



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use Authorization

HEARING DATE: OCTOBER 28, 2010

Date: October 21, 2010
Case No.: **2010.0039C**
Project Address: **185 Berry Street**
Current Zoning: MUO (Mixed Use Office) District
90-X Height and Bulk District
Block/Lot: 3803 / 005
Project Sponsor: Margie Detiege
NSA Wireless
2000 Crow Canyon Place
San Ramon, CA 94583
(925) 244-1870
for Verizon
Staff Contact: Erika S. Jackson – (415) 558-6363
erika.jackson@sfgov.org
Recommendation: **Approval with Conditions**

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PROJECT DESCRIPTION

The proposal is to install up to three new panel antennas, and associated equipment cabinets as part of a wireless transmission network operated by Verizon. Each panel antenna measures 48" by 11.9" by 7.1". The antennas would be installed on three rooftop mechanical equipment penthouse structures on an existing six-story office building at a height of approximately 87 feet above grade. Equipment cabinets would be placed within an existing equipment room on the rooftop.

Pursuant to the 1996 Wireless Telecommunications Services (WTS) Facilities Siting Guidelines¹ and the 2003 Supplement to those Guidelines, the proposed installation is a Preference 2 Co-Location Site, in that it is at a location with existing legal WTS Facilities.

SITE DESCRIPTION AND PRESENT USE

The Project Site is located on the block situated between 3rd Street, 4th Street, Berry Street, and the Mission Creek Channel. The Project Site contains a six-story office building known as the China Basin Building. There are antennas operated by AT&T, MetroPCS, Sprint, and T-Mobile on the rooftop of the China Basin Building, which is approximately 800 feet long by 100 feet wide. In the immediate vicinity of the Project

¹ PC Resolution No. 14182, adopted August 15, 1996, establishing the *Wireless Telecommunications Services (WTS) Facilities Siting Guidelines*.

Site, there are two existing antennas operated by Metro PCS and six existing antennas operated by Verizon.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property is located on the block situated between 3rd Street, 4th Street, Berry Street, and the Mission Creek Channel and is surrounded by the Mission Bay Redevelopment Area. The area is mixed with light industrial, office, commercial and residential uses. The surrounding zoning is primarily SLI, UMU and PDR.

ENVIRONMENTAL REVIEW

The Project is exempt from the California Environmental Quality Act (“CEQA”) as a Class 3 categorical exemption. The Commission has reviewed and concurs with said determination.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	October 8, 2010	October 8, 2010	20 days
Posted Notice	20 days	October 8, 2010	October 8, 2010	20 days
Mailed Notice	20 days	October 8, 2010	October 8, 2010	20 days

PUBLIC COMMENT

As of October 7, 2010, the Department has not received any correspondence(s) regarding the proposed installation.

ISSUES AND OTHER CONSIDERATIONS

- An evaluation of potential health effects from RF radiation, conducted by the Department of Public Health, has concluded that the proposed wireless transmission facility and cumulative effects of the existing facility are in compliance with the FCC-adopted health and safety standards.
- The Project will utilize existing penthouse structures for the location of the antennas and an existing equipment room for the cabinets.
- The Project will improve Verizon Wireless data speed and call volume in a residential, commercial and recreational area along primary transportation routes in San Francisco.
- The Project is a Location Preference 2 Co-Location Site, in that it is at a location with existing legal WTS Facilities.
- Health and safety aspects of all wireless Projects are reviewed under the Department of Public Health and the Department of Building Inspections.
- A Five Year Plan with approximate longitudinal and latitudinal coordinates of proposed locations, including the subject site, was submitted.
- All required public notifications were conducted in compliance with the City’s code and policies.

REQUIRED COMMISSION ACTION

In order for the Project to proceed, the Commission may grant the Conditional Use authorization pursuant to Planning Code Sections 227(h), 303, and 842.93 to allow the installation of wireless facilities

BASIS FOR RECOMMENDATION

The Department believes this Project is necessary and/or desirable under Section 303 of the Planning Code for the following reasons:

- The Project complies with the applicable requirements of the Planning Code.
- The Project is consistent with the objectives and policies of the General Plan.
- The Project is consistent with the 1996 WTS Facilities Siting Guidelines, Planning Commission Resolution No. 14182.
- The Project Site is a Location Preference 2, a preferred location, according to the Wireless Telecommunications Services (WTS) Siting Guidelines.
- The Project will improve Verizon Wireless data speed and call volume in a residential, commercial and recreational area along primary transportation routes in San Francisco.

RECOMMENDATION: Approval with Conditions
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ATTACHMENTS

- | | |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary | <input checked="" type="checkbox"/> Project sponsor submittal |
| <input checked="" type="checkbox"/> Draft Motion | Drawings: <u>Proposed Project</u> |
| <input checked="" type="checkbox"/> Zoning District Map | <input checked="" type="checkbox"/> Check for legibility |
| <input checked="" type="checkbox"/> Height & Bulk Map | <input checked="" type="checkbox"/> Photo Simulations |
| <input checked="" type="checkbox"/> Parcel Map | <input checked="" type="checkbox"/> Coverage Maps |
| <input checked="" type="checkbox"/> Sanborn Map | <input checked="" type="checkbox"/> RF Report |
| <input checked="" type="checkbox"/> Aerial Photo | <input checked="" type="checkbox"/> DPH Approval |
| <input checked="" type="checkbox"/> Context Photos | <input checked="" type="checkbox"/> Community Outreach Documents |
| <input checked="" type="checkbox"/> Site Photos | <input type="checkbox"/> SHPO Review |

Exhibits above marked with an "X" are included in this packet _____ Planner's Initials

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Affordable Housing (Sec. 415)
- Jobs Housing Linkage Program (Sec. 413)
- Downtown Park Fee (Sec. 412)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 414)
- Other

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Planning Commission Motion

HEARING DATE: OCTOBER 28, 2010

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ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 227(h), 303, AND 842.93 TO INSTALL A WIRELESS TELECOMMUNICATIONS FACILITY CONSISTING OF THREE NEW PANEL ANTENNAS ON THE ROOFTOP OF AN EXISTING SIX-STORY OFFICE BUILDING AND TO INSTALL ASSOCIATED EQUIPMENT CABINETS WITHIN A MUO (MIXED USE OFFICE) ZONING DISTRICT AND A 90-X HEIGHT AND BULK DISTRICT.

PREAMBLE

On January 21, 2010, Margie Detiege (hereinafter "Project Sponsor"), made an application (hereinafter "application"), for Conditional Use (CU) authorization on the property at 185 Berry Street, Lot 005 in Assessor's Block 3803, (hereinafter "Project Site") to install a wireless telecommunications facility consisting of three new panel antennas on the rooftop of an existing six-story office building and to install associated equipment cabinets within a MUO (Mixed Use Office) Zoning District and a 90-X Height and Bulk District.

The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 3 categorical exemption. The Commission has reviewed and concurs with said determination.

On October 28, 2010, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use authorization.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use in Application No. 2010.0039C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project Site is located on the block situated between 3rd Street, 4th Street, Berry Street, and the Mission Creek Channel. The Project Site contains a six-story office building known as the China Basin Building. There are antennas operated by AT&T, MetroPCS, Sprint, and T-Mobile on the rooftop of the China Basin Building, which is approximately 800 feet long by 100 feet wide. In the immediate vicinity of the Project Site, there are two existing antennas operated by Metro PCS and six existing antennas operated by Verizon.
3. **Surrounding Properties and Neighborhood.** The subject property is located on the block situated between 3rd Street, 4th Street, Berry Street, and the Mission Creek Channel and is surrounded by the Mission Bay Redevelopment Area. The area is mixed with light industrial, office, commercial and residential uses. The surrounding zoning is primarily SLI, UMU and PDR.
4. **Project Description.** The proposal is to install up to three new panel antennas, and associated equipment cabinets as part of a wireless transmission network operated by Verizon. Each panel antenna measures 48" by 11.9" by 7.1". The antennas would be installed on three rooftop mechanical equipment penthouse structures on an existing six-story office building at a height of approximately 87 feet above grade. Equipment cabinets would be placed within an existing equipment room on the rooftop.

Pursuant to the 1996 Wireless Telecommunications Services (WTS) Facilities Siting Guidelines¹ and the 2003 Supplement to those Guidelines, the proposed installation is a Preference 2 Co-Location Site, in that it is at a location with existing legal WTS Facilities.

¹ PC Resolution No. 14182, adopted August 15, 1996, establishing the *Wireless Telecommunications Services (WTS) Facilities Siting Guidelines*.

5. **Past History and Actions.** The Planning Commission established guidelines for the installation of wireless telecommunications facilities in 1996 ("Guidelines"). These Guidelines set forth the land use policies and practices that guide the installation and approval of wireless facilities throughout San Francisco. A large portion of the Guidelines was dedicated to establishing location preferences for these installations. The Board of Supervisors, in Resolution No. 635-96, provided input as to where wireless facilities should be located within San Francisco. The Guidelines were updated by the Commission in 2003, requiring community outreach, notification, and detailed information about the facilities to be installed.²

Section 8.1 of the Guidelines outlines Location Preferences for wireless facilities. There are five primary areas where the installation of wireless facilities should be located:

1. Publicly-used Structures: such facilities as fire stations, utility structures, community facilities, and other public structures;
2. Co-Location Site: encourages installation of facilities on buildings that already have wireless installations;
3. Industrial or Commercial Structures: buildings such as warehouses, factories, garages, service stations;
4. Industrial or Commercial Structures: buildings such as supermarkets, retail stores, banks; and
5. Mixed Use Buildings in High Density Districts: buildings such as housing above commercial or other non-residential space.

Before the Planning Commission can review an application to install a wireless facility, the Project sponsor must submit a five-year facilities plan, which must be updated biannually, an emissions report and approval by the Department of Public Health, Section 106 Declaration of Intent, a submittal checklist and details about the facilities to be installed.

Under Section 704(B)(iv) of the 1996 Federal Telecommunications Act, local jurisdictions cannot deny wireless facilities based on Radio Frequency (RF) radiation emissions so long as such facilities comply with the FCC's regulations concerning such emissions.

On October 28, 2010, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use Authorization under Planning Code Sections 227(h), 303, and 842.93 to install a wireless telecommunications facility consisting of three new panel antennas on the rooftop of an existing six-story office building and associated equipment cabinets as part of a wireless transmission network operated by Verizon.

6. **Location Preference.** The *WTS Facilities Siting Guidelines* identify different types of buildings for the siting of wireless telecommunications facilities. Under the *Guidelines*, the Project is a Location Preference Number 2 Co-Location Site, in that it is at a location with existing legal WTS Facilities.

² PC Resolution 16539, passed March 13, 2003.

7. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network will transmit calls by radio waves operating in the 1710 - 2180 Megahertz (MHZ) bands and receive calls in the 806 to 960 MHZ bands, which are regulated by the Federal Communications Commission (FCC) and which must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
8. **Radiofrequency (RF) Emissions.** The Project sponsor retained Hammett & Edison, Inc., a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the proposed facility on September 28, 2009. Pursuant to the *Guidelines*, the Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the Guidelines.
9. **Department of Public Health Review and Approval.** The proposed Project was referred to the Department of Public Health (DPH) for emissions exposure analysis on October 1, 2009. There are six existing antennas operated by Verizon installed on the rooftop penthouse of the building located at 185 Berry Street. Also located at this location are antennas operated by AT&T, MetroPCS, Sprint, and T-Mobile. Existing RF levels at the ground level were less than 1% of the FCC public exposure limit. There were observed no other antennas within 100 feet of this site. Verizon proposes to install three Andrew Model LNX-6512DS-T4M antennas. The antennas would be mounted at an effective height of about 70 feet above the ground. The estimated ambient RF field from the proposed Verizon transmitters at ground level is calculated to be 0.0052 mW/sq. cm., which is 0.92% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit is calculated to extend 35 feet and does not reach any publicly accessible areas. Warning signs must be posted at the roof access points in English, Spanish, and Chinese. Workers should not have access to within 7 feet directly in front of the antennas while they are in operation.
10. **Maintenance Schedule.** The proposed facility would operate without on-site staff but with a two-person maintenance crew visiting the property approximately once a month and on an as-needed basis to service and monitor the facility.
11. **Community Outreach.** Per the *Guidelines*, the Project sponsor held a Community Outreach Meeting for the proposed Project. The meeting was held at 5pm on Wednesday, May 26, 2010 in Suite 170 of the China Basin Facility located at 185 Berry Street. A total of 3 members of the public attended the meeting.
12. **Five-Year Plan.** Per the *Guidelines*, the Project sponsor submitted its latest five-year plan, as required, in October 2010.
13. **Public Comment.** As of October 7, 2010, the Department has not received any correspondence regarding the proposed installation.
14. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Use.** Planning Code Section 842.93 identifies wireless telecommunication facilities (Public Use) as conditional uses in MUO zoned districts.

As a Verizon WTS facility, the Project must be authorized for conditional use by the Planning Commission, subject to the 1996 Wireless Telecommunications Services (WTS) Facilities Siting Guidelines and the 2002 supplement to those guidelines.

- B. **Height and Bulk.** In the 90-X Height and Bulk District, the Planning Code restricts new building heights up to 90-feet and certain exemptions to structures such as penthouses and mechanical appurtenances that may extend above that height limit by ten feet.

The existing building is approximately 80 feet in height. The existing penthouse structure is approximately 87 feet in height measured from the top of the curb. The proposed installation and existing rooftop elements would be within the existing height limit.

15. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the Project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

- i Desirable: San Francisco is a leader of the technological economy; it is important and desirable to the vitality of the city to have and maintain adequate telecommunications coverage and data capacity. This includes the installation and upgrading of systems to keep up with changing technology and increases in usage. It is desirable for the City to allow wireless facilities to be installed.*

The proposed Project at 185 Berry Street will be generally desirable and compatible with the surrounding neighborhood because the Project will not conflict with the existing uses of the property and will be of such size and nature to be compatible with the surrounding nature of the vicinity. The approval of this authorization has been found, first and foremost, to insure public safety, and insure that the placement of antennas and related support and protection features are so located, designed, and treated architecturally to minimize their visibility from public places, to avoid intrusion into public vistas, avoid disruption of the architectural design integrity of building and insure harmony with neighborhood character. The Project has been reviewed and determined to not cause the removal or alteration of any significant architectural features on the subject known historic resource.

- ii Necessary: In the case of wireless installations, there are 2 criteria that the Commission reviews: coverage and capacity.*

Coverage: San Francisco does have sufficient overall wireless coverage (note that this is separate from carrier service). It is necessary for San Francisco to have as much coverage as possible in

terms of wireless facilities. Due to the topography and tall buildings in San Francisco, unique coverage issues arise because the hills and buildings break up coverage. Thus, telecommunication carriers often install additional installations to make sure coverage is sufficient.

Capacity: While a carrier may have adequate coverage in a certain area, the capacity may not be sufficient. With the continuous innovations in wireless data technology and demand placed on existing infrastructure, individual telecommunications carriers must upgrade and in some instances expand their facilities network to be able to have proper data distribution. It is necessary for San Francisco, as a leader in technology, to have adequate capacity.

Verizon Wireless coverage in this geographic area is primarily "good". The proposed Project at 185 Berry Street is necessary in order to increase Verizon's data speed and number of calls at a time, but will not increase the coverage area.

- B. The proposed Project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the Project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:
- i Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The proposed Project must comply with all applicable Federal and State regulations to safeguard the health, safety and to ensure that persons residing or working in the vicinity will not be affected, and prevent harm to other personal property.

The Department of Public Health conducted an evaluation of potential health effects from Radio Frequency radiation, and has concluded that the proposed wireless transmission facilities will have no adverse health effects if operated in compliance with the FCC-adopted health and safety standards. The Department has received information that the proposed wireless system must be operated so as not to interfere with radio or television reception in order to comply with the provisions of its license under the FCC.

The Department is developing a database of all such wireless communications facilities operating or proposed for operation in the City and County of San Francisco. All applicants are now required to submit information on the location and nature of all existing and approved wireless transmission facilities operated by the Project Sponsor. The goal of this effort is to foster public information as to the location of these facilities.

- ii The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

No increase in traffic volume is anticipated with the facilities operating unmanned, with a single maintenance crew visiting the site once a month or on an as-needed basis.

- iii The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

While some noise and dust may result from the erection of the antennas and transceiver equipment, noise or noxious emissions from continued use are not likely to be significantly greater than ambient conditions due to the operation of the wireless communication network.

- iv Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The proposed antennas will be installed on three rooftop mechanical equipment penthouse structures on an existing six-story office building at a height of approximately 87 feet above grade. Equipment cabinets would be placed within an existing equipment room on the rooftop.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Zoning District.

The proposed Project is consistent with the stated purposes of MUO Districts in that the intended use is located on the rooftop of an existing six-story office building at a height of approximately 87 feet above grade.

- 16. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT

HOUSING DENSITY, DENSITY, DESIGN & QUALITY OF LIFE

OBJECTIVE 11 - IN INCREASING THE SUPPLY OF HOUSING, PURSUE PLACE MAKING AND NEIGHBORHOOD BUILDING PRINCIPLES AND PRACTICES TO MAINTAIN SAN FRANCISCO'S DESIRABLE URBAN FABRIC AND ENHANCE LIVABILITY IN ALL NEIGHBORHOODS.

POLICY 11.2 - Ensure housing is provided with adequate public improvements, services, and amenities.

The Project will improve Verizon Wireless data speed and call volume in a residential, commercial and recreational area along primary transportation routes in San Francisco.

URBAN DESIGN

HUMAN NEEDS

OBJECTIVE 4 - IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

POLICY 4.14 - Remove and obscure distracting and cluttering elements.

The Project adequately "stealths" the proposed antennas from view as common rooftop elements in the related equipment cabinets are housed in an existing equipment room.

COMMERCE AND INDUSTRY ELEMENT

Objectives and Policies

OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

Policy 1:

Encourage development, which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

Policy 2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

The Project will improve Verizon Wireless telecommunications data speed and call volume in the targeted geographic area benefiting surrounding commercial establishments without undesirable consequences. The Department of Public Health has confirmed that the proposed installation is within FCC standards.

OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

Policy 1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

Policy 3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

The site is an integral part of a wireless communications network that will enhance the City's diverse economic base.

OBJECTIVE 4:

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

Policy 1:

Maintain and enhance a favorable business climate in the City.

Policy 2:

Promote and attract those economic activities with potential benefit to the City.

The Project would benefit the City by enhancing the business climate through improved communication services for residents and workers.

VISITOR TRADE

OBJECTIVE 8 - ENHANCE SAN FRANCISCO'S POSITION AS A NATIONAL CENTER FOR CONVENTIONS AND VISITOR TRADE.

POLICY 8.3 - Assure that areas of particular visitor attraction are provided with adequate public services for both residents and visitors.

The Project will ensure that residents and visitors have adequate public service in the form of Verizon Wireless mobile telecommunications.

COMMUNITY SAFETY ELEMENT

Objectives and Policies

OBJECTIVE 3:

ENSURE THE PROTECTION OF LIFE AND PROPERTY FROM THE EFFECTS OF FIRE OR NATURAL DISASTER THROUGH ADEQUATE EMERGENCY OPERATIONS PREPARATION.

Policy 1:

Maintain a local agency for the provision of emergency services to meet the needs of San Francisco.

Policy 2:

Develop and maintain viable, up-to-date in-house emergency operations plans, with necessary equipment, for operational capability of all emergency service agencies and departments.

