



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis Abbreviated HEARING DATE JULY 22, 2010

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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415.558.6409

Planning
Information:
415.558.6377

Date: July 15, 2010
Case No.: **2010.0130D**
Project Address: **2768 GREEN STREET (UPPER UNIT)**
Zoning: RH-2 (Residential House, Two-Family)
40-X Height and Bulk District
Block/Lot: 0950/061
Project Sponsor: Rolf Herken
c/o Mark Brand, Architect
425 Second Street, Suite 601
San Francisco, CA 94107
Staff Contact: Mary Woods – (415) 558-6315
mary.woods@sfgov.org
Recommendation: **Do not take DR and approve as revised**

PROJECT DESCRIPTION

The project proposes to add a roof deck at the rear of the existing top floor unit, remove and re-construct an existing stair penthouse, and extend an existing fire staircase from the third floor to the roof at the existing three-story over basement, three condominium-unit building. The existing building varies in height from three stories at the front to four stories at the rear on a down-sloping lot.

SITE DESCRIPTION AND PRESENT USE

The project site is located at 2768 Green Street (Upper Unit), Lot 061 in Assessor's Block 0950, on the north side of the street between Baker and Broderick Streets in an RH-2 District and a 40-X Height and Bulk District. The subject lot contains approximately 4,100 square feet measuring 30 feet wide by 137 feet deep. The circa 1910 subject building is three stories over basement and contains three condominium units.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The project site is located in the Cow Hollow neighborhood. The subject block contains two zoning districts: RH-1 and RH-2. Three properties on the eastern side of the block, facing Broderick Street, are zoned with an RH-1 designation. The remaining properties are zoned RH-2. The neighborhood is primarily residential interspersed with a school and some retail uses.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	July 11, 2010	July 9, 2010	12 days
Mailed Notice	10 days	July 11, 2010	July 9, 2010	12 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)		X (1)	
Other neighbors on the block or directly across the street		X (1)	
Neighborhood groups			X

In addition to the DR requestor, the Department has received one letter in support of the DR from an adjacent neighbor at 2760 Green Street.

ISSUES AND RESPONSES

Issue 1: Building Height – if the elevation between the front and rear property lines is more than 20 feet, then the building height is limited to 35 feet, not 40 feet as shown on the proposed plans;

Response: Original plans did not show the elevation between the front and rear property lines. Project architect has revised the plans showing the grade change and a 35-foot height limit.

Issue 2: Parapet Walls – proposed plans show the parapet walls more than 4 feet above the 35-foot height limit;

Response: Project architect has revised the plans indicating the parapet walls no more than 4 feet above the height limit. On the DR requestor’s side, they are 2.6 feet above the height limit. Railings and parapets up to four feet in height are exempt from the height limits per Planning Code Section 260(b)(2)(A).

Issue 3: Lateral/West Elevation Drawings – proposed plans did not include lateral/west elevation plans;

Response: Project architect has since provided lateral drawings to the DR requestor.

Issue 4: Roof Top Stairs – While the stair penthouse cannot be considered as a useable room, it is still larger than what is necessary under the Building Code.

Response: Project architect has revised the project to reduce the height of the stair penthouse to the minimum required by the Building Code.

Issue 5: Additional Issues – DR requestor wants to reserve the right to identify additional design or code issues;

Response: As of the drafting of this case report, DR requestor has not identified any additional issues.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The request for Discretionary Review was reviewed by the Department's Residential Design Team (RDT). The RDT supports the project with modifications, which include reducing the height of the replacement stair penthouse to the minimum required by the Building Code. The project architect has revised the project to reduce the height of the stair penthouse to the minimum required by the Building Code.

Under the Commission's pending DR Reform Policy, this DR would not be referred to the Commission as this project does not meet the threshold of exceptional or extraordinary.

BASIS FOR RECOMMENDATION

The Department believes the project does not have exceptional or extraordinary circumstances for the following reasons:

- The proposed alterations, as revised, are minor and will not affect the residential character of the neighborhood.
- The project, as revised, complies with the requirements of the Planning Code and the Residential Design Guidelines.

RECOMMENDATION: Do not take DR and approve as revised
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Attachments:

Zoning/Parcel Map

Sanborn Map

Aerial Photograph

Zoning Map

Section 311 Notice

DR Application filed on February 25, 2010

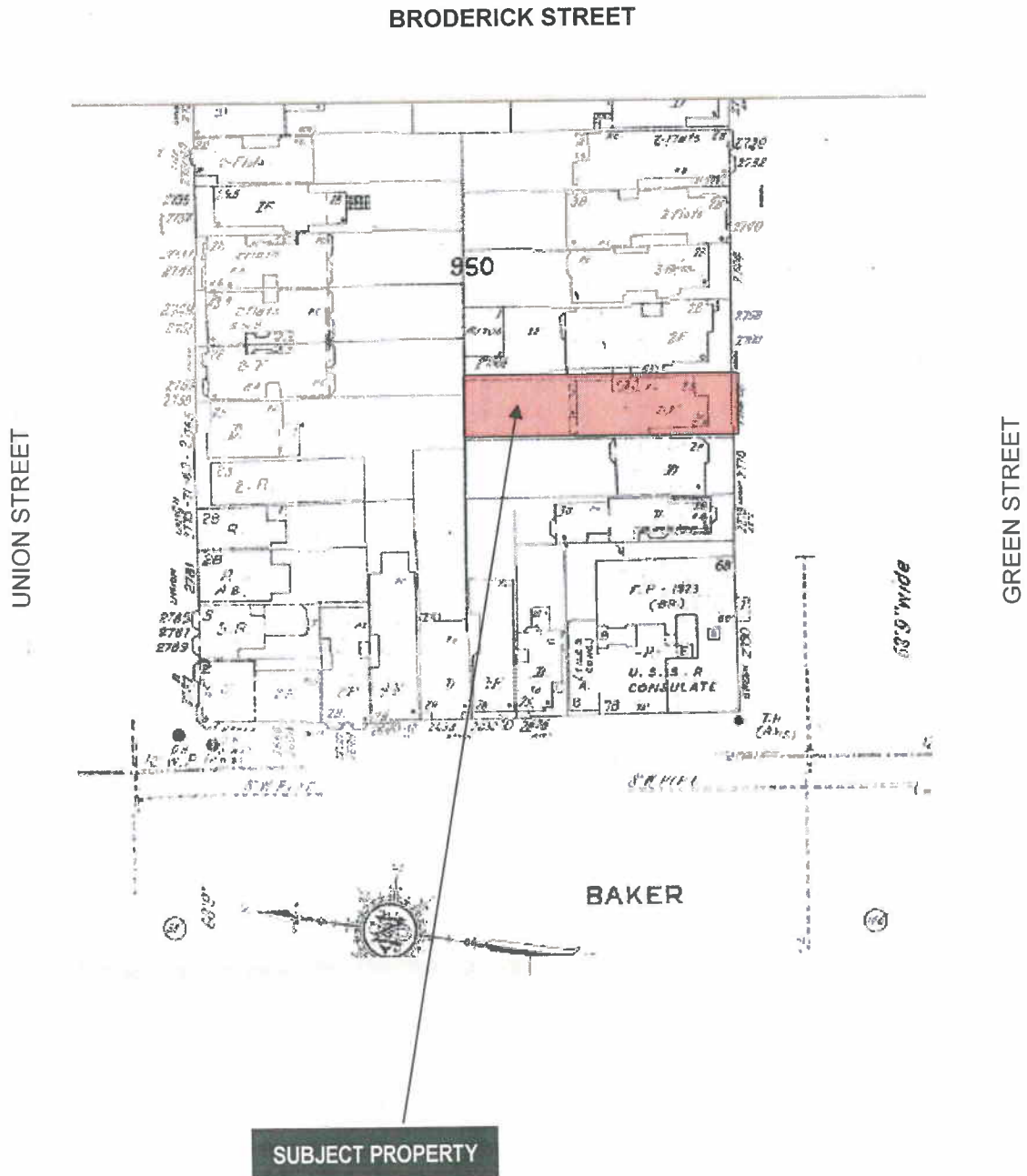
Project Sponsor's Submittal:

- Response to DR Application dated July 12, 2010
- Photographs
- 3-D Rendering
- Reduced Plans

mw:G:\DOCUMENTS\DR\2768 Green St.doc

Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
Case Number 2010.0130D
2768 Green Street (Upper Unit)



Aerial Photo

UNION STREET

BAKER STREET



BRODERICK STREET

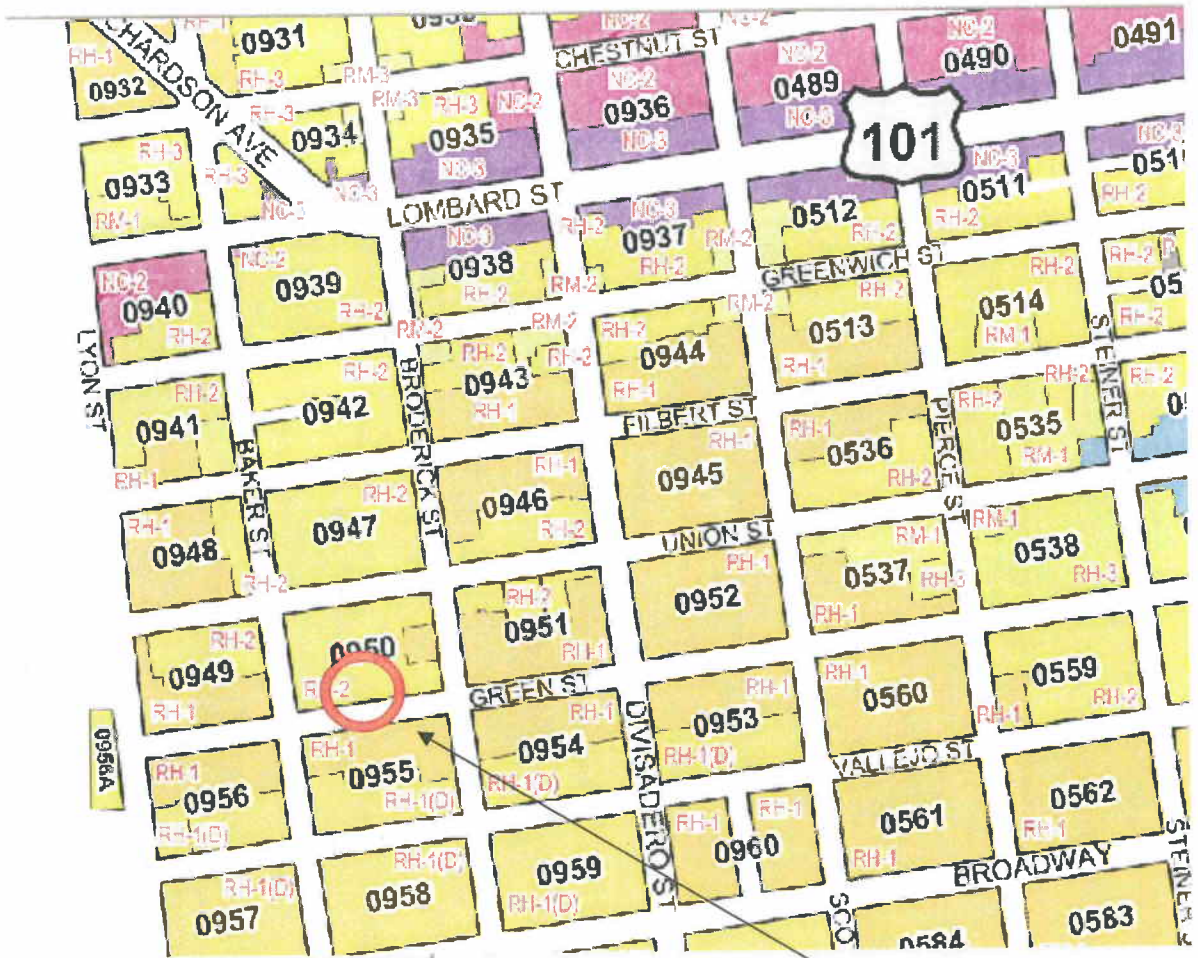
GREEN STREET

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2010.0130D
2768 Green Street (Upper Unit)

Zoning Map



ZONING USE DISTRICTS

RESIDENTIAL, HOUSE DISTRICTS

RH-1(D) RH-1 RH-1(S) RH-2 RH-3

RESIDENTIAL, MIXED (APARTMENTS & HOUSES) DISTRICTS

RM-1 RM-2 RM-3 RM-4

NEIGHBORHOOD COMMERCIAL DISTRICTS

NC-1 NC-2 NC-3 NCD NC-S

SOUTH OF MARKET MIXED USE DISTRICTS

SPD RED RSD SLR SLI SSO

COMMERCIAL DISTRICTS

C-2 C-3-S C-3-G C-3-R C-3-O C-3-O(SD)

INDUSTRIAL DISTRICTS

C-M M-1 M-2

CHINATOWN MIXED USE DISTRICTS

CRNC CVR CCB

RESIDENTIAL-COMMERCIAL DISTRICTS

RC-3 RC-4

REDEVELOPMENT AGENCY DISTRICTS

MB-RA HF-RA

DOWNTOWN RESIDENTIAL DISTRICTS

RH DTR TB DTR

MISSION BAY DISTRICTS

MB-OS MB-O

PUBLIC DISTRICT

P

PROJECT SITE



Discretionary Review Hearing
Case Number 2010.0130D
2768 Green Street (Upper Unit)



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On October 16, 2009, the Applicant named below filed Building Permit Application No. 2009.10.16.9181S (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Rolf Herken c/o Mark Brand, Architect	Project Address:	2768 Green Street (Upper Unit)
Address:	425 Second Street, Suite 601	Cross Streets:	Baker and Broderick Streets
City, State:	San Francisco, CA 94107	Assessor's Block /Lot No.:	0950 / 061
Telephone:	(415) 543-7300	Zoning Districts:	RH-2 / 40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE			
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION	or <input checked="" type="checkbox"/> ALTERATION
<input type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS	<input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input checked="" type="checkbox"/> HORIZ. EXTENSION (SIDE)	<input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
FRONT SETBACK	12.6 feet	No change
BUILDING DEPTH.....	67 feet	No change
REAR YARD.....	58 feet	No change
HEIGHT OF BUILDING (to top of stair penthouse)	43 feet	45 feet
NUMBER OF STORIES.....	3 over basement	No change
NUMBER OF DWELLING UNITS.....	3	No change
NUMBER OF OFF-STREET PARKING SPACES.....	0	No change

PROJECT DESCRIPTION

The existing building varies in height from three stories at the front to four stories at the rear on a down-sloping lot. The proposal is to (1) add a roof deck to the rear of the existing building; (2) remove and re-construct the existing stair penthouse at the west property line; and (3) remove and re-construct the existing exterior four-story fire staircase at the east property line. Other minor interior and exterior improvements are also proposed.

If you have any questions about this permit application, please contact the Planner listed below.

