



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis

HEARING DATE FEBRUARY 4, 2010

Date: January 28, 2010
Case No.: 2009.1102 D
Project Address: 736 VALENCIA STREET
Permit Application: 2009.05.20.8779
Zoning: Valencia Street NCT (Neighborhood Commercial Transit) District
55-X Height and Bulk District
Block/Lot: 3588/005
Project Sponsor: Ron Mallia
736 Valencia St LLC
810 Market Street #1128
San Francisco, CA 94102
Staff Contact: Corey Teague – (415) 575-9081
corey.teague@sfgov.org
Recommendation: **Do not take DR and approve project as proposed.**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The proposal is to add an approximately 1500 square foot roof deck, increase the height of the existing elevator overrun penthouse to 14 feet 6 inches to provide elevator access to the roof deck, construct a second stair penthouse on the northern portion of the building to provide the required second means of egress per the San Francisco Building Code, and make several minor interior revisions.

SITE DESCRIPTION AND PRESENT USE

The site falls within the Valencia Street Neighborhood Commercial Transit District and is located on the west side of Valencia Street near the corner of 18th Street. The subject building is currently under construction and was originally approved by the Planning Commission on April 19, 2007, as part of a Discretionary Review (Case No. 2005.0937D). The 5-story building will contain 8 dwelling units, ground floor commercial space, and 8 ground floor parking spaces.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The Valencia Street corridor of the Mission neighborhood is quite varied in terms of land use and urban form. The area immediately surrounding the subject property includes residential, commercial (auto repair, animal hospital, restaurants, appliance sales, etc.), institutional (The Women's Building), and under-developed properties. Developed properties include buildings ranging from two to five stories.

HEARING NOTIFICATION

| TYPE | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|---------------|-----------------|----------------------|--------------------|---------------|
| Posted Notice | 10 days | January 25, 2010 | January 25, 2010 | 10 days |
| Mailed Notice | 10 days | January 25, 2010 | January 25, 2010 | 10 days |

PUBLIC COMMENT

The Department received five letters of support for the project as proposed.

| | SUPPORT | OPPOSED | NO POSITION |
|--|-------------------------------|---------|-------------|
| Adjacent neighbor(s) | | | |
| Other neighbors on the block or directly across the street | 2 | | |
| Neighborhood groups | Mission Merchants Association | | |

DR REQUESTOR

Sue Hestor (for the Mission Anti-Displacement Coalition)
810 Market Street #1128
San Francisco, CA 94102.

ISSUES AND RESPONSES

Issue 1: The project has been constructed beyond the scope of the original permit and of the current building permit application.

Response: While the proposed roof work began before an additional building permit was filed, Building Permit Application No. 2009.05.20.8779—for which this Discretionary Review application was filed—constitutes the required permit to exceed the scope of work of the original permit. The Department of Building Inspection issued a Notice of Violation on November 20, 2009, for starting this work. This Notice of Violation will be abated once the building permit in question is approved by the Planning Department and the Department of Building Inspection.

Issue 2: The proposed roof deck is very large and presents a noise problem for the surrounding residents. It is also positioned to look down into neighboring rear yards. The roof deck should be smaller, positioned toward Valencia Street, and/or provide sound reduction elements.

Response: The building includes a 25-foot rear setback at the second floor and above, and a front setback of 10 feet at the 5th floor. Additionally, the proposed roof deck includes a 5-foot setback on each

side. This creates a total rear setback of 30 feet and a total front setback of 15 feet to the roof deck. These setbacks help reduce potential noise or privacy issues for surrounding properties.

Issue 3: The DR Requestor states that the height limit must be observed.

Response: The building under construction is slightly less than 50 feet in height in a 55-foot height district. The elevator penthouse could extend up to 16 feet above the roof line. However, it was proposed for 14 feet 6 inches. As part of the work referenced in DBI's Notice of Violation, the sponsor actually constructed the elevator penthouse to 16 feet above the roofline. The penthouse will be revised to only extend 14 feet 6 inches, as it was noticed.

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One (e)(1) - Minor Alteration of Existing Facility).

RESIDENTIAL DESIGN TEAM REVIEW

The request for Discretionary Review was not reviewed by the Department's Residential Design Team (RDT) because the Residential Design Standards do not apply to the subject property since it is in a Neighborhood Commercial District. Senior Management reviewed the proposal and determined that there were no exceptional or extraordinary circumstances.

Under the Planning Department's proposed DR Reform Policy, this project would not be referred to the Planning Commission as this project does not meet the threshold of exceptional or extraordinary.

BASIS FOR RECOMMENDATION

The Department believes the project does not have exceptional or extraordinary circumstances for the following reasons:

- Roof decks are a common form of open space, especially for larger residential buildings.
- The proposed size and location of the roof deck should not have a significant impact on the surrounding neighborhood.

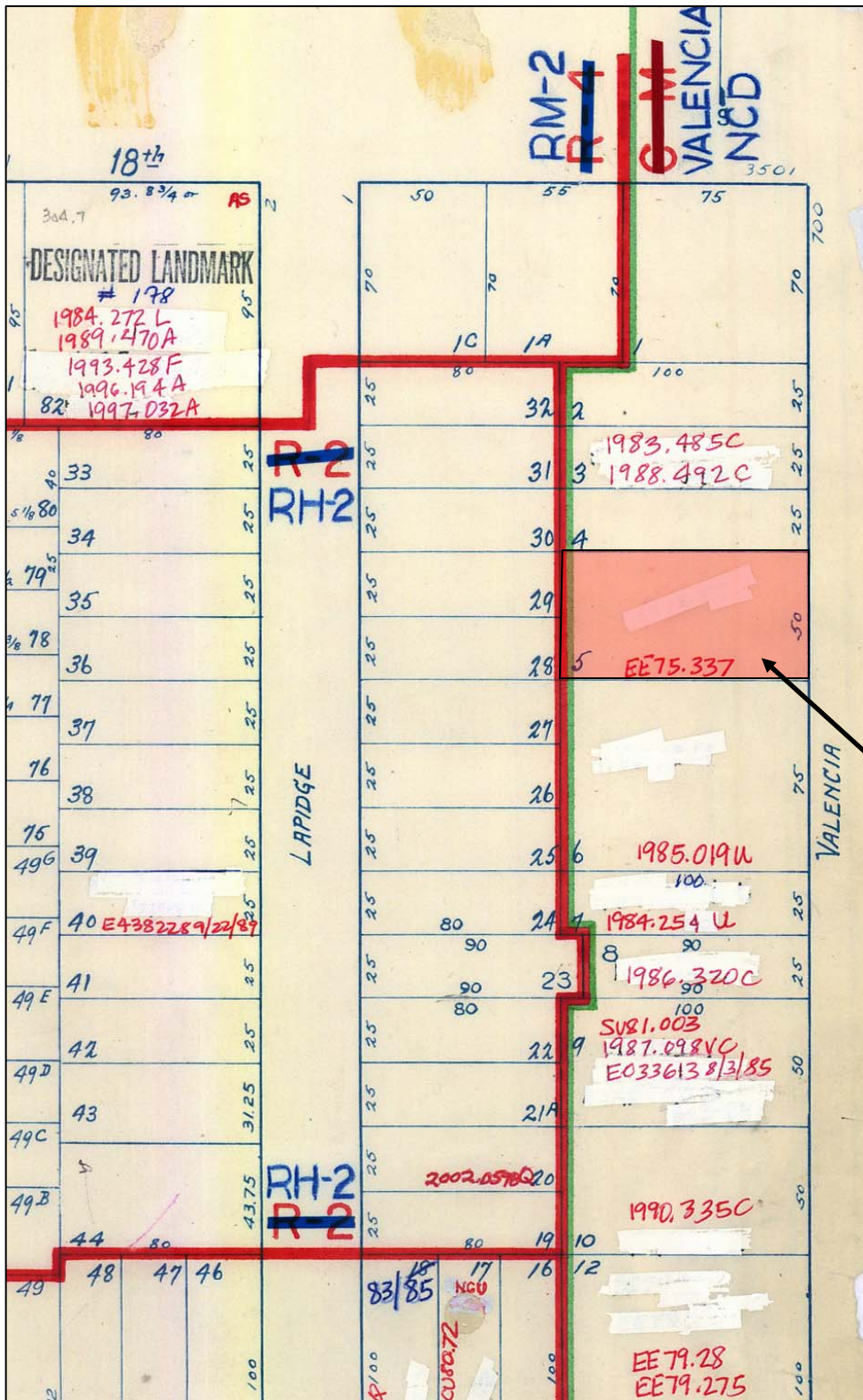
| |
|--|
| RECOMMENDATION: Do not take DR and approve project as proposed. |
|--|

