in only 3 hours of direct sun light. That proposed building would impact 28 Cuvier Street by shadowing its building. That proposed building was not within the character of Cuvier Street. (Stands out like a tower) That it would severely dwarf the abutting property at 77 Cuvier Street and 65 Cuvier Street. That it did not follow the typical height pattern of homes on Cuvier Street which are appropriately grouped by height. That 3200+/- sq. ft. house would cause parking issues. Result: Emily Huang was reluctant to accept concerns and failed to address any of the issues above. Felt the proposed building height and size was acceptable for size of family. Did define the ground floor space and decking at rear yard and rearranged locations of rooms. Planner mentioned that properties on opposite side of street had no real recourse and that parking is a consistent issue in city.

Item B

Question 1

Requesting DR to resolve impact to 26 Cuvier Street and Cuvier Street. The proposed building at 71 Cuvier Street is out of character with the block/neighborhood. It is typical of homes found w/in the Richmond District (high density structure). It doesn't follow the pattern of height on Cuvier Street (homes are grouped proportionately by height without impacting residing properties). It severely impacts the property of 26 Cuvier Street by shadowing and lessening the amount of direct sunlight by 1.5 to 2 hours out of 5 hours of morning light. This impact did not exist prior to demolition of original structure. The residences quality of life at 26 Cuvier Street is diminished by being shadowed. Creates additional expense on 26 Cuvier Street to keep house warmed. The proposed building drastically dwarfs abutting property at 77 Cuvier Street.

Question 2

Properties adversely affected: 26 Cuvier Street grossly shadowed, 28 Cuvier Street shadowed, 77 Cuvier Street loss of privacy due to location of light well and building dwarfed, 40 foot, 40 year old tree at rear would not survive (roots/canopy reduce by 50%), 65 Cuvier Street building grossly dwarfed, 18 Marsily Street loss of afternoon sunlight and proposed building encroaches and towers over. Cuvier Street parking impacted by 3200+/- sq. ft., 5 bedroom house w/ study (parking not adequate for size of proposed property).

Question 3

Alternative and Changes: Reduce structure height by reducing ceiling height of floors to 8'. Excavating lot down (which slopes) to reduce overall height. Set back top floor front of building. Address adequate parking based on exceptional size of building.

10.0236D

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

**CHECKLIST FOR APPLICANT:**

Indicate which of the following are included with this Application:

**REQUIRED:**


- G** Check made payable to Planning Department (see current fee schedule).
- G** Address list for nearby property owners, in label format, plus photocopy of labels.
- G** Letter of authorization for representative/agent of D.R. applicant (if applicable).
- G** Photocopy of this completed application.

**OPTIONAL:**

- G** Photographs that illustrate your concerns.
- G** Covenants or Deed Restrictions.
- G** Other Items (specify).

**File this objection in person at the Planning Information Center.** If you have questions about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

**Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.**

Signed:  Applicant      3/30/10 Date

10-CS-2001

1.49 AM



SLASH MARK REPRESENTS  
PROPERTY BEING SHADOWED  
LOSS OF SUNLIGHT

telephone pole shadow  
cross brass bar  
located @ 71 CUYLER  
ST

10.02360



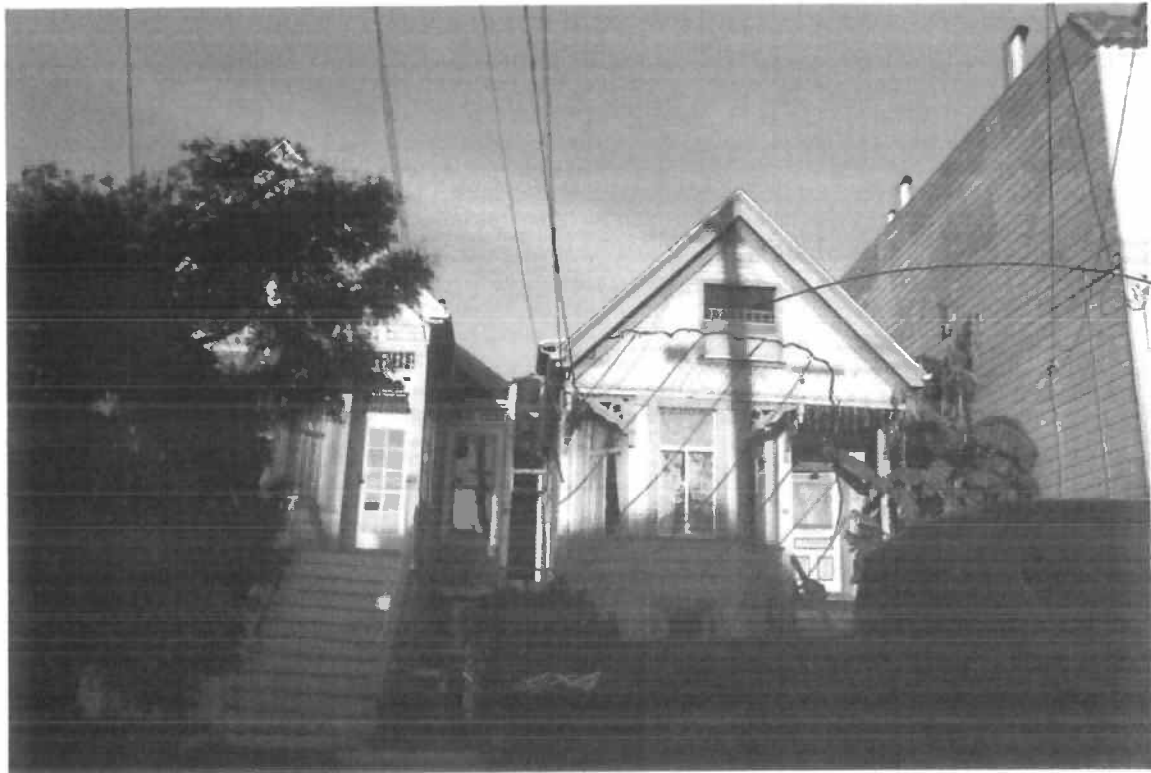
HOUSES ON CURVE  
SAME BLOCK AS  
BUILDING @ 71 cur



DEMUNSTRATES HOW HOUSES  
TOGETHER AND COME  
LEWIS STREET



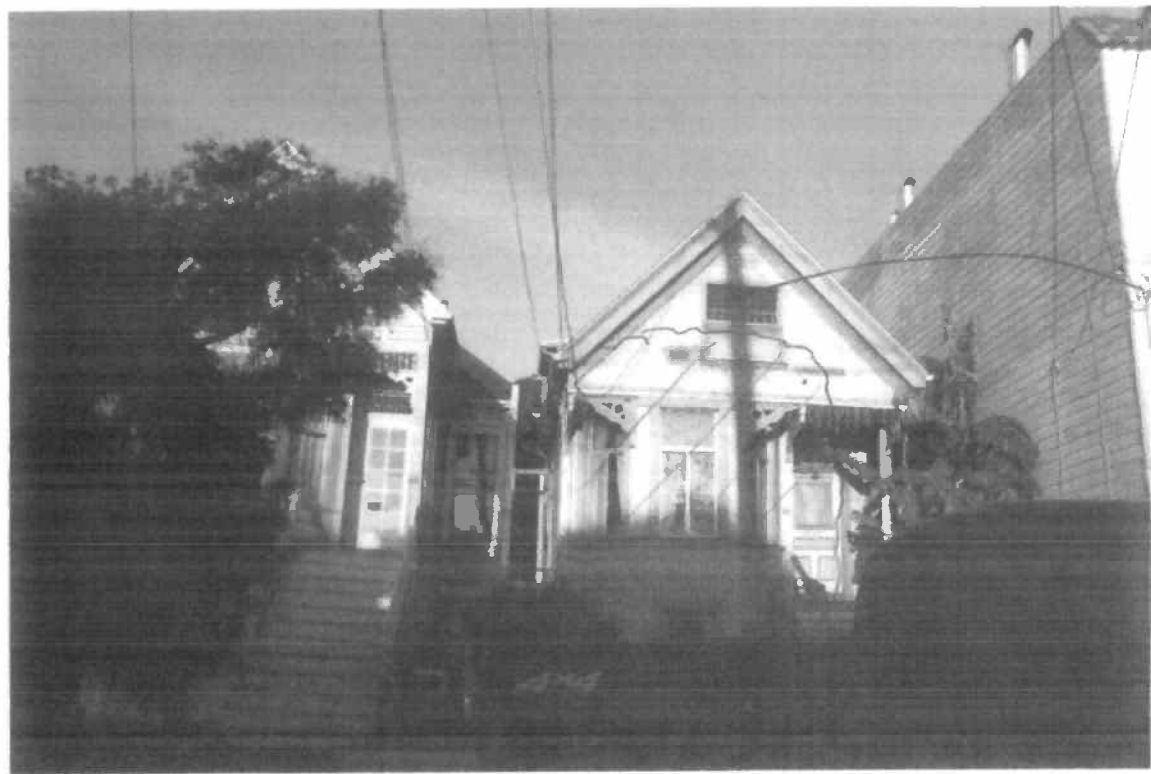
10.02360



SHADOW OF  
P&E POLE  
LOCATED @  
71 CUVIER  
LOSS OF  
DIRECT SUN  
LIGHT

3/15/10  
8:00AM

SLASH  
MARK INDICATE  
LOSS OF DIRECT  
SUN LIGHT



SHADOW OF  
P&E POLE  
LOCATED @  
71 CUVIER  
LOSS OF  
DIRECT SUN  
LIGHT

3/15/10  
8:00AM

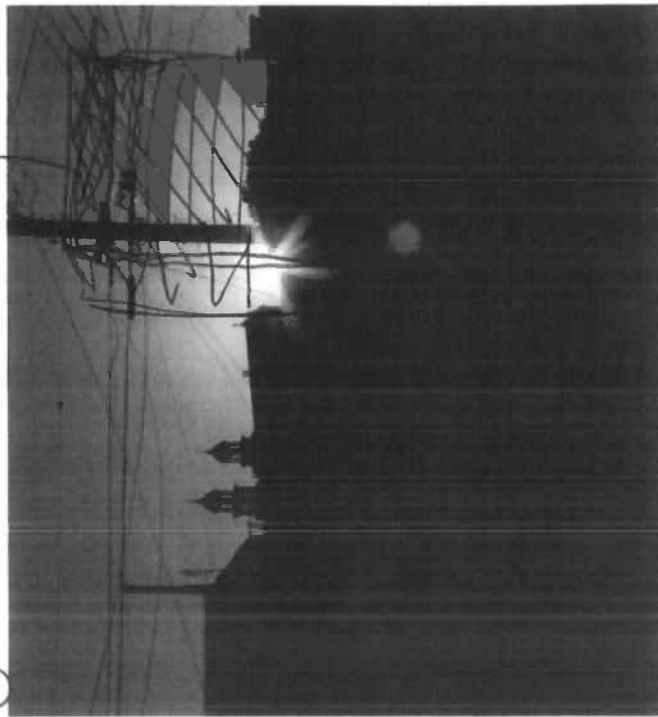
SLASH  
MARK INDICATE  
LOSS OF DIRECT  
SUN LIGHT

① Sunrising @ location of Proposed building @ 71 Cuvier

② proposed building @ 71 Cuvier St is out of character of Cuvier St. height to impact 26 Cuvier by casting a high shadow onto front facade in mornings - loss of 1.5-2 hours of sunlight (direct) per day. Dwarfs (towers over) both 65 and 77 Cuvier St.

Proposed structure Blocking sunlight

①



①



②



71 Cuvier

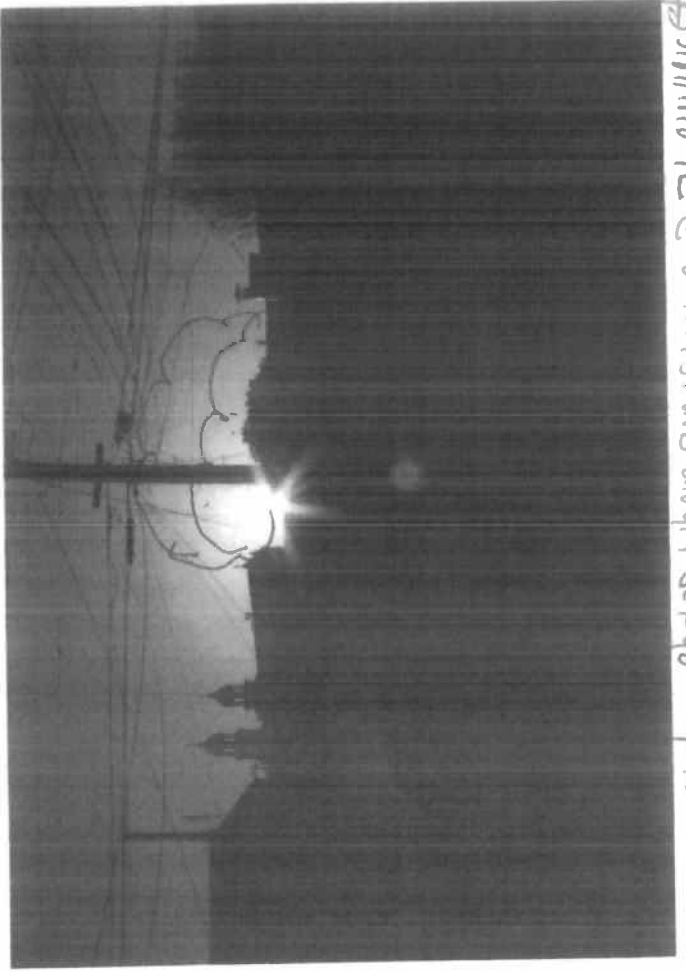
71 Cuvier

65 Cuvier

10.02360

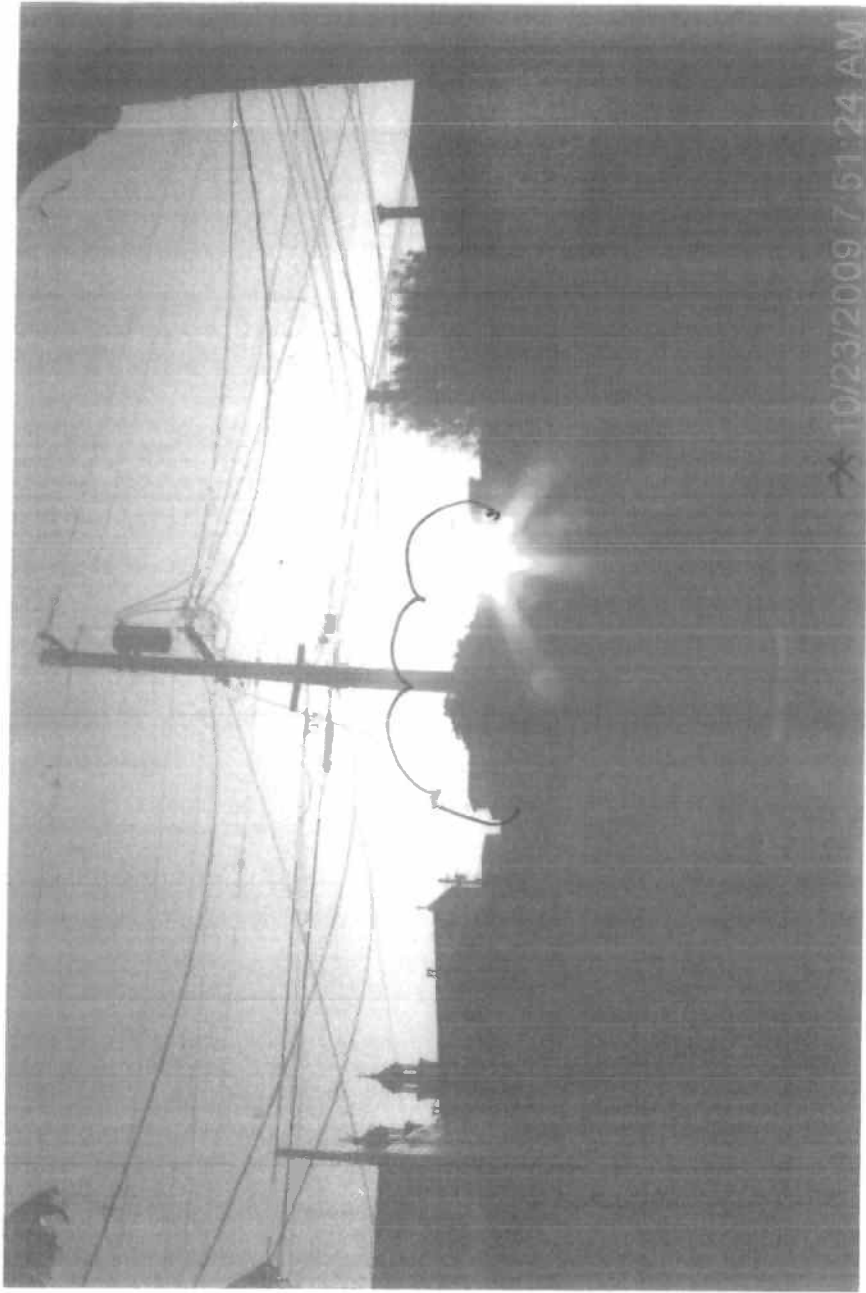


HOMES SIZED & GROUPED  
! PROPORTIONMENT



PICTURE SHOTS WHERE SUN IS RISING @ 71 CLEVELAND ST

10.02360



\* 10/23/2009 7:51:24 AM

Sun rising @ proposed 71 curvier st  
Property

10.02360

3/17/10  
11 Cuvier St  
Proposed Property  
Sunlight



3/17/10  
11 Cuvier St

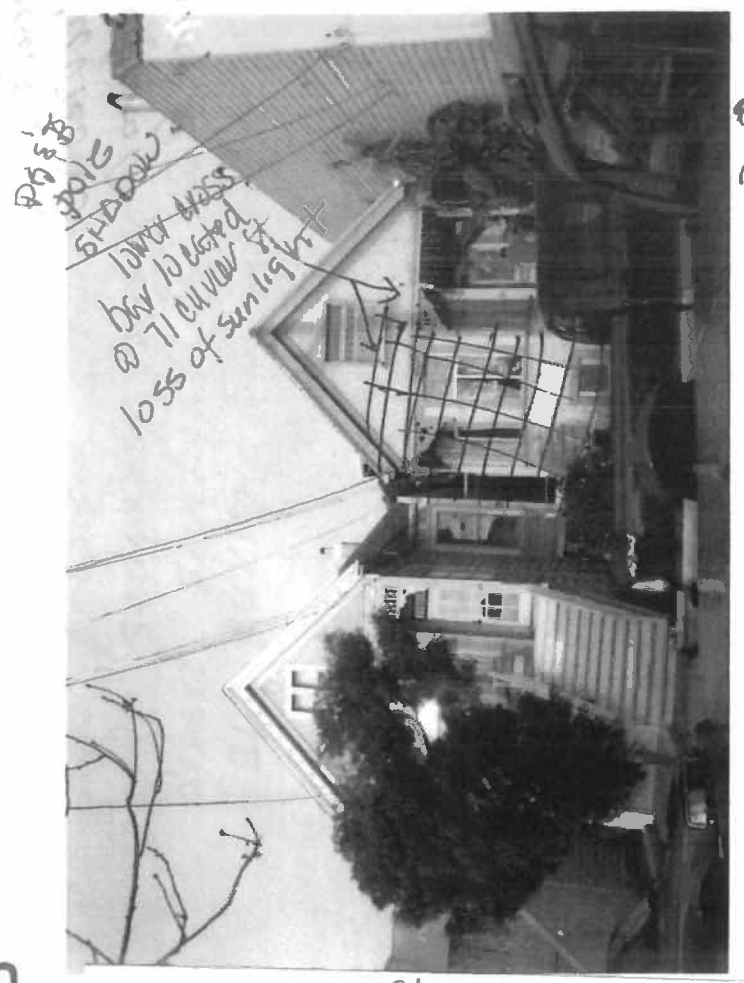


3/17/10  
11 Cuvier St

3/17/10  
11 Cuvier St  
Proposed Property  
Sunlight



10.02360



Proposed  
Property  
Sunlight  
Loss of Sunlight  
at 11 Cuvier St  
Lower Mass  
3/17/10

3/17/10  
11 Cuvier St

10.02360

~~photo~~

26 Currier St. S/osh marks indicate  
how proposed structure @ 71 Currier St  
will severely impact the natural  
direct sunlight in the morning @  
26 Currier St.



10.0236D



5

TPER Currier St. - Same Block as proposed development @ 71 Currier St

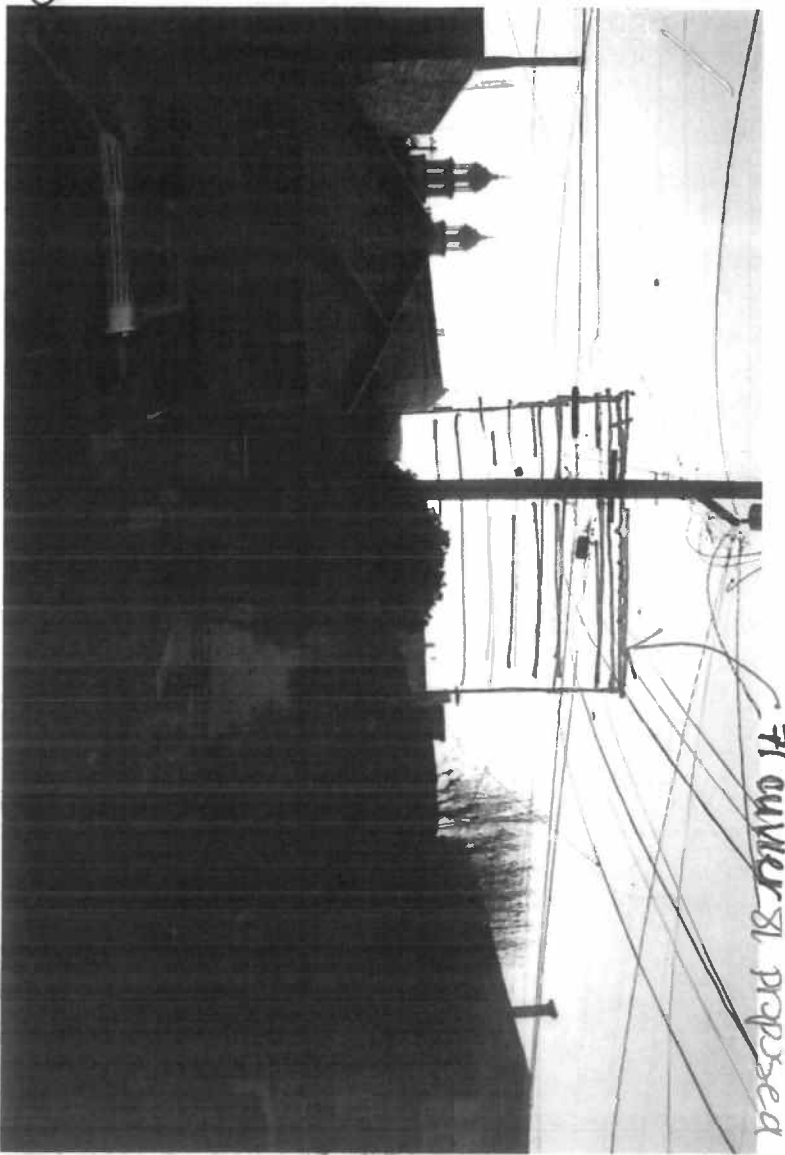
houses Grouped and complement each other in height.