PLANNER'S NAME: **Mary Woods**
 PHONE NUMBER: (415) 558-6315
 EMAIL: mary.woods@sfgov.org

DATE OF THIS NOTICE:
 EXPIRATION DATE:

1/26/10
2/26/10

APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name Sidney Uncbskey Telephone No: 931-1118

D.R. Applicant's Address 2770 Green Street
Number & Street (Apt. #)
San Francisco 94123
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): (415) 931-1118
If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name Brett Gladstone, Esq. Telephone No: 434-9500

Address 177 Post Street, Penthouse
Number & Street (Apt. #)
San Francisco 94108
City Zip Code

Address of the property that you are requesting the Commission consider under the Discretionary Review: 2768 Green Street

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: Rolf Herken, c/o Mark Brand (415) 543-7300

Building Permit Application Number of the project for which you are requesting D.R.: 2009.10.16.9181S

Where is your property located in relation to the permit applicant's property?
next door

A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

1. Have you discussed this project with the permit applicant? YES G NO G
2. Did you discuss the project with the Planning Department permit review planner? YES G NO G
3. Did you participate in outside mediation on this case? Community Board G Other G NO G

The procedure for the public hearing will be as follows:

1. A brief description of the project issues and concerns by the Planning Department staff.
2. A presentation of the proposal by the D.R. requester – not to exceed five (5) minutes. As stated above, all materials submitted by the applicant to the Department will be sent to the Commission for review one week prior to the scheduled hearing date. During the presentation, D.R. applicants should briefly describe their concerns about the proposed construction, how it affects their property or the neighborhood, and acceptable alternatives. Additional materials pertinent to the case may also be presented to the Commission at this time.
3. Presentation(s) supporting the D.R. request by other individuals or by a member of a neighborhood group or organization – each speaker not to exceed three (3) minutes. Testimony should be kept brief and not duplicate the testimony or previous speakers. If possible, one person should be selected as the representative to make a presentation to the Commission. The Commission urges all parties supporting the D.R. request to limit the total length of their presentations to 15 minutes.
4. Presentation by project sponsor (building permit applicant) – not to exceed five (5) minutes. Project sponsor should address concerns of the D.R. requester and other individuals, including concerns articulated at the hearing, and demonstrate to the Commission why the project should be approved.
5. Presentation by persons or organizations supporting the project sponsor -- not to exceed three (3) minutes. The Commission urges all parties supporting the D.R. request to limit the total length of their presentations to 15 minutes.
6. The Commission may allow the D.R. requester a rebuttal not to exceed two minutes.
7. The Commission may allow the project sponsor a rebuttal not to exceed two minutes.
8. Public testimony is closed. The Commissioners may ask questions of various persons during their discussion and consideration of the project.
9. Action by Commission on the matter before it. The Commission can vote either to approve the project, approve it subject to certain modifications, disapprove it, or continue the case to a future date.

The Planning Commission action can be appealed to the Board of Appeals within fifteen (15) days of the issuance or denial of the building permit application by the Central Permit Bureau.

4. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the results, including any changes that were made to the proposed project so far.

Mr. Unobskey has been out of the country in an unreachable location and as a result, communications have been quite limited, and have occurred between consultants. Mr. Unobskey's architect Gary Millar and the undersigned have been in discussions with Mark Brand, the project architect, concerning the scope of work proposed, since some drawings sent with the 311 Notification do not provide enough information for adjacent neighbors to understand. (For example, there was no western elevation, among other things) At this early date, no changes have been offered or accepted. That discussion will occur soon.

B. DISCRETIONARY REVIEW REQUEST

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

SEE ATTACHED

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

SEE ATTACHED

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

SEE ATTACHED

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

CHECKLIST FOR APPLICANT:

Indicate which of the following are included with this Application:

REQUIRED:

- G** Check made payable to Planning Department (see current fee schedule).
- G** Address list for nearby property owners, in label format, plus photocopy of labels.
- G** Letter of authorization for representative/agent of D.R. applicant (if applicable).
- G** Photocopy of this completed application.

OPTIONAL:

- G** Photographs that illustrate your concerns.
- G** Covenants or Deed Restrictions.
- G** Other Items (specify).

File this objection in person at the Planning Information Center. If you have questions about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.

Signed

SIDNEY R. UNOWSKY
Applicant

2/22/10
Date

10.01300

APPLICATION REQUESTING DISCRETIONARY REVIEW (ATTACHMENT)

D.R. Applicant: Sidney Unobskey

D.R. Applicant's Address: 2770 Green Street, SF 94123. Phone (415) 931-1118

Address of the property that we are requesting the Commission to consider under the Discretionary Review: 2768 Green Street (upper unit)

B. DISCRETIONARY REVIEW REQUEST

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

- (1) It appears that there is more than 20' of elevation difference between the front and rear property lines. This fact would make the maximum allowable height for the building be 35', rather than the 40' indicated in the application. DR applicant requests that a property profile be submitted that illustrates the elevation difference between the front and rear property lines. Stair penthouses are limited by the Planning Code to no more than 10 feet above the height limit;*
- (2) The parapet walls may not be more than 4' above the height limit. If the height limit is indeed 35', then none of the parapet walls may be built at the height shown. Section 260 (b)(2)(A) limits the height of parapets to 4'. DR applicant questions the point from which that 4' is measured, whether from the height limit or above the level of the proposed deck. If it is 4' above the height limit, and the height limit is 35 feet, then no solid parapet may be built that is taller than about 24" above the surface of the proposed roof deck. This would mean that the deck could not extend over to a point closer than 5' from the property line because any deck closer than 5' to the property line requires a fire wall extending up a minimum of 30" above the deck surface. DR applicant also questions whether the 4' tall parapet that is proposed to run across the building would be a permitted structure. It could be an open railing, as open railings are permitted per Section 260(b)(2)(B).*
- (3) This project requires lateral elevation drawings to be shown to neighbors, as stated in the "Application Completeness Matrix and Control Sheet". That is because this project falls under the category of "Dormers, Penthouse, or Other Projections". Because DR Applicant has not received lateral drawings and west elevations for the project with enough time to review them, DR Applicant must*

preserve his right to have a DR hearing while he and his consultants analyze these drawings only very recently received.

- (4) The Building Department and Planning Department have in recent years tightened their restrictions on the amount of covering structure over a rooftop stairs. In the past, entire usable rooms have been created from what is supposed to be a small landing at the top of a stairs to the roof. According to the drawings DR Applicant has seen, a much larger structure is being created above the stairs to the roof than is necessary.*
- (5) DR Applicant reserves right to identify additional Planning Code and Residential Design Guidelines issues as plans are further explored by consultants.*

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

DR applicant could be adversely affected in that the proposed roof deck may invade the privacy of DR applicant's home, and might cast additional shadows into certain rooms and into valuable usable open space in DR Applicant's rear yard. This potential is currently being further analyzed by DR Applicant and his consultant.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

DR Applicant is in the course of designing a code complying parapet and an alternative stair housing and roof deck that will meet project sponsor's goals of having a roof deck with access to it, but without the impact to the neighbor.

RESPONSE TO DISCRETIONARY REVIEW

Case No: 2010.0130D
Building Permit No.: 2009.10.16.9181S
Address: 2768 Green Street (Upper Unit)

Project Sponsor's Name: Rolf Herken
Telephone No.: Architect Mark Brand (415) 543-7300

- 1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.):**

We have changed the design repeatedly in response to the DR requester's concerns. We have been in negotiations with the DR requester's representatives since the DR was filed on February 25, 2010. The DR requester (Sidney Unobskey) preferred not to speak with the project sponsor (Rolf Herken) or the architect (Mark Brand) directly. Please see the attached chronology. (See tab B) Every time we (Rolf Herken and Mark Brand) agreed to something, another condition was imposed. The final condition was that we agree to a huge proposed addition to the DR requester's property. When we initially agreed to support this addition, the DR requester submitted drawings he wanted us to sign off on which didn't reflect our understanding of the agreement. (See Tab M) When we asked for one small reasonable revision to this even larger than anticipated design (namely that the fourth floor deck be reduced slightly so that it could have an open railing rather than a solid firewall) the DR requesters' attorney responded that he was resigning from the case. Once the attorney resigned, we decided to move the project forward to the Planning Commission as quickly as possible, hoping the commission would approve our modified design without forcing us to approve of the DR requesters proposed addition as a condition.