Attachments:

Block Book Map
Sanborn Map
Aerial Photographs
Site Photographs
Section 311 Notice
DBI Notice of Violation

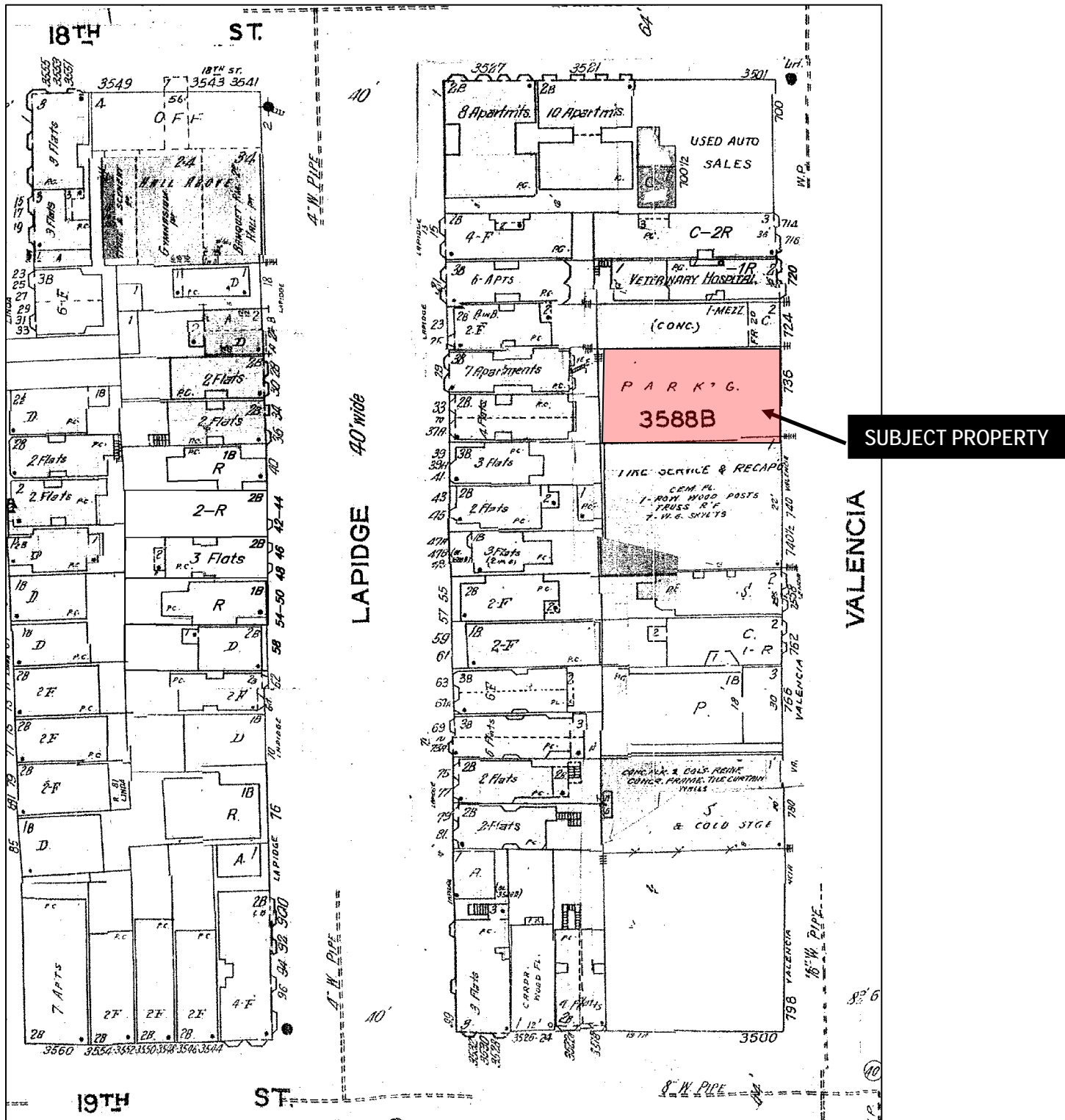
DR Application
Response to DR Application dated January 21, 2010
Letters of Support
DBI-Issued Plans for Original Project
Reduced Plans

Block Book Map



Discretionary Review Hearing
 Case Number 2009.1102D
 Roof Deck Addition
 736 Valencia Street