3



10:02360

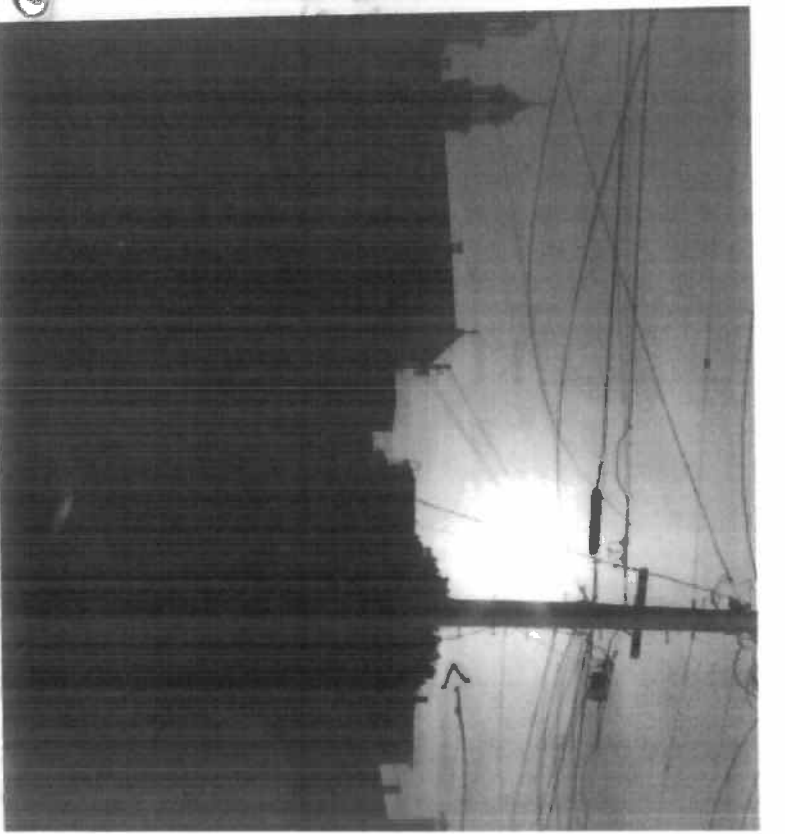
1



4



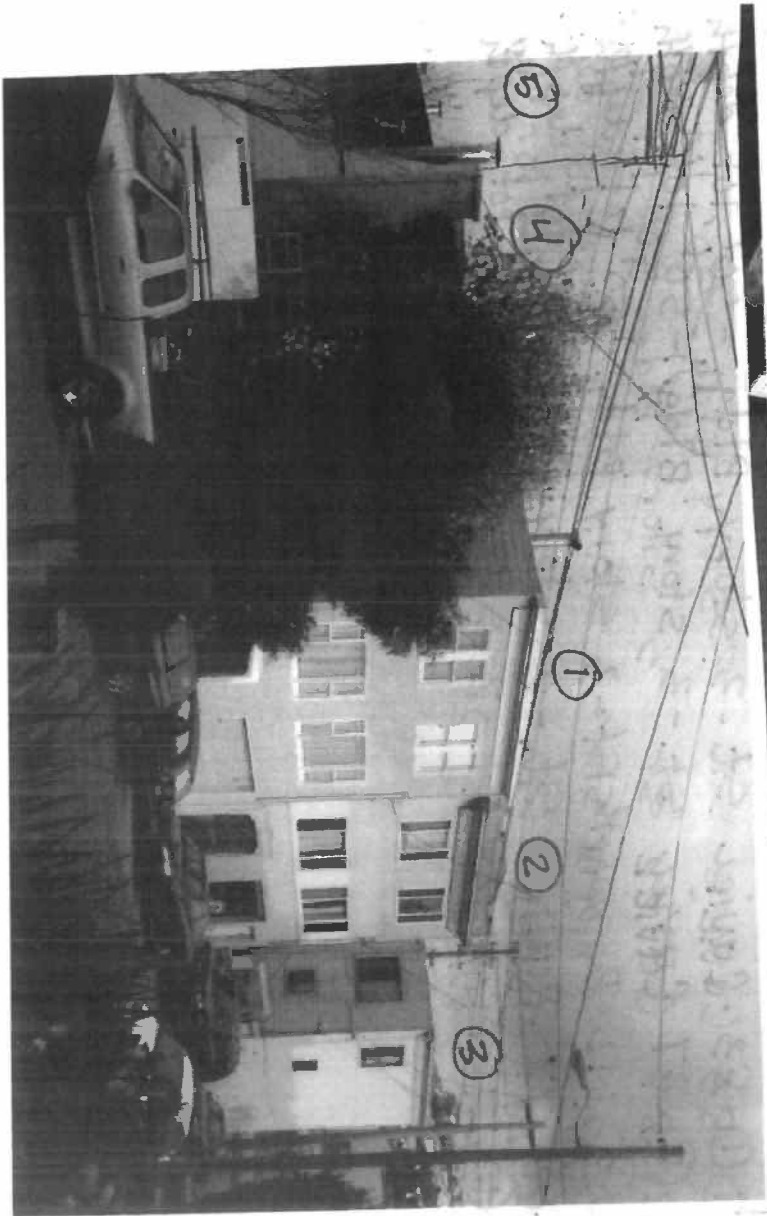
2



1/2 Sun Rise @ 26 Currier  
Looking over 71 Currier St

3/4 Sunlight on facade of 26 Currier  
Looking from 71 Currier St





3

10.02360

- ① 83 Cuvier St. - 3 story Bldg. - 50' lot depth
- ② 87 Cuvier St. - 3 story Bldg. - 50' lot depth
- ③ 142 Bosworth St. - 3 story Bldg. - 50' lot depth
- ④ 77 Cuvier St. - 2 story Bldg. - 100' lot depth
- ⑤ 71 Cuvier St. - 2 story Bldg. - 100' lot depth

40 CURVER

③



26 CURVER

10.0236D



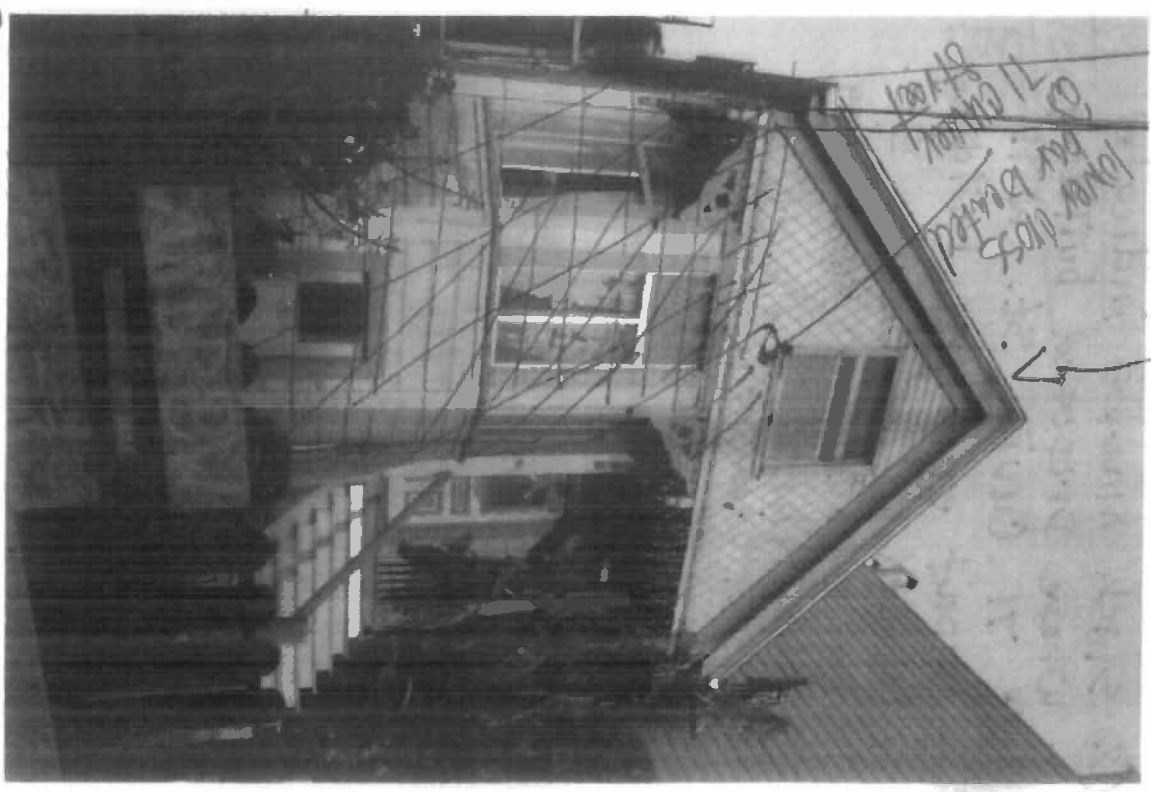
71 CURVER ST

R

DR & E POLE  
SHADOWS



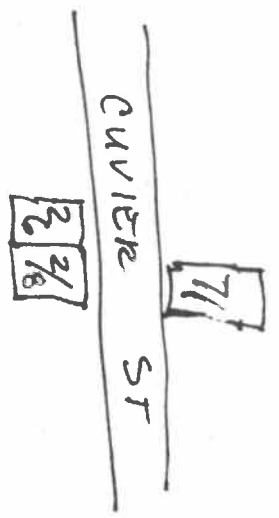
LOWER CROSS  
71 CURVER  
ST



②

R

③ Across the street from 71 Currier



② slash marks indicate where proposed building @ 71 Currier St. will impact existing building located @ 26 Currier St. by shading ~~existing~~ sunlight.

① 6:47 a.m 3/17/10  
Sun rising early morning  
@ 71 Currier St.  
(photo taken @ 26 Currier St.)

RECEIVED

MAR 29 2010

**APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")**

PLANNING DEPARTMENT OF S.F.

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name RUTH JENSEN Telephone No: 415 333-4308

D.R. Applicant's Address 18 MARSILY ST  
Number & Street (Apt. #)  
SAN FRANCISCO 94112  
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): 415 333-4308  
If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name \_\_\_\_\_ Telephone No: \_\_\_\_\_

Address \_\_\_\_\_  
Number & Street (Apt. #)  
City Zip Code

Address of the property that you are requesting the Commission consider under the Discretionary Review: 71 COVIER STREET

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: KEN & TINA O'SULLIVAN (415) 850-1070, (415) 756-0404

Building Permit Application Number of the project for which you are requesting D.R.: 2009.10.15.9021

Where is your property located in relation to the permit applicant's property?  
DIRECTLY BEHIND

**A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST**  
Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

- 1. Have you discussed this project with the permit applicant? YES  NO
- 2. Did you discuss the project with the Planning Department permit review planner? YES  NO
- 3. Did you participate in outside mediation on this case? Community Board  Other  NO

10.02360

4. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the results, including any changes that were made to the proposed project so far.

I HAVE SPOKEN TO THE O'SULLIVANS & EMILY HUANG ABOUT MY CONCERNS WITH THEIR PROJECT. THE RESPONSES HAVE ALWAYS BEEN VAGUE & DISMISSIVE. THEY WERE GOING TO GO FOR EVERYTHING THAT THE BUILDING CODE WOULD ALLOW. WE WOULD JUST HAVE TO GET USED TO IT. THEY WANTED WHAT THEY WANTED & THEY NEEDED IT TOO!

#### B. DISCRETIONARY REVIEW REQUEST

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

THIS PROJECT IS NOT IN KEEPING WITH NEIGHBORHOOD CHARACTER. IT IS TOO TALL AND GOES TOO DEEP INTO THE GREEN CENTER CORRIDOR OF THE BLOCK. IT ALSO THREATENS A 40 YEAR OLD AVOCADO TREE, AN IMPORTANT RESOURCE TO BIRDS AND HUMANS. TREES DEADEN THE SOUND OF SAN JOSE AVE & 280 FREEWAY. AND IMPROVE THE VIEW I WOULD RATHER LOOK AT A TREE 40 FEET TALL THAN A BUILDING.

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

ALL OF THE BACKYARD NEIGHBORS WILL BE ADVERSELY AFFECTED THIS BUILDING HAS THE FEEL OF AN APARTMENT BUILDING. IT HAS A 27 FT YARD WHICH INCLUDES DECKS & A STAIRCASE WITHIN THAT 27 FT. WE ALL HAVE GARDENS WITH MANY TREES FLOWERS & VEGETABLE & FRUITS. THIS BUILDING WITH ITS POSTAGE STAMP YARD WILL CUT DOWN ON OUR SUNLIGHT & PRIVACY

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

I WOULD LIKE TO SEE THE BUILDING SHORTENED IN LENGTH INCLUDING THE DECKS & STAIRS BACK TO THE ORIGINAL HOUSE SO THAT THE YARD WOULD BE 39 FT. I WOULD ALSO LIKE TO SEE SOME WEIGHT TAKEN OFF THE 1ST & 3RD FLOORS SO THAT THE BUILDING WOULD BLOCK LESS LIGHT AND NOT BE SUCH A TOWER.

I WOULD LIKE TO HAVE AN ON SITE REVIEW OF THE PLANNER & PLANNING COMMISSION.

10.02360'

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

**CHECKLIST FOR APPLICANT:**

Indicate which of the following are included with this Application:

**REQUIRED:**

- Check made payable to Planning Department (see current fee schedule).
- Address list for nearby property owners, in label format, plus photocopy of labels.
- Letter of authorization for representative/agent of D.R. applicant (if applicable).
- Photocopy of this completed application.

**OPTIONAL:**

- Photographs that illustrate your concerns.
- Covenants or Deed Restrictions.
- Other Items (specify).

**File this objection in person at the Planning Information Center.** If you have questions about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

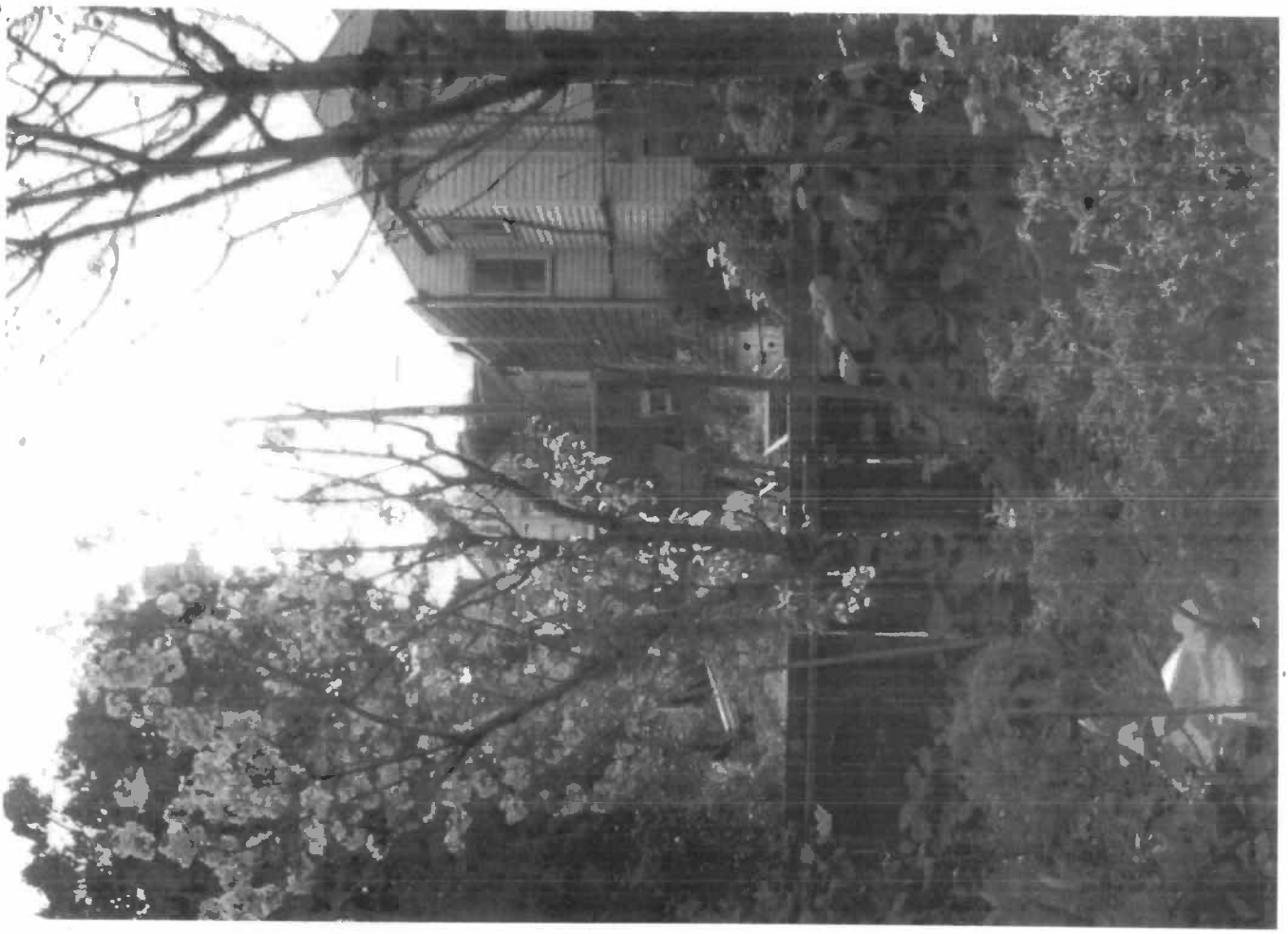
**Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.**

Signed

Ruth Jensen  
Applicant

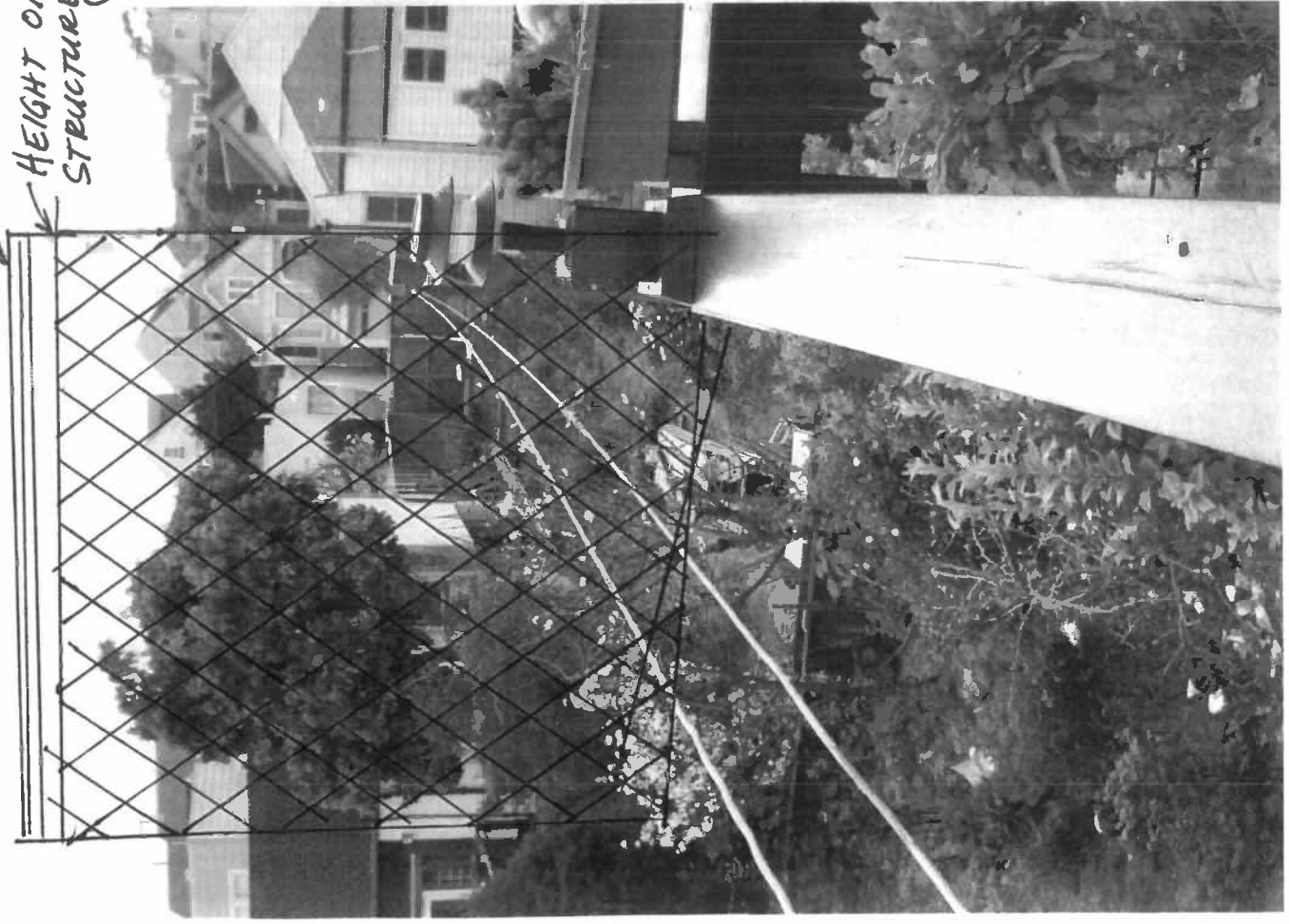
MARCH 30 2010  
Date

10.0236D

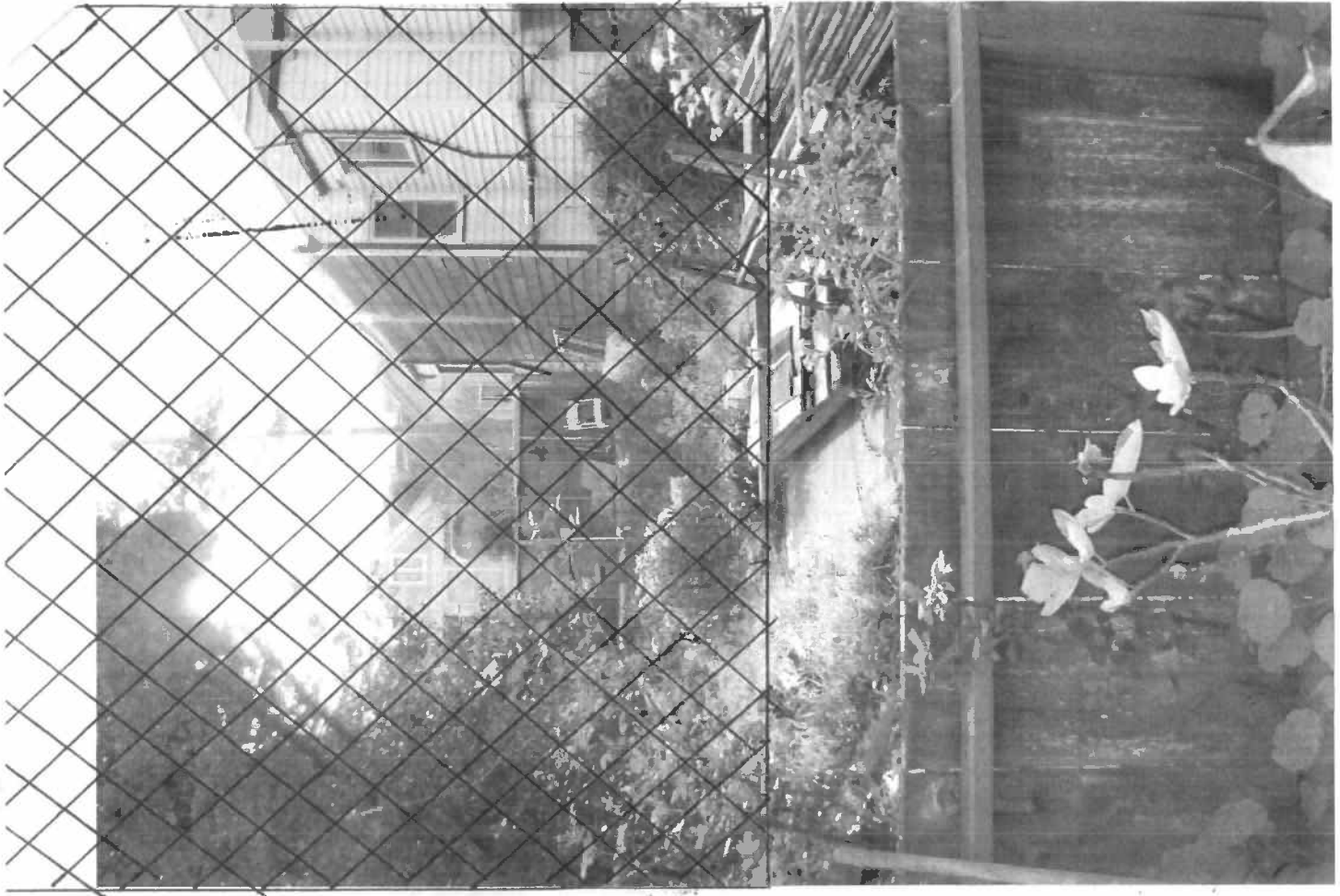


18 Mersily Backyard facing West

HEIGHT OF  
STRUCTURE



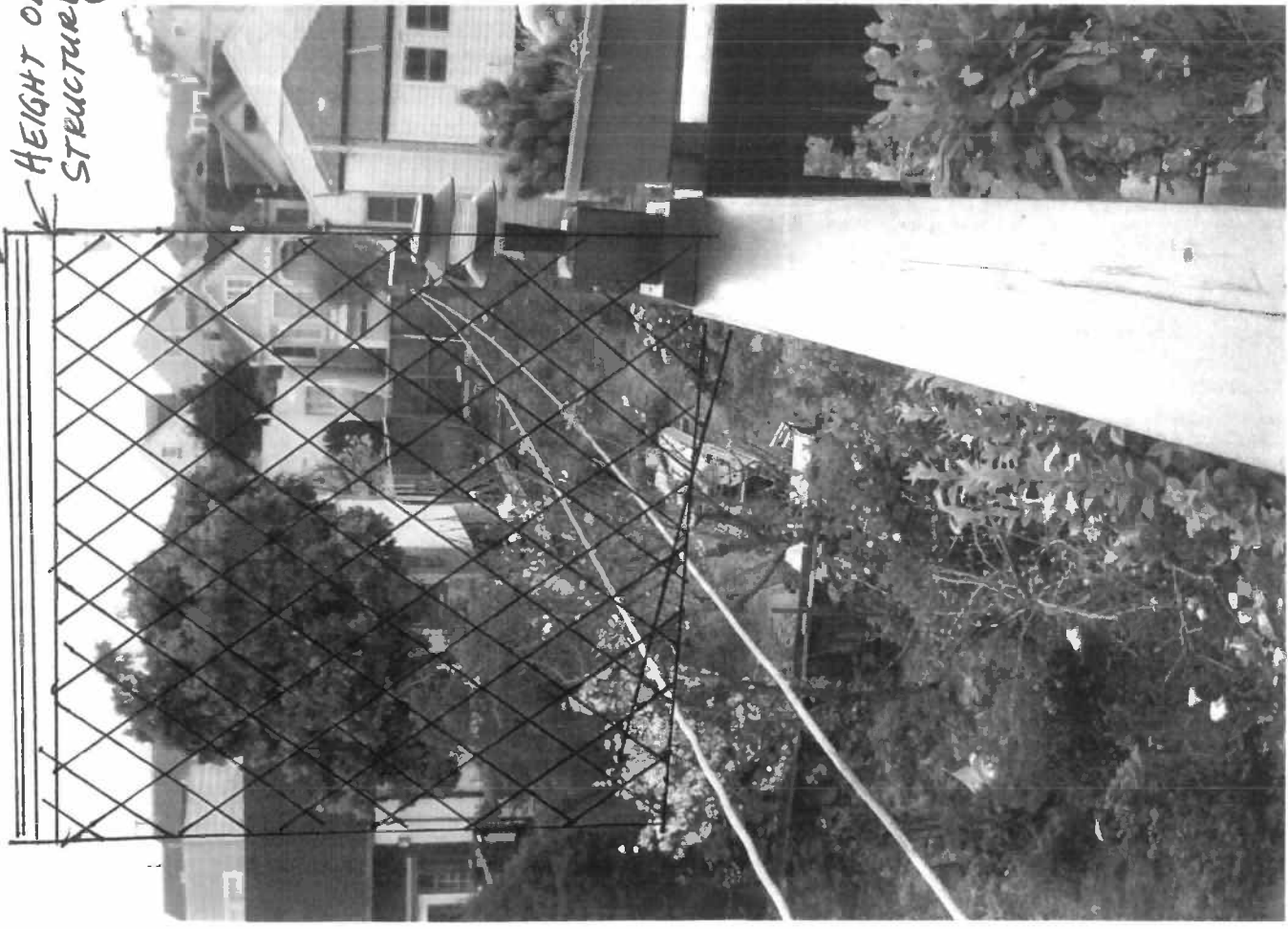




HASH MARKS SHOW PROPOSED STRUCTURE AT 71 CUYER RD 236D  
Photo taken from rear yard of 18 MARSHY ST.

Photo taken from  
18 Mausily St. rear dec

HEIGHT OF PARAPET  
HEIGHT OF PROPOSED  
STRUCTURE @ 71 CURVED



10.02360

RECEIVED

MAR 29 2010

**APPLICATION REQUESTING DISCRETIONARY REVIEW (D.R.)**

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name Judith Kucera & Mark Heim Telephone No: (415) 452-4221

D.R. Applicant's Address 77 Cuvier St.  
Number & Street (Apt. #) 94112  
San Francisco CA  
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): (415) 452-4221 or (415) 706-0330  
If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name \_\_\_\_\_ Telephone No: \_\_\_\_\_

Address \_\_\_\_\_  
Number & Street (Apt. #)  
City Zip Code

Address of the property that you are requesting the Commission consider under the Discretionary Review: 71 Cuvier St.