The modified design has minimal impact on the DR requester in that the new firewall facing his property is only approximately 16-1/2 inches higher than the existing curb with an open railing 12 inches above the firewall. In addition, the fire wall is set in from the common property line 2-1/2 feet. The proposed roof deck is also located approximately 32 feet above the DR requester's rear yard deck.

- 2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filling your application with the City or after filling the application.**

Initially we agreed to reduce the rooftop deck so that it was 5 feet away from the common property line with open railings instead of solid fire walls, thereby increasing the DR requester's privacy and eliminating any shadows which the firewall

might have cast on the property. Structurally this would be more difficult and costly since one of the main bearing points would be above the living room ceiling instead of over an existing exterior wall. We also agreed to modify the stair penthouse such that it slopes down toward the DR requester's property, thereby reducing any shadow it might cast on the DR requester's deck. We could not modify the actual footprint or layout of the stair because we were constrained by the location of the existing stair and had worked out an interpretation of the exiting requirements for the deck in a meeting and subsequent submittals, phone calls and emails with Tod Stephenson of the San Francisco Fire Department. We also agreed not to box in with wood siding the existing metal chimneys as requested by the DR requester.

Our final design has reduced the overall height of the project by 2'-2-1/4" instead of increasing the distance of the deck from the common property line, and we have also reduced the height of the firewall from 48 inches to 30 inches with an open railing on top of it so (as noted above) the firewall will only be 16-1/2 inches higher than the existing curb. This has been done by reducing the height of the existing roof and compressing the overall thickness of the ceiling, roof and deck to 18 inches. Pending the outcome of the DR hearing we have not done all of the engineering and waterproofing detailing necessary to make this happen, but our engineer has been consulted and determined that he can make this work. Additionally, Rolf Herken has agreed to lower the ceiling in his unit if necessary to make it work. These concessions will increase the construction cost considerably.

We have also changed the path of the second means of egress across the roof so that it is as far from the east side of the property as possible while still meeting the required separation of the two means of egress required by code. This was done in response to a request we received from Jim Babcock, the neighbor on the east side of the property.

- 3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.**

We *are* willing to change the proposed project as described above. It appears that the only reason the DR is moving ahead is because the DR requester wants us to sign off on a much larger project he is considering.

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

Number of	Existing	Proposed
Dwelling units (only one kitchen per unit- additional kitchens count as additional units)	3	3
Occupied Stories (all levels with habitable rooms)	3	3
Basement levels (may include garage or windowless storage rooms)	1	1
Parking spaces (Off-Street)	0	0
Bedrooms (Rolf's Unit only)	2	2
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas	1440	1468
Height	35'-0 $\frac{3}{4}$ "	35'-0"
Building Depth	67'-3"	67'-3"
Most recent rent received (If any)	NA	NA
Projected rents after completion of project	NA	NA
Current value of property	\$1.8M	NA
Projected value (sale price) after completion of project (if known) – sale not planned	NA	\$2.1M

I attest that the above information is true to the best of my knowledge.



Signature

7-12-10

Date

MARK BRAND

Name (please print)



EXISTING STAIR PENTHOUSE OF
2768 GREEN STREET



FRONT OF 2768 GREEN STREET



IEWS NORTH FROM ROOF OF 2768 GREEN STREET





REAR OF 2768 GREEN STREET



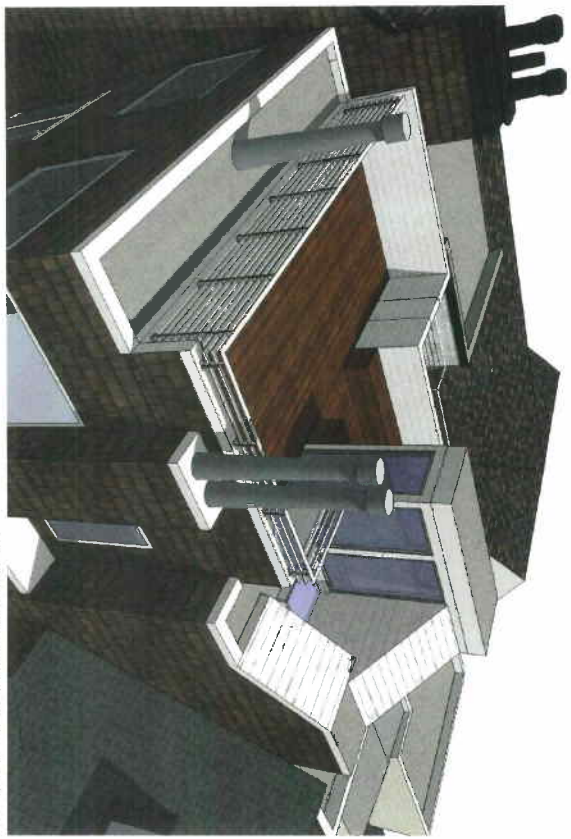
VIEW SOUTH FROM ROOF OF 2768 GREEN STREET



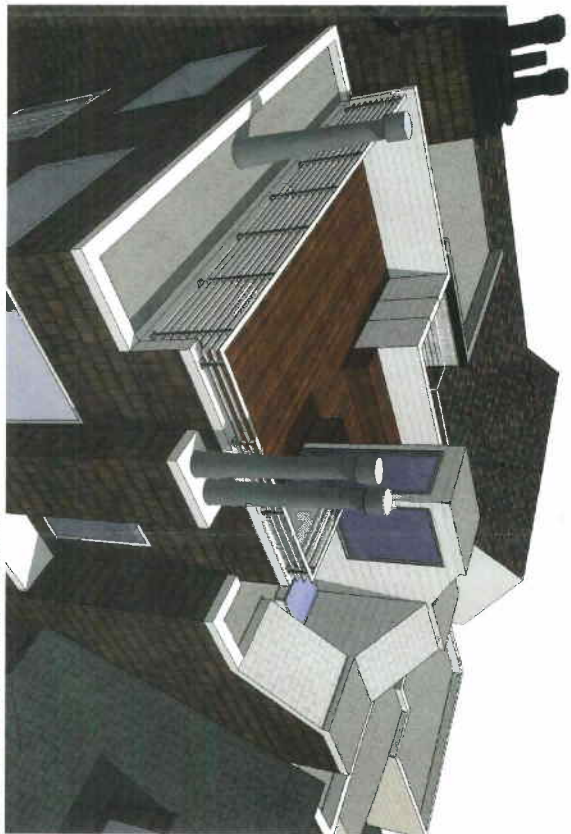
OCT. 20, 2009 311 NOTIFICATION VERSION ①