Sanborn Map*

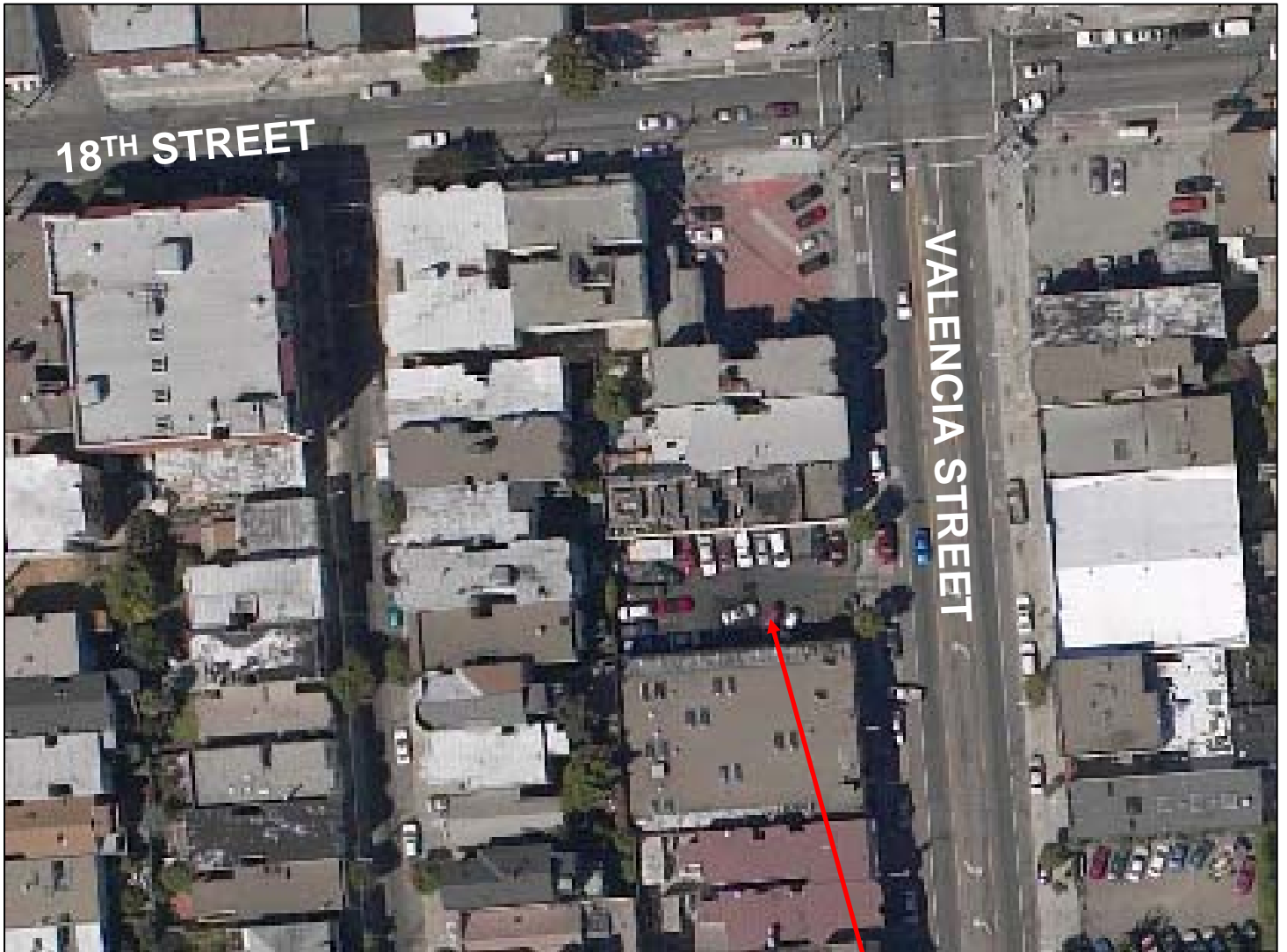


*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.



Discretionary Review Hearing
 Case Number 2009.1102D
 Roof Deck Addition
 736 Valencia Street

Aerial Photo

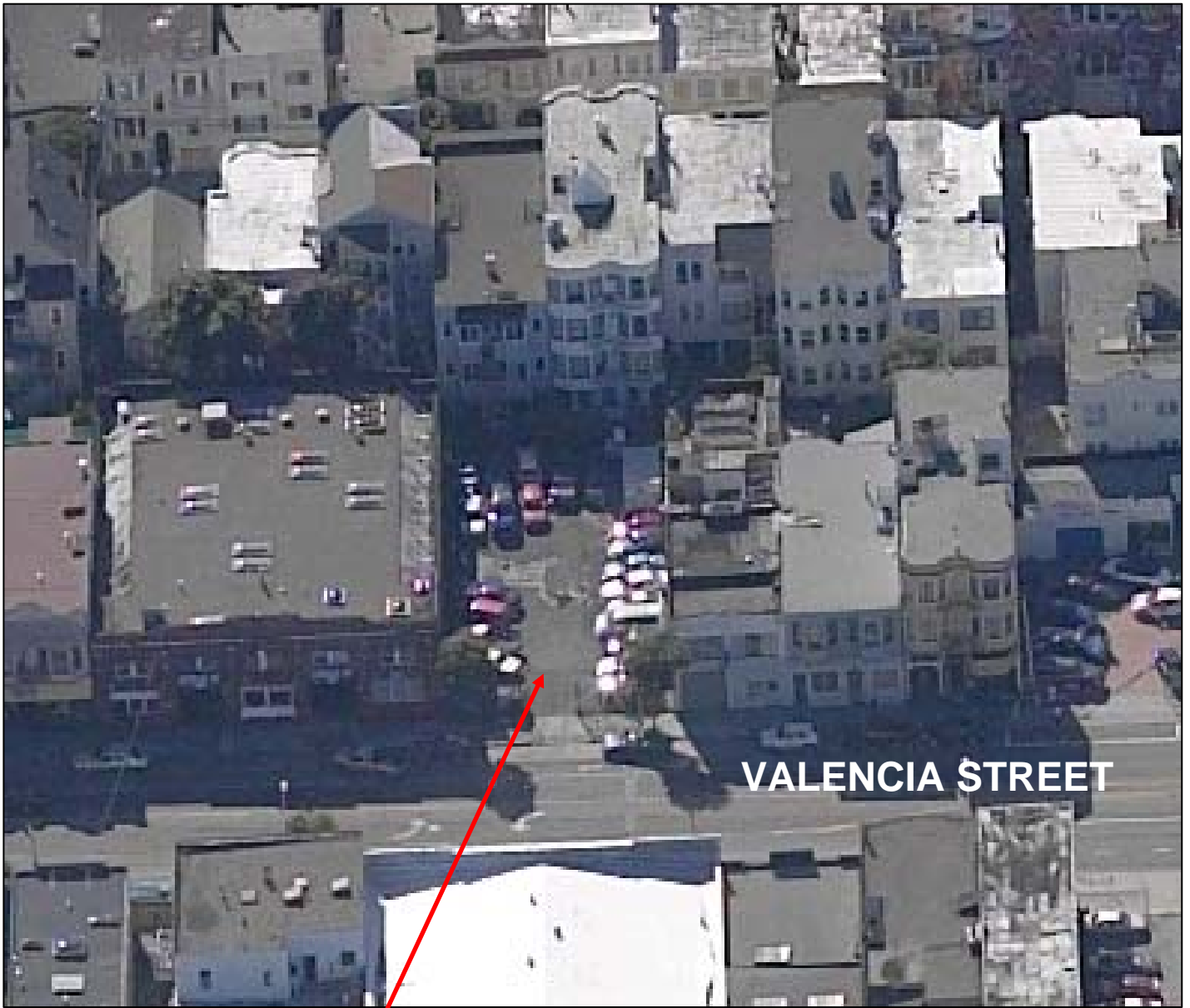


SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2009.1102D
Roof Deck Addition
736 Valencia Street

Aerial Photo



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2009.1102D
Roof Deck Addition
736 Valencia Street

Site Photo



Discretionary Review Hearing
Case Number 2009.1102D
Roof Deck Addition
736 Valencia Street