Policy 3:

Maintain and expand agreements for emergency assistance from other jurisdictions to ensure adequate aid in time of need.

Policy 4:

Establish and maintain an adequate Emergency Operations Center.

Policy 5:

Maintain and expand the city's fire prevention and fire-fighting capability.

Policy 6:

Establish a system of emergency access routes for both emergency operations and evacuation.

The Project would enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.

17. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the Project does comply with said policies in that:

A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

No neighborhood-serving retail uses will be enhanced with improved Verizon Wireless data speed and call volume provided by this site.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

No residential uses would be displaced or altered in any way by the granting of this authorization.

C. That the City's supply of affordable housing be preserved and enhanced,

The Project would have no adverse impact on housing in the vicinity.

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

Due to the nature of the Project and minimal maintenance or repair, municipal transit service would not be impeded and neighborhood parking would not be overburdened.

E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project would cause no displacement of industrial and service sector activity.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.

- G. That landmarks and historic buildings be preserved.

No landmark or historic buildings occupy the Project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The Project will have no adverse impact on parks or open space, or their access to sunlight or vistas.

18. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
19. The Commission hereby finds that approval of the Determination of Compliance authorization would promote the health, safety and welfare of the City.

DECISION

The Commission, after carefully balancing the competing public and private interests, and based upon the Recitals and Findings set forth above, in accordance with the standards specified in the Code, hereby approves the Conditional Use authorization under Planning Code Sections 227(h), 303, and 842.93 to install a wireless telecommunications facility consisting of three new panel antennas on the rooftop of an existing six-story office building and associated equipment cabinets as part of a wireless transmission network operated by Verizon on a Location Preference 2 (Co-Location Site) according to the Wireless Telecommunications Services (WTS) Siting Guidelines and within a MUO (Mixed Use Office) Zoning District and a 90-X Height and Bulk District and subject to the conditions of approval attached hereto as **Exhibit A**.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this conditional use authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXX The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the foregoing Motion was adopted by the Planning Commission on **October 28, 2010**.

Linda Avery
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: October 28, 2010

Exhibit A

Conditions of Approval

Whenever "Project Sponsor" is used in the following conditions, the conditions shall also bind any successor to the Project or other persons having an interest in the Project or underlying property.

General Conditions

1. This approval is for Conditional Use authorization under Planning Code Sections 227(h), 303, and 842.93 to install a wireless telecommunications facility consisting of three new panel antennas on the rooftop of an existing six-story office building and associated equipment cabinets as part of a wireless transmission network operated by Verizon on a Location Preference 2 (Co-Location Site) according to the Wireless Telecommunications Services (WTS) Siting Guidelines and within a MUO (Mixed Use Office) Zoning District and a 90-X Height and Bulk District.
2. The Project approved by this Motion is in general conformity with the plans dated July 21, 2009 on file with the Department in the docket for Case No. 2010.0039C (labeled EXHIBIT B), reviewed and approved by the Commission on October 28, 2010.

Design

3. The final plans shall meet the standards of the Planning Code and be in general conformity with the plans approved by the Commission on October 28, 2010 as Exhibit B found in the Case docket.
4. Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall:
 - a. Structure and Siting. Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to insure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
 - b. For the Project Site, regardless of the ownership of the existing facilities: Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
 - c. Emissions. Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

Performance

5. Project Implementation Report. The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:
 - a. Identify the three-dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;
 - b. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas.
 - c. Compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non-holiday week day with the subject equipment measured while operating at maximum power.
 - d. The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
6. Notification and Testing. The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 4 and 13.
7. Approval. The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.
8. Notification prior to Project Implementation Report. The Project Sponsor shall undertake to inform and perform appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antennae at the time of testing for the Project Implementation Report.
 - a. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna, of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.
 - b. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.

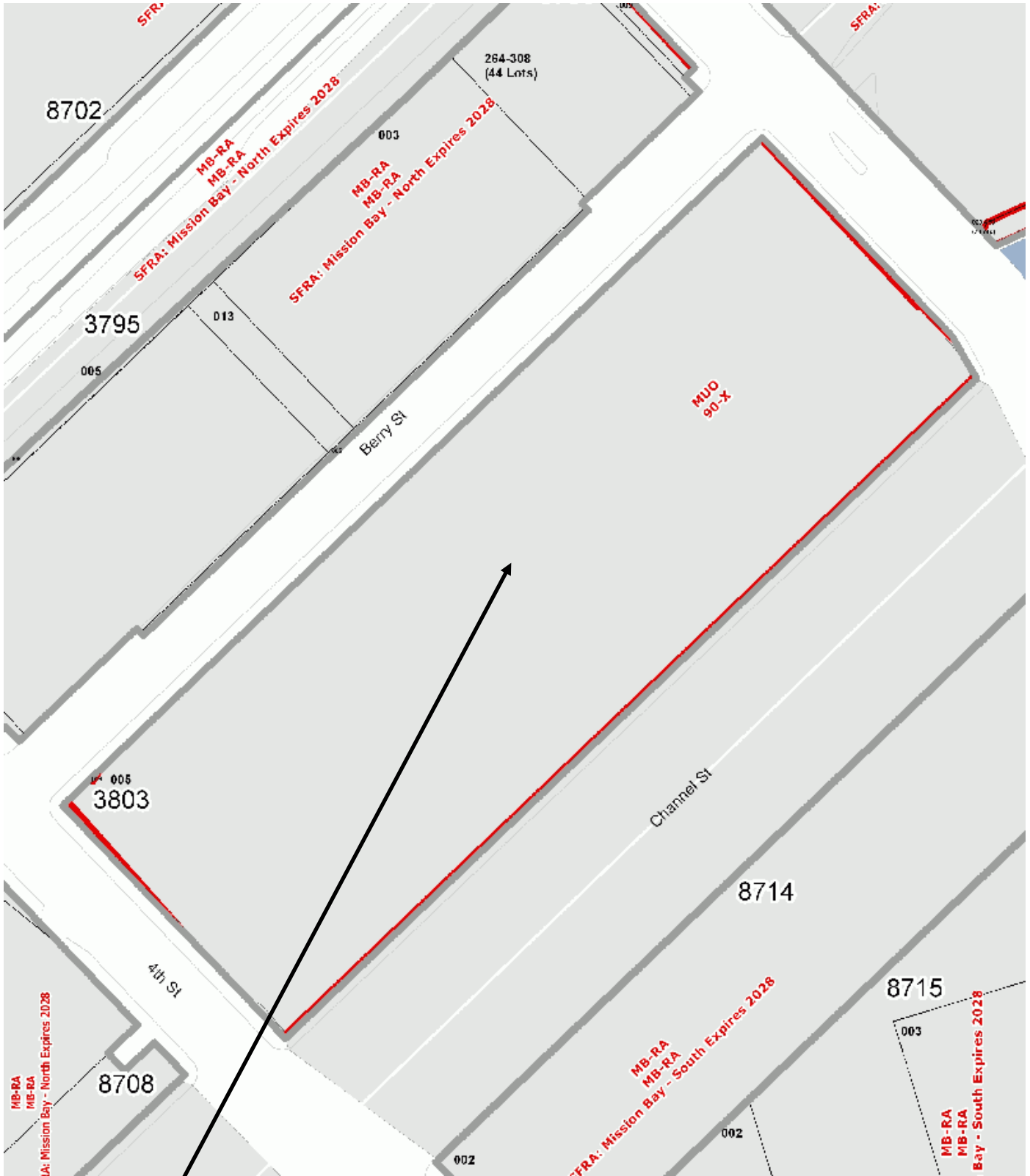
9. Community Liaison. Within 10 days of the effective date of this authorization, the Project Sponsor shall appoint a community liaison officer to resolve issues of concern to neighbors and residents relating to the construction and operation of the facilities. Upon appointment, the Project Sponsor shall report in writing the name, address and telephone number of this officer to the Zoning Administrator. The Community Liaison Officer shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
10. Installation. Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.
11. Screening.
 - a. To the extent necessary to ensure compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:
 - i. Modify the placement of the facilities;
 - ii. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
 - iii. Install multi-lingual signage, including the RF radiation hazard warning symbol, to notify persons that the facility could cause exposure to RF emissions; or
 - iv. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC Radio Frequency emission standards.
 - b. To the extent necessary to minimize visual obtrusion and clutter, installations shall conform to the following standards:
 - i. Antennas and back-up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual impacts;
 - ii. Rooftop installations shall be setback such that back-up facilities are not viewed from the street;
 - iii. Antennae attached to building facades shall be so placed, screened or otherwise treated to minimize any negative visual impact; and
 - iv. Although co-location of various companies' facilities may be desirable, a maximum number of antennas and back-up facilities on the Project Site shall be established, on a case-by-case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.
12. The Project Sponsor or Property Owner shall remove antennae and equipment that has been out of service for a continuous period of six months.

13. Periodic Safety Monitoring. The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.
14. Emissions Conditions. It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.
15. Noise and Heat. The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Ordinance. The WTS facility, including power source and cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.
16. Implementation and Monitoring Costs.
 - a. The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.
 - b. The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with the monitoring of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Electricity and Telecommunications, Office of the City Attorney, or any other appropriate City Department or agency pursuant to Planning Code Section 351(f)(2). The Planning Department shall collect such costs on behalf of the City.
 - c. The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.
17. All Conditions Basis for Revocation. The Project Sponsor or its successors shall comply fully with all conditions specified in this authorization. Failure to comply with any condition shall constitute grounds for revocation under the provisions of Planning Code Sections 174, 176 and 303(d). The Zoning Administrator shall schedule a public hearing before the Planning Commission to receive testimony and other evidence to demonstrate a finding of a violation of a condition of the authorization of the use of the facility and, finding that violation, the Commission shall revoke the Conditional Use authorization. Such revocation by the Planning Commission is appealable to the Board of Supervisors.

In the event that the Project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

18. Complaints and Proceedings. Should any party complain to the Project Sponsor about the installation or operation of the facilities, which complaints are not resolved by the Project Sponsor, the Project Sponsor (or its appointed agent) shall advise the Zoning Administrator of the complaint and the failure to satisfactorily resolve such complaint. If the Zoning Administrator thereafter finds a violation of any provision of the Planning Code and/or any condition of approval herein, the Zoning Administrator shall attempt to resolve such violation on an expedited basis with the Project Sponsor. If such efforts fail, the Zoning Administrator shall refer such complaints to the Commission for consideration at the next regularly scheduled public meeting.
19. Severability. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other of the remaining provisions, clauses, sentences, or sections of these conditions. It is hereby declared to be the intent of the Commission that these conditions of approval would have been adopted had such invalid sentence, clause, or section or part thereof not been included herein.
20. Transfer of Operation. Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider, and the authorizing Motion is recorded on the deed of the property stating the new carrier/provider and authorizing conditions of approval.
21. Compatibility with City Emergency Services. The facility shall not be operated, nor caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.
22. The authorization and right vested by virtue of this action shall be deemed void and canceled if, within 3 years of the date of this Motion, a site permit or building permit for the Project has not been secured by Project Sponsor. This authorization may be extended at the discretion of the Zoning Administrator only if the failure to issue a permit by the Department of Building Inspection is delayed by a city, state, or federal agency or by appeal of the issuance of such permit.

Parcel Map



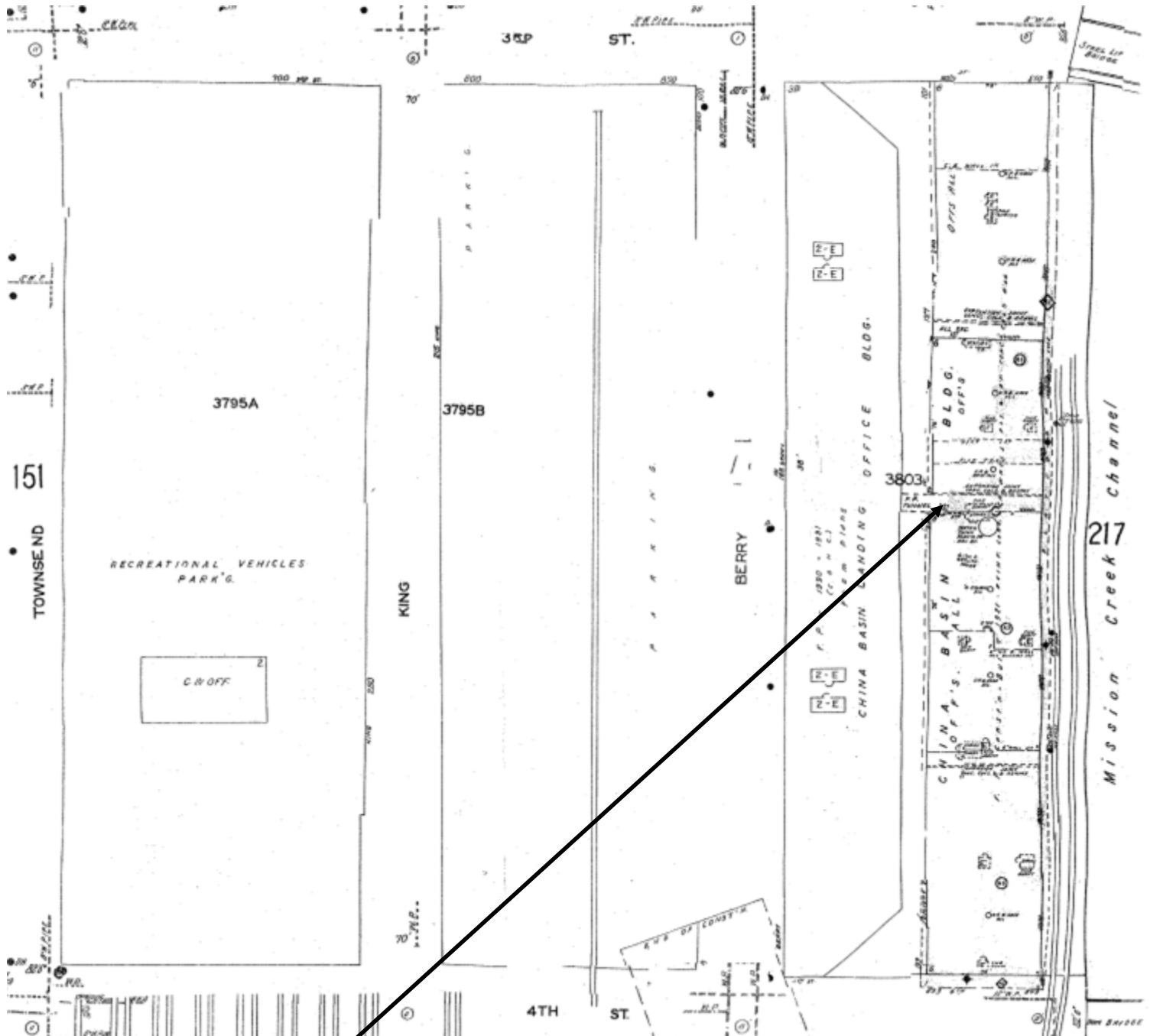
SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2010.0039C
185 Berry Street
3803 / 005

Sanborn Map*

*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

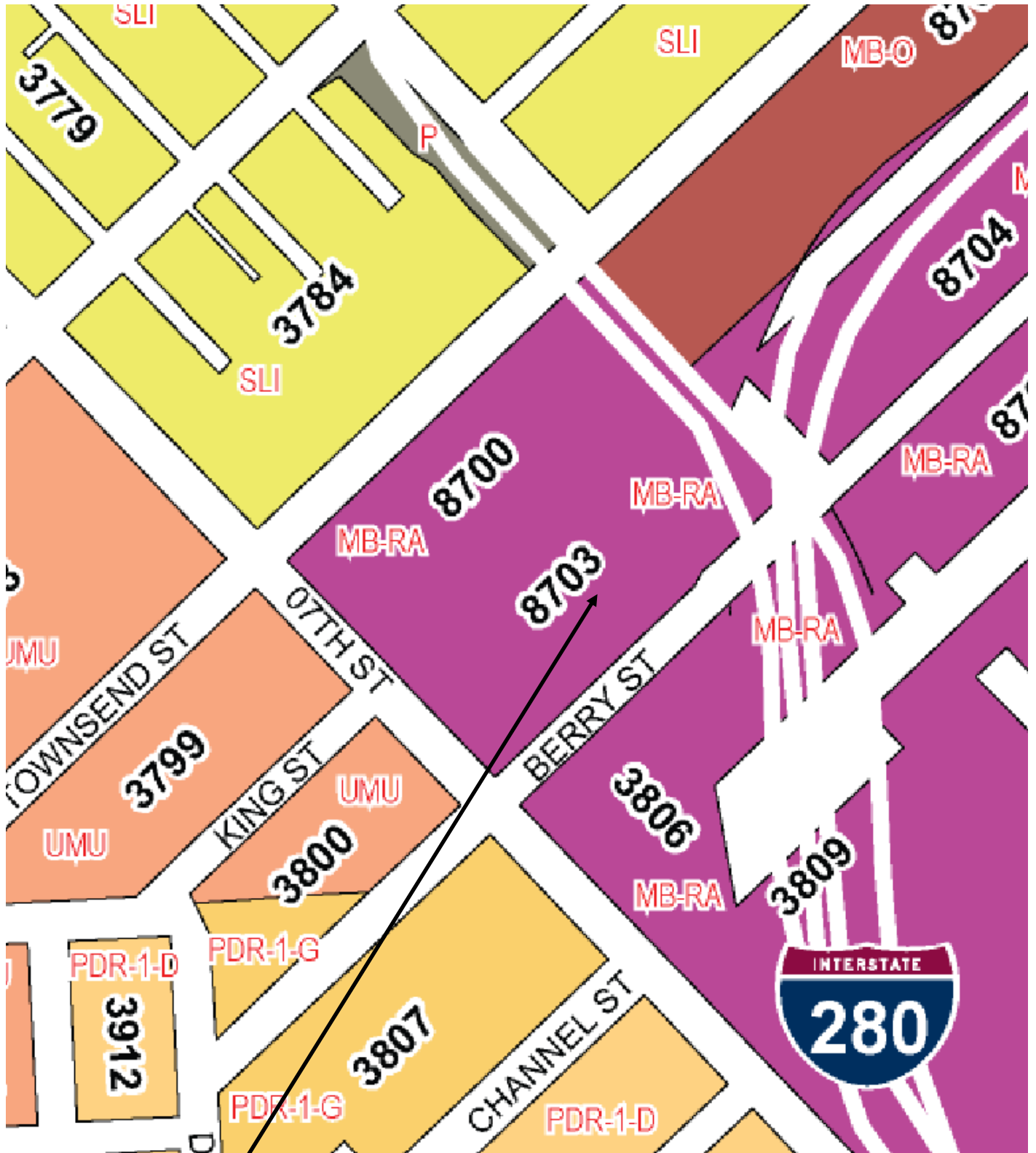


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2010.0039C
185 Berry Street
3803 / 005