MAR. 10, 2010 REVISION TO ADDRESS WEST NEIGHBORS COMMENTS ②



JUL. 2, 2010 STAR PENTHOUSE w/ FLAT ROOF ③



JUL. 9, 2010 STAR PENTHOUSE w/ SLOPED ROOF ④



OCT. 20, 2009 | 311 NOTIFICATION VERSION, VIEW FROM NORTH ①



MAR. 19, 2010 | REVISION TO ADDRESS WEST NEIGHBORS COMMENTS, VIEW FROM NORTH ②



APR. 2, 2010 | STAIR PENTHOUSE W/ FLAT ROOF, VIEW FROM EAST NEIGHBORS DECK ③



APR. 9, 2010 | STAIR PENTHOUSE W/ SLOPED ROOF, VIEW FROM EAST NEIGHBORS DECK ④



OCT. 20, 2009, 311 NOTIFICATION VERSION, VIEW FROM ACROSS THE STREET ①



MAR. 10, 2010 REVISION TO ADDRESS WEST NEIGHBORS COMMENTS, VIEW FROM ACROSS THE STREET ②



JUL. 2, 2010, STAR PENTHOUSE, W/ FLAT ROOF, VIEW FROM ACROSS THE STREET ③



JUL. 9, 2010, STAR PENTHOUSE, W/ SLOPED ROOF, VIEW FROM ACROSS THE STREET ④



OCT. 20, 2009 311 NOTIFICATION VERSION, VIEW FROM ACROSS THE STREET 2ND FL. LEVEL ①



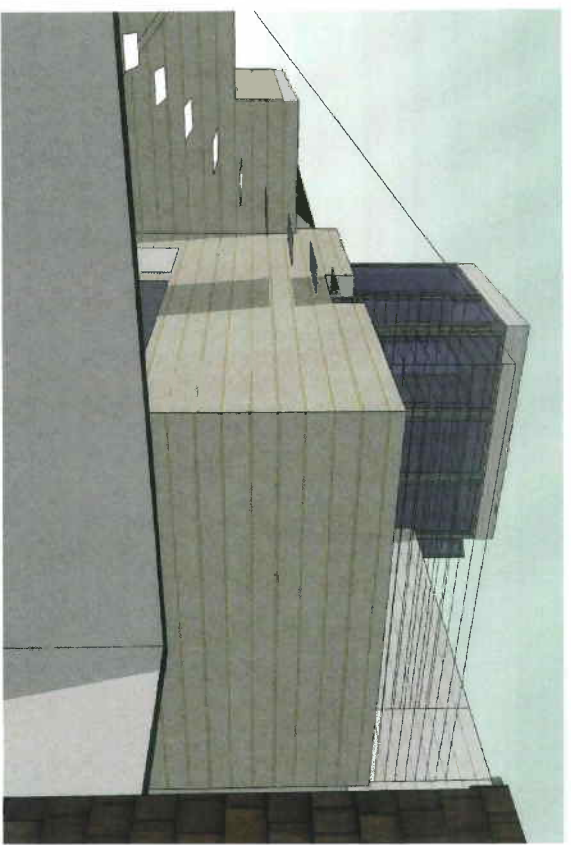
MAR. 10, 2010 REVISION TO ADDRESS WEST NEIGHBORS COMMENTS, VIEW FROM ACROSS THE STREET 2ND FL. LEVEL ②



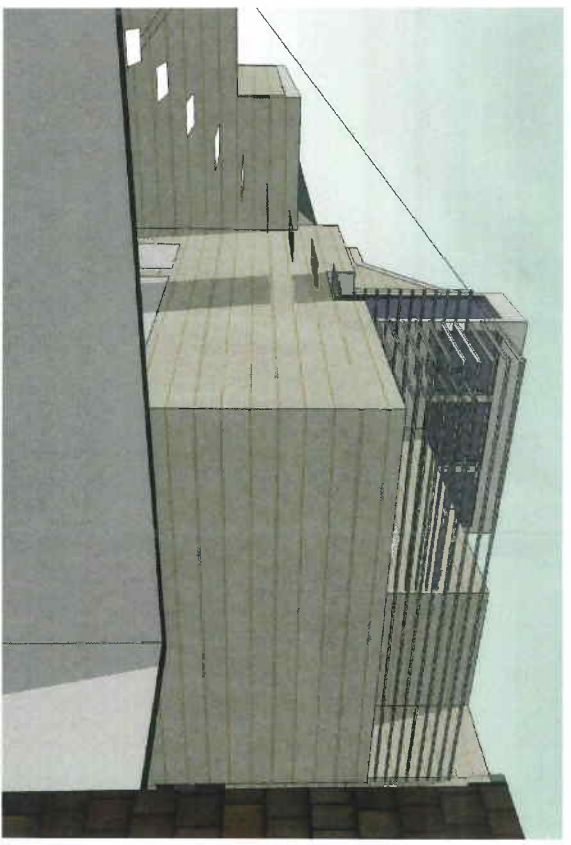
JUL. 2, 2010 STAR PENTHOUSE W/ FLAT ROOF, VIEW FROM ACROSS THE STREET 2ND FL. LEVEL ③



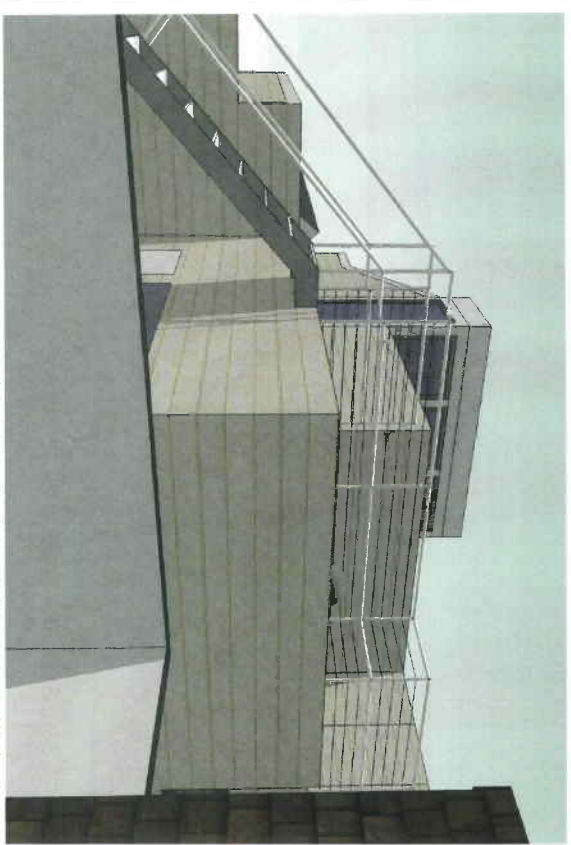
JUL. 9, 2010 STAR PENTHOUSE W/ SLOPED ROOF, VIEW FROM ACROSS THE STREET 2ND FL. LEVEL ④