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: Ken O'Sullivan (415-920-1070) / Tina McNeal (415-756-0404)

Building Permit Application Number of the project for which you are requesting D.R.: 2009.10.15.19021 (Alteration)

Where is your property located in relation to the permit applicant's property?  
Next door on the south side

**A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST**  
Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

- 1. Have you discussed this project with the permit applicant? YES  NO
- 2. Did you discuss the project with the Planning Department permit review planner? YES  NO
- 3. Did you participate in outside mediation on this case? Community Board  Other  NO  Applied

3/29 but owners have not agreed to participate. See enclosed.

10.02360

4. If you have discussed the project with the applicant, planning staff, or gone through mediation, please summarize the results, including any changes that were made to the proposed project so far.

There have been no changes, some have been discussed but owners have stated they will be off the table if there's a Discretionary Review. We've discussed preservation of our 40' tall, 40 yr. Avocado tree in the rear, which would entail moving the rear south-facing wall 2 ½ - 4' (depending on the opinions of our arborist, Martin Kutches, who has cared for our trees for 20 years, and theirs) as well as privacy/light issues in our kitchen and bedroom (see pix). However since we last talked we have realized we have other unresolved issues (see below), and sent an email to that effect.

## **B. DISCRETIONARY REVIEW REQUEST**

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority policies?

We weren't given adequate input about the project before it was submitted to the Planning Dep't, or during the time it was being reviewed. We had 1 group meeting with the architects in late Aug.2009, during which we saw the preliminary plans and were asked to comment. When we expressed concerns about the height, Emily Huang told us she might be able to scale it back a few inches for us, a deeply unsatisfactory, and even insulting, response. In email replies to me in Sept. & Nov., after my inquiries (avail. on request) she said we'd see the revision but we heard nothing whatsoever until late Feb. Then we received a set of plans which Emily told us to ignore. We didn't see the plan which was eventually submitted, or given Corey Teague's name, until early March, 2010. When we got a set from Planning on March 2 Tina the owner, when we met with her later that week, told us we'd gotten the old set from Planning, and finally on March 5 we got the latest revision.

We feel the revised plan conflicts with neighborhood preservation under Code Section 101.1, because most of the abutting, facing & rear homes are much smaller Victorians with deep backyards providing a secure, tranquil, charming and somewhat private haven for plant & animal life including human.

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

Because of the loss of half the direct sunlight into our bedroom 3 mo. of the year (May - July) the loss of privacy there and in our kitchen & backyard, as well as the dramatic increase in height of the new bldg. in relation to ours (+/- 12') we think it would have a negative impact on ours and our neighbors physical well-being and property values.

The loss of the avocado tree would have a similar adverse affect on us and our rear neighbors. Because it's non-deciduous it's especially important for privacy for us and our neighbors as well as providing welcome shelter for birdlife during the winter.

3) What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

Most of these issues would be addressed by adhering to the footprint of the original (mostly 1908) house, which abutted the sidewalk, as well as by reducing the ceiling height on the 1<sup>st</sup> & 3<sup>rd</sup> stories to 8 & 9' respectively and putting a see-through parapet (tempered glass perhaps?) on the roof to allow sunlight through on the east/west axis. Also, the 3<sup>rd</sup> floor could be set back 9 ½ from the sidewalk as it is now in the proposal, which would reduce the impact of its (hopefully reduced) height.

In the rear, which would then follow the original footprint except that it would be expanded by 3' on each side (scaled back from the old structure's 5' or 6') it would give our avocado a good chance of survival, reducing its roots and canopy by 25 rather than 50% & would help preserve the privacy and light of us & Kevin at 65 Cuvier; the 4' setback would also help preserve the privacy of everyone at the rear.

If these issues can't be resolved satisfactorily and it goes to DR, we'd like to have an onsite review.

In closing, we'd like everyone concerned to know we realize this has been a protracted and difficult process, having ourselves been seriously impacted by the fire and its aftermath (we had to move out of our house for 6 mo. while it was repaired). We tried to be very good neighbors to Ken, Tina and their family during the four years they lived here before the fire, and hope to be again. However, as long-time home-owners (over 30 years, so too with several of our neighbors, at least one of whom, Ileana Hernandez, 44, was born here ), we don't believe this project as its currently proposed is good for us, our neighbors, or the long-term well-being of the neighborhood, not least because of the precedent it sets.

2B

10.0236E

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

**CHECKLIST FOR APPLICANT:**

Indicate which of the following are included with this Application:

**REQUIRED:**

- Check made payable to Planning Department (see current fee schedule).
- Address list for nearby property owners, in label format, plus photocopy of labels.
- Letter of authorization for representative/agent of D.R. applicant (if applicable).
- Photocopy of this completed application.

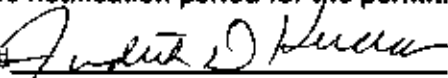
**OPTIONAL:**

- Photographs that illustrate your concerns.
- Covenants or Deed Restrictions.
- Other Items (specify).

**File this objection in person at the Planning Information Center.** If you have questions about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

**Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.**

Signed

  
Applicant

3/31/10

Date

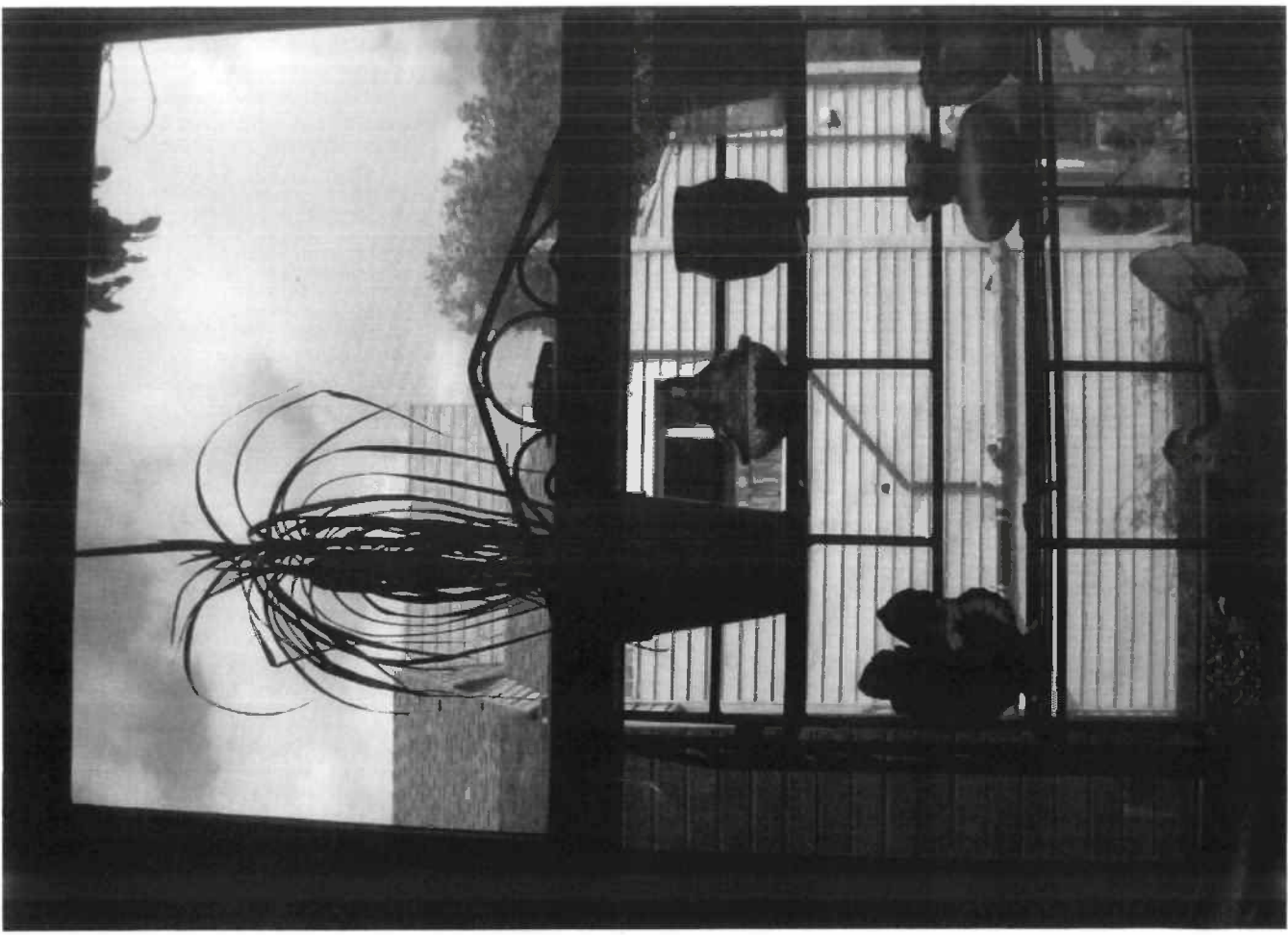
Yard 77 Center  
Facing NW



1 023



Facing N.  
Kitchen Window - 77 Cudler



10.0236D

77 Curves facing North



77 Cavier  
Facing West



Deck facing N. 77 Cadier



10.0236D

**From:** Judith Kucera  
**Reply To:** Judith Kucera  
**To:** "tina"; Ken; Corey; Martin  
**Cc:** Ileana; Ruth; Ernie  
**Subject:** Report from Martin Kutches  
**Date:** 06/02/2010 09:41 PM

Hello all, This was hand-delivered and we have the signed original. Corey, we'd like this and the O'Sullivan tree report included in the packets if possible. Judy and Mark Report re examination of avocado tree at 77 Cuvier St on May 24, 2010

From Martin Kutches, Arborist 6/2/2010

Having done tree maintenance and removal work on adjacent trees for Judith Kucera & Mark Hein over

a period of 20 years I am very familiar with this tree, the dimensions and overall condition of which are

as described in Chris Campbell's report of March 29, that is: "an approximate height of 35 feet and a

canopy spread of 22 feet by 14 feet. The diameter at breast height is 15 inches. The Avocado tree is of

average health and vigor and I am told it does not produce fruit." However, Chris's conclusion that it

"appears to have been topped many years ago" stems in my opinion from windburn -- Ms.

Kucera has

lived here since 1978 and was preoccupied in caring for her big Winter Nelie pear tree in front and 50

year old Monterey Pine in back (which she and her husband had me remove in 2005 because of severe

pitch canker disease), so this tree had very little pruning over the years. An additional comment I'd like

to make about its condition is that it's free from Persia mite (from which many SF avocado trees suffer),

and that since the removal of the Pine (12 feet east) it has entered a period of greater health and vigor.

I also agree with the other statements Chris made in his report on pp. 2, 3 & 4 about the location of

the "main leader of the tree" and the location of the roots (the exception being that "one major root

may have been cut in the past, possibly to reduce risk of infrastructure damage to the foundation",

while true, would have happened more than 15 years ago because the root is now well-callused).

On April 5, 2010 I looked at the tree at the owners request because of their concerns about the impact

the planned new house at 71 Cuvier would have on it, since the owners wanted to build to the property

line next to the tree.. At that time I did a visual exam from the 77 side of the fence and tentatively

concluded the tree would need the original footprint (6 1/2') for its roots to survive -- it was very clear

it would also need 2 1/2 feet at the height of the lateral, but the canopy could be much reduced on the

71 side and the tree could be pruned over time to give an espaliered effect against the north wall of

77, starting as soon as possible to allow the tree time to recover before construction began.

The owners at 77 called me again to trench on the 71 side (which those owners permitted) to find out

how much root space would be required for it to survive. Chris Campbell joined me onsite on May

24.

The owners of 71 had offered a 2 1/2 foot setback, so we first dug a trench there and uncovered 3

roots, one 4", one 2 1/2" & one 3", totalling 9 1/2". The second, 5' from the property line, revealed

many small roots but only 1 larger one 1 1/2" in diameter.

On the basis of this, following ISA guidelines (30% DBH, and this was 60%), and my own 35 year

experience as an arborist, I concluded the tree would be heavily impacted and would almost certainly

die after a few years if the roots were cut at 2 1/2 feet. It would also become destabilized and represent a serious hazard, and I would refuse to do such work.

However, if the roots were allowed a 5 foot radius on the 71 side, and if the canopy were pruned as

I've suggested above I'm confident the tree would continue to survive and flourish.

If you, your neighbors, Corey Teague or anyone else would like to discuss these conclusions, please feel

free to call me at 584-6878 or email me at "Martin" <martin@kutchestree.com>

H U A N G I B O S H I  
A R C H I T E C T U R E

1736 Stockton Street San Francisco CA 94133  
T:[415] 217-7055 F:[415] 217-7066 www.HI-Arch.com

To: Mr. Corey Teague  
San Francisco Planning Department  
1650 Mission Street, Suite 400  
San Francisco, CA 94103-2479

From: Emily Huang  
Re: 71 Cuvier Street

Application # 2009.10.15.9021

Tel: (415) 558 6378

Fax: (415) 558 6409

Date: 05/27/2010

Dear Corey,

The following is our project description and DR response. Thank you for your assistance and support of our project.

Project Description:

The project is new construction of a 3-story, 5 bedrooms 3 ½ baths, single family home with 3139 habitable square feet on a 25'x100' property at 71 Cuvier Street. The house is 31'-4 ½" tall measured from the front elevation. It is setback 9'-6" from the front property line and is 60'-0 ½" in length. The house has a rear yard of 30'-5 ½". A balcony deck 3'-5 ½" in depth by 19'-1 ½" in width on the second floor and a spiral staircase of 6' diameter serving the second floor and first floor are within the rear yard. First floor consists of garage to park two cars in tandem position, mechanical room, home office, guest bedroom and bathroom. Second floor consists of living room, dining room, study, kitchen and powder room. Third floor consists of Master bedroom with attached master bath, 3 children's bedrooms, 1 bathroom, and laundry room. The previous house on this property was destroyed in a PG&E fire and has been demolished. The property has the same owners who wish to rebuild a new home on their property. The main objective of this family for their new house is for all family members to sleep on the same floor and for the kitchen to be in the back of the house.

DR Response:

**DR Application 1-** Richard Pence and Illiana Hernandez

Item B #1- Proposed building out of character with the block/neighborhood- See attached photos of both sides of Cuvier Street at this block showing neighborhood character. This block is made up of various houses and buildings typical in San Francisco and this neighborhood. New proposed building is within neighborhood character. New building design is similar to 24, 31, 47, 59, & 83 Cuvier Street. Please see block elevation photos.

Item B #2- 26 Cuvier Street grossly shadowed, 28 Cuvier Street shadowed- We performed a sun and shadow study with the old house and new house for 12 months of the year at 7am, 8am, and 9am. The results show that the impact at 7am is not significantly different between the old house and new house all year round. At 8am, the new house does shadow 26 Cuvier for March, April, September and October more than the old house. At 9am, the new house does not cast shadows on 26 or 28 Cuvier Street - please see attached sun/shadow studies.

Item B #3- Address adequate parking- Proposed design will provide two cars parked in tandem position. Two car parking is adequate for this project as required by the planning code. The Planning Department does not require more parking and discourages projects providing more parking spaces.

## **DR Application 2- Ruth Jensen**

Item B #1- Proposed building out of character with the block/neighborhood- See attached block elevation photos of both sides of Cuvier Street at this block showing neighborhood character. This block is made up of various houses and buildings typical in San Francisco and this neighborhood. New proposed building is within neighborhood character. New building design is similar to 24, 31, 47, 59, & 83 Cuvier Street.

Item B #2- All backyard neighbors adversely affected by 27' rear yard and apartment building feel- The proposed project has a 30'-5 1/2" rear yard. A balcony deck 3'-5 1/2" in depth by 19'-1 1/2" in width on the second floor and a spiral staircase of 6' diameter serving the second floor and first floor are within the rear yard. There is a 4'-0" x 13'-1 1/2" setback on the ground floor (first floor) making the rear yard 34'-5 1/2" deep for half the width of the lot at the ground floor. There is a 4' set back on the third floor across the entire length of the house (25'-0") making the third floor rear wall 34'-5 1/2" from the rear property line. This is a single family house with a variety of window and door sizes reflecting the uses of the rooms on the rear elevation. Windows and doors are detailed with dividing mullions and clerestory sections to break down the scale of the openings. The massing of the house is stepped and sculpted to avoid a single plane of wall. New landscaping will be introduced to the rear yard once construction is completed.

Item B #3- Building shortened in length back to original house and reduction in building height- The old house that was destroyed in the fire was 66' in length. It did not have a front yard setback and therefore the old rear yard was 34 feet deep. The new house has to observe a front yard set back of 9'-6" per SF Planning code and is 60'-0 1/2" in length. Therefore the new rear yard is 30'-5 1/2" deep and 3'-6 1/2" lesser in length than the old rear yard while the new front yard is 9'-6" deep. The new house has been reduced in length by 5'-11 1/2" from the old house. The new house has a 4'-0" x 13'-1 1/2" setback on the ground floor (first floor) making the rear yard 34'-5 1/2" deep for half the width of the lot at the ground floor.

The new house is 31'-4 1/2" high including the parapet and cornice measured from the finished grade at the front property line (center) and 34'-2 1/2" high measured from the finished grade at the rear yard (center). The height as designed is consistent with other three story houses in the neighborhood and typical of single family house. There is no intention to make the new house a tower and it is not seen as such. The house is 3'-7 1/2" lower than the maximum height allowed for the project. Please see attached elevation photos and elevation drawings.

## **DR Application 3- Judith Kucera & Mark Hein**



Item B #1- Were not given adequate input and minor reduction in proposed project size is insulting- The project has followed all planning department regulations and guidelines regarding neighborhood notification and design review process. The project has followed all planning department codes, regulations and design guidelines. The first neighborhood design meeting was held on 8/31/2009. The design was modified after the meeting and for the site permit application submitted on 10/01/2009, the house was reduced in length by 2'-0", the height was reduced by 1'-1", and a 4'-0" x 13'-1 1/2" set back was introduced on the ground floor at the rear yard. Subsequently, the Planning Department requested two more design revisions dated 1/14/2010 and 2/12/2010 where the spiral stair is moved 5'-10" away from the south property line and the rear building massing is further sculpted and reduced. The project sponsors have made concessions at every stage in the design process and followed all rules. We have respected multiple points of views and abided by all protocols. There is no intention to insult anyone.

Item B #2- Loss of half of direct sunlight into bedroom in May, June, July and loss of privacy, loss of avocado tree- The new house design proposes a 10'-6" x 5'-0" light well adjacent to the north side windows of 77 Cuvier Street. The old house footprint did not have set back at the north side windows of 77 Cuvier Street. The new house design will actually offer more light into the north side windows of 77 Cuvier Street. Please see sun/shadow diagrams comparing old house and new house shadow impact.

There is a 40 year old avocado tree on 77 Cuvier Street property that is close to the property line dividing 77 & 71 Cuvier Street. Much of the tree is encroaching into the property line of 71 Cuvier Street. The project sponsors have retained an arborist who recommends that the best course of action is to remove and replace the tree. The project sponsors have offered to help with related costs. As an alternative solution, the project sponsors have offered to create a 2'-6" wide x 20'-7" long setback on the south property line from rear of house to the light well to preserve the main encroaching branch and allow for careful root pruning by a certified arborist. There is no guarantee that the tree will survive construction stress and no way to determine the necessary setback that will preserve the tree. Please see attached arborist report. This is a difficult situation that has not been resolved between the project sponsors and the owners of 77 Cuvier Street. The owners of 77 Cuvier Street have not accepted either solution.

Item B #3- Adhere to the footprint of the original (1908) house, reduce ceiling height, and setback house for avocado tree- Adhering to the footprint of the demolished 1908 house is not feasible for the following reasons: 1) The old house that was destroyed in the fire did not have a front yard setback. It was 66' in length. If we adhered to the footprint of the original house and the new house has to observe a front yard set back of 9'-6" per SF Planning code, the resulting design would make the rear yard less than 25'-0" in length. A minimum rear yard would not be preferable to the project sponsors, the Planning Department or the DR requestors. 2) If the front set back code is waived in this case by the Planning Department, the solution would aggravate DR requestor #1's concerns of shadow cast across the street. The new house would violate the established pattern of setbacks and street frontage created by the neighboring houses on the block. 3) The layout of the 1908 house was designed for the uses of a family more than 100 years ago. The project sponsors would like to build a house that is designed to today's living standards and can accommodate their growing family of 5 plus visiting friends and family. The footprint of the new house is well within the requirements and guidelines of all planning codes and regulations. 4) The foot print of the new house is 1448 sf while the foot print of the old house was 1411 sf. The foot print of the new house is 37 sf larger than the footprint of the old

house. In effect, it is not the size of the new footprint that the DR requestors object to but the placement of the footprint on the property.

The new house is 31'-4 1/2" high including the parapet wall and cornice measured from the finished grade at the front property line (center) and 34'-2 1/2" high measured from the finished grade at the rear yard (center). The height as designed is consistent with other three story houses in the neighborhood and typical of single family houses in San Francisco. There is no intention to make the new house a tower and it is not seen as such. The house is 3'-7 1/2" lower than the maximum height allowed for the project. Please see attached photos and elevation drawings.

The project sponsors have offered to create a setback on the south property line for the avocado tree. Please see description in Item B #2 above. No agreement has been reached on the setback.



Christopher Campbell  
Tree Design

**Date:** March 29<sup>th</sup> 2010

**Client:** Ken O'Sullivan  
Tina O'Sullivan

**Location:** 71 Cuvier  
San Francisco, CA 94112

- Assignment:**
1. Provide onsite details and photographs as an aid for mediation.
  2. Discuss the risks to tree health and tree failure from root loss due to root pruning.
  3. Provide recommendations and options for tree preservation versus replacement.

**Discussion:**

The property owners at 71 Cuvier Street San Francisco, CA 94112 are rebuilding after property loss due to fire. The Planning Department is requiring a ten-foot set back from where the original front of the house existed. A tree that originates at 77 Cuvier Street San Francisco, CA 94112 and whose trunk appears to be just at or slightly over the property line at the root buttress is impacting the design and construction of the new home.

The parties involved are looking for insight regarding risks to tree health, risk of tree failure after root pruning and recommendations with options to solve the design conflict.

The tree in question is an Avocado tree with an approximate height of 35 feet and a canopy spread of 22 feet by 14 feet. The diameter at breast height is 15 inches. The Avocado tree is of average health and vigor and I am told it does not produce fruit.



The tree appears to have been topped many years ago. Topping is an improper pruning practice often resulting in weak branch connections and poor structure. As a result, most of the branching structure is made up of old water sprouts or suckers. One of the lowest lateral branches has assumed terminal dominance (become the main leader of the tree) and this main leader crosses the property line at about 15 feet above natural grade and overhangs the O'Sullivan's property by 2 to 2.5 feet before curving back into the central region of the canopy.





The position of the tree in relation to the property line is important to note. This may require a survey to determine the exact location of the property line. The canopy is approximately two thirds over The O'Sullivan's' property at 71 Cuvier Street and one third over 77 Cuvier Street, where the major portion of the trunk originates.

The root buttress and major structural roots can be seen in the second photograph below. At least two of these roots are approximately 5 or more inches in diameter. The pictures on page 4 show the roots in relation to 77 Cuvier Street. It appears that one major root may have been cut in the past, possibly to reduce risk of infrastructure damage to the foundation. The root buttress is located about 2.5 feet from the foundation of 77 Cuvier Street.





Loss of structural roots increases the risk of tree failure. Although many healthy and vigorous trees can survive some root pruning, many mature trees can begin to decline after root pruning projects. Decay and root disease often enter at the root pruning cuts and can cause total tree failure years after the project is complete. Root pruning is never done without reducing canopy weight, windsail and cantilever first. A Project Arborist certified by International Society of Arboriculture should supervise root cutting location, methods, and decisions.

3/29/10

Page 5 of 8

Back tree assessment  
Recommendations for 71 Cuvier



Christopher Campbell  
Tree Design



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San Francisco,  
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CERTIFIED ARBORIST NO. 6483A  
BUSINESS LICENSE NO. 707545  
SEE OUR ARBORIST CONTRACTOR

EMAIL: [info@ccrdesign.com](mailto:info@ccrdesign.com)  
WEB: [ccrdesign.com](http://ccrdesign.com)



### Recommendations:

The current design of the new home for the O'Sullivan's located at 71 Cuvier Street in San Francisco extends past the Avocado tree at the property line. Due to the Avocado tree's root buttress originating on or just at the property line, it is not feasible to build the foundation here while preserving the tree. The tree trunk also has a slight elbow on it that may not clear the outer wall, and depending on the roof height, the main leader that curves over the O'Sullivan's by 2.5 feet may not clear the roofline.

It is my professional opinion that the best option for this situation would be to remove the Avocado tree and replace it with a new tree or trees located farther down the property line and closer to the corner of 77 Cuvier Street. The parties involved have multiple considerations in this situation.

- o The expense of redesigning the home to accommodate the tree and loss of square footage.
- o Risk of the tree declining in health possibly resulting in death from root loss and or encroachment in the critical root zone.
- o The condition of the remaining tree canopy and its reaction to possible major pruning. (The major portion of this tree exists over the O'Sullivan's property)
- o Increased risk of tree failure if roots are disturbed.
- o Risk of damage to foundations or structures for both parties in the long term.

When weighing the cost of accommodating and preserving this tree with the risks to tree health and possible failure, I believe a better long term investment would be to replant one to three new trees, depending on species selection. One of the criteria for selection may be a tree that at the time of purchase would have significant size and height or trees that will provide screening between properties. I do not recommend planting a tree larger than a 24 to 36 inch box selection. This could also be an opportunity to rethink the benefits of the tree or trees with new options like flowers, fall color, or fruit.

There are some fast growing species that at the time of planting could be close to or as tall as the height of the house. Birch trees often come very tall and prefer to be planted in groups of three close together. This species can be around 14 feet in a number 15 container and 22 feet in a 24-inch box, depending on current stock. The number 15 container is the size of a 5-gallon bucket and fairly inexpensive. This is the smallest size that should be considered. The 24-inch box tree is usually significantly larger but often takes longer to establish. For this reason I don't recommend going with a tree larger than the 24 inch box.





Many different species could be considered, and if chosen, I would be happy to help with tree selection and provide list of appropriate trees for replacement.

A consultation with an Arborist specializing in tree law is recommended. Questions to be answered may include: liability to property damage from neighboring trees, liability from tree failure in a situation such as this, neighboring trees with canopies and trunks crossing the property line, and trees that originate at or on the property line. If it is decided that the tree is to be kept, my recommendations are as follows.