Zoning Map

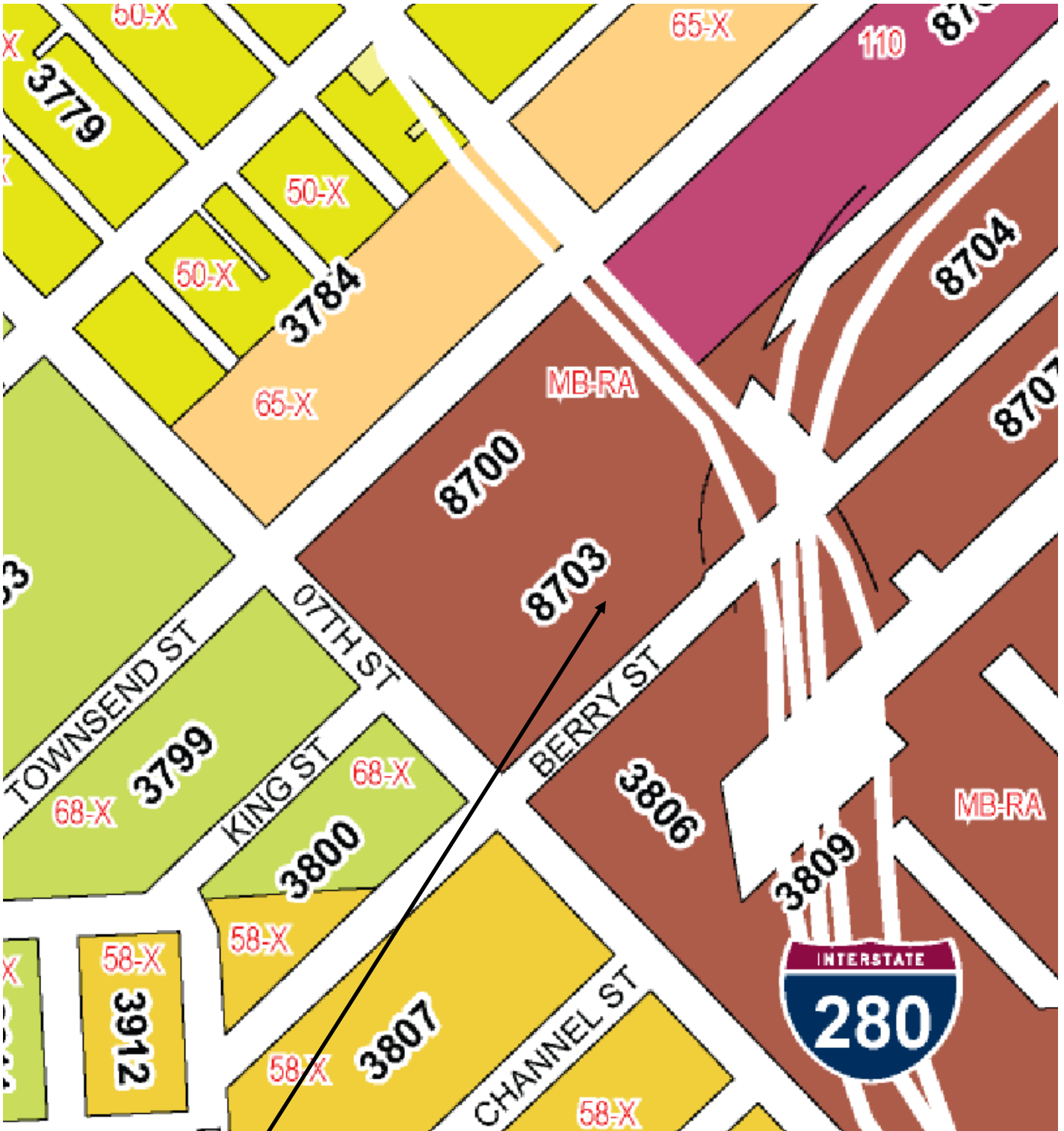


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2010.0039C
185 Berry Street
3803 / 005

Height & Bulk Map

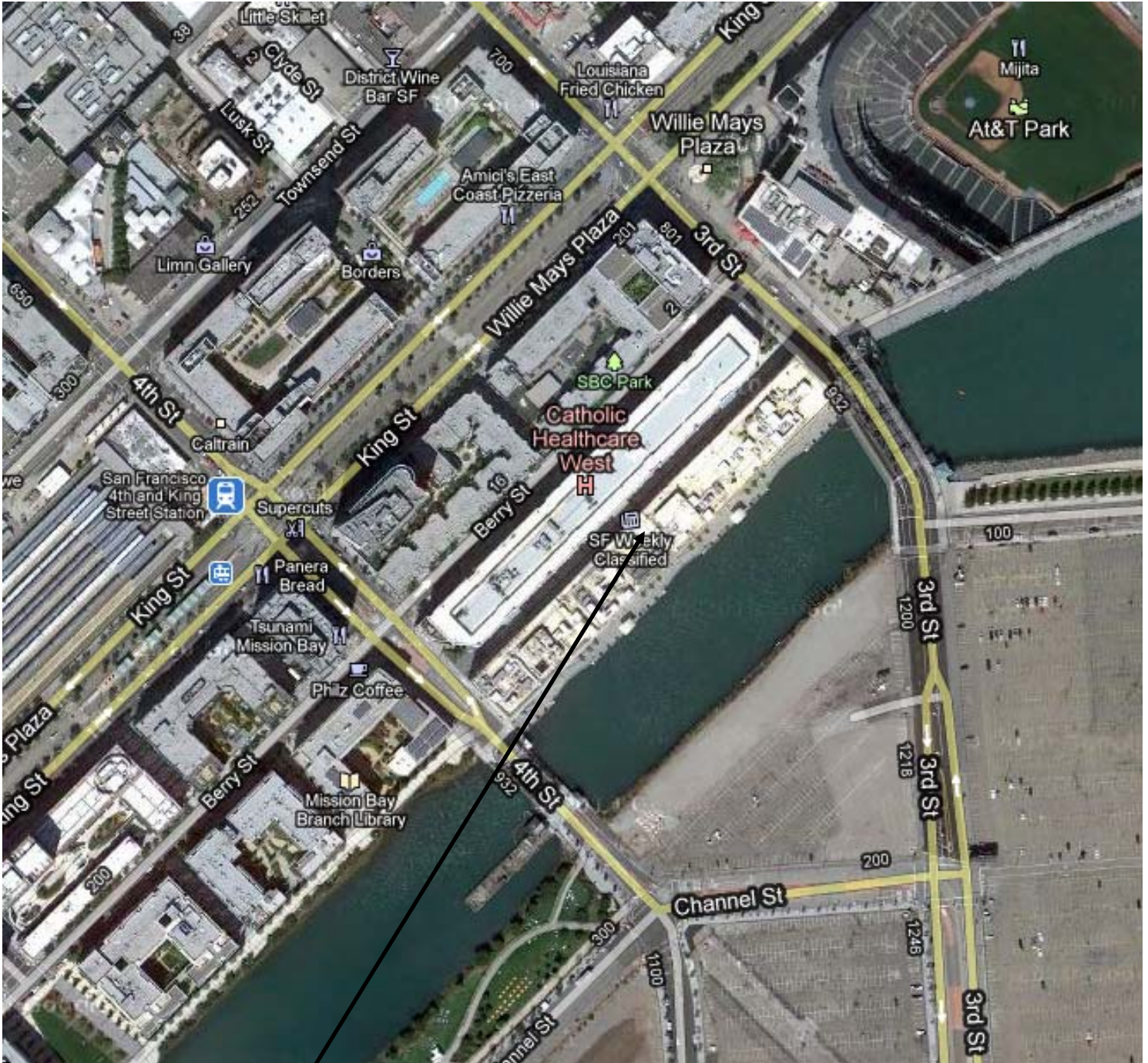


SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2010.0039C
185 Berry Street
3803 / 005

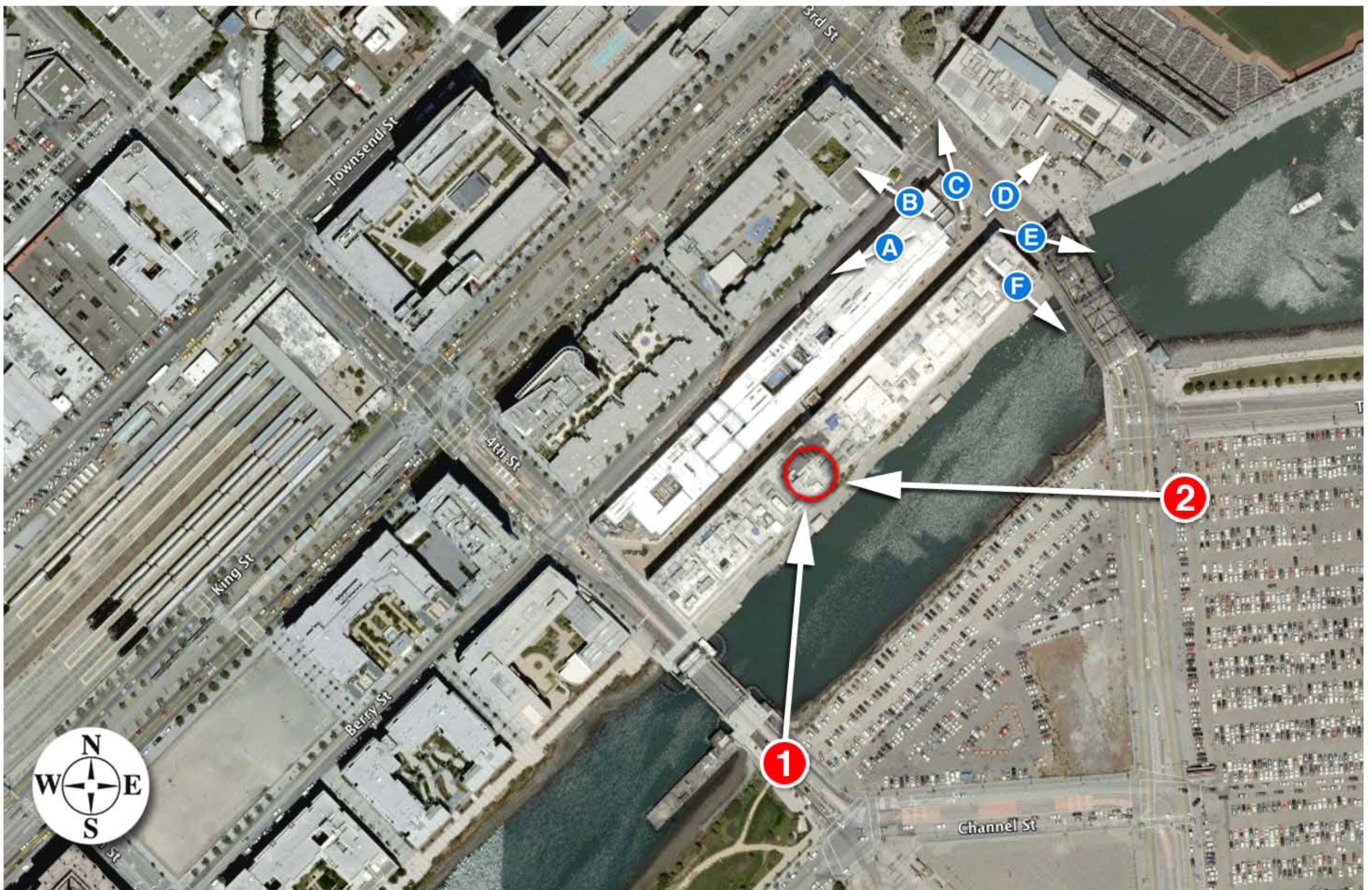
Aerial Photograph



SUBJECT PROPERTY



Conditional Use Hearing
Case Number 2010.0039C
185 Berry Street
3803 / 005







Existing



proposed antennas

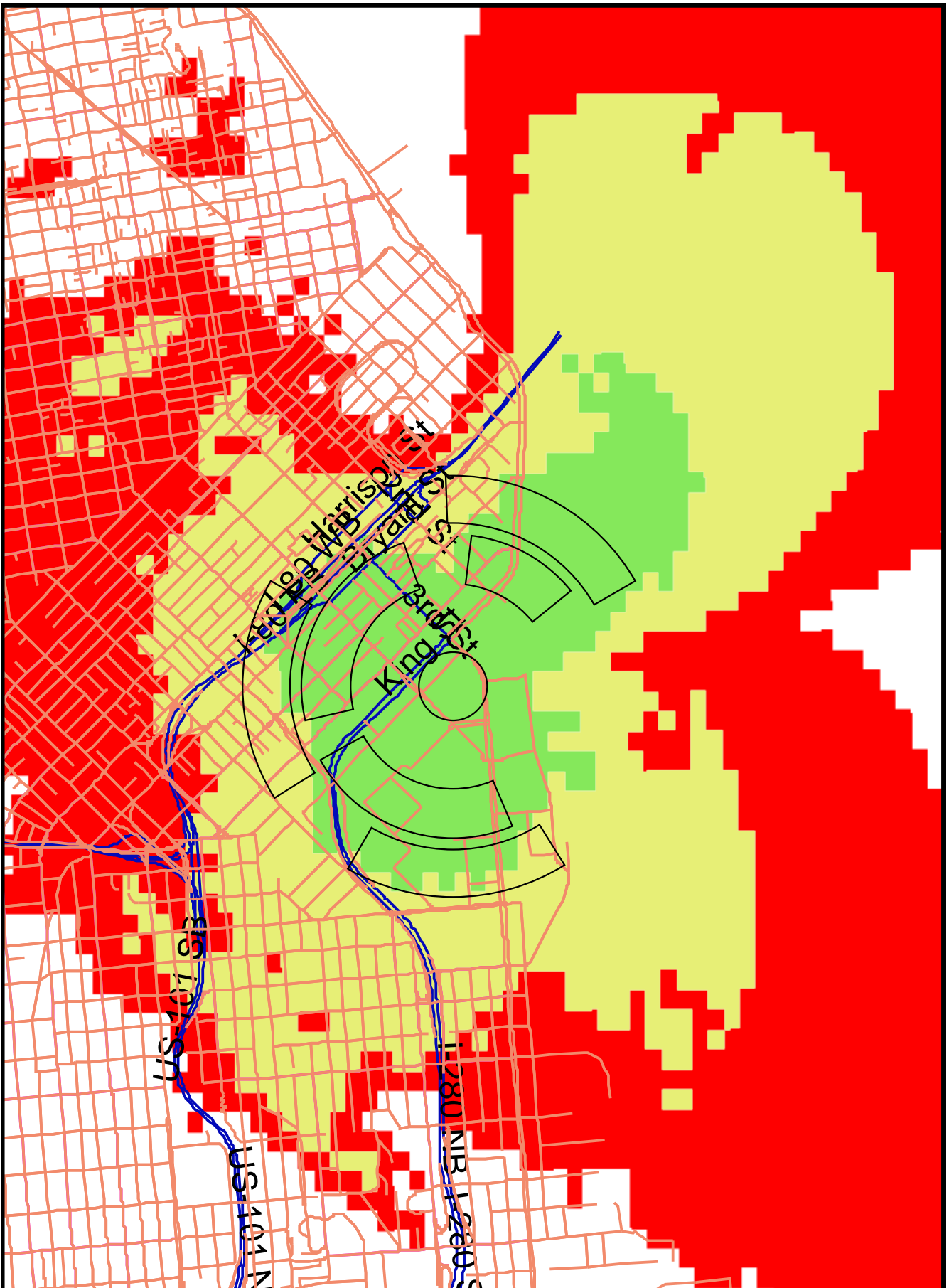
Proposed



185 Berry Street Existing Coverage Map

The existing coverage at China Basin will not change due to the purpose of the modification being for the enhancement of data speed and allowable call hits at one time. The coverage area will remain the same.

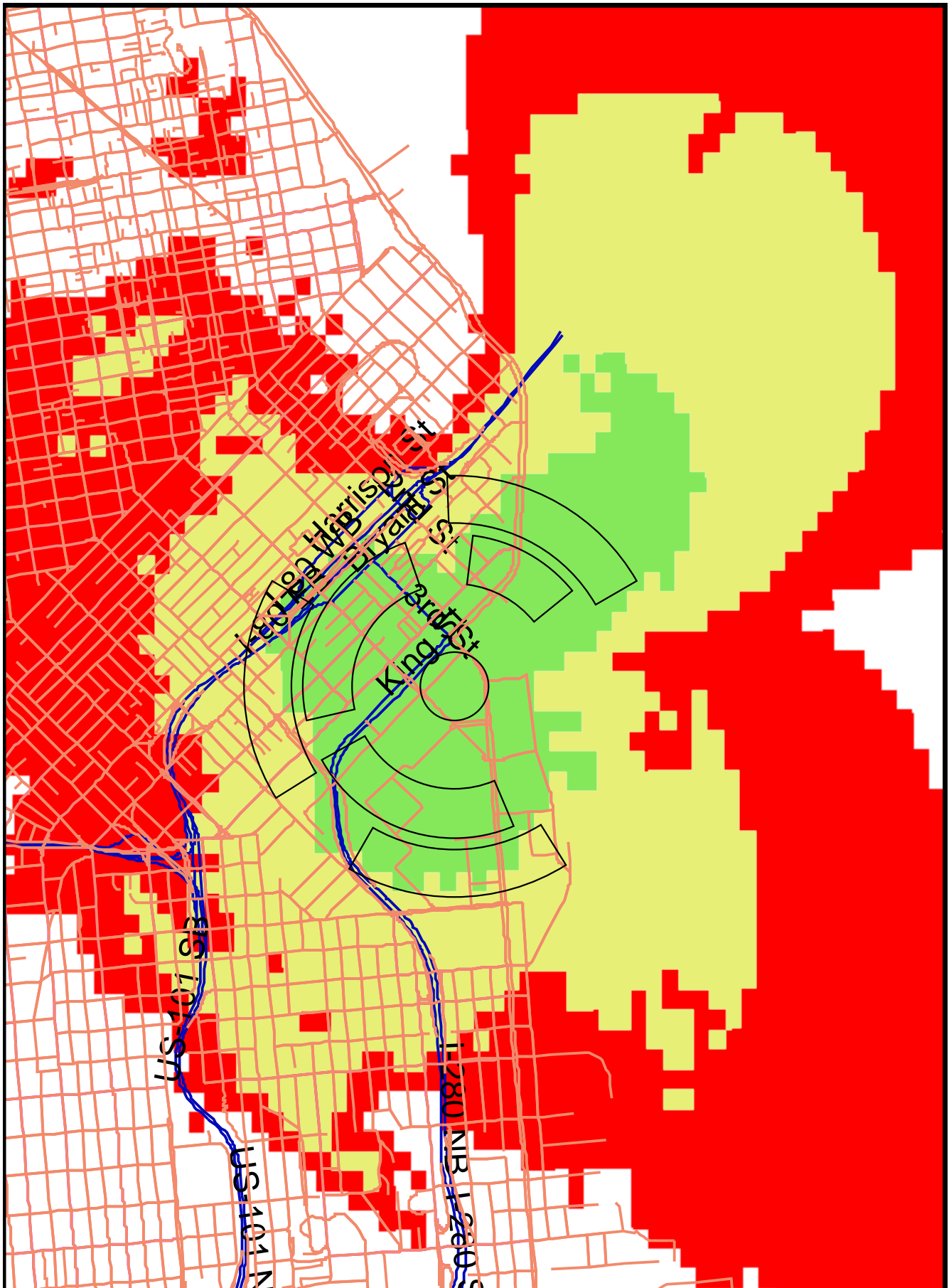
Green = Good Yellow = Fair Red = poor White = bad or none



185 Berry Street Proposed Coverage Map

The proposed coverage at China Basin will not change due to the purpose of the modification being for the enhancement of data speed and allowable call hits at one time. The coverage area will remain the same.