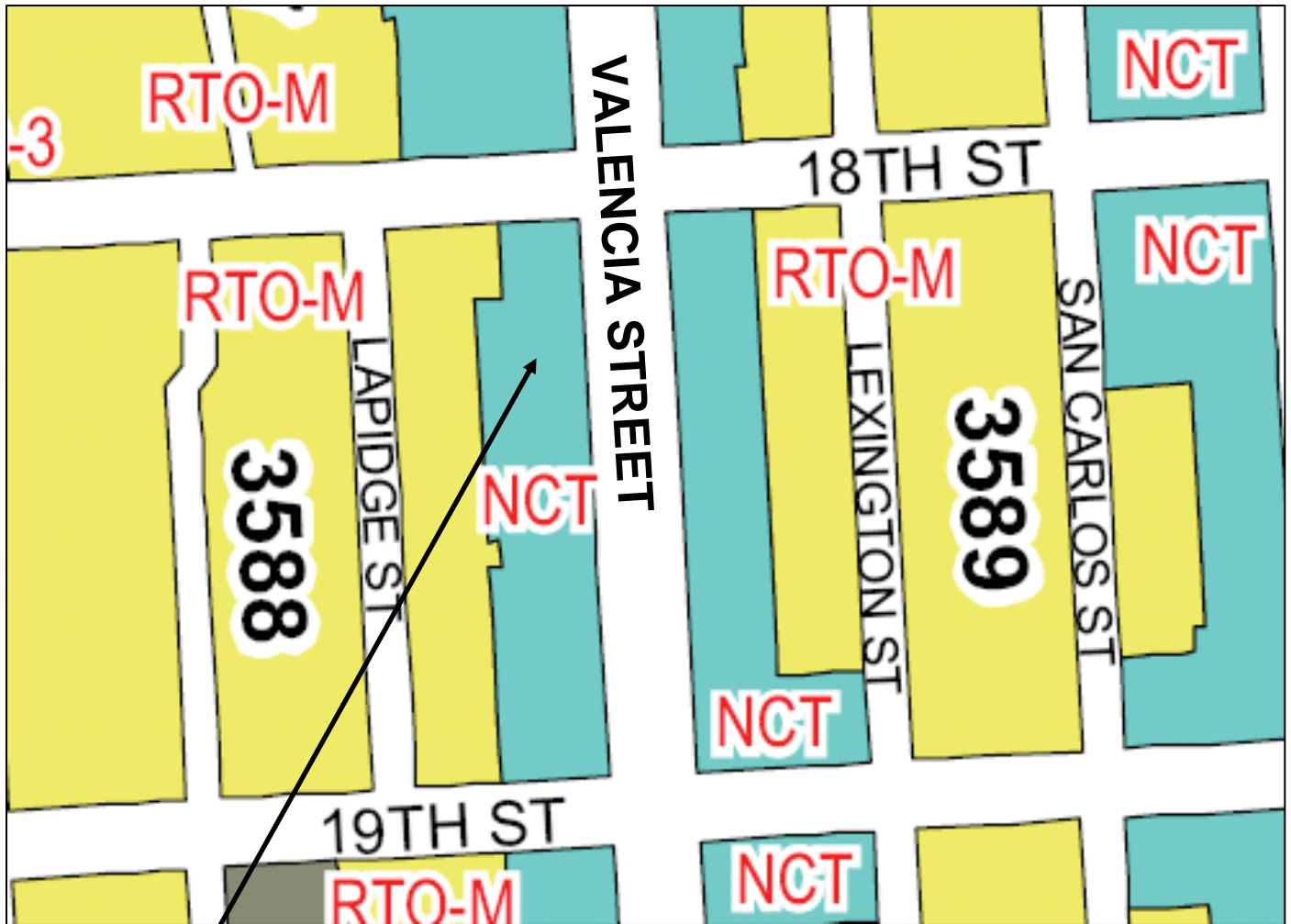
Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2009.1102D
Roof Deck Addition
736 Valencia Street

Zoning Map



SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2009.1102D
Roof Deck Addition
736 Valencia Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 312)

On May 20, 2009, the Applicant named below filed Building Permit Application No. 2009.05.20.8779 (Alteration) with the City and County of San Francisco.

| CONTACT INFORMATION | | PROJECT SITE INFORMATION | |
|---------------------|-------------------------|----------------------------|---|
| Applicant: | Jeremy Paul | Project Address: | 736 Valencia Street |
| Address: | 60 Otis Street | Cross Streets: | btw 18 th and 19 th Streets |
| City, State: | San Francisco, CA 94103 | Assessor's Block /Lot No.: | 3588 / 005 |
| Telephone: | (415) 999-9050 | Zoning Districts: | Valencia Street NCT / 55-X |

Under San Francisco Planning Code Section 312, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

| PROJECT SCOPE | | |
|--|--------|--|
| <input type="checkbox"/> DEMOLITION | and/or | <input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION |
| <input checked="" type="checkbox"/> VERTICAL EXTENSION | | <input type="checkbox"/> CHANGE # OF DWELLING UNITS <input checked="" type="checkbox"/> FACADE ALTERATION(S) |
| <input type="checkbox"/> HORIZ. EXTENSION (FRONT) | | <input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input type="checkbox"/> HORIZ. EXTENSION (REAR) |

| PROJECT FEATURES | EXISTING CONDITION | PROPOSED CONDITION |
|---|------------------------------|--------------------|
| BUILDING USE | Commercial/Residential | No Change |
| FRONT SETBACK | None | No Change |
| SIDE SETBACKS | None | No Change |
| BUILDING DEPTH | +75 feet | No Change |
| REAR YARD (on second level) | +25 feet | No Change |
| HEIGHT OF BUILDING | +50 feet | No Change |
| HEIGHT OF BUILDING (to top of penthouses) | +58 feet | +64 feet 6 inches |
| NUMBER OF STORIES | 5 | No Change |
| NUMBER OF DWELLING UNITS | 8 | No Change |
| NUMBER OF OFF-STREET PARKING SPACES | 8 | No Change |

PROJECT DESCRIPTION

The proposal is increase the height of the existing elevator penthouse to 14'-6" and add a second stair penthouse on the roof. The plans also include the addition of a roof deck, minor interior modifications, and minor façade changes not subject to the Section 312 Neighborhood Notification and not shown on the plans. See attached plans.

PLANNER'S NAME: Erika S. Jackson
 PHONE NUMBER: (415) 558-6363
 EMAIL: erika.jackson@sfgov.org

DATE OF THIS NOTICE: 10/26/09
 EXPIRATION DATE: 11/25/09



NOTICE OF VIOLATION

of the San Francisco Municipal Codes Regarding Unsafe, Substandard or Noncomplying Structure or Land or Occupancy

DEPARTMENT OF BUILDING INSPECTION

City and County of San Francisco
1660 Mission St. • San Francisco, CA 94103 - 2414

- FIRST NOTICE
- SECOND NOTICE
- OTHER: _____

COMPLAINT NUMBER

ADDRESS 736 VALENCIA STREET

DATE 11/20/09

OCCUPANCY/USE R-1, M, U-1

BLOCK 3588 LOT 005

CONST. TYPE VA over Type I

STORIES 4 BASEMENT

If checked, this information is based upon site observation only. Further research may indicate that legal use is different. If so, a revised Notice of Violation will be issued.

OWNER / AGENT 736 VALENCIA STREET LLC PHONE # _____

MAILING ADDRESS 740 VALENCIA STREET CITY SAN FRANCISCO ZIP 94110

PERSON CONTACTED @ SITE Mike Buckley PHONE # 415 240 0890

VIOLATION DESCRIPTION:

- WORK WITHOUT PERMIT (SFBC 103A); ADDITIONAL WORK-PERMIT REQUIRED (SFBC 106A.4.7);
- EXPIRED PERMIT (SFBC 106A.4.4); CANCELLED PERMIT (SFBC 106A.3.7) PA# _____;
- UNSAFE BUILDING (SFBC 102A); SEE ATTACHMENTS

Exceeding Scope of Work Permit # 200602084114

Elevator / STAIRWAY Penthouse @ South Side of Building
Nine and one half feet taller than approved plans

Creation of STAIRWAY Doghouse on North Side of
Building Nine feet two inches above unfinished roof
Approved plans have stairway ending @ 4th floor

BC - Building Code HC - Housing Code PC - Plumbing Code EC - Electrical Code MC - Mechanical Code

CORRECTIVE ACTION:

- STOP ALL WORK SFBC 104A.2.4
- FILE BUILDING PERMIT APPLICATION WITHIN 10 DAYS WITH PLANS) A Copy of This Notice Must Accompany the Permit Application.
- OBTAIN PERMIT WITHIN _____ DAYS AND COMPLETE ALL WORK WITHIN _____ DAYS, INCLUDING FINAL INSPECTION AND SIGNOFF.
- CORRECT VIOLATIONS WITHIN _____ DAYS. NO PERMIT REQUIRED.
- YOU FAILED TO COMPLY WITH THE NOTICE(S) DATED _____, THEREFORE THIS DEPT. HAS INITIATED ABATEMENT PROCEEDINGS.
- FAILURE TO COMPLY WITH THIS NOTICE WILL CAUSE ABATEMENT PROCEEDINGS TO BEGIN. SEE REVERSE SIDE FOR ADDITIONAL WARNINGS.

Obtain A Building Permit For Work Done Exceeding
Permit # 200602084114 Failure To Comply will cause
Abatement Proceedings to Begin!