- o Have a certified arborist prune the tree to reduce the canopy size over the O'Sullivan's property, working toward a more balanced distribution of weight. Reduce weight, windsail, and cantilever to reduce risk of failure.
- o Have an Arborist hand dig a trench to evaluate the amount of root disturbance the foundation would create and make recommendations for the size of the setback and location of trench for foundation. This setback may be a minimum of 4-5 feet or more.
- o Have a tree protection plan and Project Arborist work onsite throughout construction, in the related area, to minimize risk of tree loss or failure.

Even if all precautions are taken to preserve the tree there are still risks involved. Each party needs to determine their own level of risk with which they are comfortable. Trees in many cases take years to show stress or damage from root loss or soil compaction.

Impacts can be limited by establishing protective zones around the trees before construction, maintaining the integrity of those zones during construction, and by having a Project Arborist onsite when work is inside the protective zone. Techniques can be used to minimize/reduce soil compaction within Tree Protection Zone (TPZ).

#### **Definitions:**

The optimal Tree Protection Zone (TPZ) is the area to avoid working in to prevent root damage and soil compaction. Work includes but is not limited to digging, adding fill soil, parking construction trailers, storage of materials, and driving of any equipment. The International Society of Arboriculture (ISA) recommends a TPZ radius of one to one and one half feet to every inch of trunk diameter as a rule of thumb. For each tree, there may be variations on this formula depending on species and conditions. Work within the TPZ should be as far from the tree as possible



### Disclaimer

Trees are living things and many factors are involved in their care. Information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection. The inspection is limited to a visual examination of accessible items without dissection, excavation, probing or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.



WEST ELEVATION - FRONT ELEVATIONS

SCALE: 1/16" = 1'-0"

DATE: 5-27-2010

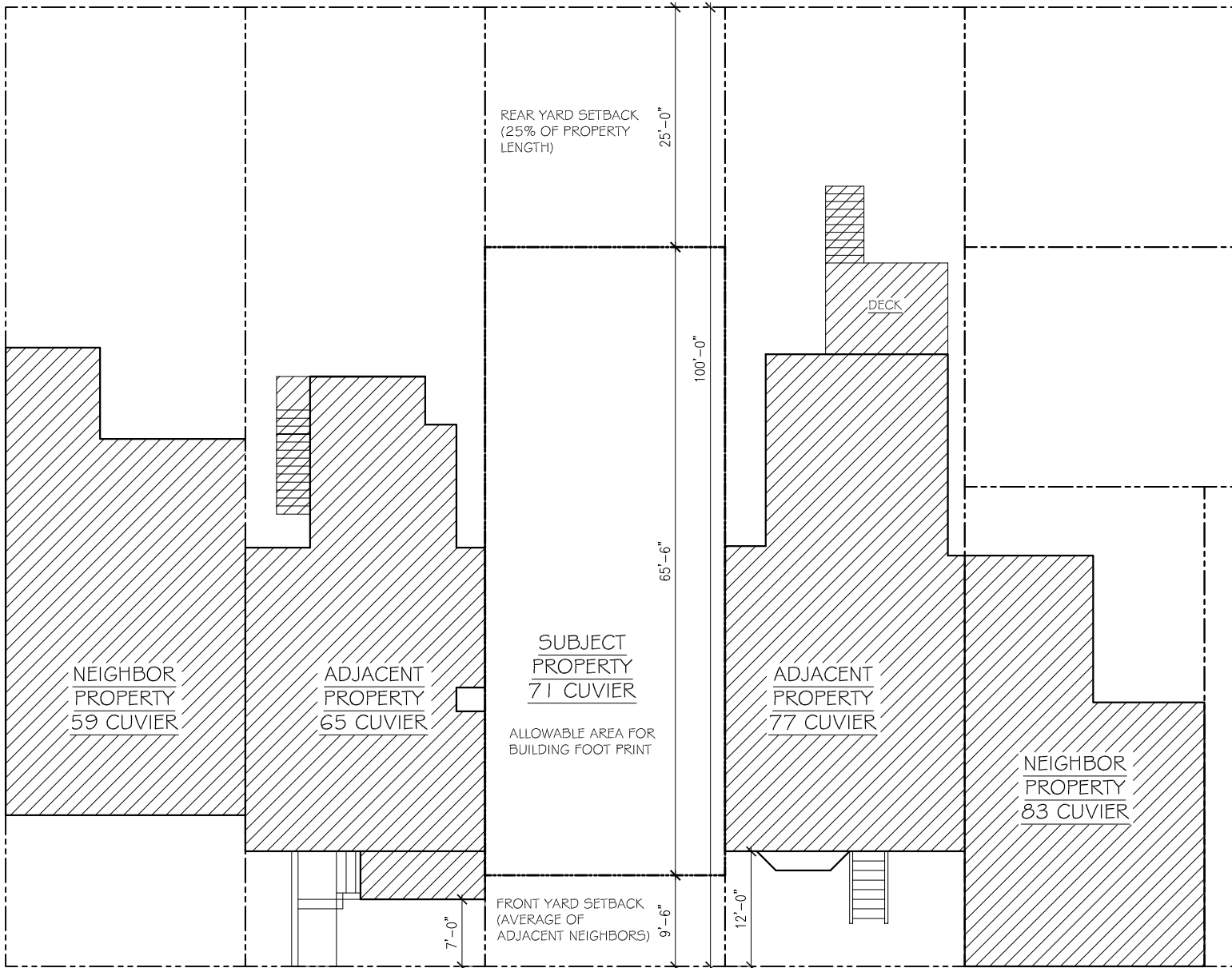
O'SULLIVAN RESIDENCE  
71 CUVIER ST., SAN FRANCISCO, CA



EAST ELEVATION - REAR ELEVATIONS

SCALE: 1/16" = 1'-0"

DATE: 5-27-2010



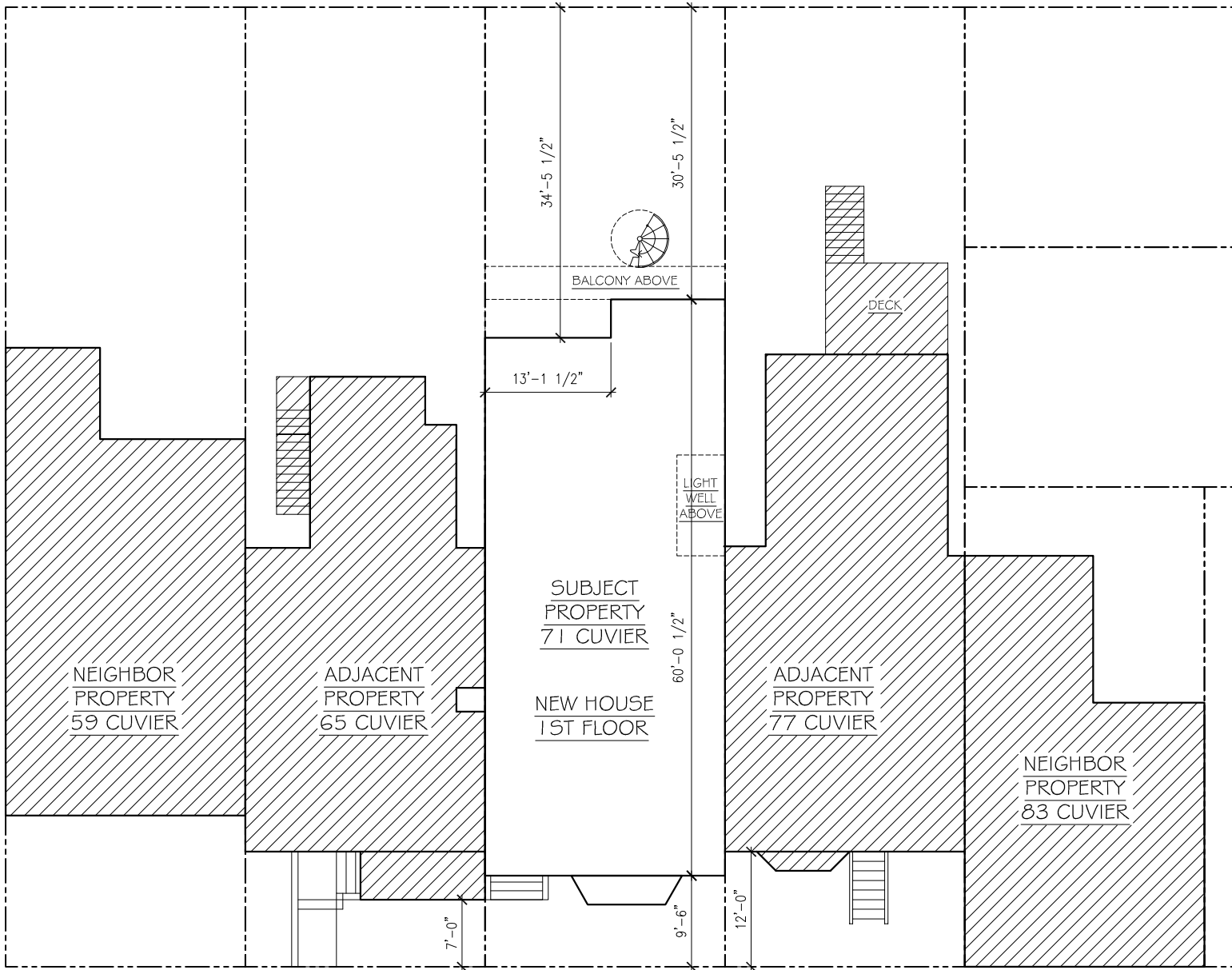
SIDEWALK

CUVIER STREET

SITE PLAN- ALLOWABLE AREA FOR BUILDING

SCALE: 1" = 16'-0"

DATE: 5-27-2010



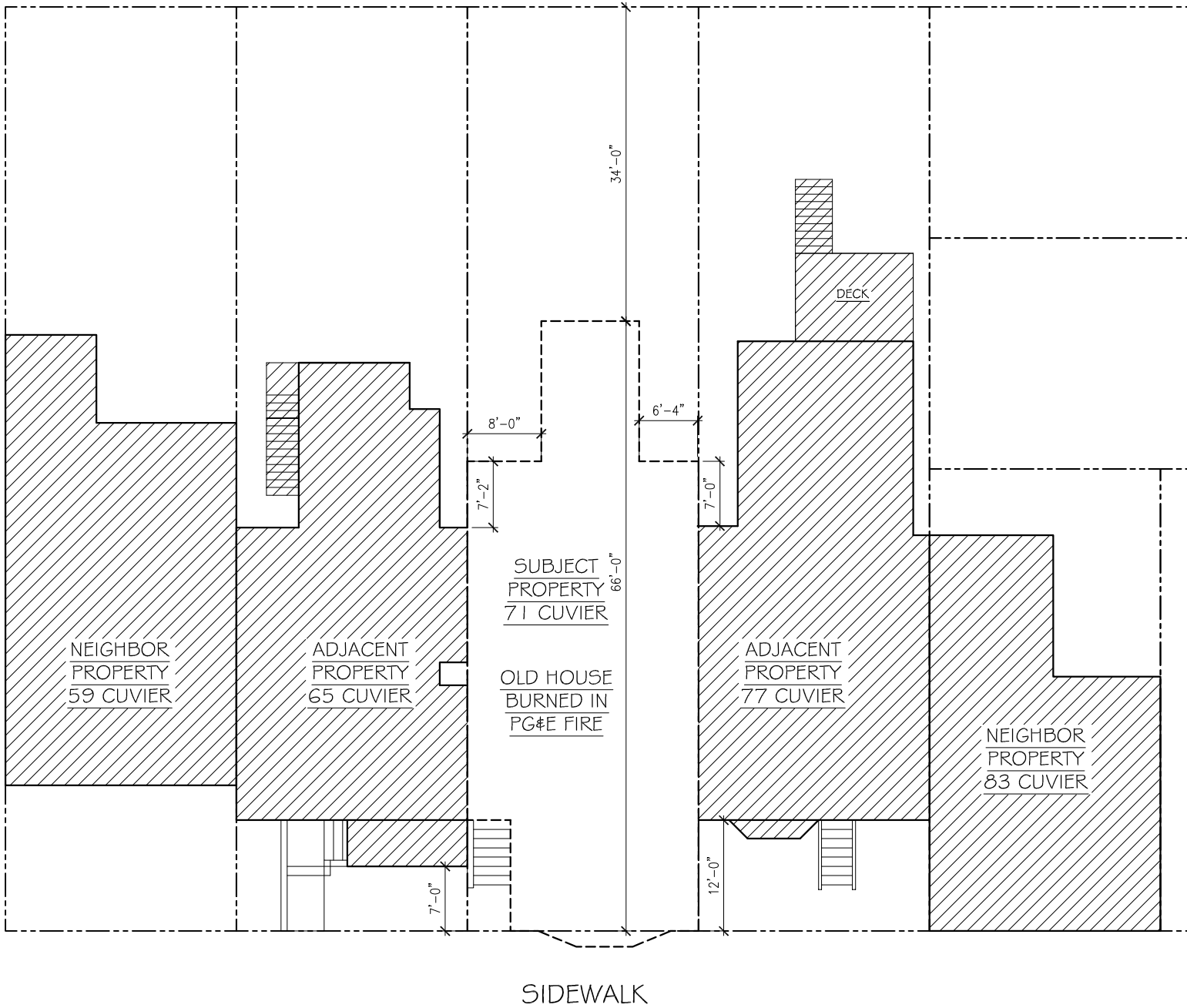
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CUVIER STREET

SITE PLAN- FOOT PRINT OF NEW HOUSE

SCALE: 1" = 16'-0"

DATE: 5-27-2010



CUVIER STREET

SITE PLAN- FOOT PRINT OF OLD HOUSE

SCALE: 1" = 16'-0"

DATE: 5-27-2010



FRONT ELEVATION

NOT TO SCALE 05/27/2010



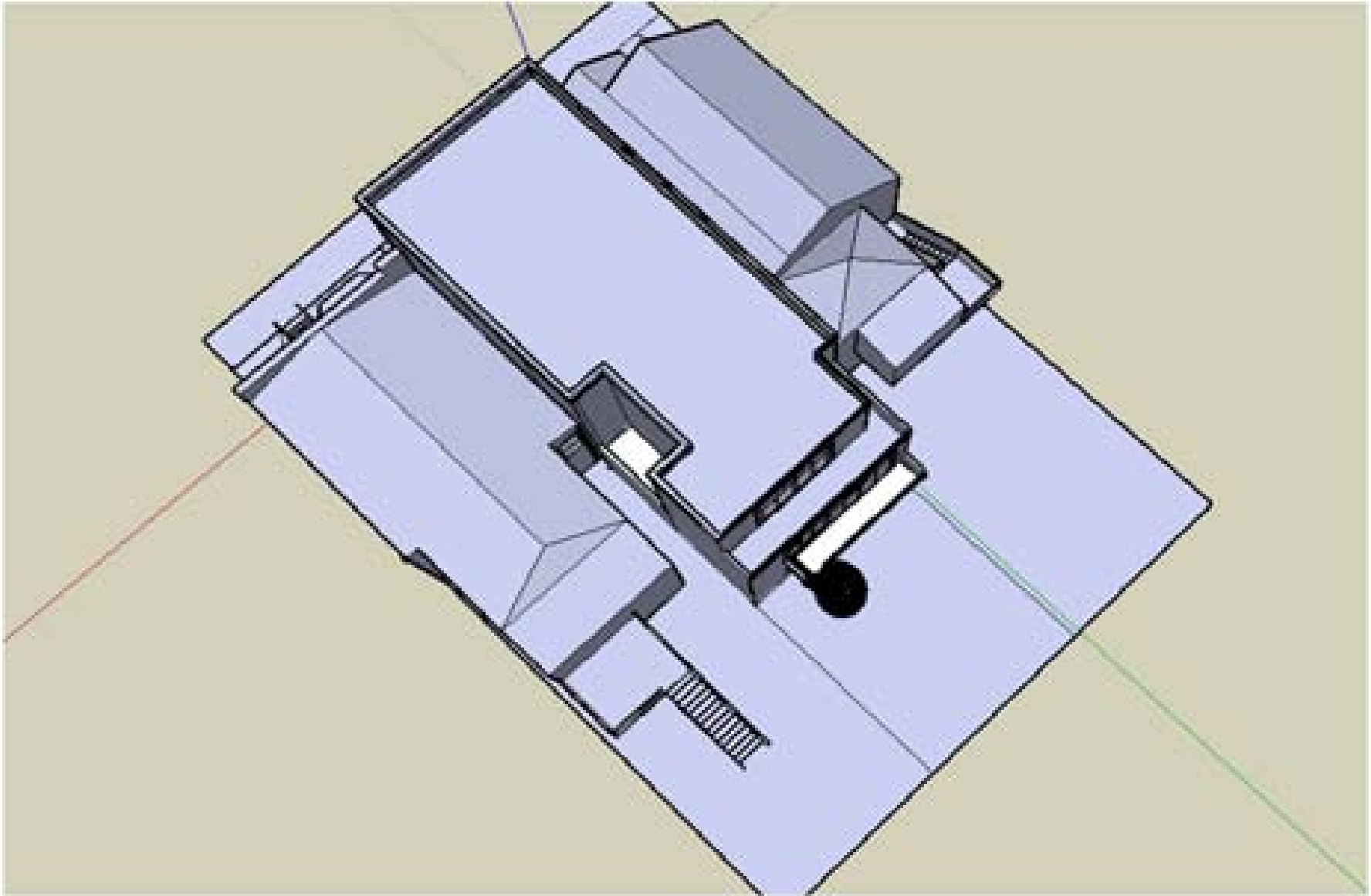
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71 CUVIER ST., SAN FRANCISCO, CA



BACK ELEVATION

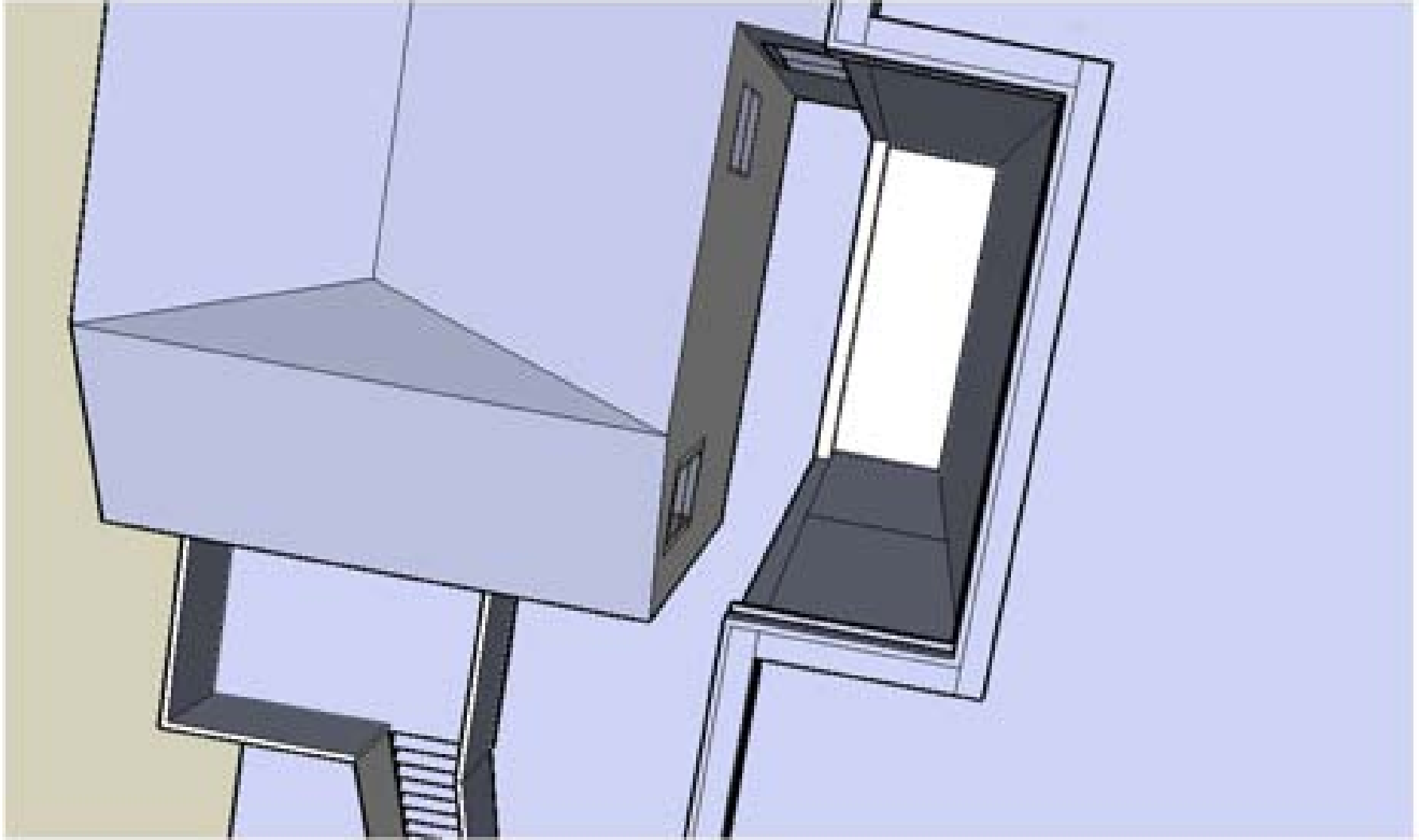
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O'SULLIVAN RESIDENCE  
71 CUVIER ST., SAN FRANCISCO, CA



BIRD'S EYE VIEW

NOT TO SCALE 5/27/2010

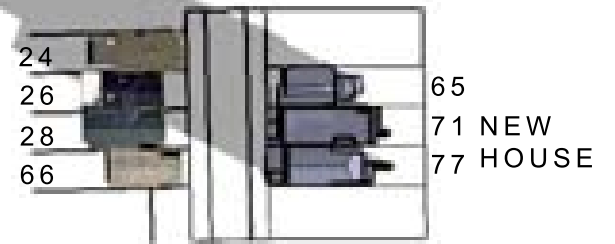
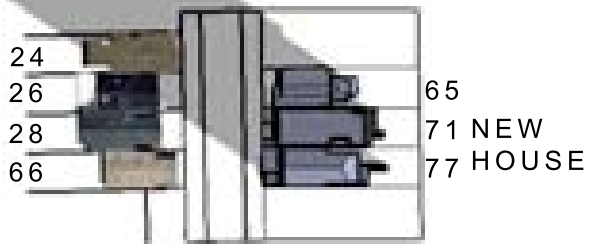
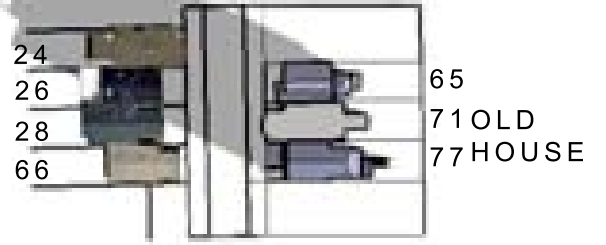
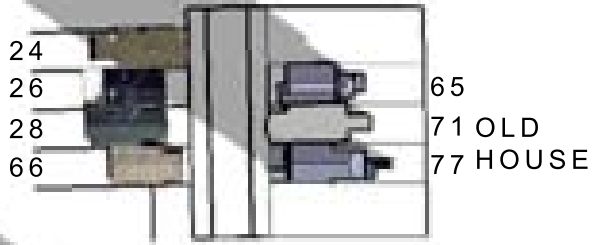


LIGHTWELL DETAIL

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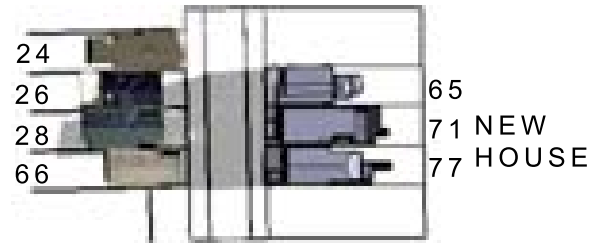
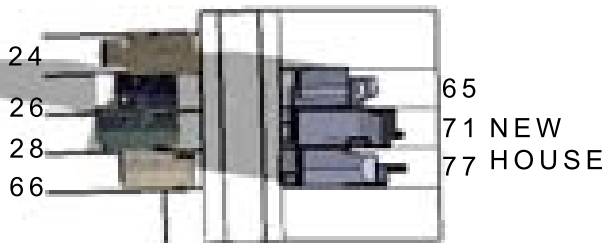
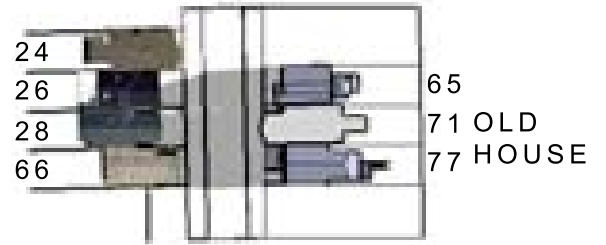
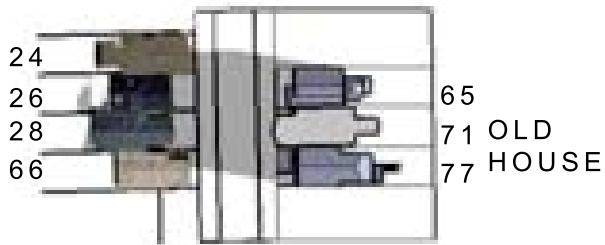
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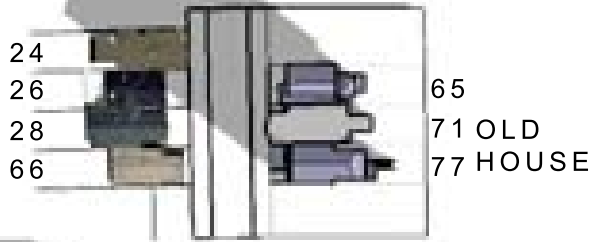