Key: Green = Good Yellow = Fair Red = poor White = bad or none



**Verizon Wireless • Base Station No. 123663 “China Basin”
185 Berry Street • San Francisco, California**

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a wireless telecommunications carrier, to evaluate proposed modifications to its existing base station (Site No. 123663 “China Basin”) located at 185 Berry Street with respect to prevailing standards limiting human exposure to radio frequency energy.

Background

The San Francisco Department of Public Health has adopted a 10-point checklist for determining compliance of WTS facilities with prevailing safety standards. The acceptable limits for exposures of unlimited duration are those adopted by the FCC:

Personal Wireless Service	Approx. Frequency	Occupational Limit	Public Limit
Broadband Radio (“BRS”)	2,600 MHz	5.00 mW/cm ²	1.00 mW/cm ²
Advanced Wireless (“AWS”)	2,100	5.00	1.00
Personal Communication (“PCS”)	1,950	5.00	1.00
Cellular Telephone	870	2.90	0.58
Specialized Mobile Radio (“SMR”)	855	2.85	0.57
Long Term Evolution (“LTE”)	700	2.33	0.47
[most restrictive frequency range]	30–300	1.00	0.20

The site was visited by Rajat Mathur, P.E., a qualified engineer employed by Hammett & Edison, Inc., during normal business hours on April 1, 2009, non-holiday weekdays and reference has been made to additional information provided by Verizon regarding the addition of LTE service.

Checklist

1. The location of all existing antennas and facilities at site. Existing RF levels.

Installed for Verizon were three pairs of directional antennas on the sides of three different rooftop penthouse structures above the six-story office building located at 185 Berry Street. Access to the antennas was restricted by a locked roof-access door. Located at the same site were similar antennas for use by AT&T Mobility, MetroPCS, Sprint Nextel, and T-Mobile, other wireless telecommunications carriers. Existing RF levels at ground near the site measured less than 1% of the most restrictive public exposure limit.

2. The location of all approved (but not installed) antennas and facilities. Expected RF levels from approved antennas.

No other WTS facilities are reported to be approved for this site, but not yet installed.

3. The number and types of WTS within 100 feet of proposed site and estimates of additive EMR emissions at proposed site.

There were no other WTS facilities observed within 100 feet of the proposed site.

**Verizon Wireless • Base Station No. 123663 “China Basin”
185 Berry Street • San Francisco, California**

4. Location (and number) of Applicant’s antennas and back-up facilities per building and location (and number) of other WTS at site.

Verizon proposes to add three Andrew Model LNX6512DS-T4M directional panel antennas for LTE service near the existing antennas, reported to be Andrew Model 932DG65E-M for PCS and Andrew Models DB854DG45ASX and DB854DG85VTEXTY for cellular service, mounted with up to 8° downtilt at an effective height of 70 feet above ground. The antennas together would be oriented in groups of three (one of each service) toward 30°T, 200°T, and 300°T. The AT&T antennas were mounted behind view screens on the face of the parapet near the east end of the building. The six MetroPCS antennas were mounted in pairs on the sides of three mechanical equipment structures above the roof. The Sprint Nextel SMR antennas were mounted in three groups of three on two penthouses. The three T-Mobile antennas were mounted on two penthouses.

5. Power rating (maximum and expected operating power) for all existing and proposed backup equipment subject to application.

The maximum rating of Verizon’s PCS and cellular transmitters is 20 watts, with the proposed LTE transmitters rated at 16 watts. The maximum power ratings of the other carriers’ transmitters are not known. The actual operating power of the transmitters will depend upon the system losses encountered after the physical cabling runs have been installed; the transmitters may operate at a power less than their maximum rating, such that the total power radiated from the antennas does not exceed the level given in Item 6 below.

6. Total number of watts per installation and total number of watts for all installations at site.

The maximum effective radiated power in any direction for Verizon would be 2,240 watts, representing simultaneous operation at 640 watts for PCS, 1,200 watts for cellular, and 400 watts for LTE service. The effective radiated powers of the other carriers’ operations are not known.

7. Plot or roof plan showing method of attachment of antennas, directionality of antennas, and height above roof level. Discuss nearby inhabited buildings.

The antennas would be mounted as described in Item 4 above. There was noted a taller building located nearby, across the street.

8. Estimated ambient RF levels for proposed site and identify three-dimensional perimeter where exposure standards are exceeded.

For a person anywhere at ground near the site, the maximum ambient RF level from the proposed Verizon operation is calculated to be 0.0052 mW/cm², which is 0.92% of the applicable public exposure limit. Therefore, ambient levels at ground are estimated to remain less than 1% of the public limit. The three-dimensional perimeter of RF levels equal to the public exposure limit is calculated to

**Verizon Wireless • Base Station No. 123663 “China Basin”
185 Berry Street • San Francisco, California**

extend 35 feet directly in front of the Verizon antennas; this does not reach any publicly accessible areas.

9. Describe proposed signage at site.

Due to their mounting location, the Verizon antennas are not accessible to the general public, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. To prevent occupational exposures in excess of the FCC guidelines, no access within 7 feet directly in front of the antennas themselves, such as might occur during maintenance work on the building, should be allowed while the base station is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. Explanatory warning signs* had been posted on the roof-access door and at the Verizon antennas, readily visible from any angle of approach to persons who might need to work within that distance, and similar measures have been observed in place for the other carriers, as well.

10. Statement of authorship.

The undersigned author of this statement is a qualified Professional Engineer, holding California Registrations Nos. E-13026 and M-20676, which expire on June 30, 2011. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.

Conclusion

Based on the information and analysis above, it is my professional opinion that the Verizon Wireless base station operation located at 185 Berry Street in San Francisco will continue to comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not for this reason cause a significant impact on the environment.

September 28, 2009



William F. Hammett

William F. Hammett, P.E.

* Warning signs complied with OET-65 color and symbol recommendations. Contact information was provided in English to arrange for access to restricted areas, with Spanish and Chinese translations (not by this firm) included.





City and County of San Francisco
DEPARTMENT OF PUBLIC HEALTH
ENVIRONMENTAL HEALTH SECTION

Gavin Newsom, Mayor
 Mitchell H. Katz, MD, Director of Health
 Rajiv Bhatia, MD, MPH, Director of EH

Review of Cellular Antenna Site Proposals

Project Sponsor: Verizon Wireless **Planner:** Jonas Ionin

RF Engineer Consultant: Bill Hammett, Hammett & Edison **Phone number** 707-996-5200

Project Address/Location: 185 Berry St. (#123663) Amended 10/1/09

The following information is required to be provided before approval of this project can be made. These information requirements are established in the San Francisco Planning Department Wireless Telecommunications Services Facility Siting Guidelines dated August 1996.

In order to facilitate quicker approval of this project, it is recommended that the project sponsor review this document before submitting the proposal to ensure that all requirements are included.

X 1. The location of all existing antennas and facilities. Existing RF levels. (WTS-FSG, Section 11, 2b)

X 2. The location of all approved (but not installed) antennas and facilities. Expected RF levels from the approved antennas. (WTS-FSG Section 11, 2b)

X 3. The number and types of WTS within 100 feet of the proposed site and provide estimates of cumulative EMR emissions at the proposed site. (WTS-FSG, Section 10.5.2)

X 4. Location (and number) of the Applicant's antennas and back-up facilities per building and number and location of other telecommunication facilities on the property (WTS-FSG, Section 10.4.1a)

X 5. Power rating (maximum and expected operating power) for all existing and proposed backup equipment subject to the application (WTS-FSG, Section 10.4.1c)

X 6. The total number of watts per installation and the total number of watts for all installations on the building (roof or side) (WTS-FSG, Section 10.5.1).

X 7. Preferred method of attachment of proposed antenna (roof, wall mounted, monopole) with plot or roof plan. Show directionality of antennas. Indicate height above roof level. Discuss nearby inhabited buildings (particularly in direction of antennas) (WTS-FSG, Section 10.4.1d)

X 8. Report estimated ambient radio frequency fields for the proposed site (identify the three-dimensional perimeter where the FCC standards are exceeded.) (WTS-FSG, Section 10.5) State FCC standard utilized and power density exposure level (i.e. 1986 NCRP, 200 $\mu\text{w}/\text{cm}^2$)

X 9. Signage at the facility identifying all WTS equipment and safety precautions for people nearing the equipment as may be required by any applicable FCC-adopted standards. (WTS-FSG, Section 10.9.2). Discuss signage for those who speak languages other than English.

X 10. Statement on who produced this report and qualifications.

X Approved. Based on the information provided the following staff believes that the project proposal will comply with the current Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC standard 1986 - NCRP **Approval of the subsequent Project Implementation Report is based on project sponsor completing recommendations by project consultant and DPH.**

Comments: There are six (6) existing antennas operated by Verizon installed on the rooftop penthouse of the building located at 185 Berry Street. Also located at this location are antennas operated by AT&T, MetroPCS, Sprint and T-Mobile. Existing RF levels at ground level were less than 1% of the FCC public exposure limit. There were observed no other antennas within 100 feet of this site. Verizon proposes to install three Andrew Model LNX-6512DS-T4M antennas. The antennas would be mounted at effective height of about 70 feet above the ground. The estimated ambient RF field from the proposed Verizon transmitters at ground level is calculated to be 0.0052 mW/sq. cm., which is .92% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit is calculated to extend 35 feet and does not reach any publicly accessible areas. Warning signs must be posted at the roof access points and the antennas in English, Spanish and Chinese. Worker should not have access to within 7 feet directly in front of the antennas while they are in operation.

 Not Approved, additional information required. _____

 Not Approved, does not comply with Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC Standard

 1 Hours spent reviewing

 \$167.00 Charges to Project Sponsor (in addition to previous charges, to be received at time of receipt by Sponsor)

Signed _____

Patrick Fosdahl

Digitally signed by Patrick Fosdahl
DN: cn=Patrick Fosdahl, o=SFDPH,
ou=Environmental Health, email=patrick.
fosdahl@sfdph.org, c=US
Date: 2009.10.01 13:37:43 -0700

Date October 1, 2009

Patrick Fosdahl
Environmental Health Management Section
San Francisco Dept. of Public Health
1390 Market St., Suite 210,
San Francisco, CA. 94102
415-252-3904

NOTICE OF NEIGHBORHOOD MEETING
TO: Neighbors/Owners within 500' radius of 185 Berry Street

Meeting Information: Verizon Wireless is proposing to add new antennas to their existing cell site at 185 Berry Street in San Francisco to boost the data speed on their wireless network. The proposed Verizon Wireless addition to the existing unmanned facility consists of adding three (3) panel antennas to the existing antenna configuration, painted/stealthed to match the exterior building façade.
Date: May 26th, 2010
Time: 5:00 PM
Place: China Basin Bldg

Site Information: Plans and photo simulations will be available for your review at the meeting. This project will be scheduled for Planning Commission review in June. You are invited to attend the Community Outreach Meeting held at China Basin, 185 Berry Street fourth lobby after-hours entrance on May 26th at 5 p.m. to learn more about the project.
Address: 185 Berry Street
Block/Lot: 3803-005
Zoning: MUO (Special Use)

Applicant: Verizon Wireless

Contact Information: If you have any questions regarding the proposal or are unable to attend the meeting, please contact James Singleton or Margie Detiege at 925-244-1890. Please call Erika Jackson at 415-558-6363 with the City of San Francisco Planning Department if you have any questions regarding the planning process.
NSA Wireless, Inc.
James Singleton
925-244-1890

NOTE: If you require an interpreter be present at the meeting, please contact us at 925-244-1890 and we will make every effort to provide one for you.

Información Acerca de la Reunión: Verizon Wireless propone a instale las nuevas antenas panel en su instalación existente en 185 Berry Street a alce la velocidad de datos como parte de su red inalámbrica de San Francisco. Los adiciones al instalación existente sin personal porsupuesta por Verizon Wireless consiste en la adición de tres (3) antenas panel nuevas, todas pintadas del mismo color del exterior de la fachada del edificio. En la reunión tendremos dibujos y simulaciones fotográficas para su consulta por parte de los asistentes. La revición de este proyecto por parte de la Comisión de Planeación se ha programado para el junio.
Fecha: 26 Mayo, 2010
Hora: 5 de la tarde
Lugar: 185 Berry St, piso 1

Información Sobre el Sitio:
Direccion: 185 Berry St
Bloque/Lote: 3803-005
Zona: MUO (Uso Especial)

Solicitante: Verizon Wireless

Información del Contacto: Le invitamos a concurrir a la reunión informativa para la comunidad que se realizará a China Basin, ubicada en 185 Berry Street, el día 26 de Mayo a las 5 de la tarde, pasillo entrada de cuatro después-horas a fin de obtener más información sobre el proyecto.
NSA Wireless, Inc.
James Singleton
925-244-1890
Si tiene alguna pregunta acerca de la propuesta y no puede asistir a la reunión, por favor llámese con James Singleton o Margie Detiege al 925-244-1890. Póngase en contacto con Erika Jackson del Departamento de Planeación de la Ciudad de San Francisco al teléfono 415-558-6363 si tiene alguna pregunta referente al proceso de planeación.

NOTA: Si requiere la presencia de un intérprete en la reunion, por favor comuníquese con nuestra oficina al 925-244-1890 en cuanto pueda y trataremos de proporcionarle un intérprete.

會議詳情

日期: 2010年5月26日
時間: 下午5 PM
地點: China Basin Bldg
185 Berry Street

Verizon Wireless 公司建議加裝新的天線在185 Berry St., San Francisco 現有的網路系統上以取代舊的網路系統, 建議將目前現有無人使用的設備移除裝上新的設施, 包括增加3個盤區天線到現有的配置。新的天線將與您大樓外觀顏色相似。這整個計劃結構圖與模擬圖像將會在公聽會中對大家展示, 這個會議將會在6月舉行 另外, 在05/26/2010下午五點我們將有一場說明會, 地點在:

設施地點資料

地址: 185 Berry Street, f-1
街段 / 地段: 3803-005
劃區: MUO (Special Use)

185 Berry Street, San Francisco, CA
在小時詞條第四個大廳以後
我們誠摯的邀請您來參加, 在會議上您將得到更清楚的資訊
如果您有任何問題或是建議但是不克參加會議, 歡迎您致電: 925-2441890 找 James Singleton 或 Margie Detiege
如果您對整個計劃有問題, 請致電三藩市都市計畫部門415-5586363 找 Erika Jackson

申請公司: Verizon Wireless

聯絡人

NSA Wireless, Inc.
James Singleton
925-244-1890

如果您需要翻譯人員在會議上協助您, 請即致電
925-2441890, 我們將盡力為您安排翻譯服務



AFFIDAVIT

Neighborhood Outreach Meeting regarding Verizon Antenna Add at 185 Berry Street

Verizon held the Neighborhood Outreach meeting on May 26th at 5 pm in suite 170 of the China Basin facility at 185 Berry Street.

- 1) *King Viley, McCarley Cook China Basin*
- 2) *Dan Detiege NSA@dqueswcs.com*
- 3)
- 4)



Sign-In

Neighborhood Outreach Meeting regarding Verizon Antenna Add at 185 Berry Street

<u>NAME</u>	<u>PHONE</u>	<u>EMAIL</u>
1) KAREN WALLACE		Kimann-sf@yahoo.com
2) Kellin Lee		Kellin.Lee@eatonfinancial.com
3) Bob Berryman		bob.berryman@vcsf.edu
4)		
5)		



CHINA BASIN

PS NO. 123663
185 BERRY STREET
SAN FRANCISCO, CA 94107



VERIZON WIRELESS
2785 MITCHELL DRIVE
WALNUT CREEK, CA 94598

PROJECT INFORMATION:

CHINA BASIN
PS NO. 123663
185 BERRY STREET,
SAN FRANCISCO, CA 94107

NSA Wireless, Inc.

Site Acquisition • Planning • Construction Management • Site Modifications
Bishop Ranch 15 1st Floor
18647 Alameda Blvd., Suite 110
San Ramon, CA 94583
(925) 244-1890 OFFICE

CURRENT ISSUE DATE:

07/21/09

ISSUED FOR:

100% CD

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
3	07/21/09	100% CD	EN
2	07/09/09	100% CD	EN
1	04/23/09	100% CD	DC
0	03/30/09	90% CD	DC

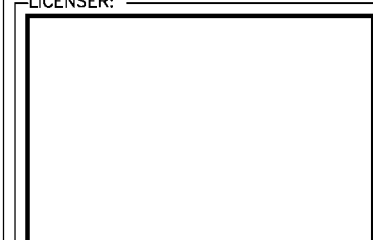
CIVIL ENGINEER:



DRAWN BY: CHK.: APV.:

DC	SA	
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LICENSER:



SHEET TITLE:

TITLE SHEET, SITE INFORMATION
AND VICINITY MAP

SHEET NUMBER:

T-1

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH WITH CURRENT EDITIONS OF THE CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THE LOCAL CODES.

- 2007 CALIFORNIA BUILDING CODE ('07 CBC)
- 2007 CALIFORNIA FIRE CODE ('07 CFC)
- 2007 CALIFORNIA ELECTRIC CODE ('07 CEC)
- 2007 CALIFORNIA MECHANICAL CODE ('07 CMC)
- 2007 SAN FRANCISCO FIRE CODE (2007 SFFC)
- 2002 NEPA 13 AUTOMATIC SPRINKLER SYSTEMS
- 2002 NFPA 72 NATIONAL FIRE ALARM CODE

PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A MODIFICATIONS TO AN EXISTING VERIZON WIRELESS WIRELESS ANTENNA FACILITY, MODIFICATIONS INCLUDE:

- THE ADDITION OF THREE (3) NEW 4' PANEL ANTENNAS TO BE MOUNTED NEXT TO (E) ANTENNAS (ONE PER SECTOR).
- ADD SIX (6) NEW RUNS OF COAX IN EXISTING CABLE TRAY. ADD ONE NEW 5" CONDUIT FROM EQUIPMENT TO ANTENNAS ON ROOFTOP.

ALL EXPOSED ANTENNAS AND CABLES TO BE PAINTED TO MATCH THE EXISTING BUILDING.

DRIVING DIRECTIONS

START OUT GOING SOUTHWEST ON MITCHELL DR. TOWARD N WIGET LN. TURN LEFT ONTO N WIGET LN. TURN RIGHT ONTO YGNACIO VALLEY RD. YGNACIO VALLEY RD. BECOMES HILLSIDE AVE. MERGE ONTO CA-24 W TOWARD OAKLAND. TAKE THE I-580 W EXIT TOWARD SAN FRANCISCO. MERGE ONTO I-580 W VIA THE EXIT ON THE LEFT TOWARD HAYWARD. MERGE ONTO I-80 W VIA THE EXIT ON THE LEFT TOWARD SAN FRANCISCO (PORTION TOLL). TAKE THE 5TH ST EXIT, EXIT 2A, ON THE LEFT TOWARD GOLDEN GATE BRIDGE/ US-101. TURN SHARP LEFT ONTO 5TH ST. TURN LEFT ONTO TOWNSEND ST. TURN RIGHT ONTO 4TH ST. TURN LEFT ONTO BERRY ST.