(OCT. 20, 2009) 311 NOTIFICATION VERSION, VIEW FROM EAST NEIGHBORS DECK ①



(MAR. 10, 2010) REVISION TO ADDRESS WEST NEIGHBORS COMMENTS, VIEW FROM EAST NEIGHBORS DECK ②



(JUL. 2, 2010) STAIR PENTHOUSE w/ FLAT ROOF, VIEW FROM EAST NEIGHBORS DECK ③



(JUL. 9, 2010) STAIR PENTHOUSE w/ SLOPED ROOF, VIEW FROM EAST NEIGHBORS DECK ④





JUL. 2, 2010 STAR PENTHOUSE W/ FLAT ROOF ①



JUL. 9, 2010 STAR PENTHOUSE W/ SLOPED ROOF ③



JUL. 2, 2010 STAR PENTHOUSE W/ FLAT ROOF ②



JUL. 9, 2010 STAR PENTHOUSE W/ SLOPED ROOF ④



MAR. 10, 2010 REVISION TO ADDRESS WEST NEIGHBORS COMMENTS, SHOWN WITH WEST NEIGHBORS (B) PROPERTY 1



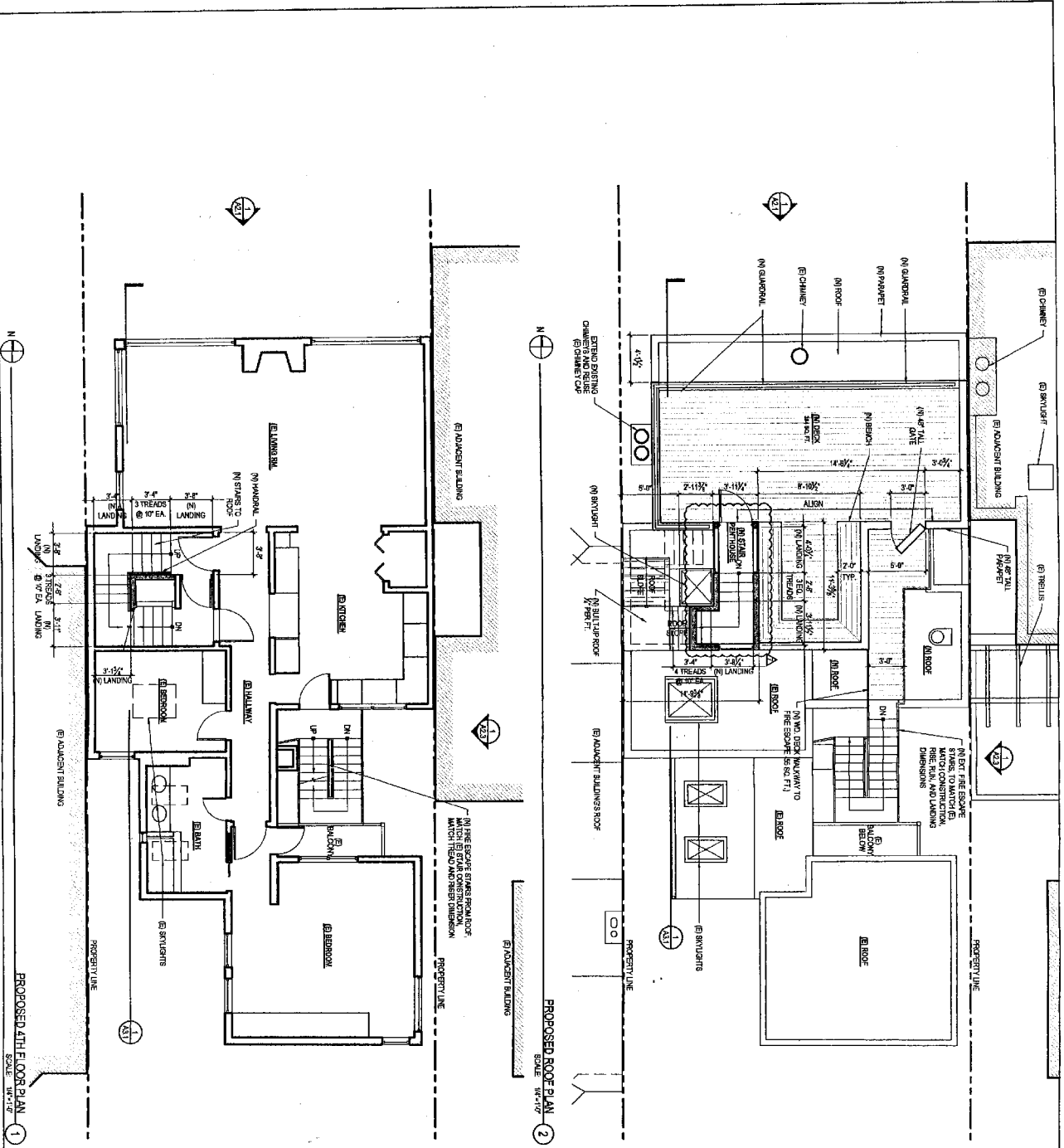
MAR. 10, 2010 REVISION TO ADDRESS WEST NEIGHBORS COMMENTS, SHOWN WITH WEST NEIGHBORS PLANNED ADDITION 2



MAR. 10, 2010 REVISION TO ADDRESS WEST NEIGHBORS COMMENTS, SHOWN WITH WEST NEIGHBORS (B) PROPERTY 3



MAR. 10, 2010 REVISION TO ADDRESS WEST NEIGHBORS COMMENTS, SHOWN WITH WEST NEIGHBORS PLANNED ADDITION 4



GENERAL PLAN NOTES

1. QUARRELS SHALL BE PROVIDED AT EDGE OF LANDINGS, WALKWAYS & STAIRS AT LOCATIONS WHERE FLOOR LEVELS OR QUARRELS SHALL BE 9" NOMINAL INSTALLED PER 05-200 SECTION 903.
2. STAIRS TO BE PROVIDED WITH 1 1/2" MIN. DIA. HANDRAIL, 3/8" MADE THEO HOOKS, MIN. 1 1/2" OUT FROM FACE OF WALL.
3. TERMINATE GAS VENT PER IBC, SECTION 906. AT GAS FREELAND, VENT TO BE TYPED WITH COMPATIBLE VENT.



architecture

Herken Residence
Rooftop Deck

2788 Green Street
San Francisco, CA

DATE	11/04/08
ISSUE	SITE PERMIT
REVISION	
FOR SCHEMATIC DEVELOPMENT	01/08/07
A.D. REVISION	08/14/07
A.D. REVISION	06/24/07
A.D. REVISION	07/24/07
A.D. REVISION	07/29/07

PROPOSED 4TH FLOOR PLAN AND ROOF PLAN

A1.4



**Herken
Residence**

2788 Green Street
San Francisco, CA

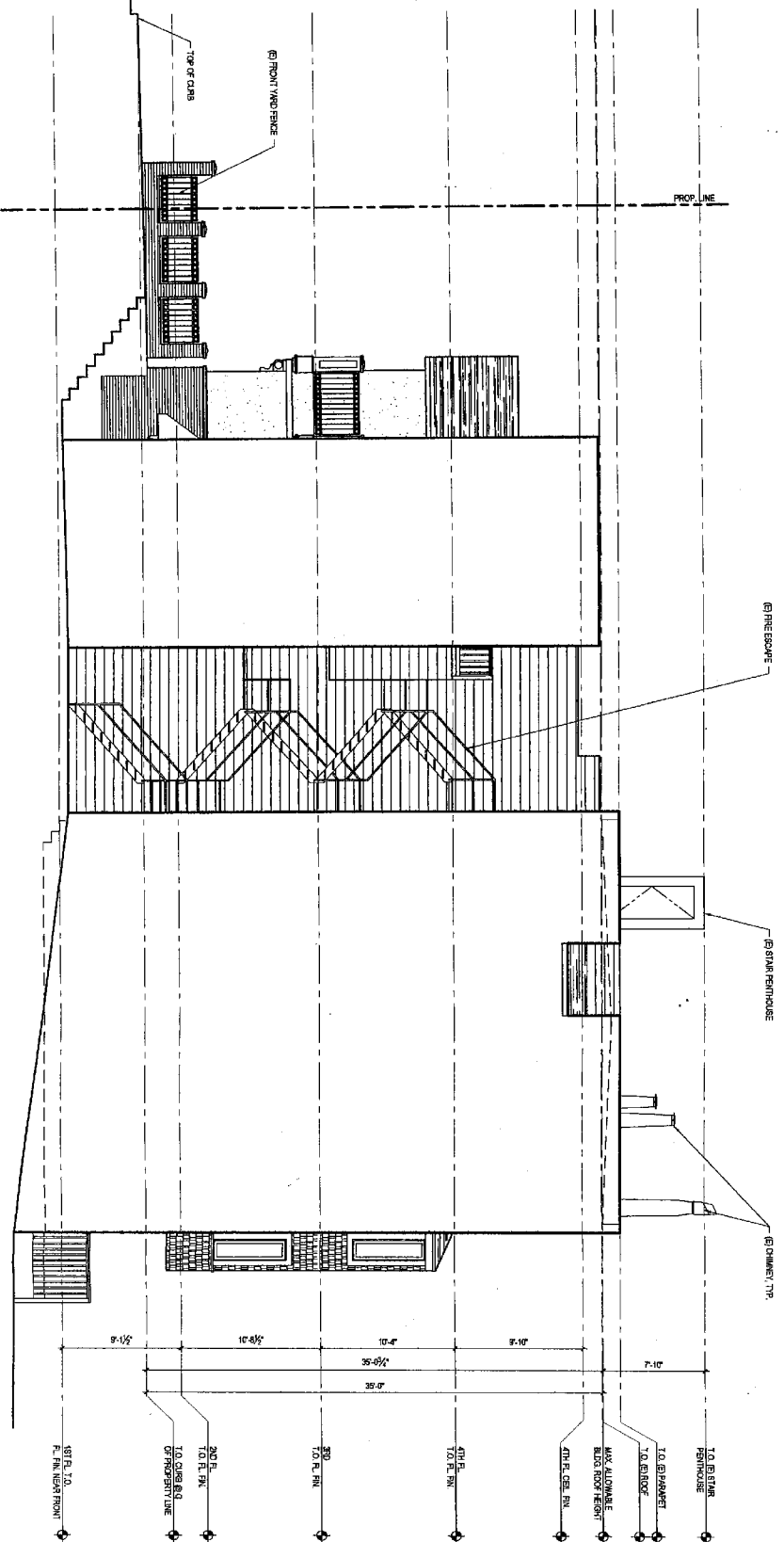
- ▲ SITE PERMIT 11.14.08
- ▲ PERMITS 11.14.08
- ▲ FOR START NOTIFICATION 01.28.09
- ▲ D.R. REVISION 02.18.09
- ▲ D.R. REVISION 02.24.09
- ▲ D.R. REVISION 02.24.09
- ▲ D.R. REVISION 02.24.09