INVESTIGATION FEE OR OTHER FEE WILL APPLY See reverse side for further explanation

- 9x Fee (Work w/o Permit after 9/1/60)
- 2x Fee (Work Exceeding Scope of Permit)
- Other _____
- Reinspection Fee \$ _____
- No penalty (Work w/o permit prior to 9/1/60)

APPROX. DATE OF WORK W/O PERMIT 9/20/09 VALUE OF WORK PERFORMED WITHOUT PERMIT \$10,000

BY ORDER OF THE DIRECTOR, DEPARTMENT OF BUILDING INSPECTION

CONTACT INSPECTOR Tom Fessler (Inspector - Print Name)

OFFICE HOURS 7:30 TO 8:30 AM AND 3:00 TO 4:00 PM

PHONE # 415-575-6923

By: (Inspector's Signature) [Signature] DISTRICT # 8

CC DCP EID PID BID HIS CED PRS DAD SFFD DPH PS

- Building Inspection Division
3rd Floor, 1660 Mission St. 558-6096
- Housing Inspection Services
6th Floor, 1660 Mission St. 558-6220
- Electrical Inspection Division
3rd Floor, 1660 Mission St. 558-6030
- Plumbing Inspection Division
3rd Floor, 1660 Mission St. 558-6054
- Code Enforcement Division
3rd Floor, 1660 Mission St. 558-6454

APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name MISSION ANTI-DISPLACEMENT COALITION Telephone No: 531-4239

D.R. Applicant's Address CLONIC PACOYATOS 938 VALENCIA
Number & Street (Apt. #)
SF 94110
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): _____
If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name SUE HESSON, MAC ANOBER Telephone No: _____

Address 870 MARKET #1128
Number & Street (Apt. #)
SF 94102
City Zip Code

Address of the property that you are requesting the Commission consider under the Discretionary Review: 736 Valencia Street

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: Ron Mallia

Building Permit Application Number of the project for which you are requesting D.R.: 2009-05-20-8779

Where is your property located in relation to the permit applicant's property?
NEIGHBORHOOD ORGANIZATION THAT CHALLENGED ORIGINAL PERMIT FOR THIS PROJECT

A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

1. Have you discussed this project with the permit applicant? YES NO
2. Did you discuss the project with the Planning Department permit review planner? YES NO
3. Did you participate in outside mediation on this case? Community Board Other NO

4. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the results, including any changes that were made to the proposed project so far.

NO CHANGES - THIS WAS ALREADY A DR - AND HAS BEEN
MODIFIED POST COMMISSION ACTION

B. DISCRETIONARY REVIEW REQUEST

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

The project has been constructed beyond the scope of the original permit and of the current permit application.

The original permit did not include a roof deck. The roof deck presents a noise problem for the surrounding residents. No sound reduction is present to minimize this issue.

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

The height limit must be observed.

A roof deck places a noise source at a high point from which sound will travel readily and create an excessive disturbance to the surrounding neighbors.

This roof deck is very large and can accommodate a large crowd, thereby increasing the nuisance.

The deck is positioned so as to look down into private back yards.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

The height limit must be observed.

The deck should be eliminated or made smaller, positioned toward Valencia Street (a public street), and have sound reduction elements so as to preserve the privacy and quiet enjoyment of the surrounding back yards.

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

CHECKLIST FOR APPLICANT:

Indicate which of the following are included with this Application:

REQUIRED:

- Check made payable to Planning Department (see current fee schedule).
- Address list for nearby property owners, in label format, plus photocopy of labels. *FILED W/ OTHER ON*
- Letter of authorization for representative/agent of D.R. applicant (if applicable).
- Photocopy of this completed application.

OPTIONAL:

- Photographs that illustrate your concerns.
- Covenants or Deed Restrictions.
- Other Items (specify).

File this objection in person at the Planning Information Center. If you have **questions** about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.

Signed

Joe C. Jesta
Applicant

11/25/09

Date



SAN FRANCISCO PLANNING DEPARTMENT

RECEIVED

JAN 21 2010

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

RESPONSE TO DISCRETIONARY REVIEW

CASE NO.: 2009.1102D
BUILDING PERMIT NO.: 2009.05.20.8779
ADDRESS: 736 Valencia Street

PROJECT SPONSOR'S NAME: Ronald J. Mallia
TELEPHONE NUMBER FOR PLANNING DEPARTMENT TO CONTACT.: (415) 307-1525

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

Please see attached DR response

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

Please see attached DR response

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Please see attached DR response

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

| Number of | Existing* | Proposed |
|---|-------------------|----------|
| Dwelling units (only one kitchen per unit – additional kitchens count as additional units) | 8 | 8 |
| Occupied stories (all levels with habitable rooms) | 4 | 4 |
| Basement levels (may include garage or windowless storage rooms) | 1 | 1 |
| Parking spaces (off-street) | 8 | 8 |
| Bedrooms | 16 | 16 |
| Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas | 15,775 | 15,775 |
| Height | 49' 10" | 49' 10" |
| Building depth * * | 75' | 75' |
| Most recent rent received (if any) | N/A | |
| Projected rents after completion of project | market conditions | unknown |
| Current value of property | " | |
| Projected value (sale price) after completion of project (if known) | | N/A |

G:\DOCUMENTS\Instructions and Applications\DR Response Form.doc

* under construction
 * * at ground level
 49' at roof level

RESPONSE TO DISCRETIONARY REVIEW ATTACHMENT

Case No. : 2009.1102D
Building Permit No. : 2009.05.20.8779
Address: 736 Valencia Street
Project Sponsor's Name: Ronald J. Mallia

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved?

- Neighbors on the block are supportive of a roof deck
- The Mission Area Plan affords greater flexibility as to where open space can be provided on new developments that are mixed-use zoned (Policy 3.1.10)
- The roof deck will enhance the quality of life of the building's residents and guests
- The Building Services Department has approved the roof deck design
- The roof deck is set back from all four property lines: 5' from the eastern, northern and southern property lines and 30' from the western property line

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties?

- Downsize the elevator penthouse from a height of 16' 6" down to 14' 6" above the roof deck, which is the minimum height per the California Building Code
- Place noise guidelines in the building's Rules for Enjoyable Living
- Provide neighbors with the building owner's direct telephone numbers to expeditiously address complaints

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties.

Not Applicable. Please see ameliorating changes noted in # 2 above.

January 20, 2010

Grub
758 Valencia Street
San Francisco, Ca 94110

RECEIVED

JAN 27 2010

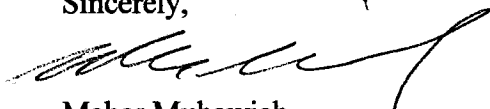
CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

Re: 736 Valencia Rooftop

To Whom It May Concern:

My name is Maher Muhawieh and I'm a restaurant proprietor next door at 758 Valencia Street. I first want to thank Ron Mallia for being an aesthetically conscientious developer, his building at 736 Valencia is the most beautiful building there is in the Mission District. He has made our block, filled with eye soars a block to be proud of. The gorgeous presence of this building adds character and enhances the quality of the neighborhood as a whole. I'm in complete approval of his rooftop deck; it's going to be a perfect compliment to this building and to the neighborhood. Its buildings like these that beautify a neighborhood and clean out a lot of the riff raff that's associated with covered up storefronts and dark buildings.

Sincerely,



Maher Muhawieh

January 21, 2010

Corey Teague
San Francisco Planning Department
1650 Mission Street
Suite 400
San Francisco CA 94103-2479

Dennis O'Donovan
84 Sycamore Street, #2
San Francisco CA 94110

Re: 736 Valencia Street Discretionary Review Hearing

Dear Mr. Teague,

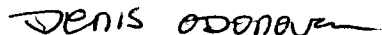
I am a resident of the neighborhood where Mr. Mallia is completing a very attractive building where there had previously been an empty lot with a cyclone fence.