SHEET INDEX

SHEET	DESCRIPTION
T-1	TITLE SHEET, SITE INFORMATION AND VICINITY MAP
T-1.1	FIRE DEPARTMENT CHECKLIST
T-1.2	RF EXPOSURE LETTER / STRIPING DETAILS
T-1.3	RF EXPOSURE NOTES / SIGNAGE DETAILS
T-2	GENERAL CONSTRUCTION NOTES, GENERAL NOTES, ABBREVIATIONS & LEGEND
A-1	SITE PLAN / ANTENNA LAYOUT
A-2	ELEVATIONS
A-3	ELEVATIONS
D-1	DETAILS

PROJECT TEAM

CIVIL ENGINEER:

CONNELL DESIGN GROUP, LLC
4685 MACARTHUR COURT, SUITE 480
NEWPORT BEACH, CA 92660
PHONE: (949) 753-8807
FAX: (949) 753-8833
E-MAIL: dconnell@connelldesigngroup.com
CONTACT: DAN CONNELL

SITE ACQUISITION:

NSA WIRELESS, INC.
4685 MACARTHUR COURT SUITE 480
NEWPORT BEACH, CA 92660
CONTACT: MARGIE DETIEGE
PHONE: 925-244-1890 ex 227
E-MAIL: margie.detiege@nsawireless.com

PROJECT INFORMATION

APPLICANT

VERIZON WIRELESS
2785 MITCHELL DRIVE
WALNUT CREEK, CA 94598
CONTACT: JAY INOUYE
PHONE: (925) 519-9247

OWNER

CALIFORNIA LIMITED LIABILITY COMPANY
1475 FOLSOM ST., SUITE 400
SAN FRANCISCO, CA 94103

SITE ADDRESS: 185 BERRY STREET,
SAN FRANCISCO, CA 94107

LATITUDE (NAD 83): 37°46'34"

LONGITUDE (NAD 83): 122°23'26"

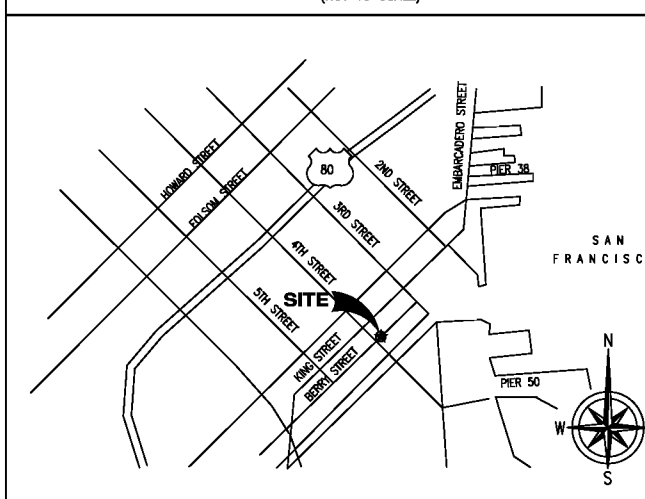
JURISDICTION: THE CITY OF SAN FRANCISCO

OCCUPANCY TYPE: GROUP B

CONST. TYPE: V-B

BLOCK/LOT NUMBER: 28 / 12

VICINITY MAP (NOT TO SCALE)



GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS WITH EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

2.06 PERMIT APPLICATION CHECKLIST FOR CELLULAR ANTENNA SITES AND ALL EQUIPMENT SERVING THE CELLULAR ANTENNA SITE

THIS CHECKLIST SHALL BE PRINTED ON A DRAWING SHEET AND SUBMITTED AS PART OF THE PLANS SUBMITTED WITH ANY BUILDING PERMIT APPLICATION CREATING OR MODIFYING CELLULAR ANTENNA SITES REGARDLESS OF RF EMISSION QUANTITIES. THIS CHECKLIST IS DESIGNED TO ASSIST DESIGNERS, INSTALLERS, PLAN REVIEWERS, AND FIELD INSPECTORS. THIS CHECKLIST SHALL BE PREPARED BY THE DESIGN PROFESSIONAL AND SHALL BE STAMPED AND WET-SIGNED.

THIS DOCUMENT IS NOT ALL-INCLUSIVE OF ALL REQUIREMENTS FOR CELLULAR ANTENNA SITES AND IT IS THE RESPONSIBILITY OF THE DESIGNER TO RESEARCH THE APPLICABLE CODES. DOCUMENTS REFERENCED FOR THIS BULLETIN ARE AS FOLLOWS:

- FCC OET BULLETIN 56 – QUESTIONS AND ANSWERS ABOUT BIOLOGICAL EFFECTS AND POTENTIAL HAZARDS OF RADIO FREQUENCY ELECTROMAGNETIC FIELDS (AUGUST 1999)
- FCC OET BULLETIN 65 – EVALUATING COMPLIANCE WITH FCC GUIDELINES FOR HUMAN EXPOSURE TO RADIOFREQUENCY ELECTROMAGNETIC FIELDS (ED. 97-01:AUGUST 1997)
- FCC – A LOCAL GOVERNMENT OFFICIAL'S GUIDE TO TRANSMITTING ANTENNA RF EMISSION SAFETY: RULES, PROCEDURES, AND PRACTICAL GUIDANCE (JUNE 2, 2000)
- 2007 CALIFORNIA BUILDING CODE (2001 CBC)
- 2007 CALIFORNIA FIRE CODE (2001 CFC)
- 2007 CALIFORNIA MECHANICAL CODE (2001 CMC)
- 2007 SAN FRANCISCO FIRE CODE (2001 SFFC)
- 2002 NFPA 13 AUTOMATIC SPRINKLER SYSTEMS
- 2002 NFPA 72 NATIONAL FIRE ALARM CODE

COMPLETE, EXISTING OR N/A	SHEET LOCATION
COMPLETE	T-1
EXISTING	A-1 A-2
COMPLETE	T-1.1
COMPLETE	A-1
EXISTING	T-1.3 A-1
EXISTING	N/A
EXISTING	A-1 A-2
EXISTING	N/A
EXISTING	A-1 A-2

1. DESCRIPTION OF SCOPE OF WORK (BOTH ON THE APPLICATION AND PLANS) SHALL MATCH THE ACTUAL WORK BEING DONE.
2. PLANS SHALL INCLUDE PLAN VIEWS AND ELEVATIONS SHOWING ALL EQUIPMENT LOCATIONS AND CABLE RUNS.
3. SUBMIT ON A DRAWING SHEET THE SAN FRANCISCO HEALTH DEPARTMENT CELLULAR ANTENNA SITE (WTS) CHECKLIST/PROPOSAL/ENGINEER'S RF REPORT. THE FCC REQUIRES CARRIERS TO INFORM AND PREVENT OCCUPATIONAL EXPOSURE (I.E. BUILDING MAINTENANCE WORKERS, FIRE FIGHTERS, ETC.) THE RF REPORT SHALL NOT SPECIFY LOCKING THE ROOF ACCESS DOOR TO KEEP THE GENERAL PUBLIC OFF OF THE ROOF PER 2001 SFFC 1207.7.1. THE RF REPORT SHALL BE WET STAMPED AND SIGNED BY AN ENGINEER.
4. DRAWINGS SHALL REFLECT THE STRIPED/EXCLUSION AREAS PER THE ABOVE RF REPORT WITH A MINIMUM RADIUS BEING 1 FOOT.
5. NOTICE TO WORKERS WARNING SIGNAGE AS APPLICABLE PER THE ABOVE RF REPORT: SIGNAGE SHALL BE IN ENGLISH, CHINESE AND SPANISH; THE SIGNAGE SHALL BE PERMANENTLY MOUNTED AT THE STAIRWELL SIDE OF THE ROOF-ACCESS STAIRWELL, DOOR, IN THE FIRE CONTROL ROOM WITHIN PROXIMITY OF THE CELL-SITE SHUTDOWN SIGNAGE AND ANY OTHER SPACE NECESSARY TO WARN WORKERS (I.E. PARAPETS, STREET SIDE OF FIRE ESCAPES); THE SIGNAGE SHALL BE CLEARLY LABELED AND VISIBLE FROM ANY DIRECTION OF APPROACH; THE SIGN SHALL BE WEATHERPROOF WITH CONTRASTING BACKGROUND AND LETTERING COLORS AND SHALL BE READABLE FROM AT LEAST FIFTEEN (15) FEET FROM THE SIGN; THERE IS A YELLOW TRIANGLE AROUND THE ANTENNA SYMBOL (SEE ANSI C95.2-1999); AND LOCATION AND SIGNAGE DETAIL WITH SITE SPECIFIC INFORMATION SHALL BE INCLUDED ON A DRAWING SHEET.
6. PROVIDE A QUANTITATIVE THREE-DIMENSIONAL PERIMETER OF THE RF LEVELS IF THE ANTENNAS APPEAR TO ENCROACH ON ANY MEANS OF EXITING.
7. CAMOUFLAGED ANTENNAS SHALL HAVE 4INCH X 4INCH SIGNAGE PERMANENTLY MOUNTED TO THE EXTERIOR OF THE RF SCREEN AS PROVIDED BELOW. THESE ANTENNAS SHALL ALSO HAVE THE STRIPPED EXCLUSION AREA TO THE FULLEST EXTENT OF THE ANTENNA LOCATION WITH A MINIMUM RADIUS OF 1 FOOT: THE SIGNAGE SHALL BE CLEARLY LABELED AND VISIBLE FROM ANY DIRECTION OF APPROACH EVEN IF ACCESS IS ACHIEVED FROM THE BUILDING FACE (I.E. LADDERS, CHERRY PICKER, ETC.); THE SIGN SHALL BE WEATHERPROOF WITH CONTRASTING BACKGROUND COLOR AND SHALL BE RECOGNIZABLE FROM AT LEAST FIFTEEN (15) FEET FROM THE SIGN; THE SIGN SHALL CONTAIN THE YELLOW TRIANGLE AROUND THE ANTENNA SYMBOL (SEE ANSI C95.2-1999); AND LOCATION AND SIGNAGE DETAIL SHALL BE INCLUDED ON A DRAWING SHEET.
8. PLANS SHALL SHOW WHETHER A NEW ELECTRICAL SERVICE IS INSTALLED FOR THE CELL SITE. IN GENERAL, BUILDINGS SHOULD ONLY HAVE ONE ELECTRICAL SERVICE. HOWEVER, WITH THE PRIOR APPROVAL OF THE SAN FRANCISCO FIRE DEPARTMENT AND THE ELECTRICAL INSPECTION DIVISION, BUILDINGS MAY HAVE ONE ADDITIONAL SERVICE TO SERVE ROOFTOP ANTENNA EQUIPMENT, PROVIDED A PERMANENT PLACARD IS PROVIDED AT THE LOCATION OF EACH SERVICE DISCONNECT STATING THE LOCATION OF THE OTHER AND IDENTIFYING THE EQUIPMENT SERVED BY EACH SERVICE.
9. PROVIDE ROUTE OF ALL CABLES FROM THEIR ORIGIN TO THE EQUIPMENT (PLAN, ELEVATION AND SECTION VIEWS). CABLES/WIRING SHALL NOT BE ALLOWED IN EXIT ENCLOSURES OR IN FRONT OF DRY STANDPIPES (2007 CBC 1020.1.1).

COMPLETE, EXISTING OR N/A	SHEET LOCATION
EXISTING	N/A
N/A	N/A
N/A	N/A
(E)	N/A
(E)	N/A
(E)	N/A
(E)	N/A

10. EITHER:
 - PROVIDE A MANUAL BATTERY DISCONNECT:
 - * INSTRUCTIONAL SIGNAGE SHALL BE PROVIDED ON THE PROCEDURE TO DISCONNECT OR DE-ENERGIZE RADIO FREQUENCY (RF) SIGNAL FOR THE ABOVE MANUAL DISCONNECT FOR THE BATTERIES.
 - * SIGNAGE SHALL BE PERMANENTLY MOUNTED NEXT TO THE BATTERY'S ELECTRICAL PANEL AND CLEARLY LABELED IN A PHENOLIC LABEL WITH A WHITE BACKGROUND AND BLACK LETTERING. THE TITLE BLOCK SHALL BE A RED BACKGROUND AND 1" HIGH WHITE LETTERING.
 - * THE ACTUAL BREAKER(S) SHALL BE A PHENOLIC LABEL (RED BACKGROUND AND WHITE LETTERING) WITH LETTERING NOT LESS THAN 1/8" HIGH.
 - * THE SIGNAGE SHALL ALSO BE LIKE POSTED IN THE FCC ROOM WITHIN PROXIMITY OF THE FIRE ALARM PANEL AND BUILDING'S MAIN ELECTRICAL ROOM WITHIN PROXIMITY OF THE MAIN SHUTOFF.
 - * A COPY OF THE SIGNAGE SHALL BE INCLUDED ON A DRAWING SHEET.
 - * PROVIDE SFFD APPROVED KEY LOCK BOX FOR EQUIPMENT/ELECTRICAL ROOM FOR BATTERY/EQUIPMENT SHUTDOWN.
 - * THE PERMANENTLY MOUNTED LABEL ABOVE THE LOCK BOX SHALL READ "SFFD BATTERY DISCONNECT ACCESS KEY" AND SHALL BE A PHENOLIC LABEL WITH A RED BACKGROUND AND WHITE LETTERING.
 - * LOCATION AND LABEL OF THE KEY LOCK BOX SHALL BE INCLUDED ON A DRAWING SHEET.
 - OR:
 - PROVIDE 24 HOUR/7 DAYS A WEEK TELEPHONE SERVICE CENTER SHUT-DOWN:
 - * PROVIDE INSTRUCTIONAL SIGNAGE FOR EMERGENCY SHUTDOWN OF THE CELL SITE INCLUDING TELEPHONE NUMBER AND CELL SITE IDENTIFICATION NUMBER.
 - * THE SIGN SHALL STATE THAT THERE IS NO MANUAL SHUT DOWN FOR THE CELL SITE AND TO CALL THE CONTACT NUMBER (THE NUMBER SHALL BE PRINTED ON THE SIGN) WITH THE SITE IDENTIFICATION NUMBER (THE NUMBER SHALL BE PRINTED ON THE SIGN) FOR IMMEDIATE SHUT-DOWN OF THE SITE 24HR/7DAYS A WEEK.
 - * THE SIGN SHALL ALSO STATE WHETHER OR NOT THE BACK-UP BATTERY POWER TO THE ANTENNAS IS ALSO SHUT-DOWN.
 - * THE SIGNAGE SHALL BE PERMANENTLY MOUNTED NEXT TO THE MAIN ELECTRICAL SHUT-OFF, IN THE FCC ROOM WITHIN CLOSE PROXIMITY TO THE FIRE ALARM PANEL, AT THE BATTERY CABINET AND AT THE EQUIPMENT ROOM.
 - * THE SIGN SHALL BE CLEARLY LABELED IN A PHENOLIC LABEL WITH A WHITE BACKGROUND AND BLACK LETTERING. THE TITLE BLOCK SHALL BE A RED BACKGROUND AND 1" HIGH WHITE LETTERING.
 - * A COPY OF THE SIGNAGE SHALL BE INCLUDED ON A DRAWING SHEET.
11. IS A NEW HVAC SYSTEM BEING INSTALLED?
 - ___ YES
 - * WHAT IS THE VOLUME OF REFRIGERANT USED BY THE COOLING UNIT(S)? _____
 - ___ NO
 - * WHAT IS THE TYPE OF REFRIGERANT PER 2007 CMC? _____
 - * ASSURE COMPLIANCE WITH 2007 CFC SECTION 606.
12. PLANS STATE SEQUENCE OF OPERATIONS FOR ANY NEW DETECTION, DAMPERS, OR FANS.
13. PLANS SHALL CLEARLY SHOW LOCATIONS OF BATTERIES AND BATTERY CABINETS.
14. PLANS SHALL STATE WHETHER THE BUILDING IS FULLY SPRINKLERED OR NOT.
15. IN FULLY SPRINKLERED BUILDINGS, EQUIPMENT ROOMS SHALL BE PROVIDED WITH SPRINKLERS IN ACCORDANCE WITH NFPA 13.
16. PROVIDE A TABLE ON A DRAWING SHEET SHOWING THE MANUFACTURER, MODEL, TYPE, AMOUNT (GALLONS OR POUNDS) OF ELECTROLYTE, FLOODED LEAD ACID, NI-CD, VRLA OR LI-ION. PLEASE SHOW DETAILED COMPLIANCE WITH 2007 CFC SECTION 608 ON THE DRAWING SHEETS. WHEN COMPLIANCE WITH SECTION 608 OF THE 2007 CALIFORNIA FIRE CODE IS REQUIRED, THE FOLLOWING ADDITIONAL INFORMATION SHALL BE PROVIDED:
 - * ROOFTOP BATTERY ROOMS EXCEEDING THE ABOVE REQUIREMENTS SHALL BE SEPARATED FROM THE BUILDING AND ANY OPENINGS AS SPECIFIED BY THE 2007 CBC AND CMC.
 - * PLANS STATE THAT A SEPARATE FIRE DEPARTMENT PERMIT WILL BE OBTAINED FROM SFFD HEADQUARTERS AT 698 2ND ST.

PREPARED BY: DANIEL CONNELL, PE STAMP

FIRM NAME: CONNELL DESIGN GROUP, LLC
 ADDRESS: 4685 MACARTHUR COURT, SUITE 480, NEWPORT BEACH, CA 92660
 PHONE NUMBER: 949-753-8807
 FAX NUMBER: 949-753-8833



VERIZON WIRELESS
 2785 MITCHELL DRIVE
 WALNUT CREEK, CA 94598

PROJECT INFORMATION:

CHINA BASIN
 PS NO. 123663
 185 BERRY STREET,
 SAN FRANCISCO, CA 94107

NSA Wireless, Inc.