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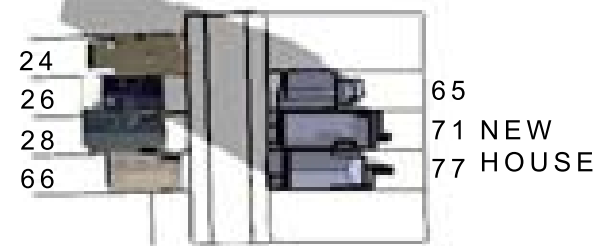
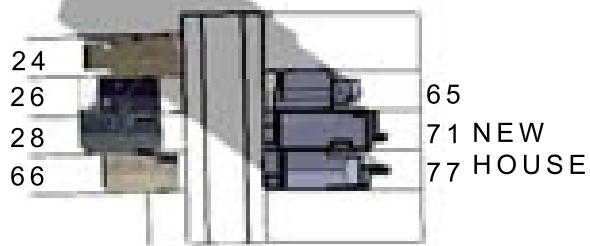
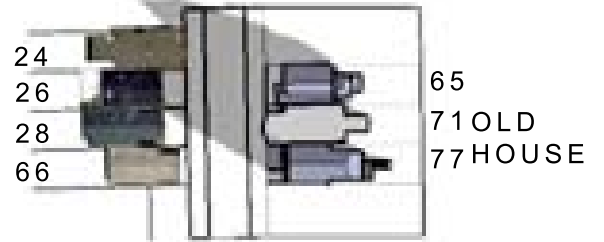
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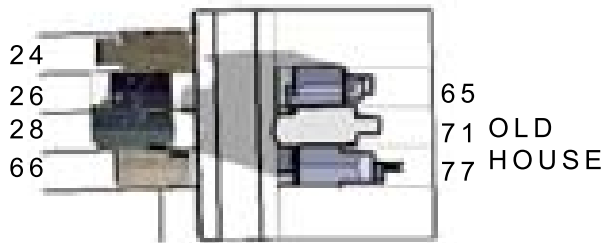
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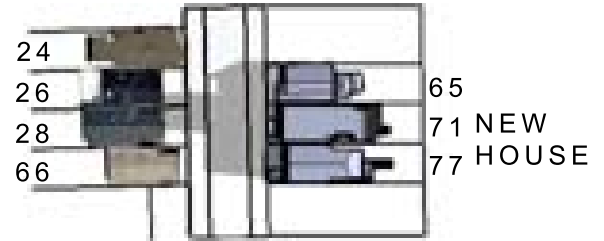
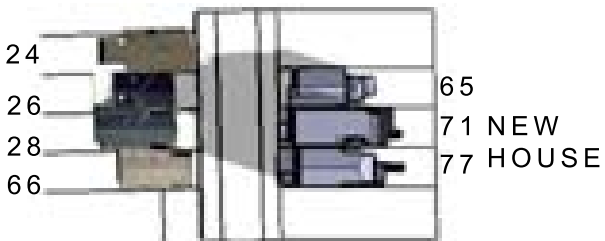
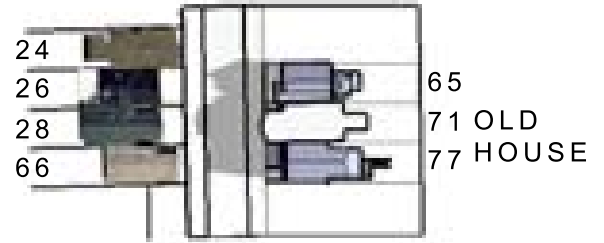
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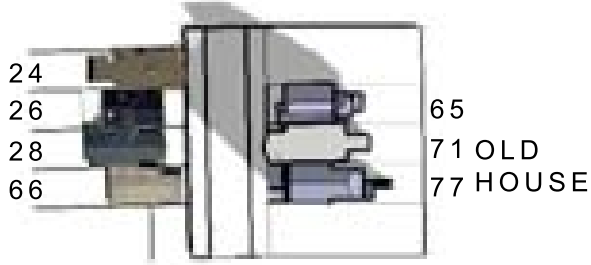
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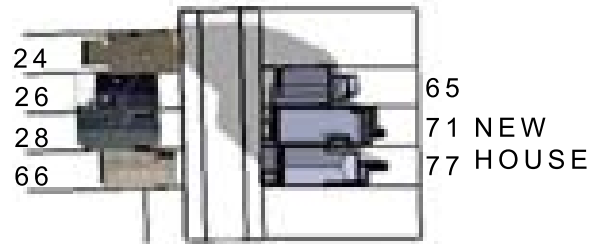
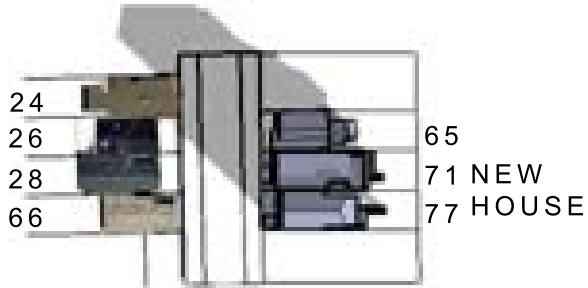
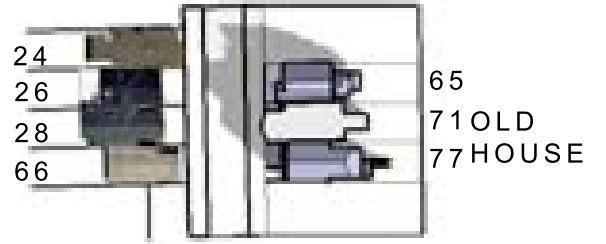
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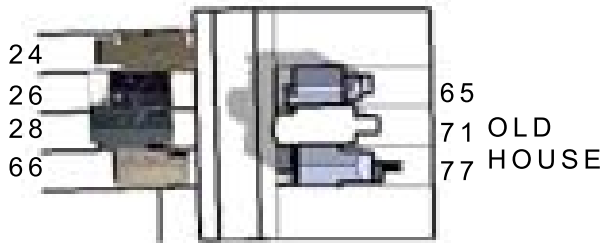
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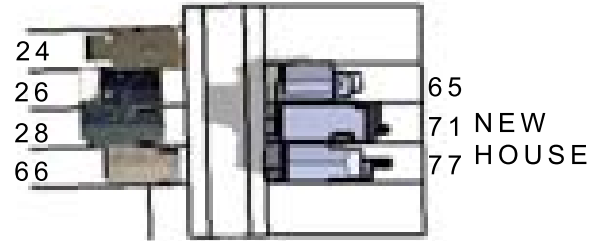
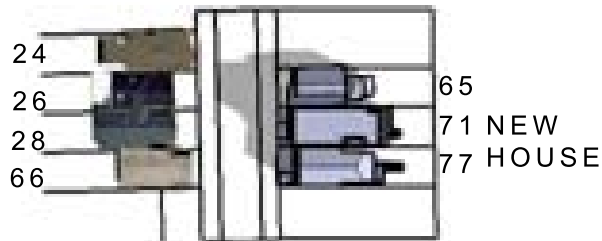
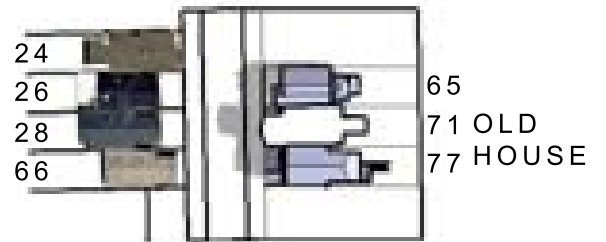
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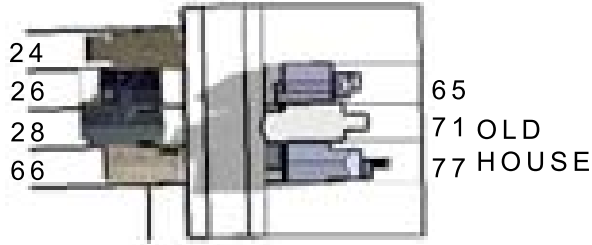
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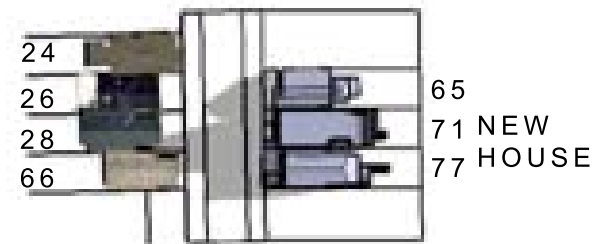
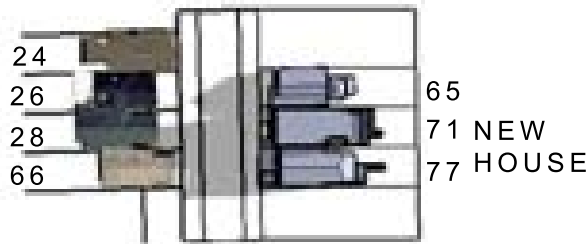
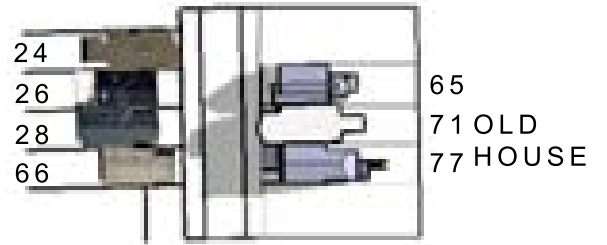
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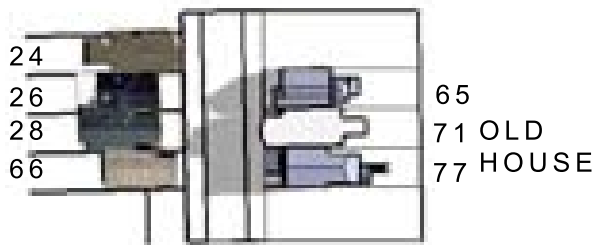
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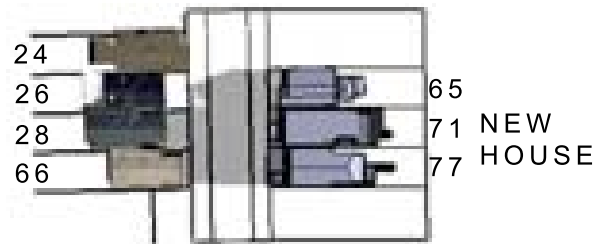
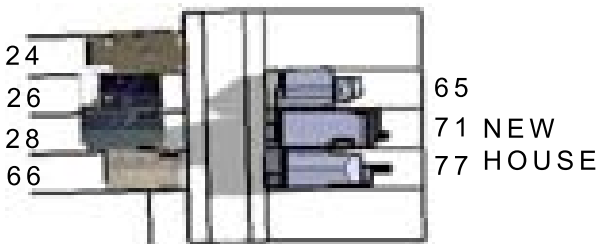
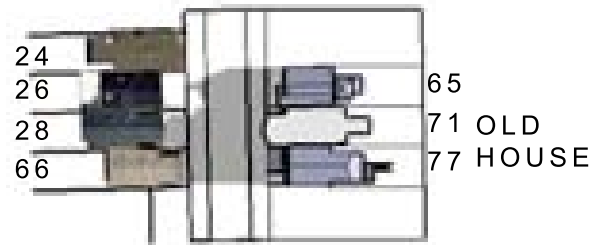
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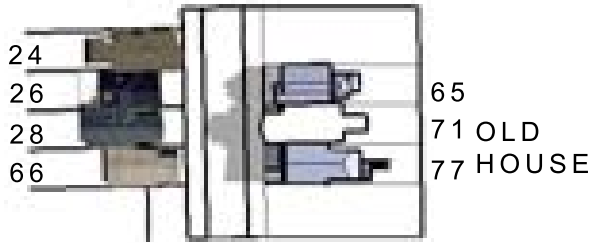
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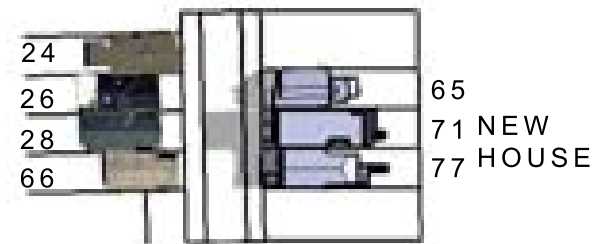
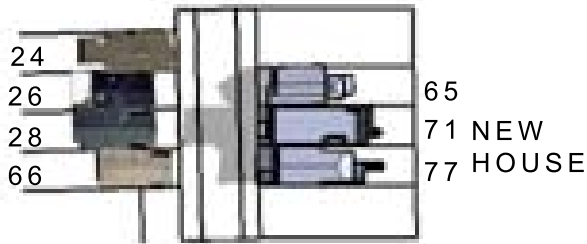
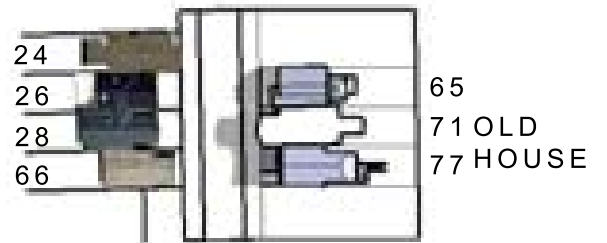
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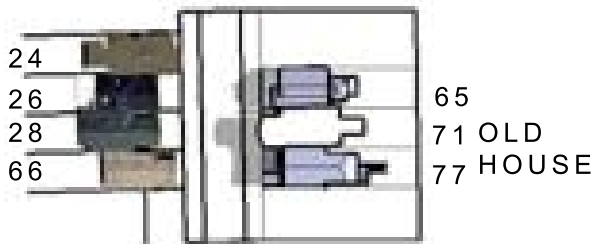
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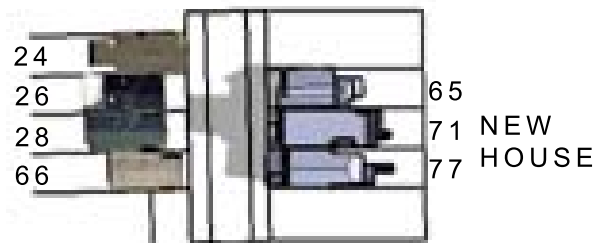
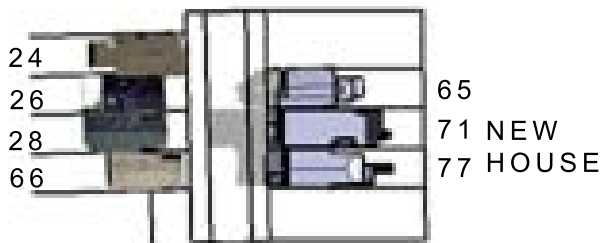
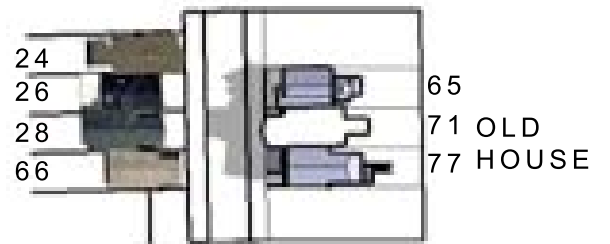
JUNE 8AM



JULY 8AM

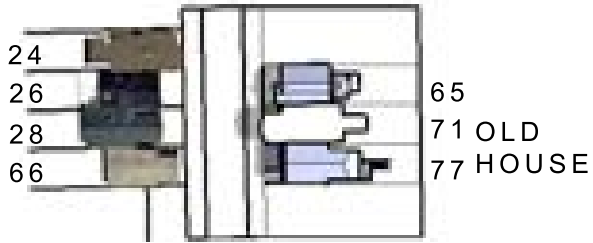


AUGUST 8AM

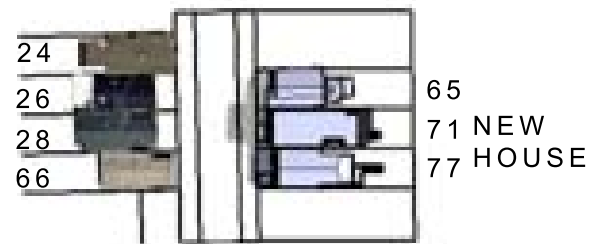
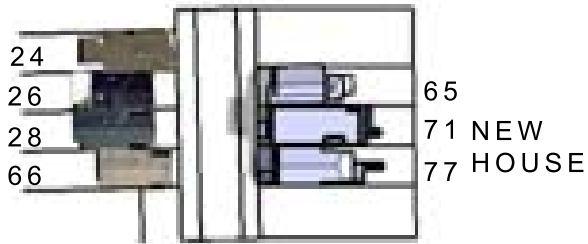
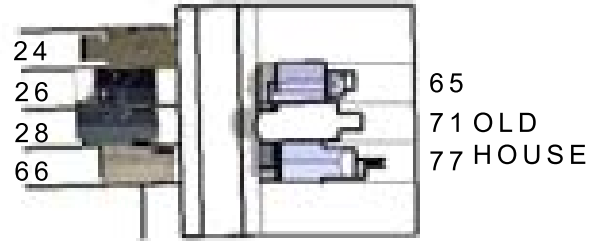




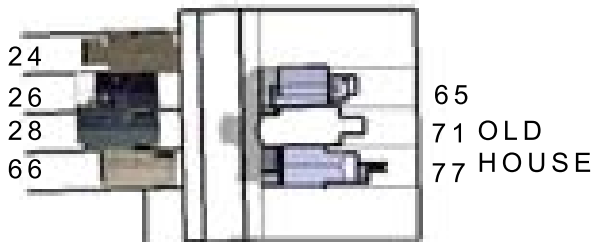
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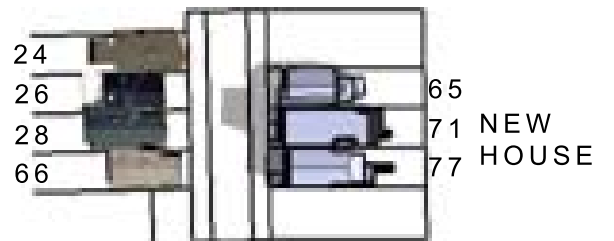
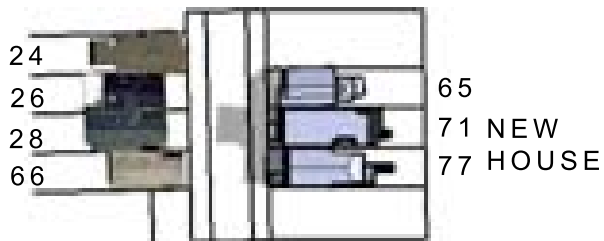
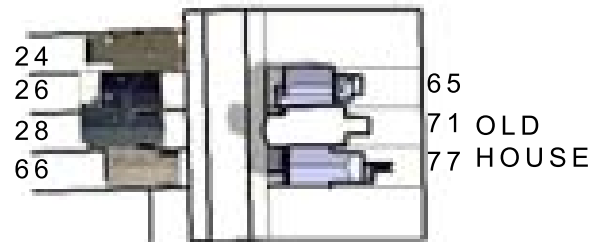
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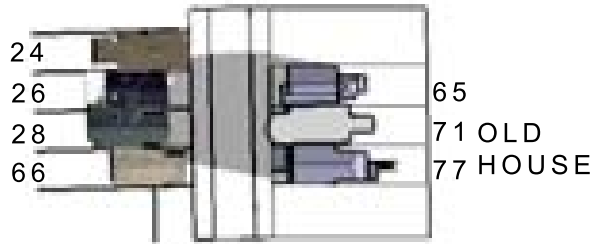
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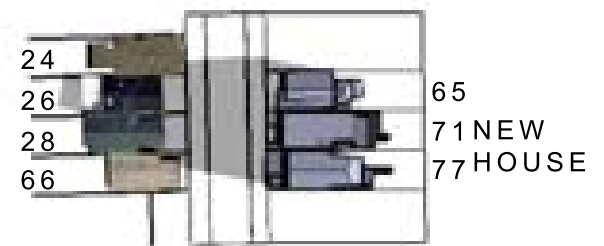
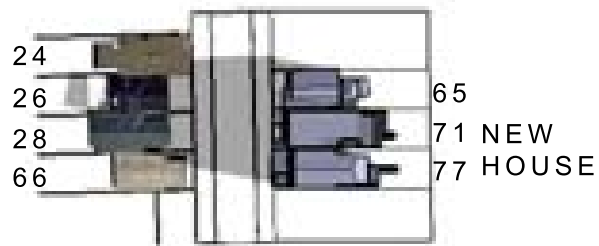
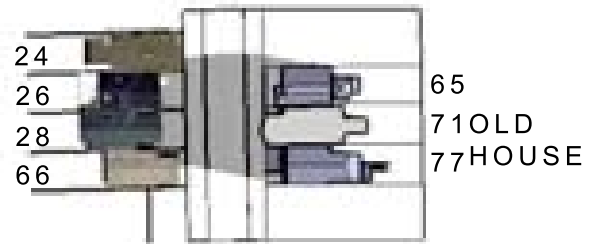
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05/27/2010

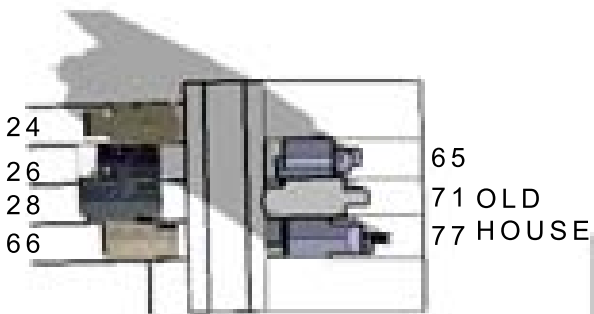
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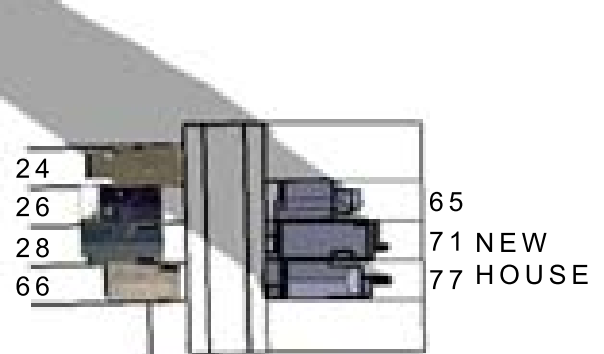
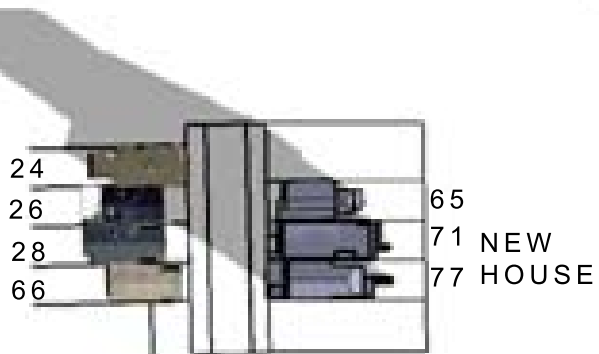
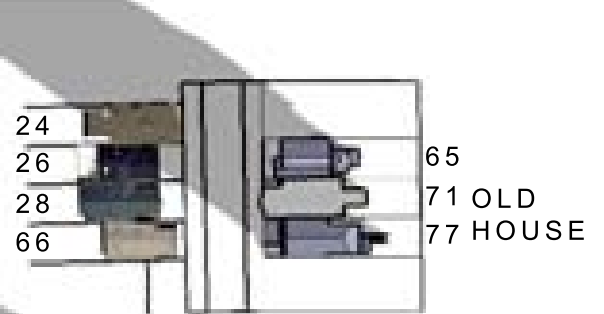
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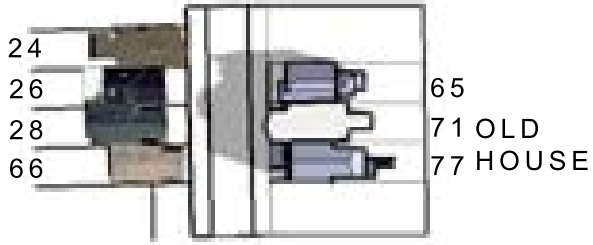
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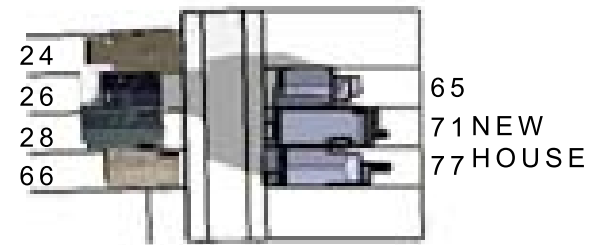
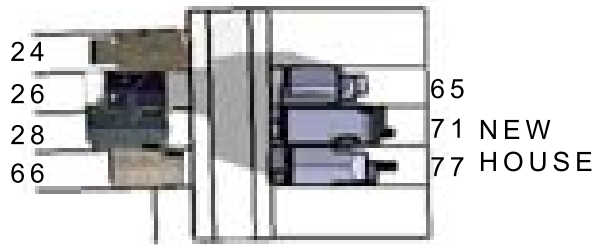
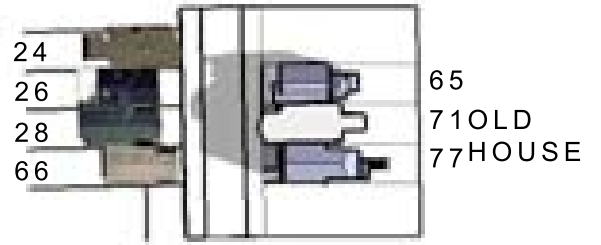
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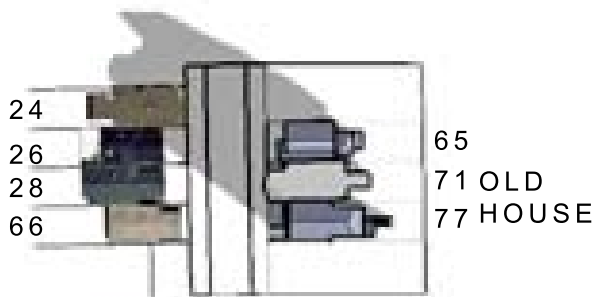
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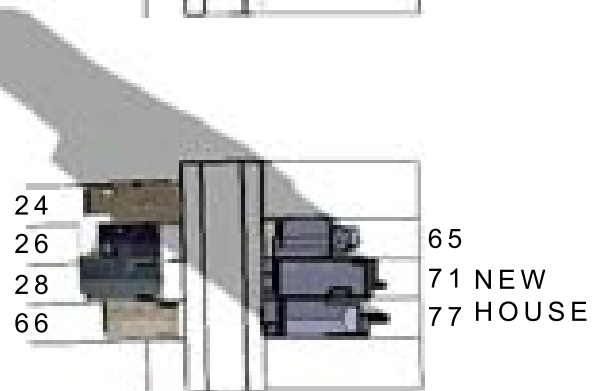
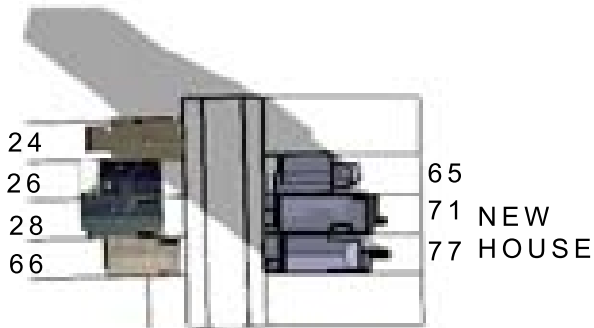
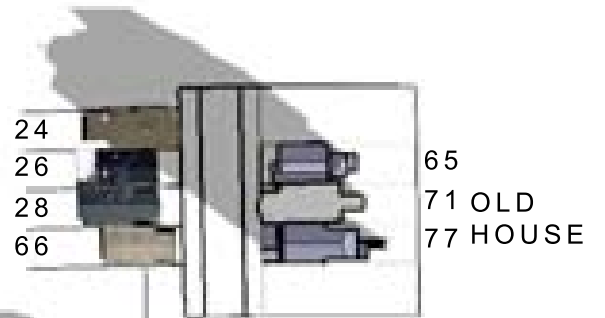
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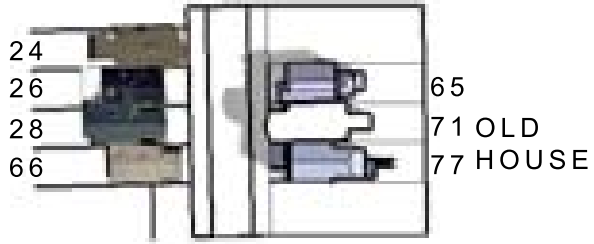
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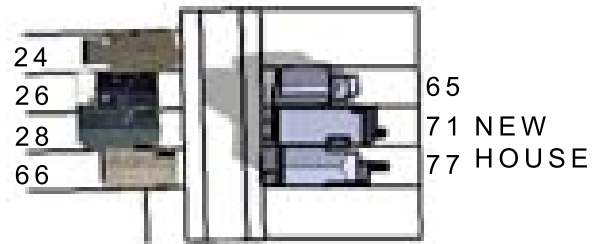
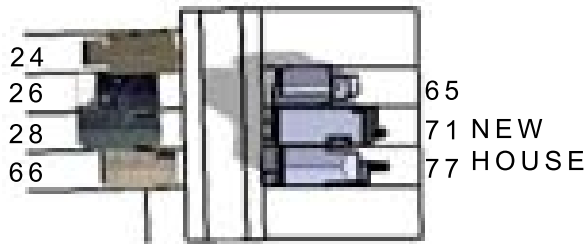
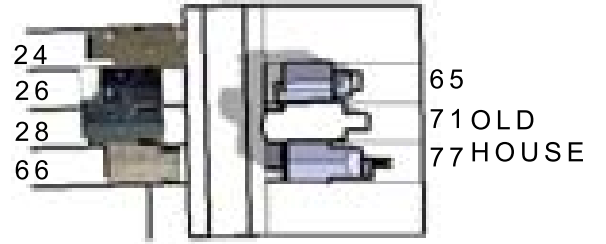
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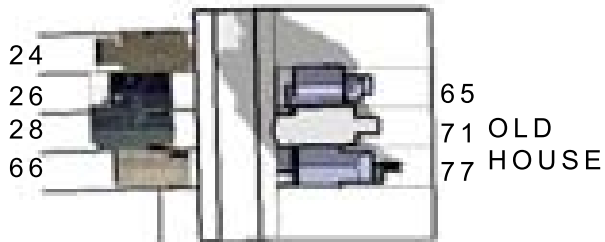
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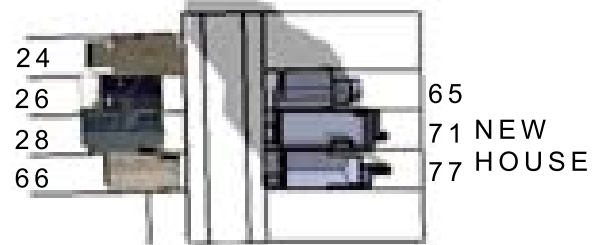
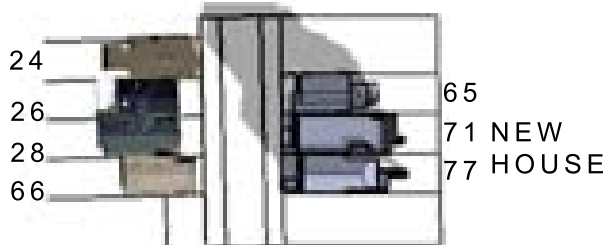
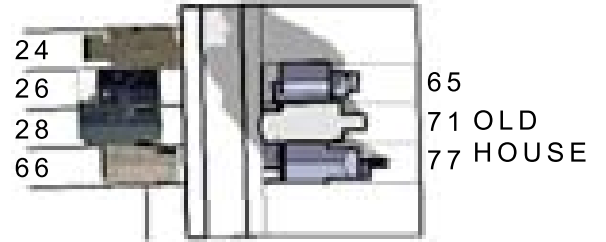
OCTOBER 9AM