Having a usable roof deck on that building would enhance the neighborhood in my opinion.

Seeing no problems, I would ask the Planning Commission to approve the requested roof deck on his building.

Sincerely,

Dennis O'Donovan



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JAN 27 2010

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

January 21, 2010

Corey Teague
San Francisco Planning Department
1650 Mission Street
Suite 400
San Francisco CA 94103-2479

Sharon Ballard
84 Sycamore Street, #3
San Francisco CA 94110

Re: 736 Valencia Street Discretionary Review Hearing

Dear Mr. Teague,

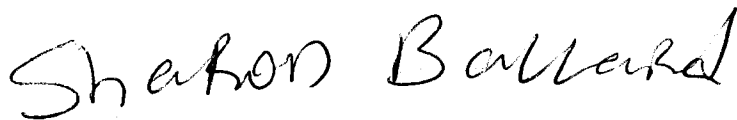
I live about one block from the new building being constructed at 736 Valencia Street.

It seems to me that a usable roof deck would add to the enjoyment of the future residents of that building without hurting anyone.

Therefore I would ask the Planning Commission to approve the requested roof deck on his building.

Sincerely,

Sharon Ballard

A handwritten signature in black ink that reads "Sharon Ballard". The signature is written in a cursive, slightly slanted style.

RECEIVED

JAN 27 2010

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

RECEIVED

JAN 15 2010

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

January 4, 2010

Corey Teague
San Francisco Planning Department
1650 Mission Street
Suite 400
San Francisco CA 94103-2479

Re: 736 Valencia Street Discretionary Review Hearing

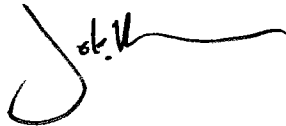
Dear Mr. Teague,

I own three parcels across the street from the mixed-use building being constructed at 736 Valencia Street. My properties have the street addresses of 739/41, 757 and 777 Valencia Street.

I wish to go on public record as being fully supportive of the proposed operative roof deck on my neighbor's beautiful building at 736 Valencia Street.

The fact that the roof deck will have both elevator and stair access means that it can be enjoyed by all the residents and visitors to that building. That seems a very appropriate and inclusive way of creating open space on a block that is beginning to show signs of resurgence.

Sincerely,

A handwritten signature in black ink, appearing to read "Jack Knowles", with a stylized flourish extending to the right.

Jack Knowles
Valencia Street Properties, LLC

RECEIVED

JAN 15 2010

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
NEIGHBORHOOD PLANNING

January 14, 2010

Corey Teague
San Francisco Planning Department
1650 Mission Street
Suite 400
San Francisco CA 94103-2479

Re: 736 Valencia Street Discretionary Review Hearing

Dear Mr. Teague,

A roof deck on the mixed-use property located at 736 Valencia Street is an extremely appropriate and desirable means to create open space on that parcel.

In this regard, I would like to refer to Policy 3.1.10 of the Mission Area Plan (December 2007, page 38):

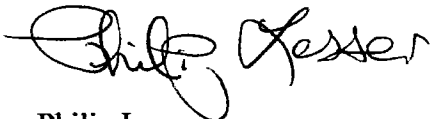
“New development should respect existing patterns of rear yard open space. Where an existing pattern of rear yard open space does not exist, new development on mixed-use-zoned parcels should have greater flexibility as to where open space can be located.”

Having open space in the form of a roof deck on 736 Valencia Street, which affords breath-taking views of much of the northeastern sections of San Francisco, seems to be exactly in accord with this policy, especially since the adjoining parcels have no rear yard open space.

While the roof deck will prove to be highly desirable to the residents and guests of 736 Valencia Street, the set backs of this roof deck from Valencia Street and the adjoining buildings assures that its use should be of minor consequence to the neighbors, many of whom also have roof decks.

I therefore strongly recommend that the Planning Commission approve the requested roof deck on his building –with the code required means of egress. Approval is in full accord with the Mission Area Plan; it will greatly enhance the quality of life of the buildings’ inhabitants and guests; and it will not be burdensome to the neighbors.

Respectfully submitted,



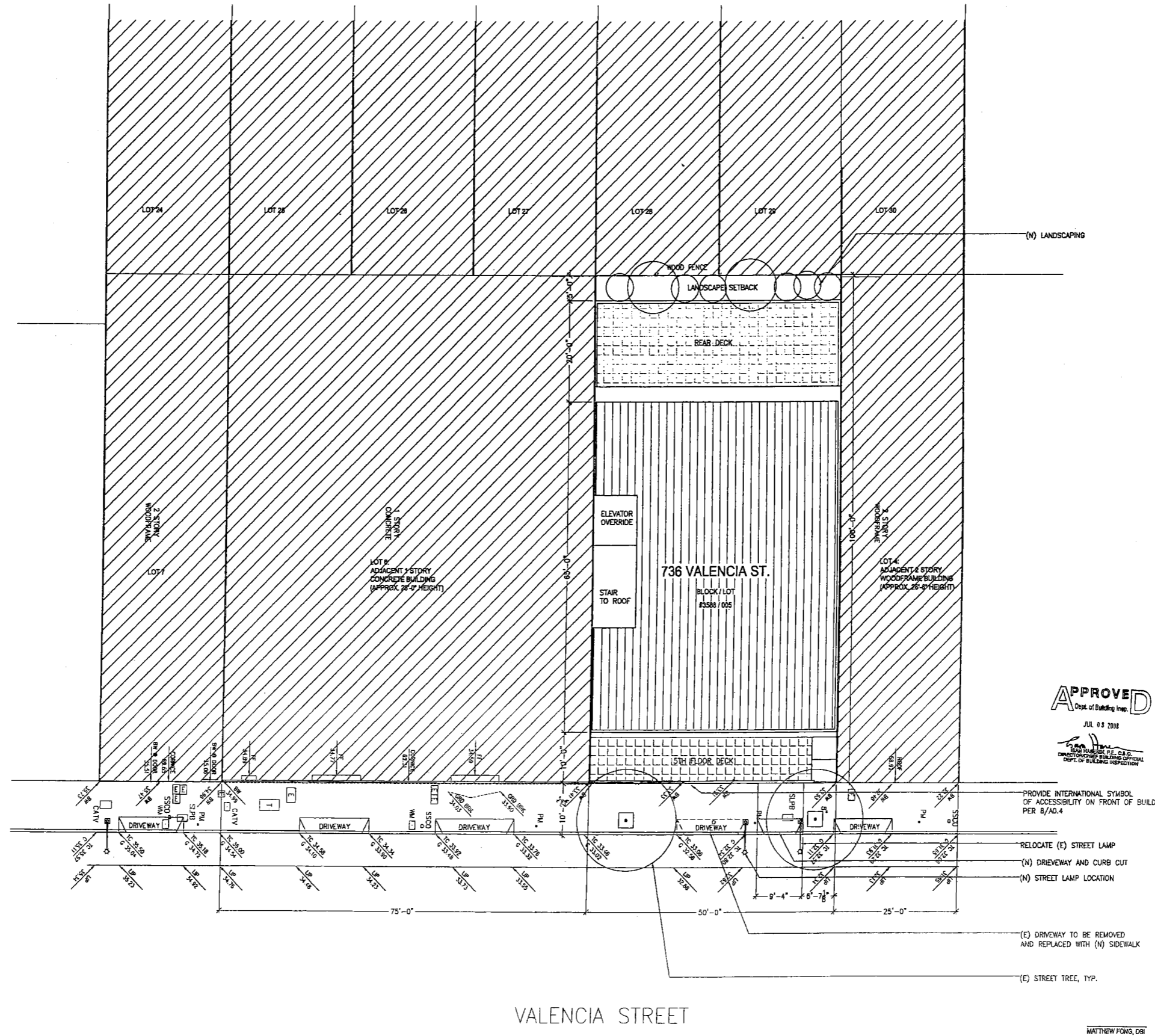
Philip Lesser
Vice President, Government & Media Relations
Mission Merchants Association