12847 Alcega Blvd., Suite 110
 San Ramon, CA 94583
 (925) 244-1890 OFFICE

CURRENT ISSUE DATE:

07/21/09

ISSUED FOR:

100% CD

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
3	07/21/09	100% CD	EN
2	07/09/09	100% CD	EN
1	04/23/09	100% CD	DC
0	03/30/09	90% CD	DC

CIVIL ENGINEER:



DRAWN BY: DC CHK.: SA APV.: _____

LICENSER: _____

SHEET TITLE:

FIRE DEPARTMENT CHECKLIST

SHEET NUMBER:

T-1.1

PROJECT INFORMATION:
CHINA BASIN
 PS NO. 123663
 185 BERRY STREET,
 SAN FRANCISCO, CA 94107

NSA Wireless, Inc.
 Site Acquisition • Planning • Construction Management • Site Maintenance
 Bishop Ranch 15 1st Floor
 10847 Alameda Blvd., Suite 110
 San Ramon, CA 94583
 (925) 944-1000 077122

CURRENT ISSUE DATE:
07/21/09

ISSUED FOR:
100% CD

REV. #	DATE	DESCRIPTION	BY
3	07/21/09	100% CD	EN
2	07/09/09	100% CD	EN
1	04/23/09	100% CD	DC
0	03/30/09	90% CD	DC

CIVIL ENGINEER:

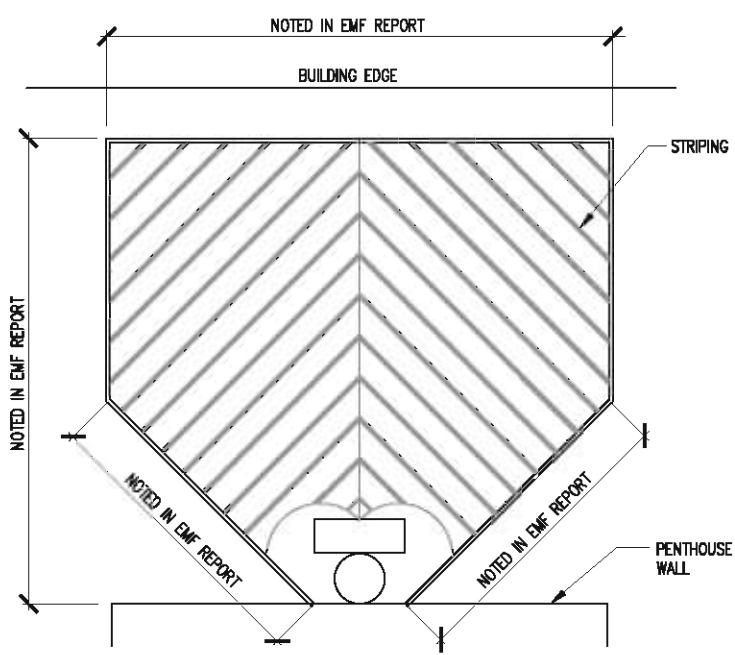
CONNELL DESIGN GROUP, LLC
 CONSULTING CIVIL ENGINEERS
 4001 MACARTHUR COURT, SUITE 400, REDWOOD CITY, CA 94060
 (650) 753-0000 OFFICE • (650) 753-0000 FAX
 CDG#: 09-8036

DRAWN BY: DC CHK.: SA APV.:

LICENSER:

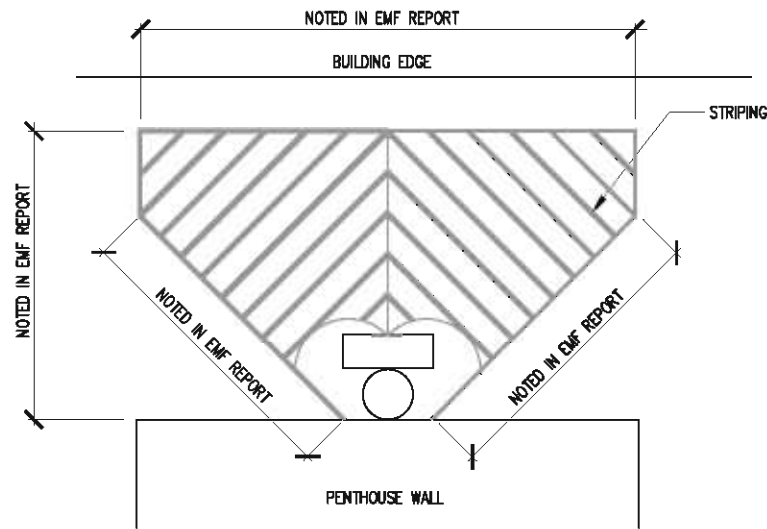
SHEET TITLE:
RF EXPOSURE LETTER / STRIPING DETAILS

SHEET NUMBER:
T-1.2



NOTE: TO BE USED ONLY WHEN INDICATED.

TYPICAL CAUTION STRIPAGE WITH PUBLIC ACCESS SCALE: NONE 2



NOTE: TO BE USED ONLY WHEN INDICATED.

TYPICAL CAUTION STRIPAGE WITH NO PUBLIC ACCESS SCALE: NONE 3

Verizon Wireless • Base Station No. 123663 "China Basin"
 185 Berry Street • San Francisco, California

Statement of Hammett & Edison, Inc., Consulting Engineers

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a wireless telecommunications carrier, to evaluate proposed modifications to its existing base station (Site No. 123663 "China Basin") located at 185 Berry Street with respect to prevailing standards limiting human exposure to radio frequency energy.

Background

The San Francisco Department of Public Health has adopted a 10-point checklist for determining compliance of WTS facilities with prevailing safety standards. The acceptable limits for exposures of unlimited duration are those adopted by the FCC:

Personal Wireless Service	Agency	Frequency	Occupational Limit	Public Limit
Broadband Radio ("BRS")	2,400 MHz	5.00 mW/cm ²	1.00 mW/cm ²	
Advanced Wireless ("AWS")	2,100	5.00	1.00	
Personal Communication ("PCS")	1,950	5.00	1.00	
Cellular Telephone	870	2.50	0.58	
Specialized Mobile Radio ("SMR")	855	2.85	0.57	
Long Term Evolution ("LTE")	700	2.58	0.47	
(most restrictive frequency range)	30-300	1.00	0.20	

The site was visited by Rajat Mathur, P.E., a qualified engineer employed by Hammett & Edison, Inc., during normal business hours on April 1, 2009, non-holiday weekdays and reference has been made to additional information provided by Verizon regarding the addition of LTE service.

Checklist

1. The location of all existing antennas and facilities at site. Existing RF levels. Installed for Verizon were three pairs of directional antennas on the sides of three different rooftop penthouse structures above a six-story office building located at 185 Berry Street. Access to the antennas was restricted by a locked roof-access door. Located at the same site were similar antennas for use by AT&T Mobility, MetroPCS, Sprint Nextel, and T-Mobile, other wireless telecommunications carriers. Existing RF levels at ground near the site measured less than 1% of the most restrictive public exposure limit.

2. The location of all antennas that are not installed, antennas and facilities. Expected RF levels from proposed antennas. No other WTS facilities are expected to be approved for this site, but not yet installed.

3. The number and type of WTS within 100 feet of proposed site and estimate of additive EMR emissions at proposed site. There were no other WTS facilities observed within 100 feet of the proposed site.

HAMMETT & EDISON, INC.
 185 BERRY STREET, SUITE 400, REDWOOD CITY, CA 94060
 (650) 753-0000 FAX
 VW123663090 Page 1 of 3

Verizon Wireless • Base Station No. 123663 "China Basin"
 185 Berry Street • San Francisco, California

4. Location (and number) of applicant's antennas and back-up facilities per building and location and number of other WTS at site. Verizon proposes to replace three of the existing antennas with new Andrew Model LNX6512DS-T4M directional panel antennas for LTE service at the same locations next to the remaining antennas, reported to be Andrew Model 932D065E-M dualband antennas for PCS and cellular service, mounted with up to 8' down tilt at an effective height of 70 feet above ground. The antennas would be oriented in pairs (one of each) toward 30°E, 200°E, and 300°E. The AT&T antennas were mounted behind view screens on the face of the parapet near the east end of the building. The six MetroPCS antennas were mounted in pairs on the sides of three mechanical equipment structures above the roof. The Sprint Nextel SMR antennas were mounted in three groups of three on two penthouses. The three T-Mobile antennas were mounted on two penthouses.

5. Power rating, maximum and expected operating power for all existing and proposed backup equipment, subject to application. The maximum rating of the cellular and PCS transmitters is 26 watts, with the proposed LTE transmitters rated at 16 watts. The maximum power ratings of the other carriers' transmitters are not known. The actual operating power of the transmitters will depend upon the system losses encountered after the physical cabling runs have been installed; the transmitters may operate at a power less than their maximum rating, such that the total power radiated from the antennas does not exceed the level given in Item 6 below.

6. Total number of watts per installation and total number of watts for all installations at site. The maximum effective radiated power in any direction for Verizon would be 2,240 watts, representing simultaneous operation at 640 watts for PCS, 1,200 watts for cellular, and 400 watts for LTE service. The effective radiated powers of the other carriers' operations are not known.

7. Plan or roof plan showing method of attachment of antennas, directionality of antennas, and height above roof level. Discuss nearby neighborhood buildings. The antennas would be mounted as described in Item 4 above. There was noted a taller building located nearby, across the street.

8. Estimated ambient RF levels for proposed site and identify three-dimensional perimeter where exposure standards are exceeded. For a person anywhere at ground near the site, the maximum ambient RF level from the proposed Verizon operation is calculated to be 0.0052 mW/cm², which is 0.92% of the applicable public exposure limit. Therefore, ambient levels at ground are estimated to remain less than 1% of the public limit. The three-dimensional perimeter of RF levels equal to the public exposure limit is calculated to

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Verizon Wireless • Base Station No. 123663 "China Basin"
 185 Berry Street • San Francisco, California

extended 55 feet directly in front of the Verizon antennas; this does not reach any publicly accessible areas.

9. Describe proposed signage at site. Due to their mounting location, the Verizon antennas are not accessible to the general public, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. To prevent occupational exposures in excess of the FCC guidelines, no access within 7 feet directly in front of the antennas themselves, such as might occur during maintenance work on the building, should be allowed while the base station is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. Explanatory warning signs¹ had been posted on the roof-access door and at the Verizon antennas, readily visible from any angle of approach to persons who might need to work within that distance.

10. Statement of authorship. The undersigned author of this statement is a qualified Professional Engineer, holding California Registrations Nos. E-11026 and M-20676, which expire on June 30, 2011. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except where noted, when data has been supplied by others, which data he believes to be correct.

Conclusion

Based on the information and analysis above, it is my professional opinion that the Verizon Wireless base station operation located at 185 Berry Street in San Francisco will continue to comply with the prevailing standards for limiting public exposure to radio frequency energy and, therefore, will not be this reason cause a significant impact on the environment.

June 25, 2009


 William F. Hammett, P.E.

¹ Warning signs complied with OET-05 criteria and symbol recommendations. Content information was provided in English to arrange for access to restricted areas, with Spanish and Chinese translations (not by this firm) included.

HAMMETT & EDISON, INC.
 185 BERRY STREET, SUITE 400, REDWOOD CITY, CA 94060
 (650) 753-0000 FAX
 VW123663090 Page 3 of 3

RF EXPOSURE LETTER SCALE: NONE 1

SIGNAGE AND STRIPING INFORMATION

THE FOLLOWING INFORMATION IS A GUIDE LINE WITH RESPECT TO PREVAILING STANDARDS LIMITING HUMAN EXPOSURE TO RADIO FREQUENCY ENERGY AND SHOULD BE USED AS SUCH. IF THE SITE'S EMF REPORT OR ANY LOCAL, STATE OR FEDERAL GUIDELINES OR REGULATION SHOULD BE IN CONFLICT WITH ANY PART OF THESE NOTES OR PLANS THE MORE RESTRICTIVE GUIDE LINE OR REGULATION SHALL BE FOLLOWED AND OVER RIDE THE LESSER.

THE PUBLIC LIMIT OF RF EXPOSURE ALLOWED BY VERIZON WIRELESS IS $1mW/cm^2$ AND THE OCCUPATIONAL LIMIT OF RF EXPOSURE ALLOWED BY VERIZON WIRELESS IS $5mW/cm^2$

IF THE BOTTOM OF THE ANTENNA IS MOUNTED (8) EIGHT FEET ABOVE THE GROUND OR ROOF LINE OF THE PERSONAL COMMUNICATION SYSTEM (PCS) AND DOSE NOT EXCEED THE PUBLIC LIMIT OF RF EXPOSURE LIMIT THEN NO STRIPING OR BARRICADES SHOULD BE NEEDED.

IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS EXCEEDED AND THE AREA IS PUBLICLY ACCESSIBLE (e.g. ROOF ACCESS DOOR THAT CANNOT BE LOCKED OR HAVING A FIRE EGRESS) THEN BOTH BARRICADES AND STRIPING WILL BE NEEDED AROUND THE ANTENNAS. THE EXACT EXTENT OF THE BARRICADES AND STRIPING WILL BE DETERMINED BY THE EMF REPORT FOR THE SITE DONE BEFORE OR SHORTLY AFTER THE CONSTRUCTION OF THE SITE. USE THE PLANS AS A GUIDE LINE FOR PLACEMENT OF SUCH BARRICADES AND STRIPING.

IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS NOT EXCEEDED AND THE AREA IS NOT PUBLICLY ACCESSIBLE (e.g. ROOF ACCESS DOOR IS LOCKED), THEN JUST STRIPING OUT TO THE PUBLIC LIMIT WILL BE NEEDED AROUND THE ANTENNAS. THE EXACT EXTENT OF THE STRIPING WILL BE DETERMINED BY THE EMF REPORT FOR THE SITE DONE BEFORE OR SHORTLY AFTER THE CONSTRUCTION OF THE SITE. USE THE PLANS AS A GUIDE LINE FOR PLACEMENT OF SUCH STRIPING.

ALL TRANSMIT ANTENNAS REQUIRE A THREE LANGUAGE WARNING SIGN WRITTEN IN ENGLISH, SPANISH AND CHINESE. THIS SIGN WILL BE PROVIDED TO THE CONTRACTOR BY THE VERIZON WIRELESS CONSTRUCTION MANAGER AT THE TIME OF CONSTRUCTION. THE LARGER SIGN SHALL BE PLACED AT ALL ROOF ACCESS LOCATIONS AND ON ALL BARRICADES IN PLANE SITE AND THE SMALLER SIGN SHALL BE PLACED ON THE ANTENNAS THEMSELVES OR ON THE OUT SIDE OF THE ANTENNA ENCLOSURES IN A MANNER THAT IS EASILY SEEN BY ANY PERSON ON THE ROOF. WARNING SIGNS SHALL COMPLY WITH ANSI C95.2 COLOR, SYMBOL, AND CONTENT CONVENTIONS. ALL SIGN WILL HAVE VERIZON WIRELESS'S NAME AND THE COMPANY CONTACT INFORMATION (e.g., TELEPHONE NUMBER) TO ARRANGE FOR ACCESS TO THE RESTRICTED AREAS. THIS TELEPHONE NUMBER WILL BE PROVIDED TO THE CONTRACTOR BY THE VERIZON WIRELESS CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION.

PHOTOS OF ALL STRIPING, BARRICADES AND SIGNAGE WILL BE PART OF THE CONTRACTORS CLOSE OUT PACKAGE AND WILL BE TURNED INTO THE VERIZON WIRELESS CONSTRUCTION PROJECT MANAGER AT THE END OF CONSTRUCTION. STRIPING SHALL BE DONE WITH FADE RESTRAINT YELLOW SAFETY PAINT IN A CROSS HATCH PATTERN AS SHOW BY THE DETAIL. ALL BARRICADES SHALL BE MADE OF AN RF FRIENDLY MATERIAL SO THAT NOT TO BLOCK OR INTERFERE WITH THE OPERATION OF THE SITE SHALL BE PAINTED WITH FADE RESTRAINT YELLOW SAFETY PAINT. THE CONTRACTOR SHALL PROVIDE ALL RF FRIENDLY BARRICADES NEED AND SHALL PROVIDE THE VERIZON WIRELESS CONSTRUCTION PROJECT MANAGER WITH A THE DETAILED SHOP DRAWING OF EACH BARRICADE.

NOTE:
1. ALL REQUIRED SIGNAGE WILL BE INSTALLED AND FIELD VERIFIED. SEE SHEET A-1 FOR SIGN LOCATIONS



WARNING
HIGH RADIO FREQUENCY EXPOSURE AREA

KEEP BACK 8 FEET FROM THIS ANTENNA. IF ACCESS IS REQUIRED WITHIN THIS DISTANCE, PLEASE CONTACT ANTENNA OWNER BEFORE APPROACHING.

ADVERTENCIA
AREA DE EXPOSICION DE ALTAS FRECUENCIAS DE RADIO

MANTENERSE A 8 PIES DE DISTANCIA DE ESTA ANTENA. SI ES NECESARIO ACERCARSE MAS, COMUNIQUESE CON EL PROPIETARIO DE LA ANTENA ANTES DE HACERLO.

警告
高廣無線電能量地區

請保持在此天線 8 呎以外，如需要進入此範圍內，請在進入之前先聯絡天線的持有人

PHONE NUMBER/ NUMERO DE TELEFONO/ 電話號碼

OWNER/ PROPIETARIO/ 持有人

123663

SITE NUMBER/ NUMERO DEL SITIO/ 此站號碼

Hammitt & Edison, Inc.

NOTICE

Radio frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

In accordance with Federal Communications Commission rules on frequency emissions 47 CFR 1.1307(d)

TYPICAL NOTICE SIGN

SCALE: 1/8"=1'-0" 4

CAUTION

Radio frequency fields within one foot of this antenna may exceed Federal limits for human exposure. Stay clear by that distance.

VERIZON
Carrier
123663
Site #

TYPICAL CAUTION SIGN

SCALE: 1/8"=1'-0" 1

CAUTION

Beyond this point: Radio frequency fields at this site may exceed FCC rules for human exposure.

For your safety obey all posted signs and site guidelines for working in radio frequency environments.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(d)

TYPICAL CAUTION SIGN

SCALE: 1/8"=1'-0" 5

IN CASE OF EMERGENCY

CALL

1-800-242-7622

Site No: 123663

EMERGENCY CONTACT SIGN

SCALE: 1/8"=1'-0" 2

WARNING

Beyond this point: Radio frequency fields at this site exceed the FCC rules for human exposure.

Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.

In accordance with Federal Communications Commission rules on radio frequency emissions 47 CFR 1.1307(d)

TYPICAL WARNING SIGN

SCALE: 1/8"=1'-0" 6

NOTICE

GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EME) awareness training.
- All personnel entering this site must be authorized, obey all posted signs.
- Assume all antennas are active. Before working on antennas, notify owners and disable appropriate transmitters.
- Maintain minimum 8 feet clearance from all antennas. Do not stop in front of antennas.
- Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment rooms.