NOVEMBER 9AM



DECEMBER 9AM





200 BOSWORTH ST.	66	28	26	24	22	16	14	10	8
2 STORIES	2 STOR.	3 STOR.	3 STOR.	3 STOR.	3 STOR.	2 STOR.	3 STOR.	2 STOR.	3 STORIES
~21'	~20'	~26'-9"	~29'-2"	~30'-4"	~26'-5"	~26'-9"	~27'-4"	~28'-6"	~30'-7"

CUVIER STREET - WEST SIDE (BLOCK ACROSS FROM 71 CUVIER STREET)



1	15	25	29	31	41 & 43	47	53	59	65	71 CUVIER	77	83	87	142 BOSWORTH ST.
2 STORIES	2 STOR.	3 STOR.	2 STOR.	3 STOR.	3 STOR.	3 STOR.	2 STOR.	2 STOR.	2 STOR.	3 STORIES	2 STOR.	3 STOR.	3 STOR.	3 STORIES
~20'	~18'	~32'	~21'	~29'-9"	~30'-3"	~29'-6"	~23'	~23'	~23'-5"	31'-4.5"	~23'	~30'-9"	~30'-6"	~28'-2"

CUVIER STREET - EAST SIDE (BLOCK ON SAME SIDE OF 71 CUVIER STREET)



200 BOSWORTH ST.	66	28	26	24	22	16	14	10	8
2 STORIES	2 STOR.	3 STOR.	3 STOR.	3 STOR.	3 STOR.	2 STOR.	3 STOR.	2 STOR.	3 STORIES
~21'	~20'	~26'-9"	~29'-2"	~30'-4"	~26'-5"	~26'-9"	~27'-4"	~28'-6"	~30'-7"

CUVIER STREET - WEST SIDE (BLOCK ACROSS FROM 71 CUVIER STREET)

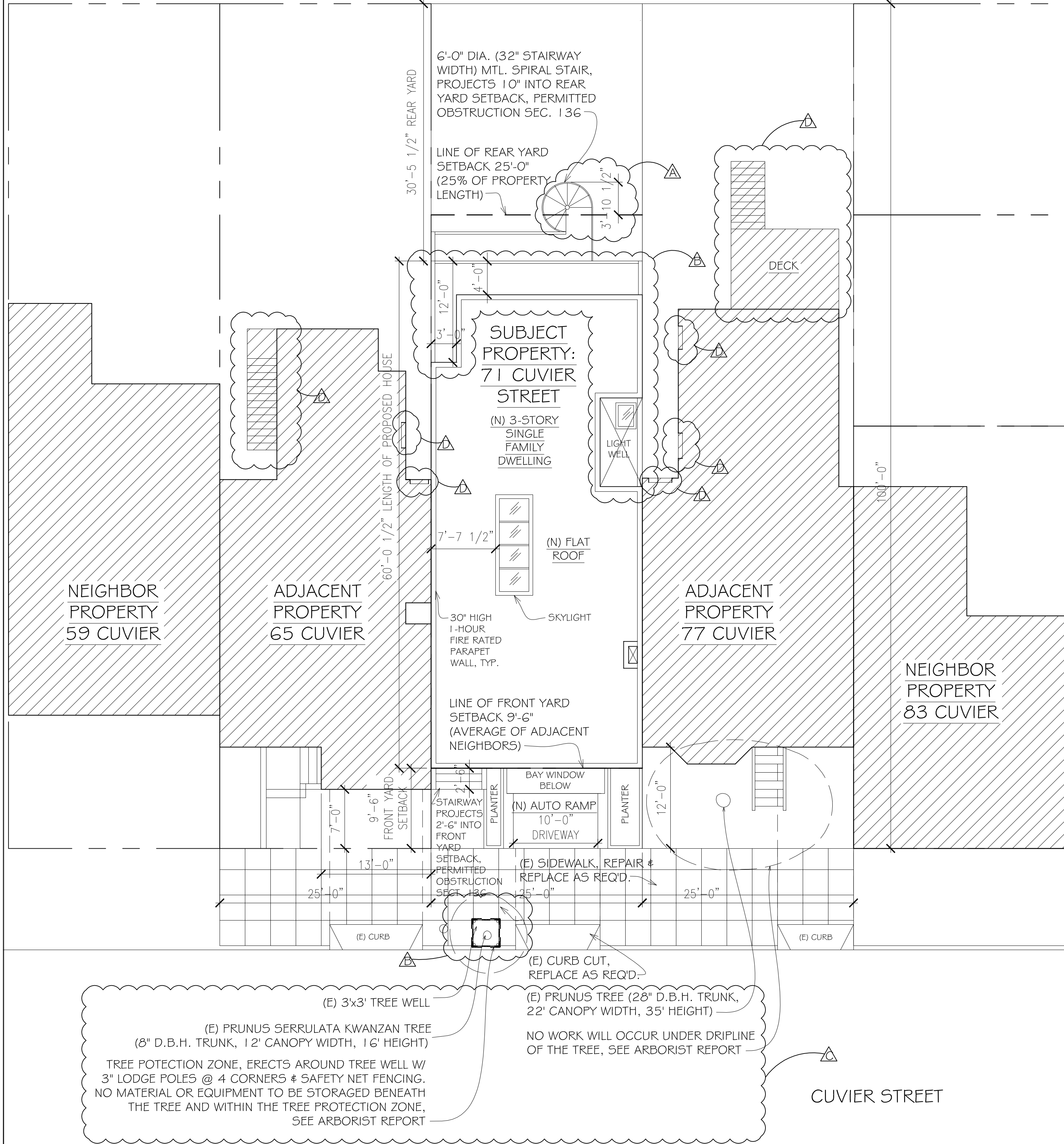
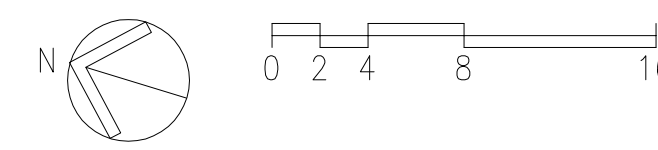


1	15	25	29	31	41 & 43	47	53	59	65	71 CUVIER	77	83	87	142 BOSWORTH ST.
2 STORIES	2 STOR.	3 STOR.	2 STOR.	3 STOR.	3 STOR.	3 STOR.	2 STOR.	2 STOR.	2 STOR.	3 STORIES	2 STOR.	3 STOR.	3 STOR.	3 STORIES
~20'	~18'	~32'	~21'	~29'-9"	~30'-3"	~29'-6"	~23'	~23'	~23'-5"	31'-4.5"	~23'	~30'-9"	~30'-6"	~28'-2"

CUVIER STREET - EAST SIDE (BLOCK ON SAME SIDE OF 71 CUVIER STREET)

# PLOT PLAN

SCALE: 1"=8'-0"



## GENERAL NOTES

1. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH WORK.
2. DO NOT SCALE THESE DRAWINGS.
3. IF THESE DRAWINGS ARE NOT 24" X 36", THEY HAVE BEEN REDUCED OR ENLARGED.
4. ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
5. (1") INDICATES ACTUAL SIZE. (1X) INDICATES NOMINAL SIZE.
6. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION NOT INDICATED ON ARCHITECTURAL DRAWINGS.
7. COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL DEVICES WITH ARCHITECTURAL DRAWINGS AND VERIFY LOCATION WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
8. ALL INSULATION SHALL COMPLY WITH UBC SECTION 804 FOR FLAME SPREAD. ALL ENERGY REQUIRED INSULATION SHALL MEET TITLE 24 REQUIREMENTS. THE TITLE 24 REQUIREMENTS DESCRIBED IN THE REPORT ARE A PART OF THE CONTRACT DOCUMENTS.
9. ALL PIPING, VENTS AND FLUES THAT PENETRATE THE ROOF ARE TO BE LOCATED PER ROOF PLAN AND AS APPROVED BY THE ARCHITECT. VERIFY LOCATION WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
10. PROVIDE SITE DRAINAGE AT AREAS OF NEW CONSTRUCTION. ALL DRAINAGE TO CONNECT TO STORM DRAIN SYSTEM.
11. ALL CONSTRUCTION SHALL CONFORM TO THE 2007 CALIFORNIA BUILDING CODE (CBC), THE 2007 CALIFORNIA MECHANICAL CODE (CMC), THE 2007 CALIFORNIA PLUMBING CODE (CPC), THE 2007 CALIFORNIA ELECTRICAL CODE (CEC), THE 2007 CALIFORNIA ENERGY CODE (CNC).
12. SPECIAL INSPECTION FOR EPOXY HOLDDOWNS AND EPOXY ANCHOR BOLTS ARE REQUIRED. REFER TO SPECIAL INSPECTION FORM SUBMITTED WITH THIS APPLICATION FOR ALL SPECIAL INSPECTION REQUIREMENTS.

## ABBREVIATIONS

Align	DBL. Double	MAX. Maximum	SAD. See Architectural Drawings
< Angle	DET. Detail	M.C. Medicine Cabinet	SED. See Electrical Drawings
@ At	DIAM. Diameter	M.D. Motion Detector	SSD. See Structural Drawings
Centerline	DISP. Disposal	MECH. Mechanical	S.C. Solid Core
⊙ Diameter or Round	D.W. Dish washer	MEMB. Membrane	S.D. Smoke Detector
⊥ Perpendicular	DR. Door	MFR. Manufacturer	SCHED. Schedule
# Pound or Number	DWR. Drawer	MIN. Minimum	SECT. Section
ACCESS. Accessible	DWG. Drawing	MISC. Miscellaneous	S.F. Square Feet
ACOUS. Acoustical	FKT. Fixture	MTL. Mould	SHLF. Shelf
A.D. Area Drain	FL. Floor	MULL. Mullion	SHW. Shower
ADJ. Adjustable	FLASHG. Flashing	(N) New	SHT. Sheet
A.F.F. Above finished floor	FLUOR. Fluorescent	N.L.C. Not In Contract	SHM. Similar
AGGR. Aggregate	F.O.C. Face of Concrete	NO. Number	SKYL. Skylight
AL. Aluminum	F.O.F. Face of Finish	NOM. Nominal	SPEC. Specification
APPROX. Approximate	F.O.S. Face of Studs	N.T.S. Not to Scale	SQ. Square
ARCH. Architectural	FRF. Fireproof	O.A. Overall	SST. Stainless Steel
ASPH. Asphalt	FT. Foot or Feet	O.C. On Center	S.S.K. Service Sink
BATT. Batting	FTG. Footing	O.D. Outside Diameter (Dim.)	STD. Standard
BD. Board	FUR. Furring	OPNG. Opening	STL. Steel
BITUM. Bituminous	G.A. Gauge	OPP. Opposite	STOR. Storage
BLK. Block	G.B. Grab Bar	PART. Partition	STRUC. Structural
BLKG. Blocking	GLV. Galvanized	PL. Plate	SYM. Symmetrical
BM. Beam	GL. Glass	P.LAM. Plastic Laminated	
B.O. Bottom of	GND. Ground	PLAS. Plaster	
CAB. Cabinet	GR. Grade	PLYWD. Plywood	
C.B. Catch Basin	G.W.B. Gypsum Wall Board	PR. Pair	
CEM. Cement	GYP. Gypsum	PT. Paint	
CER. Ceramic	H.B. Hose Bibb	P.T. Pressure Treated	
C.I. Cast Iron	H.C. Hollow Core	PTD. Painted	
C.J. Control Joint	HDWD. Hardwood	Q.T. Quarry Tile	
CLG. Calling	HORIZ. Horizontal	R. Riser	
CLKG. Callling	HT. Height	RAD. Radius	
CLOS. Closet	I.D. Inside Diameter (Dim.)	R.D. Roof Drain	
CLR. Clear	INSUL. Insulation	REF. Reference	
COL. Column	INT. Interior	REGTR. Register	
COMP. Composition	JT. Joint	REIN. Reinforced	
CONC. Concrete	KIT. Kitchen	REQM. Requirement	
CONSTR. Construction	LAM. Laminated	RESL. Resilient	
CONT. Continuous	LAV. Lavatory	R.O. Rough Opening	
CORR. Corridor	CTR. Center	R.W.L. Rain Water Leader	
CTSK. Countersunk			
CTR. Counter			
CTR. Center			

## DRAWING INDEX

A0.0	TITLE SHEET: PLOT PLAN, DRAWING INDEX, GENERAL NOTES & INFORMATION
A2.0	NEW FLOOR PLANS
A3.0	NEW EXTERIOR ELEVATIONS
A3.1	NEW EXTERIOR ELEVATIONS
A4.0	BUILDING SECTIONS
A7.0	WALL SECTIONS & EXTERIOR DETAILS

## BUILDING INFORMATION

### PROJECT DESCRIPTION

NEW CONSTRUCTION OF A 3-STORY SINGLE FAMILY DWELLING. FIRST STORY CONSISTS OF GARAGE, MECHANICAL ROOM, HOME OFFICE, BATHROOM AND GUEST BEDROOM. SECOND STORY CONSISTS OF LIVING ROOM, DINING ROOM, STUDY, KITCHEN AND POWDER ROOM. THIRD STORY CONSISTS OF 4 BEDROOMS, 2 BATHROOMS AND LAUNDRY ROOM.

\* PREVIOUS HOUSE WAS DESTROYED IN A FIRE AND HAS BEEN DEMOLISHED.

### PROJECT DATA

BLOCK:	6722	LOT:	018
ZONING:	RH-1		
OCCUPANCY GROUP:	R-3/ U		
CONSTRUCTION TYPE:	V B, 1 HOUR WHERE REQD.		

GROSS LOT SIZE:	2500 SQ. FT.
LOT FRONTAGE:	25 FT.
LOT DEPTH:	100 FT.

STORIES:	PROPOSED- 3
HEIGHT:	PROPOSED- 31'-5"
NO. OF BEDROOMS:	PROPOSED- 5
NO. OF PARKING:	PROPOSED- 2

### BUILDING AREA

NEW FIRST FLOOR-  
NEW SECOND FLOOR-  
NEW THIRD FLOOR-  
TOTAL NEW GROSS AREA (HABITABLE)-

707 SQFT.  
1249 SQFT.  
1183 SQFT.  
3139 SQFT.

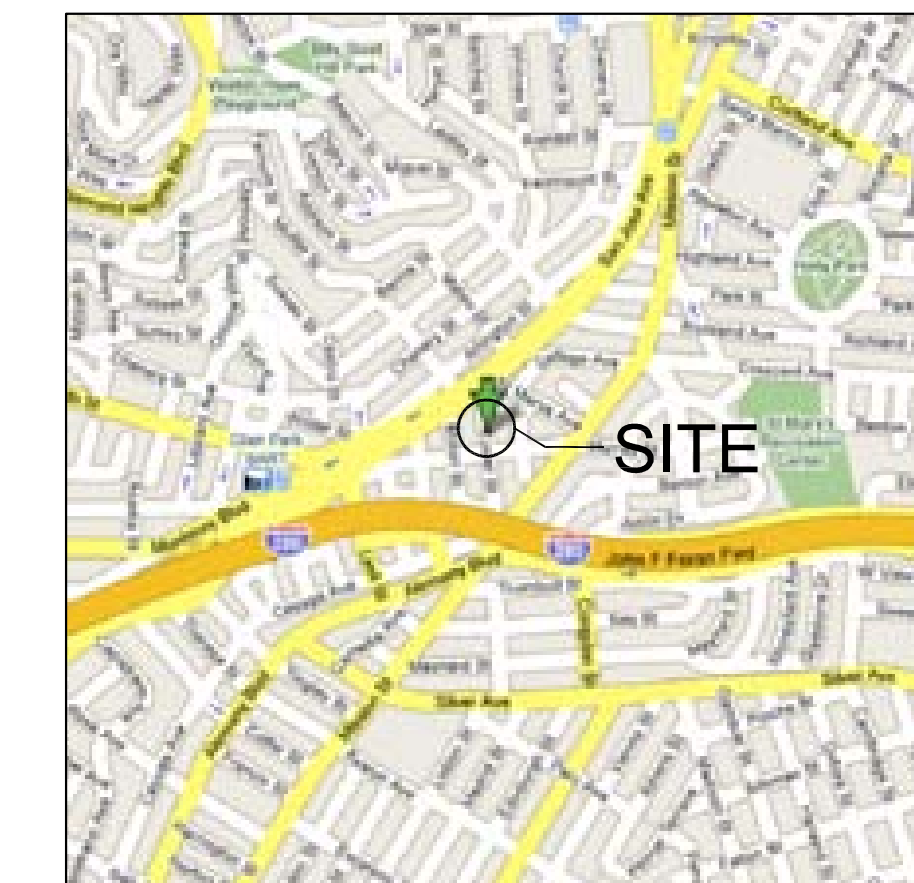
NEW FIRST FLOOR GARAGE-  
TOTAL NEW GROSS AREA (NON-HABITABLE)-

592 SQFT.  
592 SQFT.

## SYMBOLS

1 A-4	DETAIL NUMBER SHEET NUMBER		WOOD BLOCKING
1 A-4	SECTION NUMBER SHEET NUMBER		WOOD FRAMING
1 A-4	ELEVATION NUMBER SHEET NUMBER		FINISH WOOD
1 A-4	INT. ELEV. NUMBER SHEET NUMBER		PLYWOOD
2 A-4	WALL MARK SHEET NUMBER		GYP. BOARD
1	DOOR MARK, REFER TO DOOR SCHEDULE		STEEL / ALUMINUM
1	WINDOW MARK, REFER TO WINDOW SCHEDULE		CONCRETE
			GRAVEL
			BATTING INSULATION
			RIGID INSULATION
			SOIL