DATE: 10.14.08
DRAWN BY: OF
SCALE: 1/8" = 1'-0"
SHEET TITLE: EXISTING EAST ELEVATION

SHEET NO.

A2.2

EXISTING EAST ELEVATION ①
SCALE: 1/8" = 1'-0"





Herken Residence
Rooftop Deck

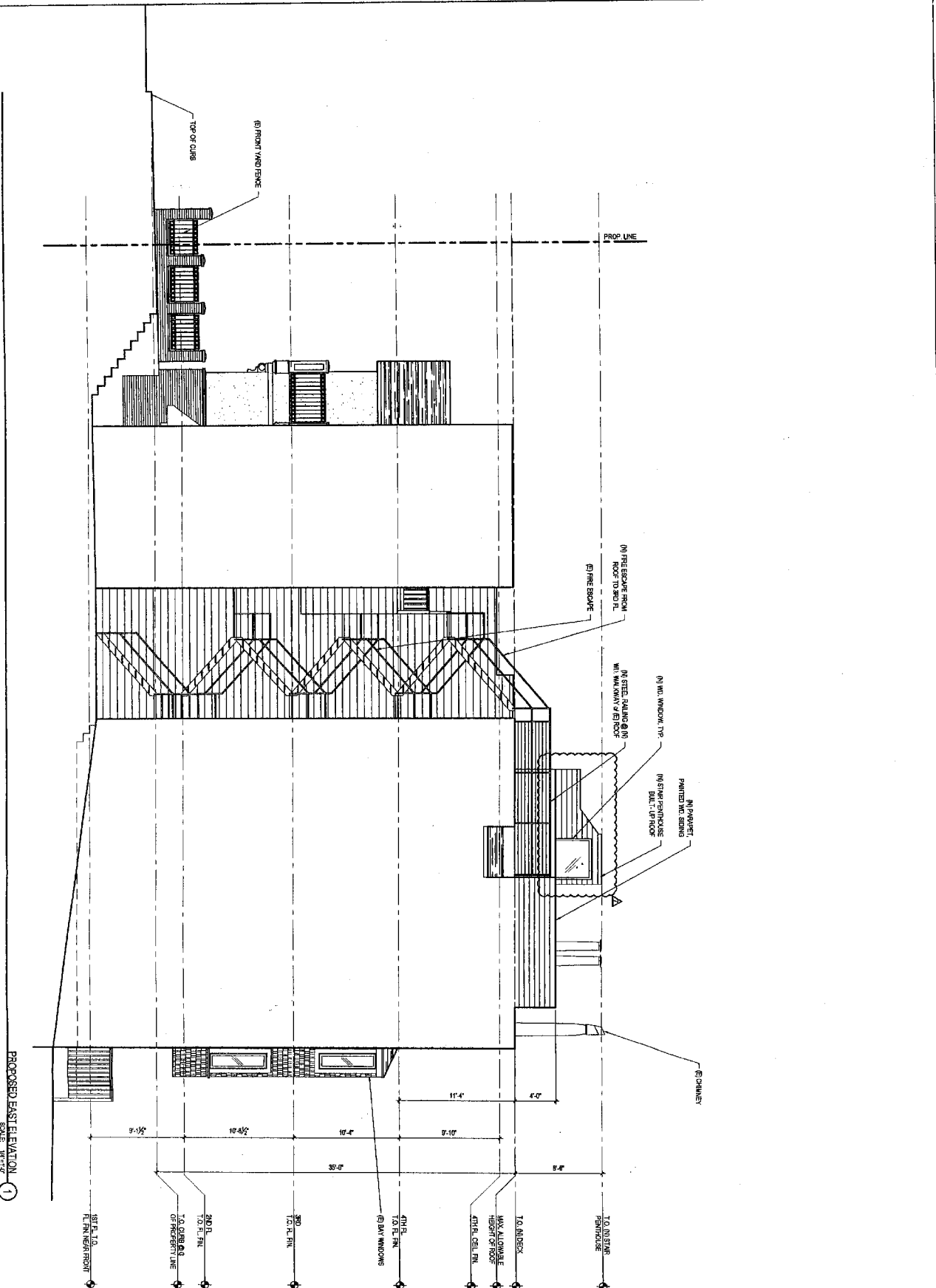
2788 Green Street
San Francisco, CA

DATE: 11.04.09
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"

A2.3

PROPOSED EAST ELEVATION

SHEET NO.



PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



**Herken
Residence
Rooftop Deck**

2788 Green Street
San Francisco, CA

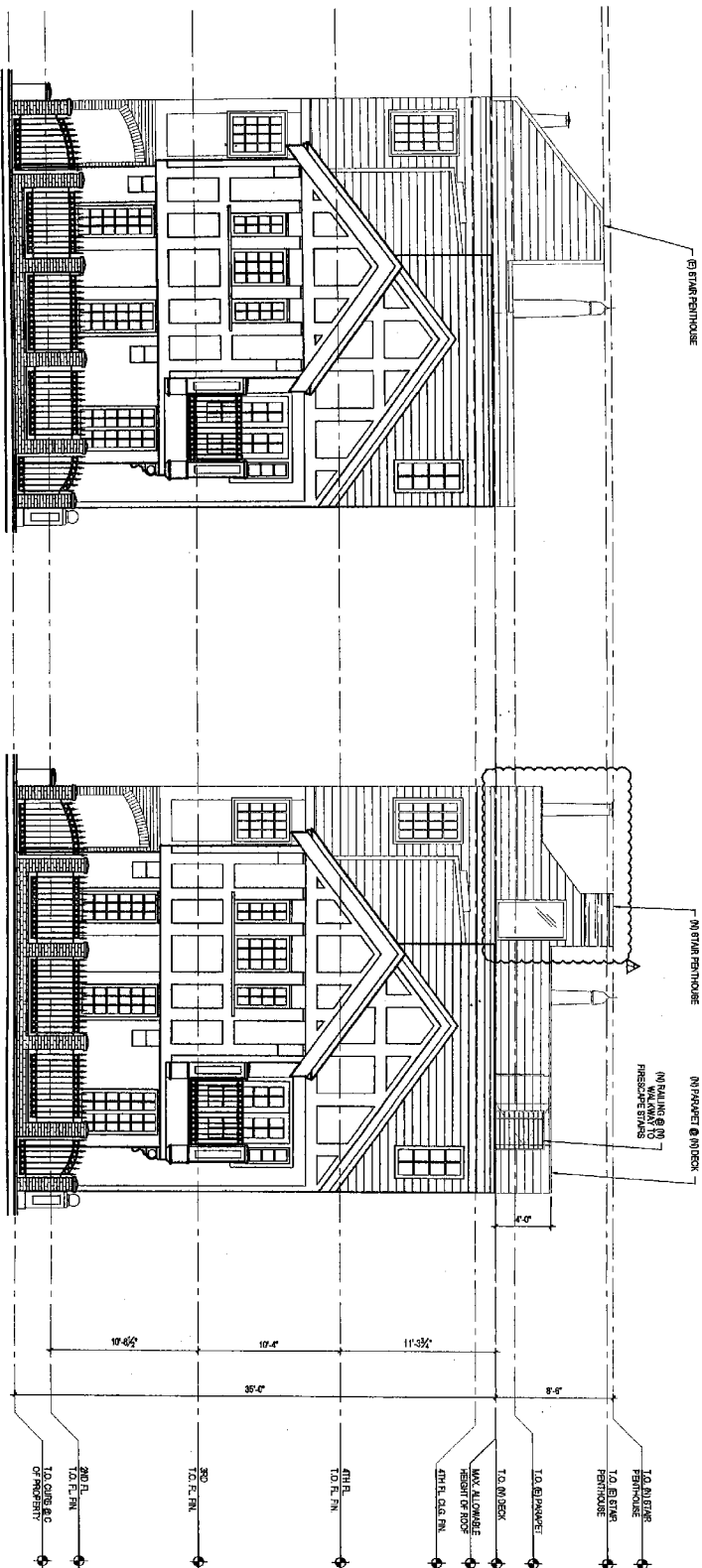
DATE	DESCRIPTION
11/20/16	SITE PERMIT
01/06/17	REVISION
01/06/17	SITE PERMIT/REV. 01/06/17
02/13/17	FOR SOLARY NOTIFICATION
02/13/17	DR. REVISION
07/26/17	DR. REVISION
07/26/17	DR. REVISION
07/26/17	DR. REVISION

DATE	DESCRIPTION
10/20/16	DATE
07/26/16	DRAWING NO.
07/26/16	SCALE
	SHEET TITLE

**EXISTING &
PROPOSED
SOUTH
ELEVATION**

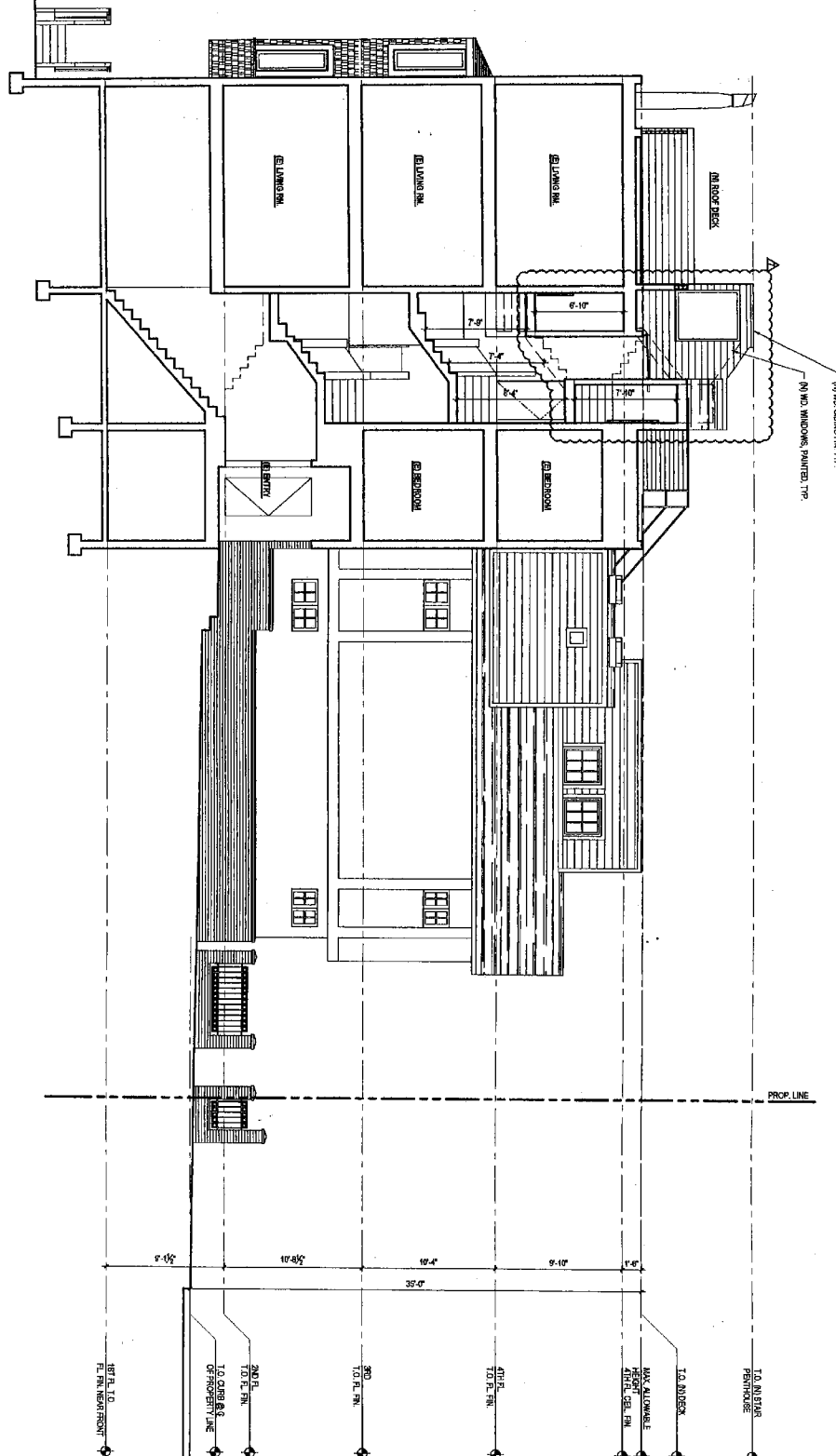
SHEET NO.

A2.4



EXISTING SOUTH ELEVATION ②
SCALE: 1/8"=1'-0"

PROPOSED SOUTH ELEVATION ①
SCALE: 1/8"=1'-0"



PROPOSED LONGITUDINAL BUILDING SECTION THROUGH INTERIOR STAIRWELL
SCALE: 1/8" = 1'-0"

1

architecture



**Harken
Residence**
Rooftop Deck

2768 Green Street
San Francisco, CA

DATE	10/20/12
ISSUE	01
REVISION	10/20/12
DATE	10/20/12
BY	10/20/12
FOR 3-DIM. NOTIFICATION	
DATE REVISION	06/18/10
DATE REVISION	06/18/10
DATE REVISION	03/24/10
DATE REVISION	02/26/10
DATE REVISION	02/26/10

DATE	10/20/12
BY	10/20/12
FOR 3-DIM. NOTIFICATION	
DATE REVISION	06/18/10
DATE REVISION	06/18/10
DATE REVISION	03/24/10
DATE REVISION	02/26/10
DATE REVISION	02/26/10

PROPOSED
BUILDING
SECTION

A3.1