RF GUIDELINES SIGN

SCALE: 1/8"=1'-0" 3

GENERAL NOTES

SCALE: N.T.S. 8

MULTI-LANGUAGE SIGN

SCALE: 1/8"=1'-0" 7

TYPICAL WARNING SIGN

SCALE: 1/8"=1'-0" 6

RF GUIDELINES SIGN

SCALE: 1/8"=1'-0" 3

VERIZON WIRELESS
2785 MITCHELL DRIVE
WALNUT CREEK, CA 94598

PROJECT INFORMATION:

CHINA BASIN
PS NO. 123663
185 BERRY STREET,
SAN FRANCISCO, CA 94107

NSA Wireless, Inc.
San Francisco - Phoenix - Houston - Chicago - New York
18847 Alvarado Blvd., Suite 110
San Jose, CA 95128
(408) 554-1900 OFFICE

CURRENT ISSUE DATE:
07/21/09

ISSUED FOR:
100% CD

REV. DATE	DESCRIPTION	BY
3 07/21/09	100% CD	EN
2 07/09/09	100% CD	EN
1 04/23/09	100% CD	DC
0 03/30/09	80% CD	DC

CML ENGINEER:

CONNELL DESIGN GROUP, LLC
CONSTRUCTION CIVIL ENGINEERS
480 MACARTHUR BLVD, SUITE 400, SAN FRANCISCO, CA 94102
(415) 775-4907 OFFICE • (415) 775-4933 FAX
CDG#: 09-8038

DRAWN BY: DC CHK.: SA APV.: SA

LICENSER:

SHEET TITLE:
RF EXPOSURE NOTES / SIGNAGE DETAILS

SHEET NUMBER:
T-1.3

A.B.	ANCHOR BOLT	GRND.	GROUND
ABV.	ABOVE	HDR.	HEADER
ACCA	ANTENNA CABLE COVER ASSEMBLY	HGR.	HANGER
ADD'L	ADDITIONAL	HT.	HEIGHT
A.F.F.	ABOVE FINISHED FLOOR	ICGB.	ISOLATED COPPER GROUND BUS
A.F.G.	ABOVE FINISHED GRADE	IN.(")	INCH(ES)
ALUM.	ALUMINUM	INT.	INTERIOR
ALT.	ALTERNATE	LB.(#)	POUND(S)
ANT.	ANTENNA	L.B.	LAG BOLTS
APPRX.	APPROXIMATE(LY)	L.F.	LINEAR FEET (FOOT)
ARCH.	ARCHITECT(URAL)	L.	LONG(TUDINAL)
AWG.	AMERICAN WIRE GAUGE	M.A.S.	MASONRY
BLDG.	BUILDING	MAX.	MAXIMUM
BLK.	BLOCK	M.B.	MACHINE BOLT
BLKG.	BLOCKING	MECH.	MECHANICAL
BM.	BEAM	MFR.	MANUFACTURER
B.N.	BOUNDARY NAILING	MIN.	MINIMUM
BTOW.	BARE TINNED COPPER WIRE	MISC.	MISCELLANEOUS
B.O.F.	BOTTOM OF FOOTING	MTL.	METAL
B/U	BACK-UP CABINET	(N)	NEW
CAB.	CABINET	NO.(#)	NUMBER
CANT.	CANTILEVER(ED)	N.T.S.	NOT TO SCALE
C.I.P.	CAST IN PLACE	O.C.	ON CENTER
CLG.	CEILING	OPNG.	OPENING
CLR.	CLEAR	P/C	PRECAST CONCRETE
COL.	COLUMN	PCS	PERSONAL COMMUNICATION SERVICES
CONC.	CONCRETE	PLY.	PLYWOOD
CONN.	CONNECTION(OR)	PPC	POWER PROTECTION CABINET
CONST.	CONSTRUCTION	PRC	PRIMARY RADIO CABINET
CONT.	CONTINUOUS	P.S.F.	POUNDS PER SQUARE FOOT
d	PENNY (NAILS)	P.S.I.	POUNDS PER SQUARE INCH
DBL.	DOUBLE	P.T.	PRESSURE TREATED
DEPT.	DEPARTMENT	PWR.	POWER (CABINET)
D.F.	DOUBLE FR	QTY.	QUANTITY
DIA.	DIAMETER	RAD.(R)	RADIUS
DIAG.	DIAGONAL	REF.	REFERENCE
DIM.	DIMENSION	REINF.	REINFORCEMENT(ING)
DWG.	DRAWING(S)	REQ'D.	REQUIRED
DWL.	DOWEL(S)	RGS.	RIGID GALVANIZED STEEL
EA.	EACH	SCH.	SCHEDULE
EL.	ELEVATION	SHT.	SHEET
ELEC.	ELECTRICAL	SIM.	SIMILAR
ELEV.	ELEVATOR	SPEC.	SPECIFICATION(S)
EMT.	ELECTRICAL METALLIC TUBING	SQ.	SQUARE
E.N.	EDGE NAIL	S.S.	STAINLESS STEEL
ENG.	ENGINEER	STD.	STANDARD
EQ.	EQUAL	STL.	STEEL
EXP.	EXPANSION	STRUC.	STRUCTURAL
EXT.(E)	(E)	TEMP.	TEMPORARY
EXT.	EXTERIOR	THK.	THICK(NESS)
FAB.	FABRICATION(OR)	T.N.	TOE NAIL
F.F.	FINISH FLOOR	T.O.A.	TOP OF ANTENNA
F.G.	FINISH GRADE	T.O.C.	TOP OF CURB
FIN.	FINISH(ED)	T.O.F.	TOP OF FOUNDATION
FLR.	FLOOR	T.O.P.	TOP OF PLATE (PARAPET)
FDN.	FOUNDATION	T.O.S.	TOP OF STEEL
F.O.C.	FACE OF CONCRETE	T.O.W.	TOP OF WALL
F.O.M.	FACE OF MASONRY	TYP.	TYPICAL
F.O.S.	FACE OF STUD	U.G.	UNDER GROUND
F.O.W.	FACE OF WALL	U.L.	UNDERWRITERS LABORATORY
F.S.	FINISH SURFACE	U.N.O.	UNLESS NOTED OTHERWISE
FT.(')	FOOT(FEET)	V.L.F.	VERIFY IN FIELD
FTG.	FOOTING	W	WIDE(WIDTH)
G.	GROWTH (CABINET)	W/	WITH
GA.	GAUGE	WD.	WOOD
GL.	GALVANIZE(D)	W.P.	WEATHERPROOF
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER	WT.	WEIGHT
GLB.(GLU-LAM)	GLUE LAMINATED BEAM	C	CENTERLINE
GPS	GLOBAL POSITIONING SYSTEM	E	PLATE

ABBREVIATIONS

3

	NEW ANTENNA		GROUT OR PLASTER
	EXISTING ANTENNA		EXISTING BRICK
	GROUND ROD		EXISTING MASONRY
	GROUND BUS BAR		CONCRETE
	MECHANICAL GRND. CONN.		EARTH
	CADWELD		GRAVEL
	GROUND ACCESS WELL		PLYWOOD
	ELECTRIC BOX		SAND
	TELEPHONE BOX		WOOD CONT.
	LIGHT POLE		WOOD BLOCKING
	FND. MONUMENT		STEEL
	SPOT ELEVATION		CENTERLINE
	SET POINT		PROPERTY/LEASE LINE
	REVISION		MATCH LINE
	GROUND CONDUCTOR		WORK POINT
	GRID REFERENCE		GROUND CONDUCTOR
	DETAIL REFERENCE		TELEPHONE CONDUIT
	ELEVATION REFERENCE		ELECTRICAL CONDUIT
	SECTION REFERENCE		COAXIAL CABLE
	OVERHEAD SERVICE CONDUCTORS		CHAIN LINK FENCING

LEGEND

4

GENERAL NOTES

- THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
- THIS FACILITY IS AN UNOCCUPIED PCS TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE NEW PROJECT, WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN, PRIOR TO PROCEEDING WITH SUBMISSION OF BIDS & CONSTRUCTION. SHOULD ANY ERRORS, OMISSION, OR DISCREPANCIES BE FOUND, THE CONTRACTORS SHALL IMMEDIATELY NOTIFY PROJECT MANAGER, AND THE ARCHITECT IN WRITING. IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. IF A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ARCHITECT ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT ALL PROBLEMS THAT RESULT.
- DRAWINGS SHALL NOT BE SCALED. FIGURED DIMENSIONS HAVE PRECEDENCE OVER DRAWING SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS, OR BEGIN ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
- CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER AND THE ARCHITECT IF ANY DETAILS ARE CONSIDERED IMPRACTICAL, UNSUITABLE, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO ANY DETAIL. DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
- (E) ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER, AND THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE PROJECT MANAGER, AND THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO VERIZON WIRELESS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK, USING THE BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, INCLUDING CONTACT AND COORDINATION WITH THE IMPLEMENTATION ENGINEER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE'S.
- WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:

NRCA - NATIONAL ROOFING CONTRACTORS ASSOCIATION
ASSOCIATION
O'HARE INTERNATIONAL CENTER
10255 W. HIGGINS ROAD, SUITE 600 ROSEMONT, IL 60018
SMACNA - SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE CHATTILLY, VA 22021-1209
ITLP - INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
820 TRANSFER ROAD
ST. PALM MN 55114-1406
AMA - ADHESIVE MANUFACTURERS ASSOCIATION
401 NORTH MICHIGAN AVENUE, SUITE 2400 CHICAGO, IL 60611
- THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING THE SAME.
- ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTORS SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS. CONTRACTORS SHALL COMPLY WITH STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.

- CONTRACTORS SHALL PROTECT THE OWNERS' PROPERTY FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND (E) CONSTRUCTION, STRUCTURE, LANDSCAPING, CURBS, STAIRS, OR EQUIPMENT, ETC., SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER, OR HIS REPRESENTATIVE, AND VERIZON WIRELESS' REPRESENTATIVE, AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REMEDY, ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP, OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT BY VERIZON WIRELESS.
- ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL (E) UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTORS SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY VERIZON WIRELESS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER AND THE CITY OR GOVERNING AGENCY.
- THE LATEST EDITION OF ALL PERMITTED AND APPROVED PLANS PERTAINING TO THIS PROJECT SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A DAILY BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEANUP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A BROOM CLEAN CONDITION AT THE END OF EACH DAY. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.
- ALL EXPOSED METAL SHALL BE HOT-DIPPED GALVANIZED.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF AND WHERE APPLICABLE TO THIS FACILITY AND PROJECT SITE.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A, 10-BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT CONSTRUCTION AREA.
- ELECTRICAL POWER SYSTEM SHALL BE GROUNDED PER NEC ARTICLES 250 AND 810.
- ALL NEW OPENINGS IN THE EXTERIOR ENVELOPE OF CONDITIONED SPACES SUCH AS AT WALL AND ROOF PENETRATIONS SHALL BE CAULKED OR SEALED TO LIMIT INFILTRATION OF AIR AND MOISTURES.
- U.N.O., CONTRACTOR SHALL PROVIDE CLOSE-OUT PACKAGE TO VERIZON WIRELESS WHICH WILL INCLUDE:
(CONTRACTOR SHALL REFER TO THEIR CURRENT CONTRACT FOR A COMPLETE LIST OF DELIVERABLES.)

A. BUILDING PERMITS/ELECTRICAL PERMITS
B. FINAL INSPECTION CARD
C. STAMPED BUILDING PERMIT PLANS
D. GROUNDING TEST
E. SWEEP TEST
F. CONCRETE TEST
G. SPECIAL INSPECTION REPORTS
H. WARRANTIES, MANUAL, EQUIPMENT SPECIFICATIONS
I. SUBCONTRACTOR CONTACT LIST
J. RED LINED ASBUILTS
K. CONSTRUCTION PROCESS PHOTOS
L. SITE COMPLETION PHOTOS
M. A WRITTEN REPORT ON ANTENNA SERIAL NUMBER FOR EACH SECTOR
N. MANUFACTURER'S PERFORMANCE REPORT FOR EACH ANTENNA
CONTRACTOR SHALL REFER TO THEIR CURRENT CONTRACT FOR A COMPLETE LIST OF DELIVERABLES.

2

GENERAL CONSTRUCTION NOTES

- PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT,) AT (800) 227-2600, FOR UTILITY LOCATIONS, 48 HRS BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UBC'S REQUIREMENTS REGARDING EARTHQUAKE RESISTANCE, FOR, BUT NOT LIMITED TO, PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS, AND MECHANICAL EQUIPMENT. ALL WORK MUST COMPLY WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
- REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE PLOT OF SURVEY DRAWING, SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH, AND SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
- THE BUILDING DEPARTMENT ISSUING THE PERMITS SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK, OR AS OTHERWISE STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
- THE ARCHITECT/ENGINEER, CONNELL DESIGN GROUP LLC, AND REPRESENTATIVES OF THE OWNER, MUST BE NOTIFIED AT LEAST TWO FULL DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS, OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTORS SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
- ANY DRAIN AND/OR FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON "AS-BUILT" DRAWINGS BY GENERAL CONTRACTOR, AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
- ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
- INCLUDE MISC. ITEMS PER VERIZON WIRELESS SPECIFICATIONS.

1



PROJECT INFORMATION:

CHINA BASIN
PS NO. 123663
185 BERRY STREET,
SAN FRANCISCO, CA 94107

NSA Wireless, Inc.
Bishop Ranch 15 1st Floor
12847 Alcega Blvd., Suite 110
San Ramon, CA 94583
(925) 244-1890 OFFICE

CURRENT ISSUE DATE:
07/21/09

ISSUED FOR:
100% CD

REV. DATE	DESCRIPTION	BY
3	07/21/09	100% CD EN
2	07/09/09	100% CD EN
1	04/23/09	100% CD DC
0	03/30/09	90% CD DC

CIVIL ENGINEER:

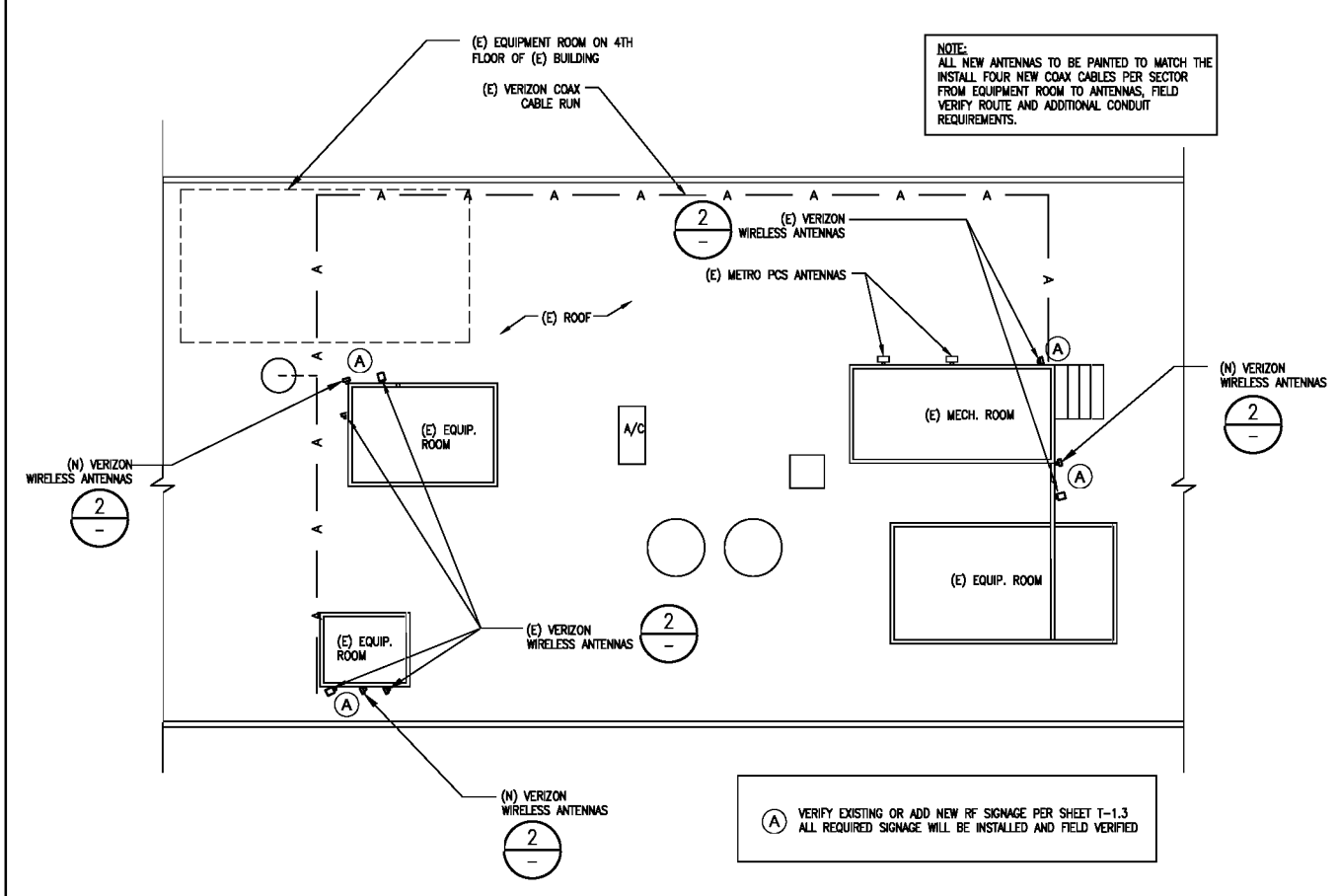
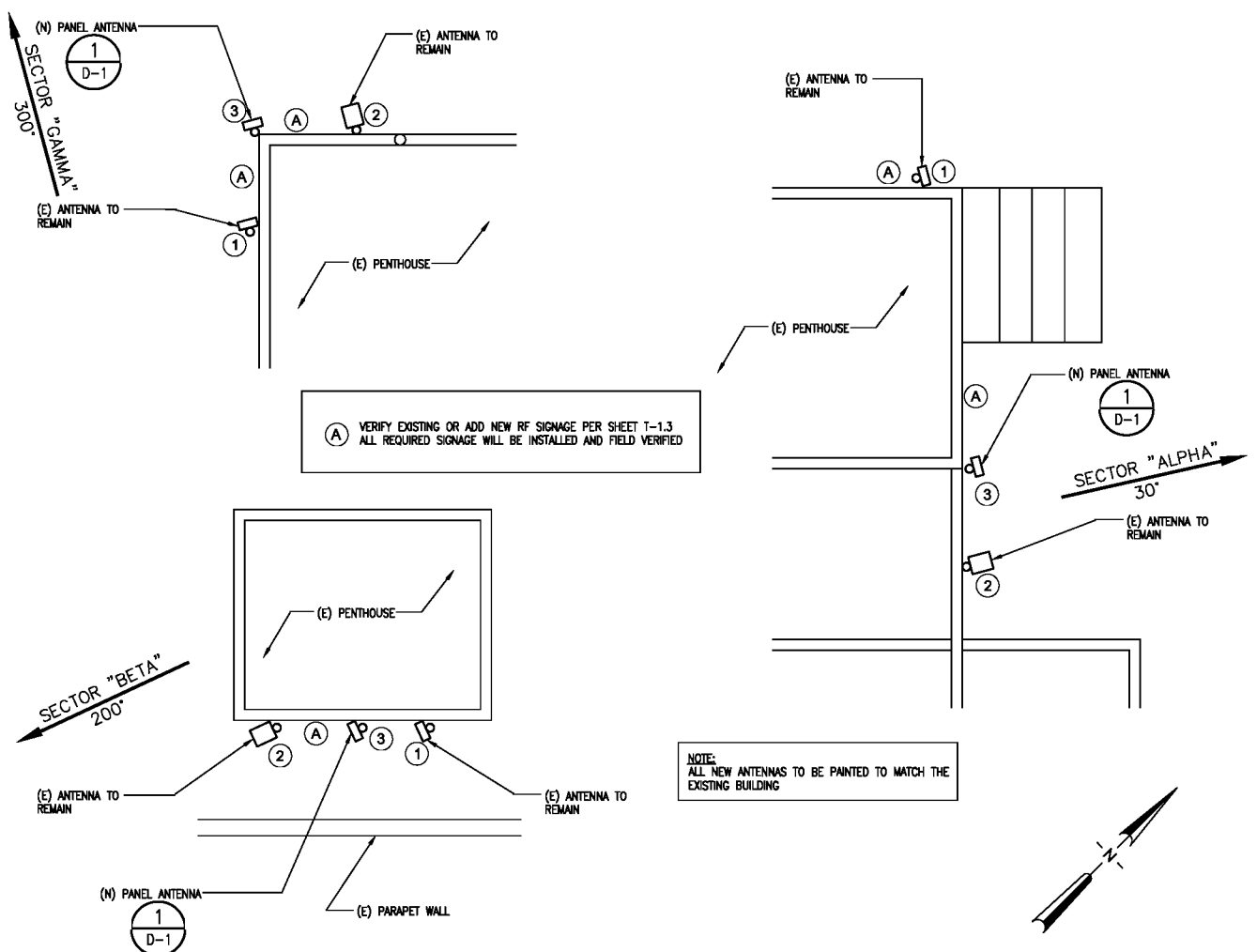
CDG
CONNELL DESIGN GROUP, LLC
CONSULTING CIVIL ENGINEERS
4805 MACARTHUR COURT, SUITES 480, NEWPORT BEACH CA 92660
(949) 753-8807 OFFICE • (949) 753-8833 FAX
CDG #: DG-8036

DRAWN BY: DC **CHK.:** SA **APV.:**

LICENSER:

SHEET TITLE:
GENERAL CONSTRUCTION NOTES, GENERAL NOTES, ABBREVIATIONS & LEGEND

SHEET NUMBER:
T-2

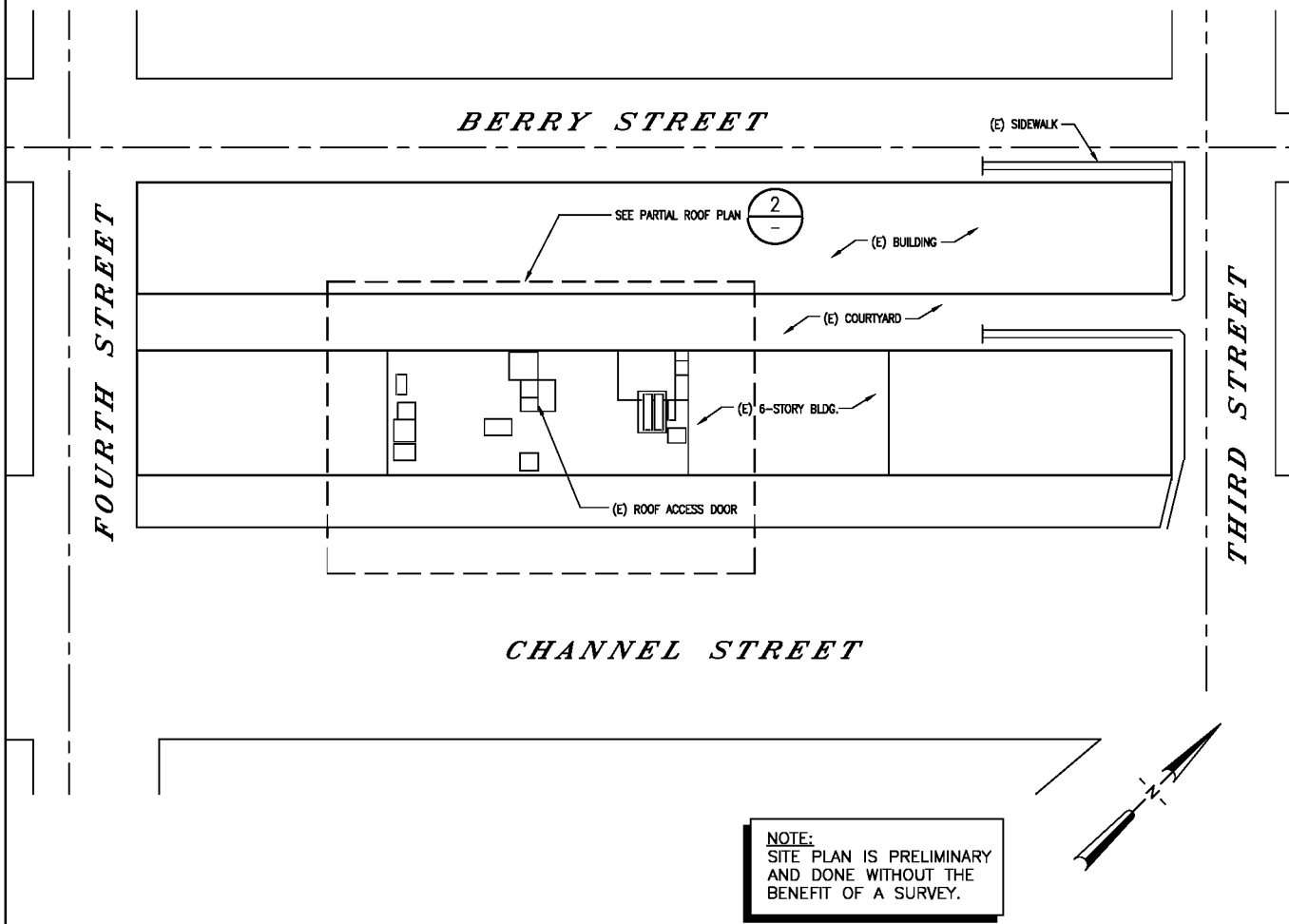


PARTIAL ROOF PLAN SCALE: 1/8"=1'-0" 3

SECTOR 'ALPHA'						
ANTENNA POSITION	EXISTING			PROPOSED		
	FREQUENCY	ANT. MODEL	ANTENNA SIZE (L x W x D) IN.	FREQUENCY	ANT. MODEL	ANTENNA SIZE (L x W x D) IN.
1	1900	923DG65T2E-M	51 x 7 x 3	NO CHANGE	NO CHANGE	NO CHANGE
2	850	DB854DG45ASX	48" x 12.5" x 5.5"	NO CHANGE	NO CHANGE	NO CHANGE
3	-	-	-	700	LNK8512DS-T4M	48 x 11.9 x 7.1

SECTOR 'BETA'						
ANTENNA POSITION	EXISTING			PROPOSED		
	FREQUENCY	ANT. MODEL	ANTENNA SIZE (L x W x D) IN.	FREQUENCY	ANT. MODEL	ANTENNA SIZE (L x W x D) IN.
1	1900	923DG65T2E-M	51 x 7 x 3	NO CHANGE	NO CHANGE	NO CHANGE
2	850	DB854DG85VTXY	48" x 12.5" x 5.5"	NO CHANGE	NO CHANGE	NO CHANGE
3	-	-	-	700	LNK8512DS-T4M	48 x 11.9 x 7.1

SECTOR 'GAMMA'						
ANTENNA POSITION	EXISTING			PROPOSED		
	FREQUENCY	ANT. MODEL	ANTENNA SIZE (L x W x D) IN.	FREQUENCY	ANT. MODEL	ANTENNA SIZE (L x W x D) IN.
1	1900	923DG85T2E-M	51 x 7 x 3	NO CHANGE	NO CHANGE	NO CHANGE
2	850	DB854DG85VTXY	48" x 12.5" x 5.5"	NO CHANGE	NO CHANGE	NO CHANGE
3	-	-	-	700	LNK6512DS-T4M	48 x 11.9 x 7.1



SITE PLAN SCALE: 1"=70'-0" 1

ANTENNA LAYOUT SCALE: 3/8"=1'-0" 2

verizonwireless
 VERIZON WIRELESS
 2785 MITCHELL DRIVE
 WALNUT CREEK, CA 94598

PROJECT INFORMATION:
CHINA BASIN
 PS NO. 123663
 185 BERRY STREET,
 SAN FRANCISCO, CA 94107

NSA Wireless, Inc.
 Site Acquisition • Planning • Construction Management • Site Modifications
 Bishop Ranch 15 1st Floor
 18847 Alcoa Blvd., Suite 110
 San Ramon, CA 94583
 (925) 244-1890 OFFICE

CURRENT ISSUE DATE:
07/21/09

ISSUED FOR:
100% CD

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3	07/21/09	100% CD	EN
2	07/09/09	100% CD	EN
1	04/23/09	100% CD	DC
0	03/30/09	90% CD	DC

CIVIL ENGINEER:
CDG
CONNELL DESIGN GROUP, LLC
 CONSULTING CIVIL ENGINEERS
 485 MACARTHUR COURT, SUITE 400, NEWPORT BEACH CA 92660
 (949) 753-8807 OFFICE • (949) 753-8833 FAX
 CDG#: 08-8036

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 LICENSER:

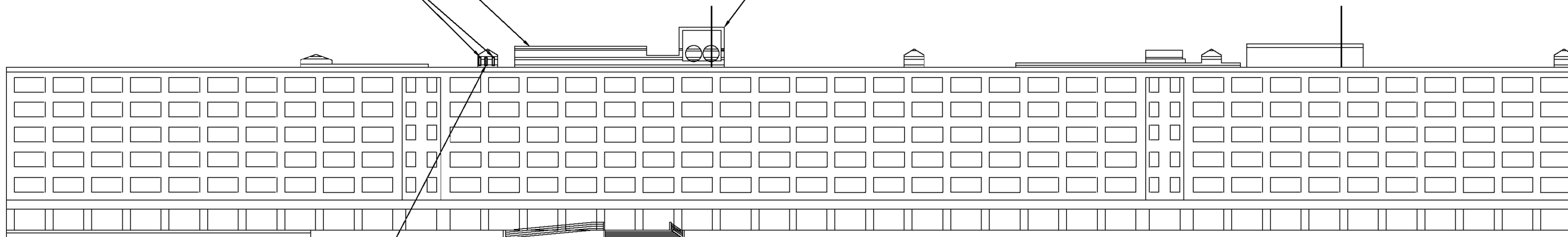
SHEET TITLE:
 SITE PLAN/ PARTIAL ROOF PLAN /
 ANTENNA LAYOUT

SHEET NUMBER:
A-1

(N) AND (E) VERIZON WIRELESS ANTENNAS (BEYOND SECTOR 'GAMMA')

(E) VERIZON WIRELESS ANTENNAS (SECTOR 'BETA')

(N) AND (E) VERIZON WIRELESS ANTENNAS (BEYOND SECTOR 'ALPHA')



(N) VERIZON WIRELESS ANTENNAS (SECTOR 'BETA')

NORTH WEST ELEVATION

SCALE: 1"=30'-0" 0 15' 30'

2

(N) METRO PCS ANTENNAS

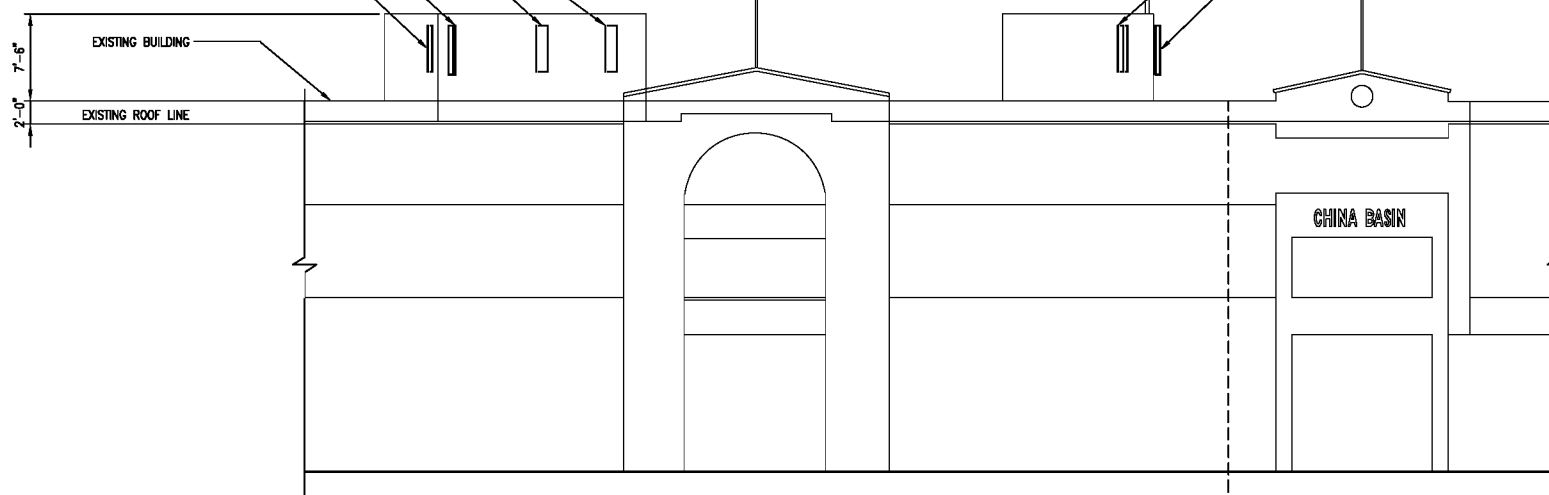
(E) VERIZON WIRELESS ANTENNAS (SECTOR 'ALPHA')

(N) VERIZON WIRELESS ANTENNAS (SECTOR 'ALPHA')

EXISTING BUILDING
EXISTING ROOF LINE

(E) VERIZON WIRELESS ANTENNAS (SECTOR 'GAMMA')

(N) VERIZON WIRELESS ANTENNAS (SECTOR 'GAMMA')



(E) VERIZON EQUIPMENT ROOM ON 4TH FLOOR OF (E) BUILDING

(E) COAX CABLE ROUTE TO ROOFTOP

PARTIAL SOUTH WEST ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8'

1



VERIZON WIRELESS
2785 MITCHELL DRIVE
WALNUT CREEK, CA 94598

PROJECT INFORMATION:

CHINA BASIN
PS NO. 123663
185 BERRY STREET,
SAN FRANCISCO, CA 94107

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1	04/23/09	100% CD	DC
0	03/30/09	90% CD	DC

CIVIL ENGINEER:



DRAWN BY: CHK.: APV.:

DC SA

LICENSER:

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A-2

PROJECT INFORMATION:

CHINA BASIN
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 185 BERRY STREET,
 SAN FRANCISCO, CA 94107

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 CDG#: 08-8036

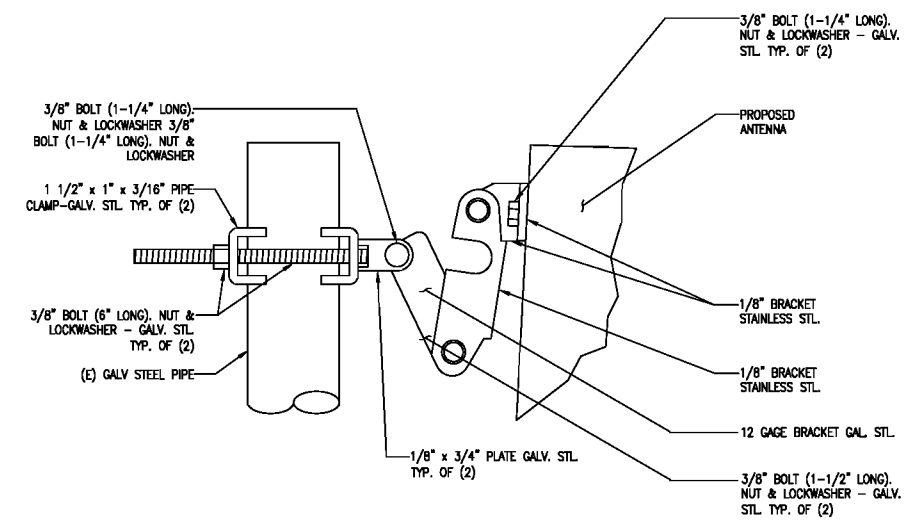
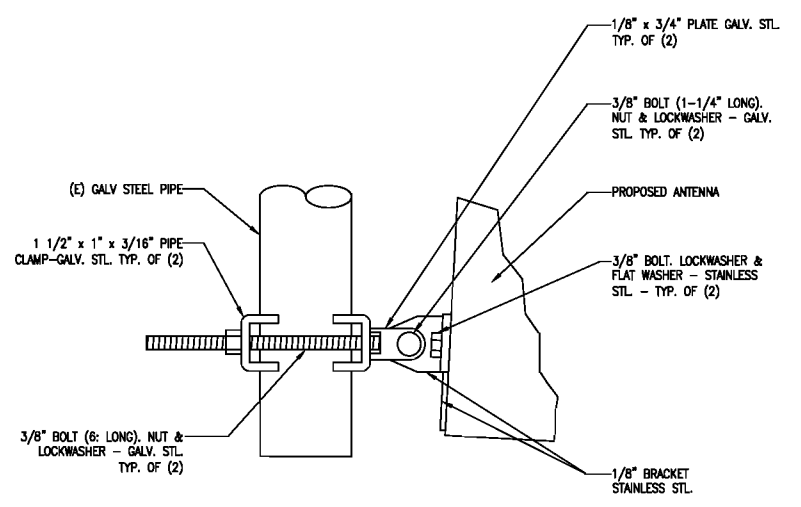
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 LICENSER:

SHEET TITLE:

DETAILS

SHEET NUMBER:

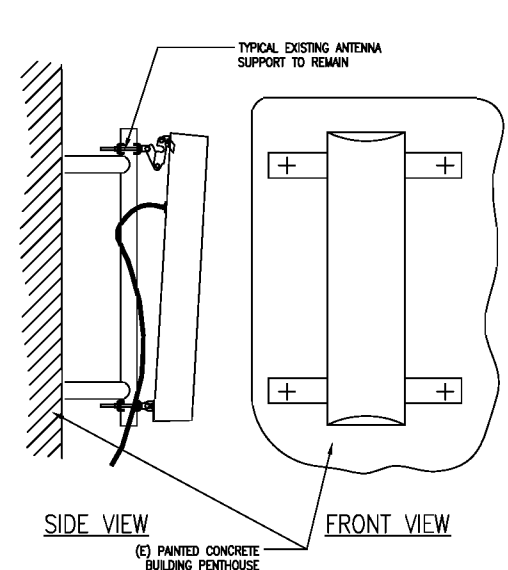
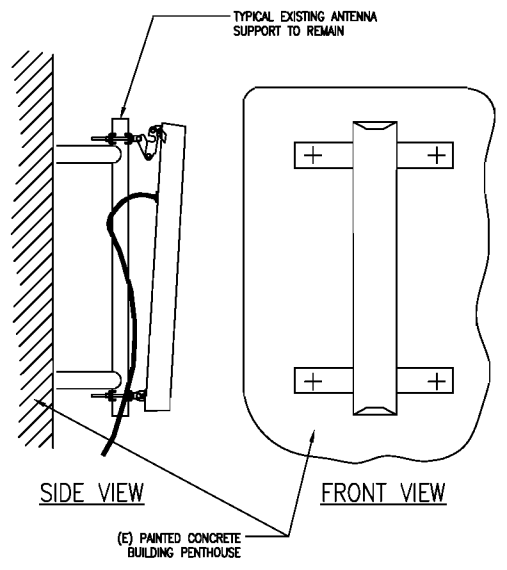
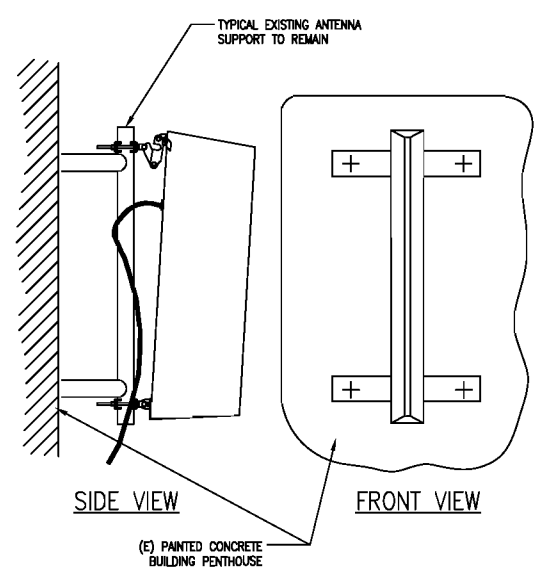
D-1



NOT USED SCALE: N.T.S. 10

LOWER ANTENNA MOUNTING BRACKET

SCALE: N.T.S. 4 UPPER ANTENNA SCALE: N.T.S. 1



NOT USED SCALE: N.T.S. 11

EXISTING ANTENNAS

SCALE: N.T.S. 7 NEW ANTENNAS

SCALE: N.T.S. 5 NEW ANTENNAS

SCALE: N.T.S. 2

NOT USED SCALE: N.T.S. 12

NOT USED

SCALE: N.T.S. 9 NOT USED

SCALE: N.T.S. 6 NOT USED

SCALE: N.T.S. 3