## VICINITY MAP



### REVISIONS

DESCRIPTION	DATE
ISSUED FOR SITE PERMIT	10/01/09
REVISION	01/14/10
REVISION	02/12/10
REVISION	04/19/10
REVISION	05/27/10

**O'SULLIVAN RESIDENCE**

ADDRESS: 71 CUVIER STREET, SAN FRANCISCO, CA 94112  
OWNER: KEN O'SULLIVAN & TINA M'NEAL

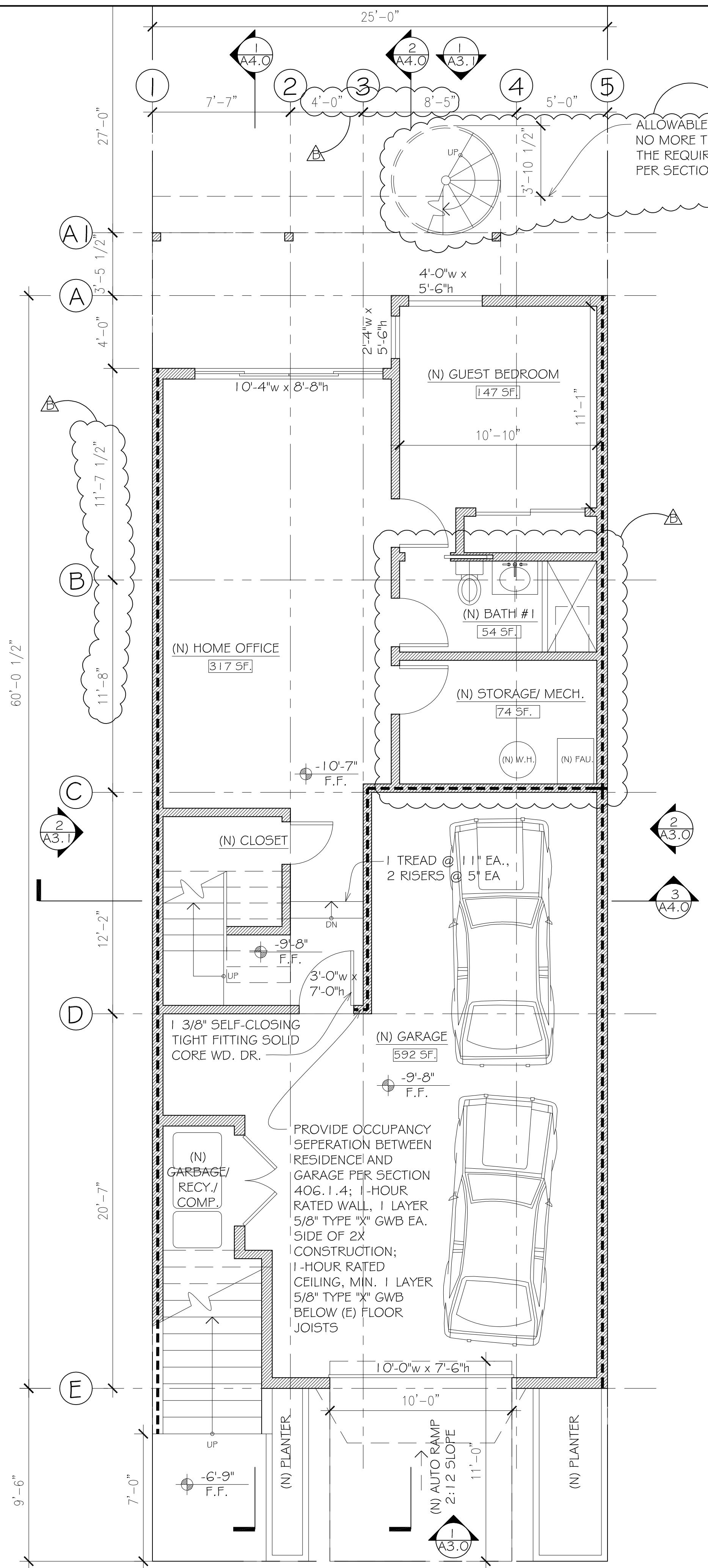
**HUANG IBOSHI ARCHITECTURE**

1736 STOCKTON STREET  
SAN FRANCISCO, CA 94133  
(415) 217-7055

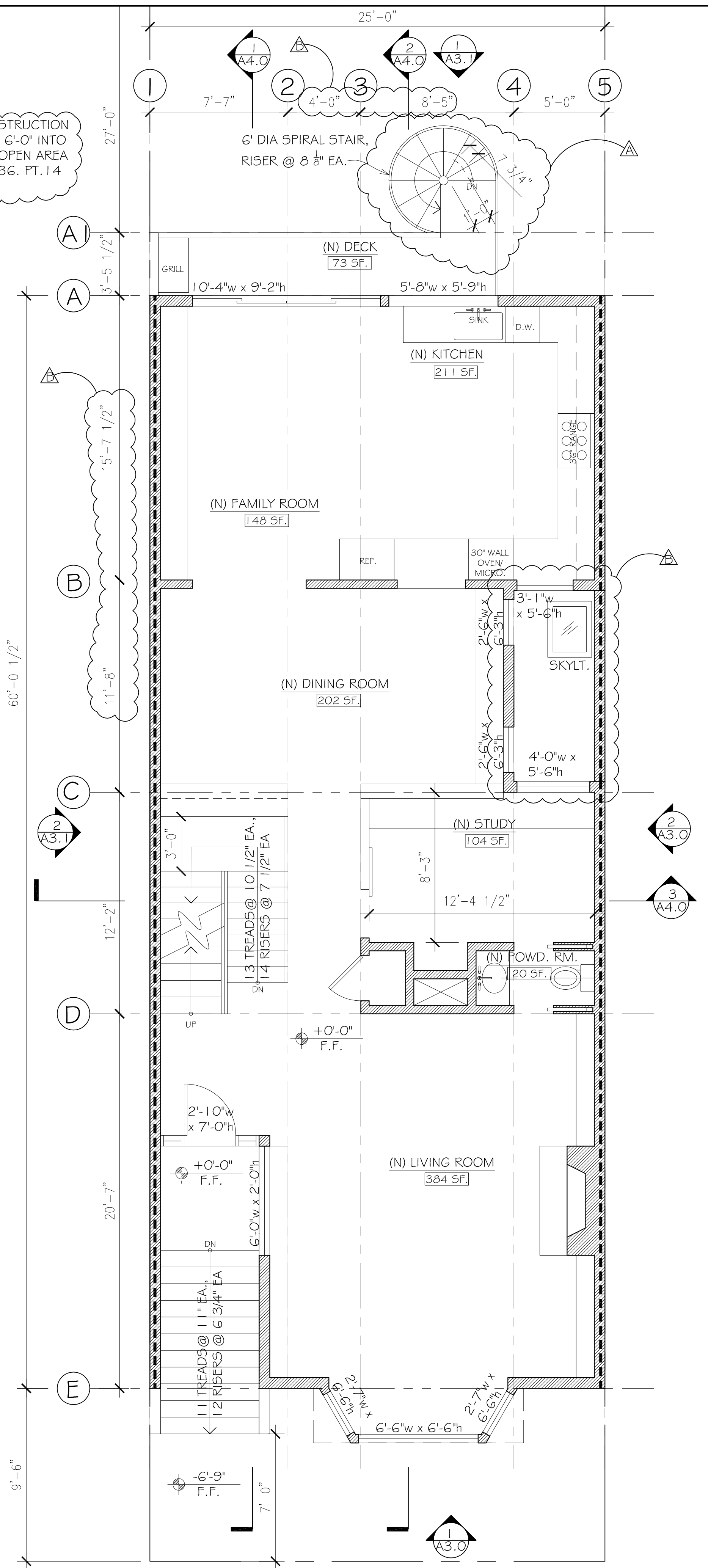
TITLE SHEET:  
PLOT PLAN, DRAWING INDEX, GENERAL NOTES & INFORMATION

DRAWN BY EH/ JC	JOB NO. O'SULLIVAN
SCALE AS NOTED	DATE 05/27/10

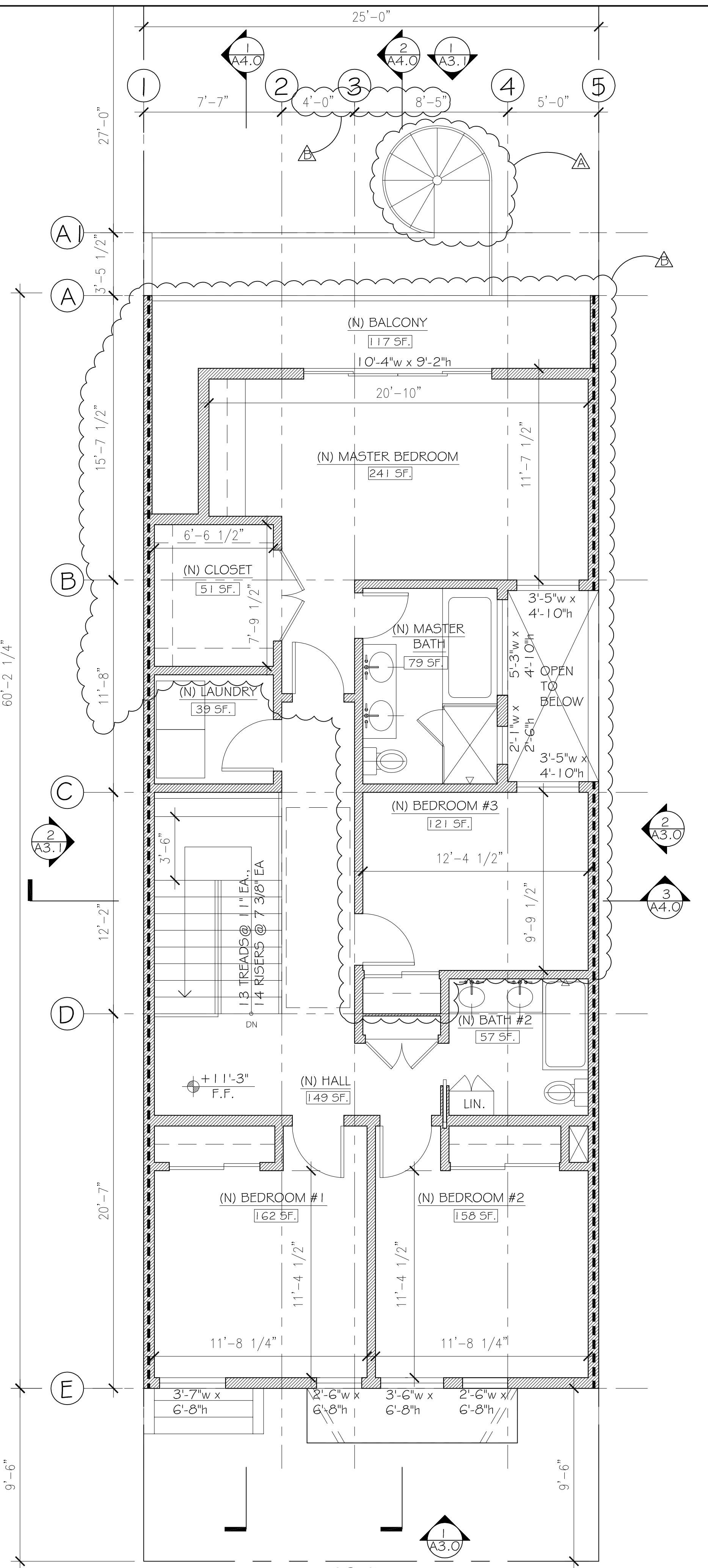
SHEET  
**A0.0**



1 NEW FIRST FLOOR PLAN  
A2.0



2 NEW SECOND FLOOR PLAN  
A2.0



3 NEW THIRD FLOOR PLAN  
A2.0

**LEGEND**

- NEW WALL, TYPE V, NON-RATED CONSTRUCTION
- NEW WALL, TYPE V, 1-HOUR FIRE RATED CONSTRUCTION

REVISIONS	DATE
ISSUED FOR SITE PERMIT	10/01/09
REVISION	01/14/10
REVISION	02/12/10
REVISION	04/19/10
REVISION	05/27/10

**O'SULLIVAN RESIDENCE**

ADDRESS: 71 CUMBER STREET, SAN FRANCISCO, CA 94112  
OWNER: KEN O'SULLIVAN & TINA McNEAL

**HUANG IBOSHI ARCHITECTURE**

1736 STOCKTON STREET  
SAN FRANCISCO, CA 94133  
(415) 217-7055

REGISTERED ARCHITECT  
EMILY R. HUANG  
C-26901  
12/31/11  
RENEWAL DATE  
STATE OF CALIFORNIA

TITLE  
**NEW FLOOR PLANS**

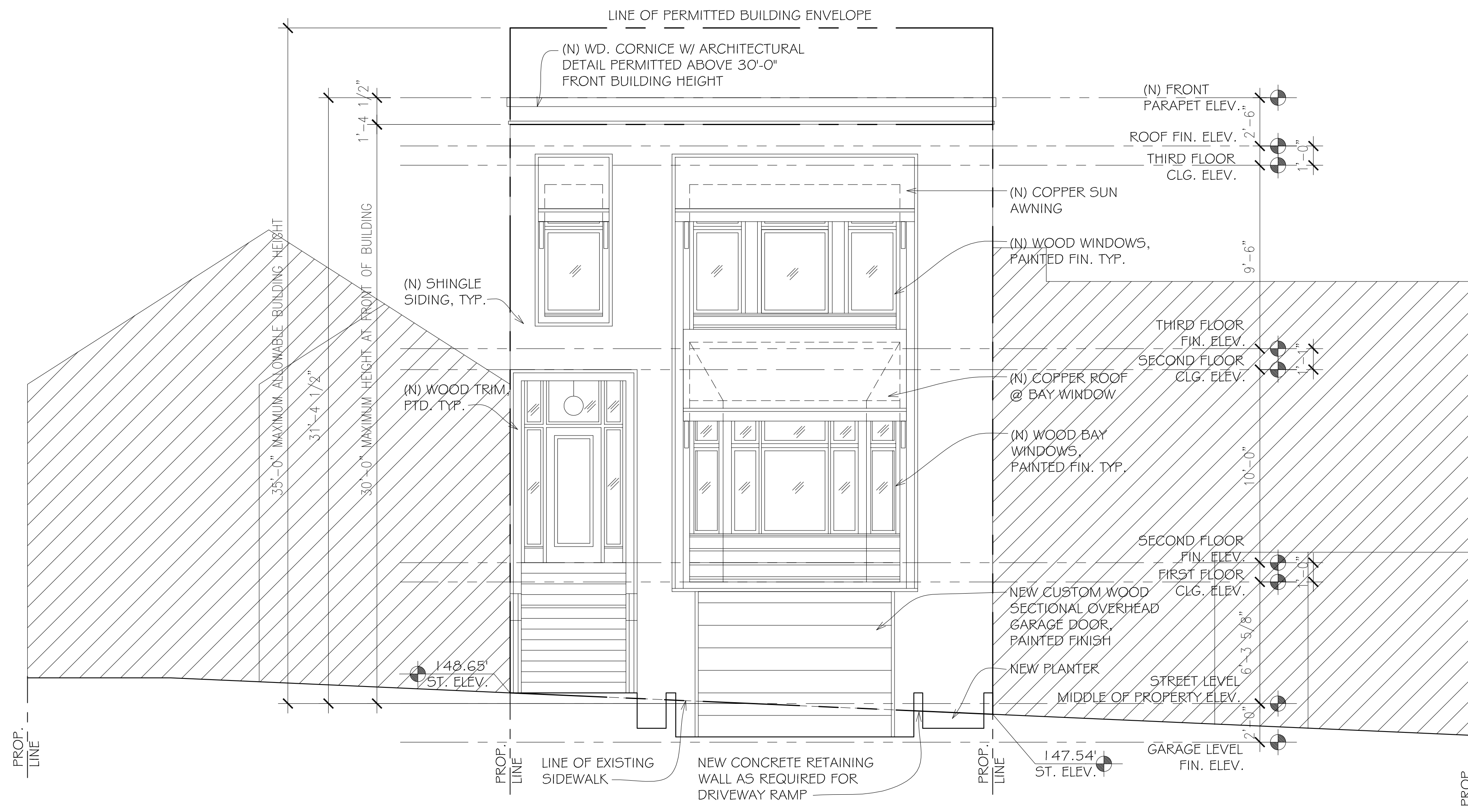
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JOB NO.: O'SULLIVAN

SCALE: AS NOTED  
DATE: 05/27/10

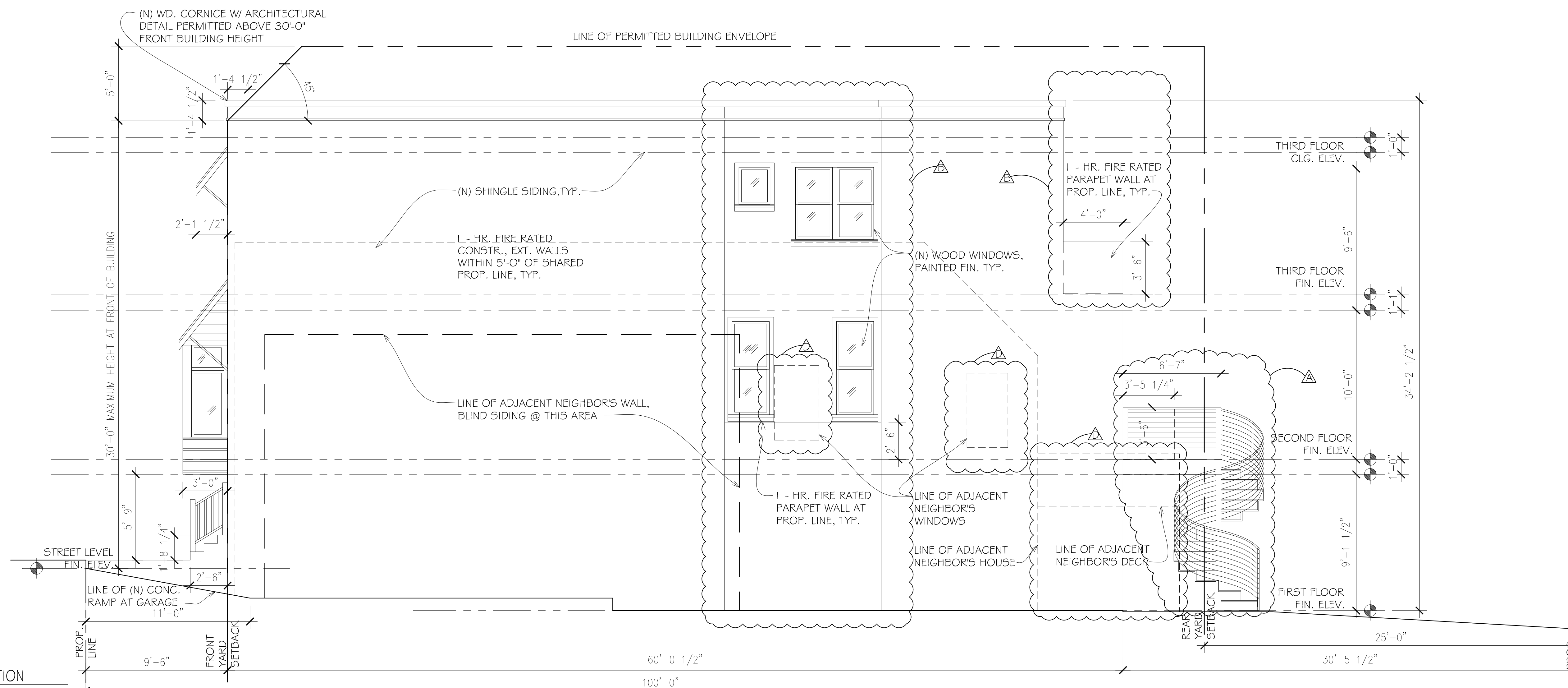
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1 NEW WEST ELEVATION  
A3.0



2 NEW SOUTH ELEVATION  
A3.0



REVISIONS	DESCRIPTION	DATE
ISSUED FOR SITE PERMIT		10/01/09
REVISION		01/14/10
REVISION		02/12/10
REVISION		04/19/10
REVISION		05/27/10

**O'SULLIVAN RESIDENCE**

ADDRESS: 71 CUMBER STREET, SAN FRANCISCO, CA 94112  
OWNER: KEN O'SULLIVAN & TINA M'NEAL

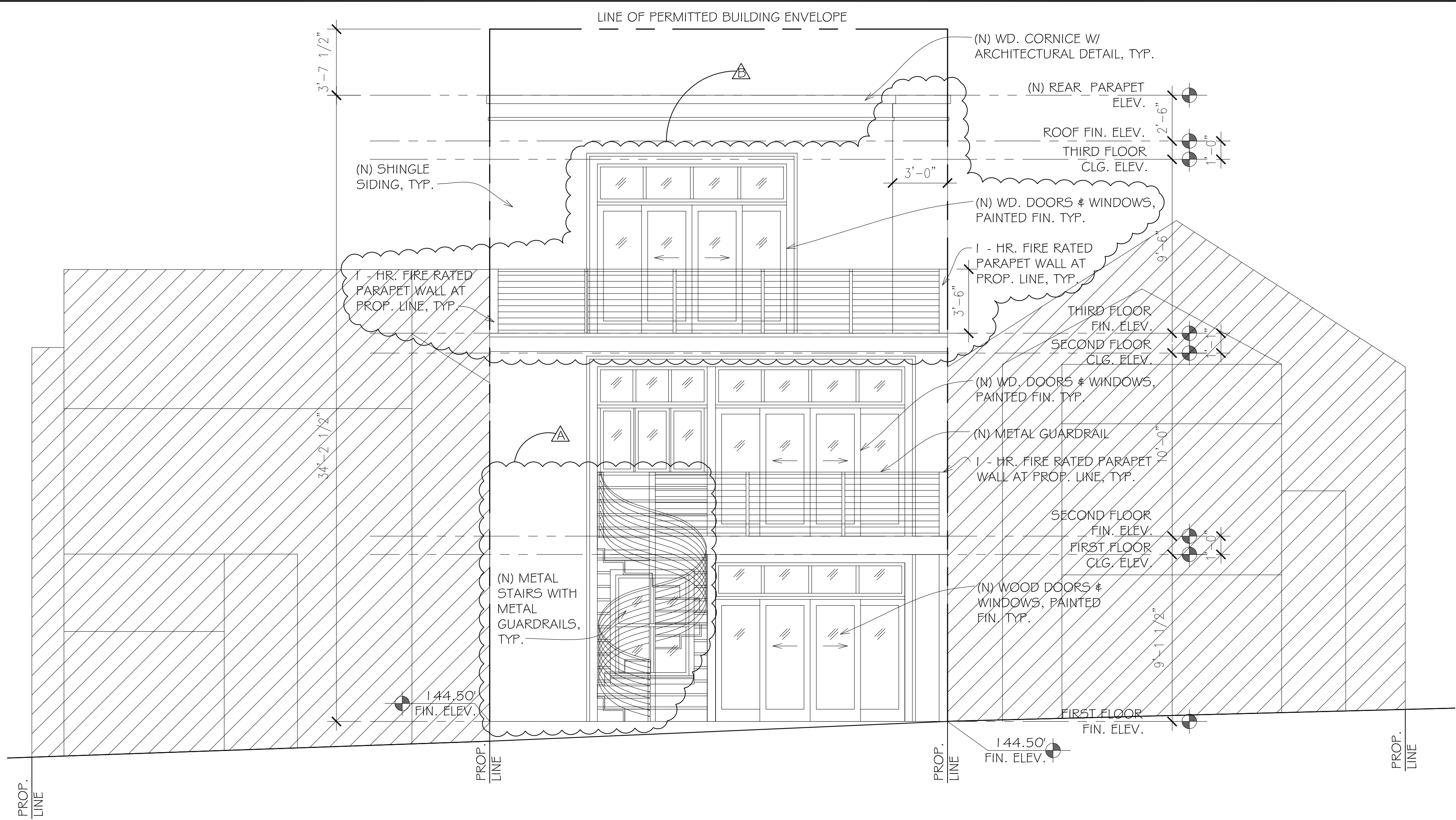
**HUANG IBOSHI ARCHITECTURE**

1736 STOCKTON STREET  
SAN FRANCISCO, CA 94133  
(415) 217-7055

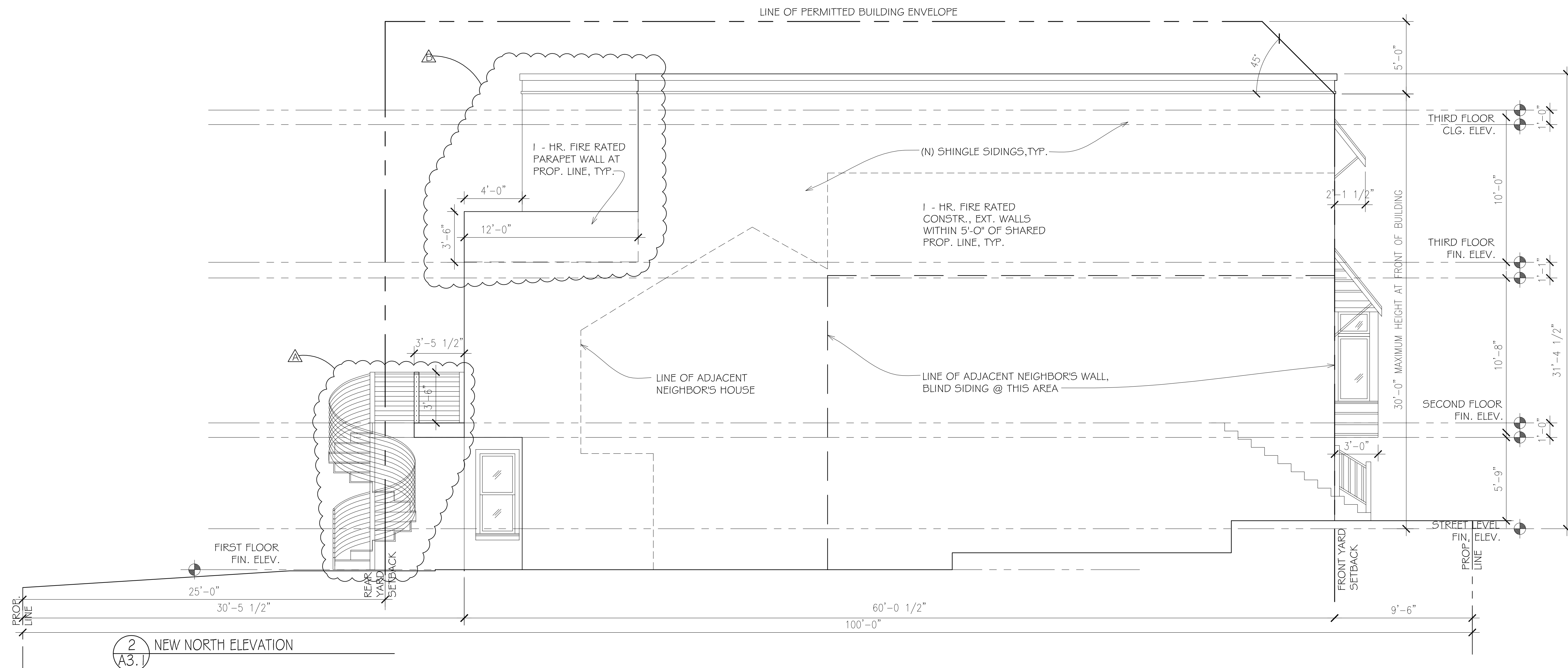
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NEW EXTERIOR ELEVATIONS	
DRAWN BY	JOB NO.
EH/JC	O'SULLIVAN
SCALE	DATE
A5 NOTED	05/27/10

SHEET  
**A3.0**

1 NEW EAST ELEVATION



2 NEW NORTH ELEVATION



REVISIONS	DESCRIPTION	DATE
	ISSUED FOR SITE PERMIT	10/01/09
REVISION Δ		01/14/10
REVISION Δ		02/12/10
REVISION Δ		04/19/10
REVISION Δ		05/27/10