736 VALENCIA STREET

ORIGINAL CONSTRUCTION PLANS

ISSUED BY

DEPARTMENT OF BUILDING INSPECTION



APPROVED
 Dept. of Building Insp.
 JUL 03 2008
 [Signature]
 DIMENSIONAL BUILDING SPECIALIST
 DEPT. OF BUILDING INSPECTION

736 VALENCIA STREET
 BLOCK/LOT: #3588/005
 SAN FRANCISCO, CA
 PROJECT NO. 2005-20



- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY ON FRONT OF BUILDING, PER 8/AD.4
- RELOCATE (E) STREET LAMP
- (N) DRIVEWAY AND CURB CUT
- (N) STREET LAMP LOCATION
- (E) DRIVEWAY TO BE REMOVED AND REPLACED WITH (N) SIDEWALK
- (E) STREET TREE, TYP.

| DATE | ISSUE |
|----------|---------------------|
| 07.19.07 | BUILDING PERMIT |
| 11.05.07 | PLAN CHECK COMMENTS |
| 05.05.08 | PLAN CHECK COMMENTS |

CONTACT: TOBY LEVY

SCALE: AS NOTED

SHEET: SITE PLAN

A1.1

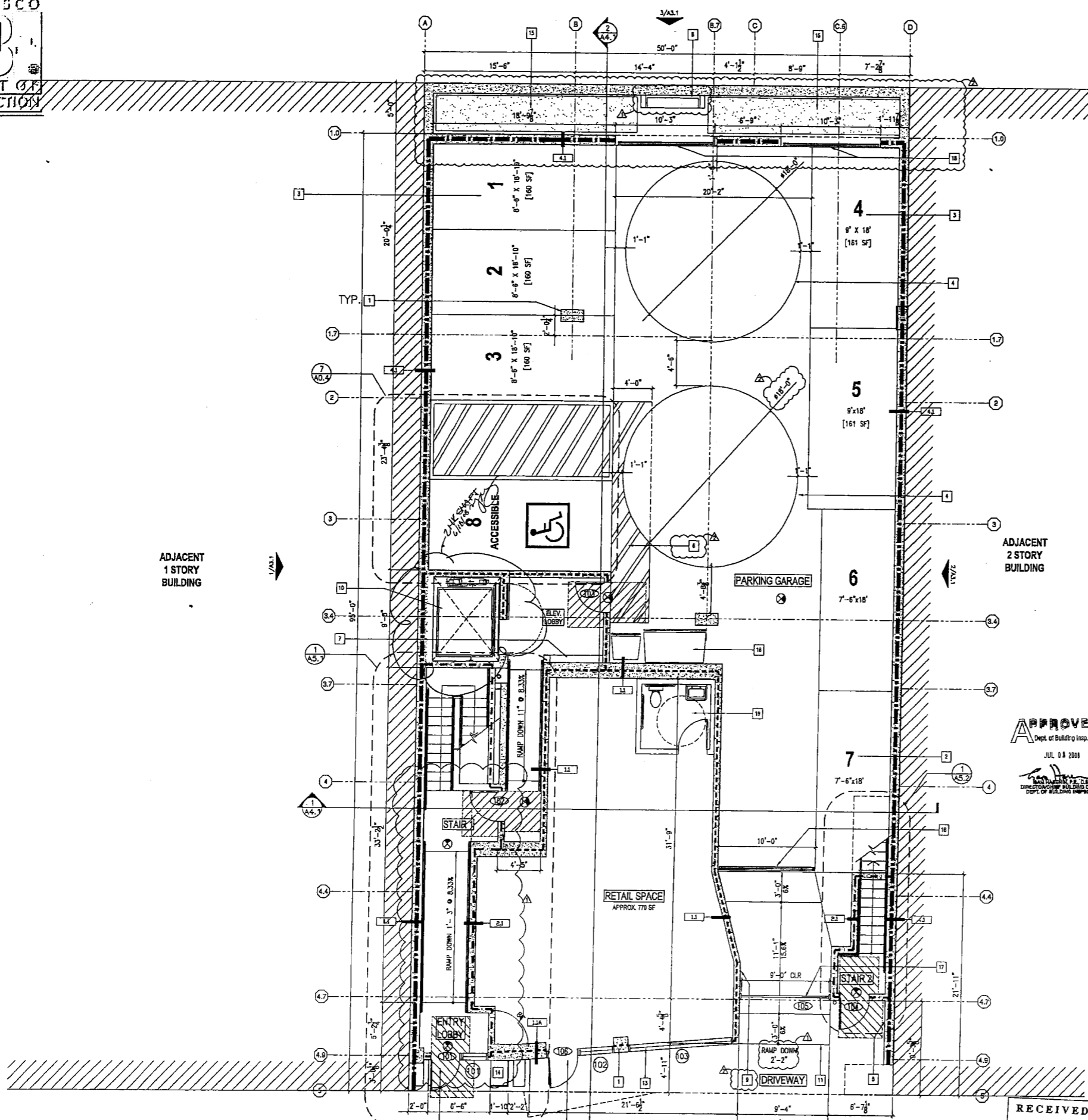
RECEIVED
 MAY 29 2008
 DEPT. OF BUILDING INSPECTION
 STANDARD FOR MICROFILMING
 ACCEPTED

1 SITE PLAN
 1/8"=1'-0"

MATTHEW FONG, DBI
 JUN 17 2008

LEVY DESIGN PARTNERS 90 SOUTH PARK / SAN FRANCISCO / CA 94107 / T / 415.777.0561 F / 415.777.5117

736 VALENCIA STREET



01 GROUND FLOOR PLAN
 1/4"=1'-0"

APPROVED
 Dept. of Building Insp.
 JUL 08 2008

APPROVED
 DEPT. OF BUILDING INSPECTION
 JUL 08 2008

RECEIVED
 MAY 29 2008
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARDS FOR MICROFILMING
 ACCEPTED

WALL RATING LEGEND

4-HR. F.R.R. WALL
 3-HR. F.R.R. WALL
 2-HR. F.R.R. WALL
 1-HR. F.R.R. WALL

GENERAL NOTES

- FOR GENERAL EXISTING REQUIREMENTS SEE AD.3
- FOR GENERAL ACCESSIBILITY REQUIREMENTS SEE AD.4-AD.5
- FOR ENLARGED UNIT PLANS SEE AS.1-AS.6 (INCLUDING ACCESSIBILITY REQUIREMENTS, DOOR TYPE DESIGNATIONS, WALL TYPE DESIGNATIONS, LIGHTING/ELECTRICAL LAYOUTS, DIMENSIONS AND SQUARE FOOTAGES FOR INDIVIDUAL UNITS).
- FOR FLOOR/CEILING/ROOF TYPE DESIGNATIONS SEE M.1
- FOR LOCATIONS OF EDGESS WINDOWS SEE AS.1
- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.
- CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR AUTO TURNABLE EQUIPMENT WITH MANUFACTURER.
- CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

SYMBOL LEGEND

WALL TYPES: SEE AS.1 FOR WALL SCHEDULE
 WINDOW TYPES: SEE AS.4 FOR WINDOW SCHEDULE
 DOOR TYPES: SEE AS.3 FOR DOOR SCHEDULE
 FLOOR DRAIN: TO CONNECT TO CITY SEWER
 EXIT SIGN: WITH DIRECTIONAL ARROWS AS REQUIRED
 SMOKE DETECTOR: HARD WIRED INTERCONNECTED SMOKE DETECTOR W/ BATTERY BACKUP

NOTE: SEE A.D.0 LEGEND FOR REMAINDER OF SYMBOL IDENTIFICATIONS.