**O'SULLIVAN RESIDENCE**

ADDRESS: 71 CUMBER STREET, SAN FRANCISCO, CA 94112  
 OWNER: KEN O'SULLIVAN & TINA McNEAL

**HUANG IBOSHI ARCHITECTURE**

1736 STOCKTON STREET  
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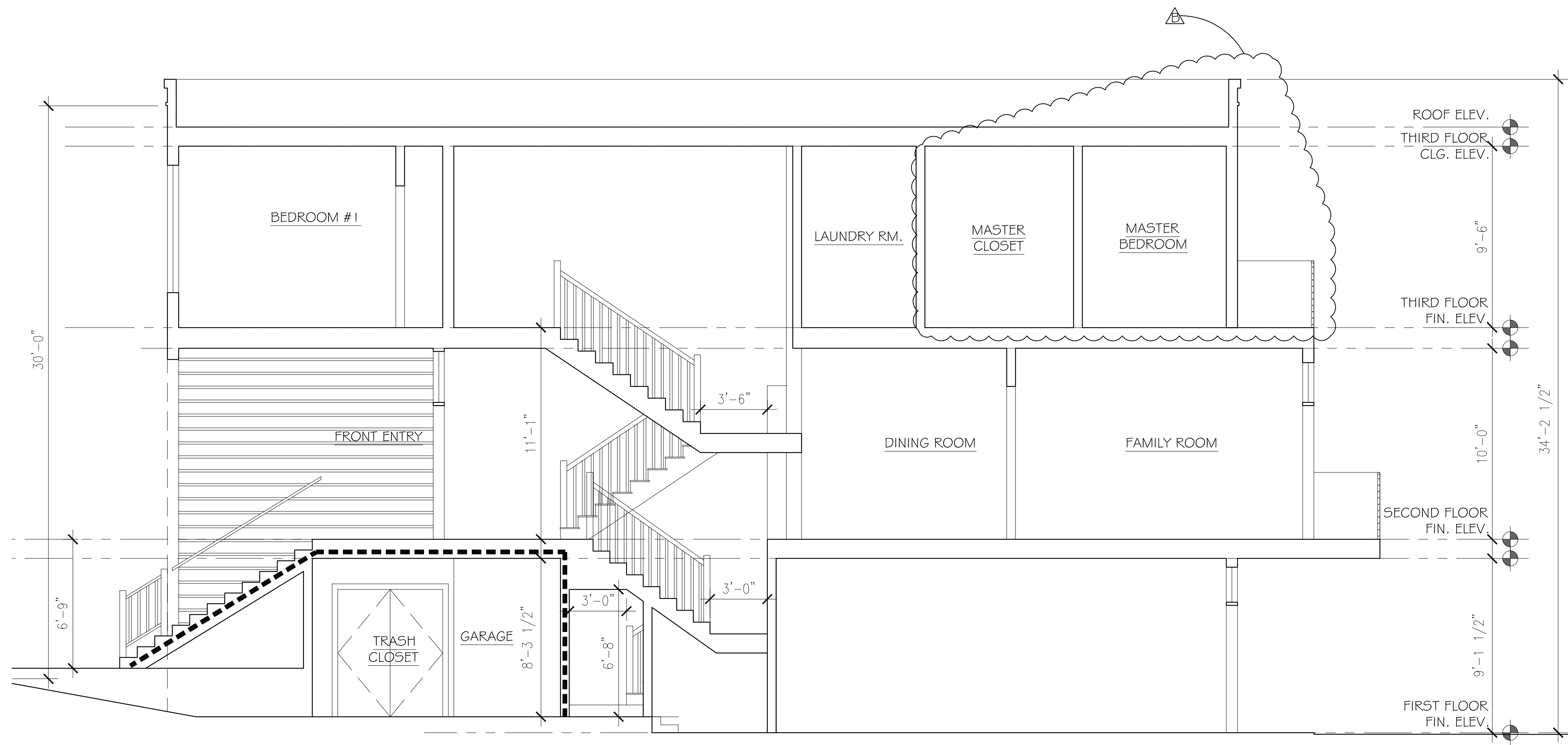
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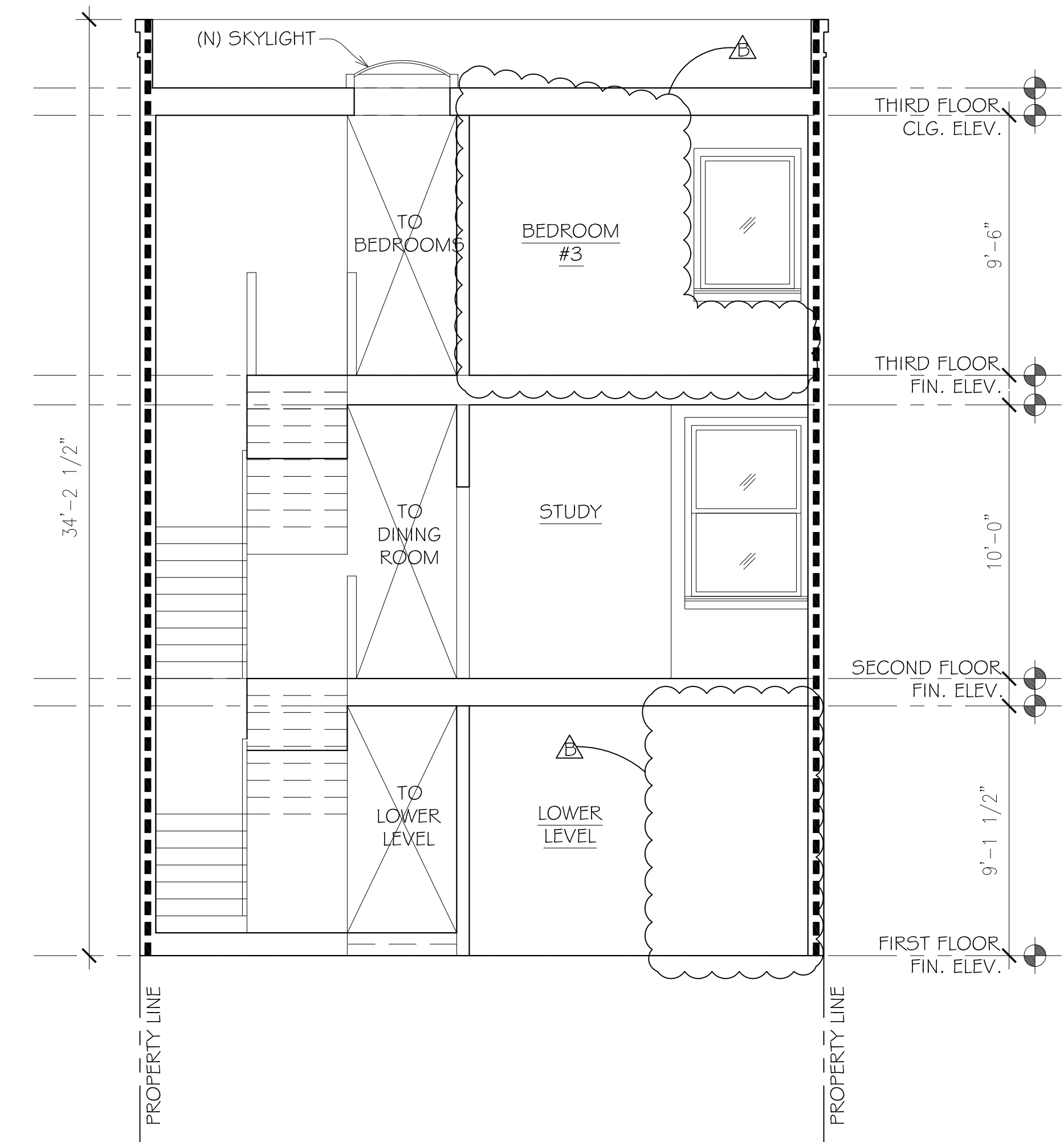
DRAWN BY EH/ JC	JOB NO. O'SULLIVAN
SCALE AS NOTED	DATE 05/27/10

SHEET

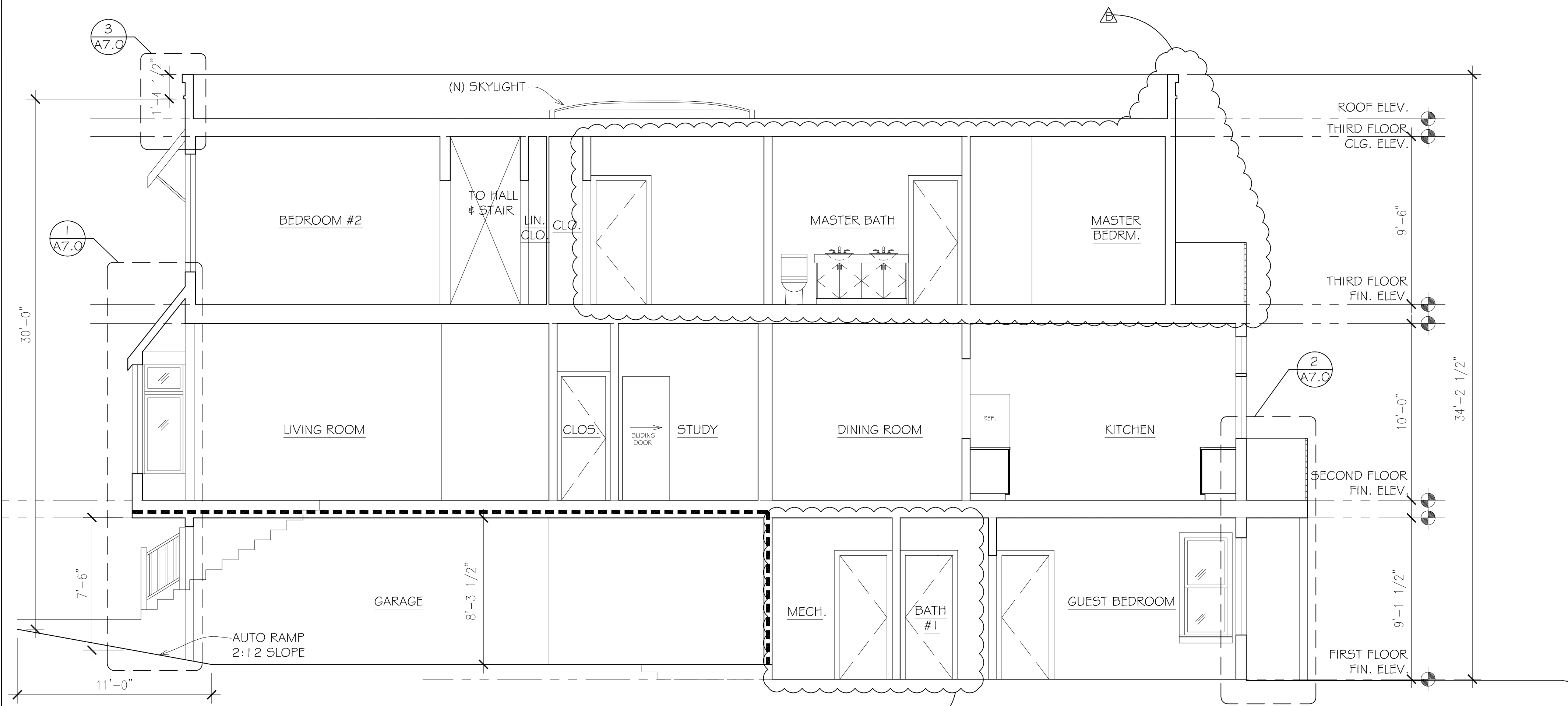
**A3.1**



1 NEW LONGITUDINAL BUILDING SECTION 1  
A4.0



3 NEW CROSS BUILDING SECTION  
A4.0



2 NEW LONGITUDINAL BUILDING SECTION 2  
A4.0

REVISIONS	DESCRIPTION	DATE
	ISSUED FOR SITE PERMIT	10/01/09
REVISION		01/14/10
REVISION		02/12/10
REVISION		04/19/10
REVISION		05/27/10

**O'SULLIVAN RESIDENCE**  
 ADDRESS: 71 CUMBER STREET, SAN FRANCISCO, CA 94112  
 OWNER: KEN O'SULLIVAN & TINA McNEAL

**HUANG IBOSHI ARCHITECTURE**

1736 STOCKTON STREET  
 SAN FRANCISCO, CA 94133  
 (415) 217-7055

TITLE  
**NEW BUILDING SECTIONS**

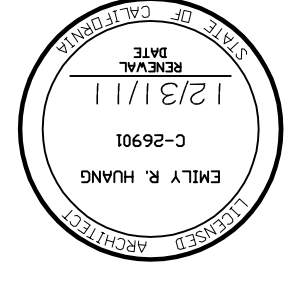
DRAWN BY EH/JC	JOB NO. O'SULLIVAN
SCALE AS NOTED	DATE 05/27/10

SHEET  
**A4.0**

A7.0

SCALE 1 1/2" = 1'-0"  
DATE 05/27/10  
DRAWN BY OSULLIVAN  
CHK/JC

NEW WALL SECTION & EXTERIOR DETAILS



1736 STOCKTON STREET  
SAN FRANCISCO, CA 94133  
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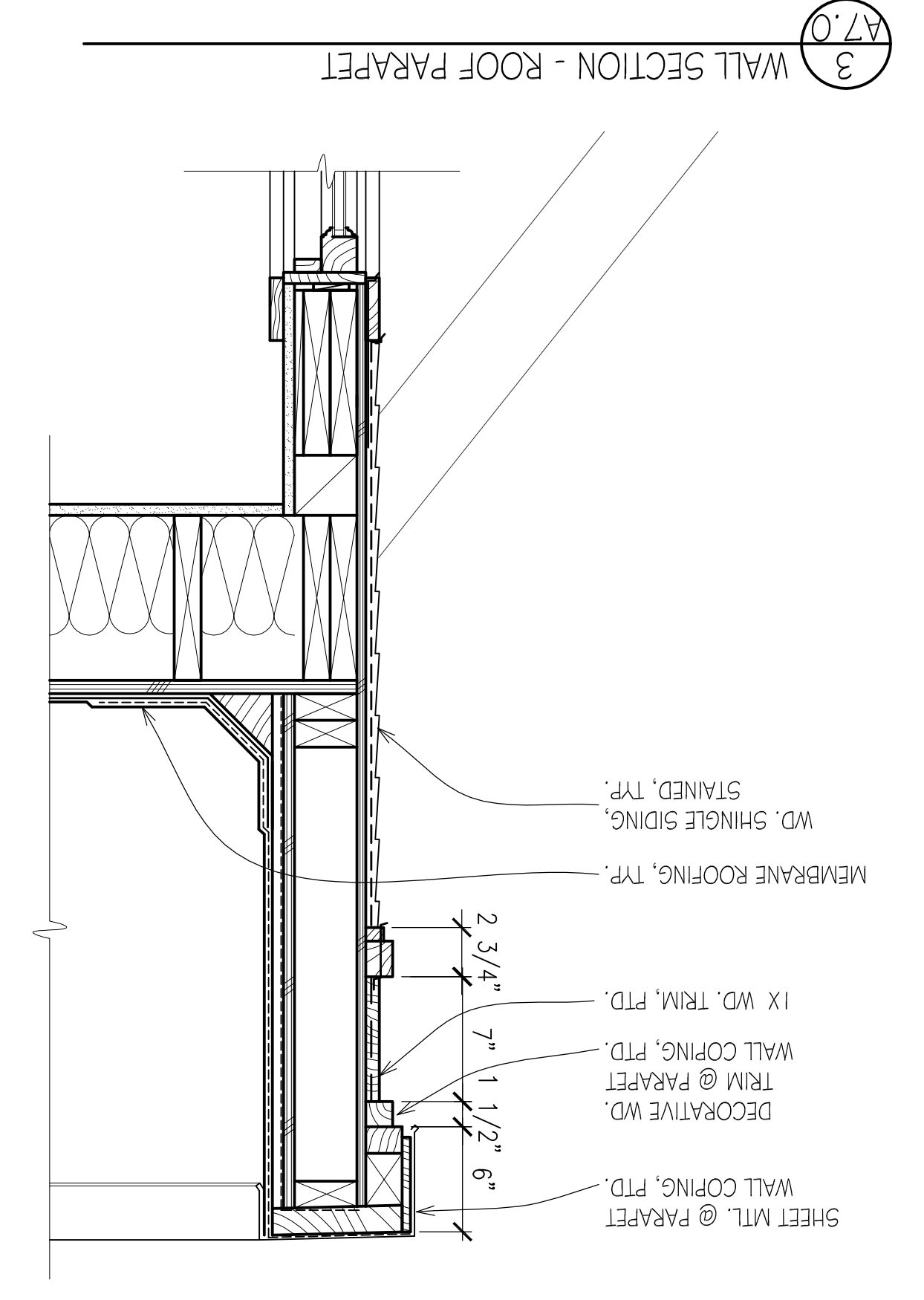
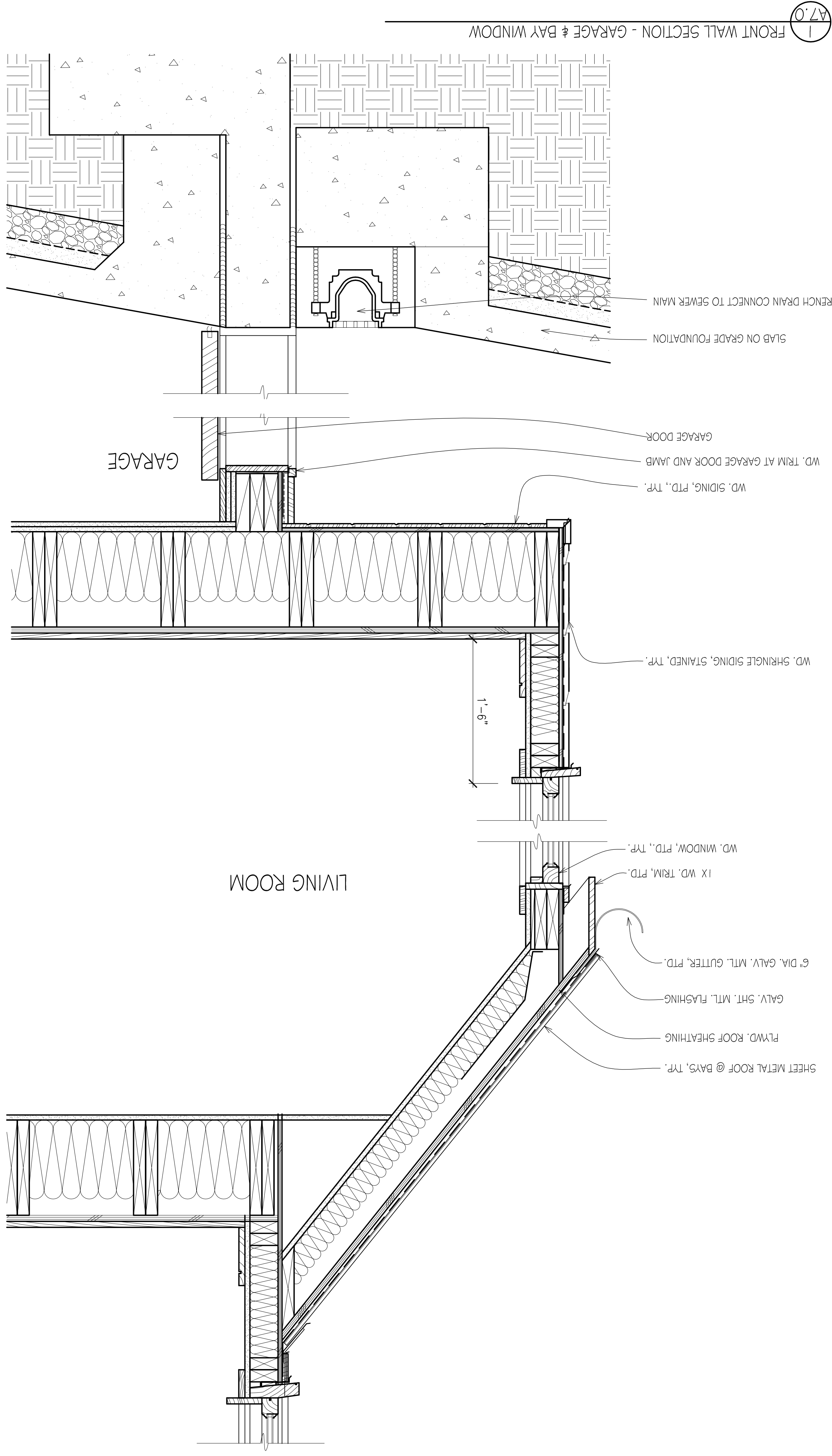
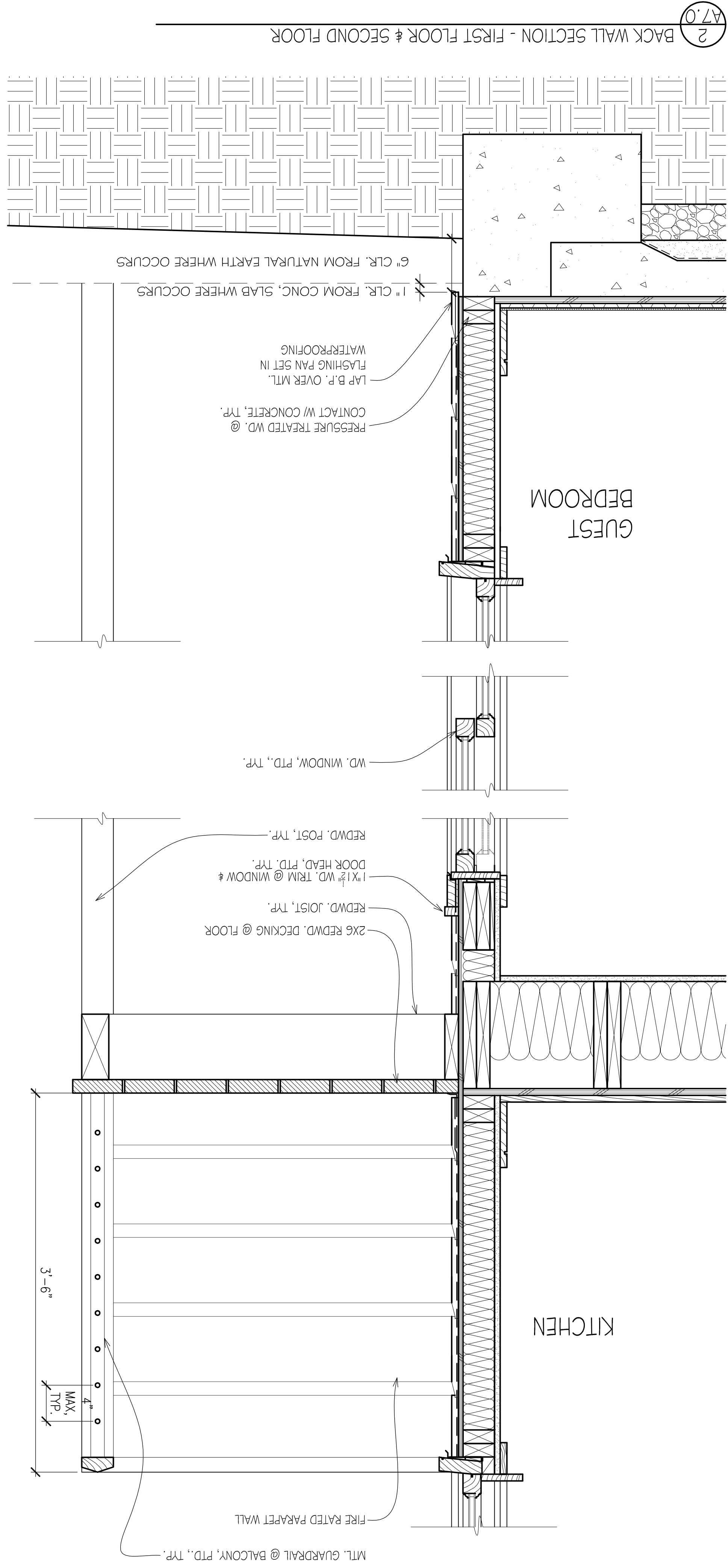
HUANG BOSHI ARCHITECTURE

OSULLIVAN RESIDENCE

ADDRESS: 71 CUMBER STREET, SAN FRANCISCO, CA 94112  
OWNER: KEN OSULLIVAN & TINA MCGHEAL

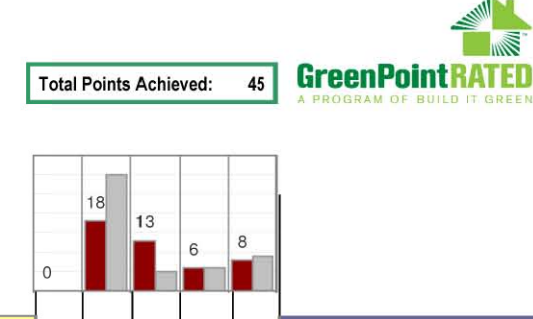
REVISIONS	DATE	DESCRIPTION
ISSUED FOR SITE PERMIT	10/01/09	
REVISION	01/14/10	
REVISION	02/12/10	
REVISION	04/19/10	
REVISION	05/27/10	

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GreenPoint Rated Checklist: Single Family

The GreenPoint Rated Checklist is a green building checklist for single family homes. A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.



Project Name, Rater Name, Rater Number, Planning Scoresheet. Table with columns: Points Achieved, Community, Energy, Indoor Air Quality, Water, Resources, and Notes. Includes sections for A. SITE, B. FOUNDATION, C. LANDSCAPING, D. STRUCTURAL FRAME & BUILDING ENVELOPE, E. EXTERIOR FINISH, F. INSULATION, G. PLUMBING, H. HEATING, VENTILATION & AIR CONDITIONING, and I. FINISHES.

Project Name, Rater Name, Rater Number, Planning Scoresheet. Table with columns: Points Achieved, Community, Energy, Indoor Air Quality, Water, Resources, and Notes. Includes sections for J. APPLIANCES AND LIGHTING, K. FINISHES, L. FLOORING, M. APPLIANCES AND LIGHTING, and N. OTHER.

Project Name, Rater Name, Rater Number, Planning Scoresheet. Table with columns: Points Achieved, Community, Energy, Indoor Air Quality, Water, Resources, and Notes. Includes sections for O. COMMUNITY DESIGN & PLANNING, P. COMMUNITY DESIGN & PLANNING, Q. COMMUNITY DESIGN & PLANNING, R. COMMUNITY DESIGN & PLANNING, and S. COMMUNITY DESIGN & PLANNING.

Project Name, Rater Name, Rater Number, Planning Scoresheet. Table with columns: Points Achieved, Community, Energy, Indoor Air Quality, Water, Resources, and Notes. Includes sections for T. COMMUNITY DESIGN & PLANNING, U. COMMUNITY DESIGN & PLANNING, V. COMMUNITY DESIGN & PLANNING, W. COMMUNITY DESIGN & PLANNING, and X. COMMUNITY DESIGN & PLANNING.

Project Name, Rater Name, Rater Number, Planning Scoresheet. Table with columns: Points Achieved, Community, Energy, Indoor Air Quality, Water, Resources, and Notes. Includes sections for Y. COMMUNITY DESIGN & PLANNING, Z. COMMUNITY DESIGN & PLANNING, AA. COMMUNITY DESIGN & PLANNING, AB. COMMUNITY DESIGN & PLANNING, and AC. COMMUNITY DESIGN & PLANNING.

Project Name, Rater Name, Rater Number, Planning Scoresheet. Table with columns: Points Achieved, Community, Energy, Indoor Air Quality, Water, Resources, and Notes. Includes sections for AD. COMMUNITY DESIGN & PLANNING, AE. COMMUNITY DESIGN & PLANNING, AF. COMMUNITY DESIGN & PLANNING, AG. COMMUNITY DESIGN & PLANNING, and AH. COMMUNITY DESIGN & PLANNING.

REQUIREMENTS, VERIFICATION, and SUPPLEMENTAL GREEN BUILDING MEASURES. Includes sections for Rating Requirement (25 GreenPoints), GreenPoint Rated (i.e. includes prerequisites), and Supplemental green building measures required by Chapter 13C.

REVISIONS table with columns: DESCRIPTION, DATE. Includes entries for ISSUED FOR SITE PERMIT, REVISION, and REVISION.

OSULLIVAN RESIDENCE, ADDRESS: 71 CUVIER STREET, SAN FRANCISCO, CA 94112, OWNER: KEN OSULLIVAN & TINA McNEAL

HUANG IBOSHI ARCHITECTURE, 1736 STOCKTON STREET, SAN FRANCISCO, CA 94133, [415] 217-7055. Includes a professional seal for EMILY R. HUANG, C-26901, and a title block for GREEN BUILDING SUBMITTAL.