DIMENSION NOTES

- WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.D.
- ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.D.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

SHEET NOTES

- STRUCTURAL COLUMN, SSD
- PARALLEL COMPACT PARKING STALL, 123 SF TYP.
- STANDARD PARKING STALL, 160 SF TYP.
- AUTOMOBILE TURNABLE FOR PARKING MANEUVERABILITY - FLUSH WITH GARAGE FLOOR - CAROUSEL-USA MODEL 55
- GAS METER LOCATION
- 48" WIDE CONTINUOUS PATH OF TRAVEL, PAINT STRIPES ALONG GARAGE FLOOR - AVOID SURFACE OF FLUSH MOUNTED TURNABLE
- ELECTRICAL PANEL LOCATION
- BIKE FORK, 4 BICYCLE SPACES PER SF PLANNING CODE SEC 155.5
- UNAUTHORIZED VEHICLE SIGNAGE PER 12/A0.4
- KONE ECO SPACE 3500 MACHINE-ROOM-LESS HYDRAULIC ELEVATOR SEE 5/A5.3
- AUTO RAMP DOWN TO PARKING GARAGE
- NEW DRIVEWAY WAY AND CURB CUT
- STOREFRONT GLAZING AT RETAIL
- MAIL BOX AND INTERCOM LOCATION
- LANDSCAPE PLANTING AREA
- TRASH AND RECYCLING RECEPTACLE LOCATION
- GARAGE DOOR
- TRENCH DRAIN
- TENANT RESTROOM SEE SHEET AD.5 FOR ACCESSIBILITY REQUIREMENTS
- PROVIDE INTERNATIONAL ACCESSIBILITY SIGNAGE PER 8/A0.4

FOR TRANSFORMER LOCATION, PLEASE SEE ELECTRICAL DRAWINGS

GARAGE VENTILATION REQUIREMENTS

PER S.F.B.C. 406.1.1
 GARAGE AREA = 2,950 SF
 VENTILATION REQUIRED = 200 SI (FOR THE FIRST 1,000 SF)
 ± 300 SI (30 SI FOR EACH ADDITIONAL 200 SF)
 500 SI
 VENTILATION PROVIDED = 24,108 SI (REAR OPENINGS)
 ± 138 SI (PERFORATED METAL DOOR)
 24,246 SI

LEVY DESIGN PARTNERS 90 SOUTH PARK / SAN FRANCISCO / CA 94107 / T/ 415.777.0861 F / 415.777.5117

736 VALENCIA STREET

APPROVED
 Dept. of Building Insp.
 JUL 08 2008

736 VALENCIA STREET
 BLOCK/LOT: #359/005
 SAN FRANCISCO, CA
 PROJECT NO. 2005-20

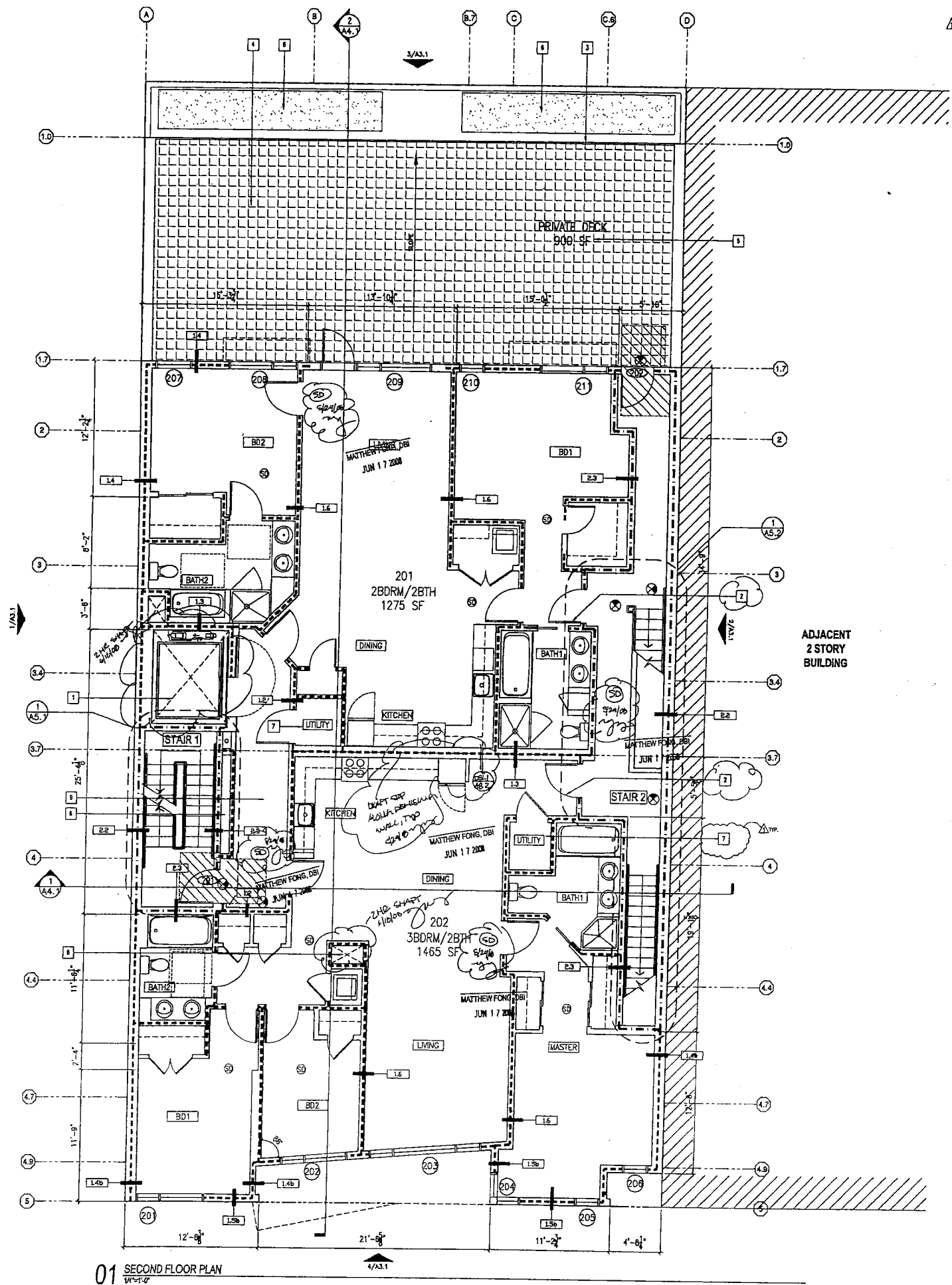


| | |
|----------|---------------------|
| DATE | ISSUE |
| 07.19.07 | BUILDING PERMIT |
| 11.05.07 | PLAN CHECK COMMENTS |
| 05.05.08 | PLAN CHECK COMMENTS |

CONTACT: TOBY LEVY

SCALE: 1/4" = 1'-0"

GROUND FLOOR PLAN
 SHEET: A2.1



WALL RATING LEGEND

| | |
|-------------------|------|
| 4-HR. F.R.R. WALL | ---- |
| 3-HR. F.R.R. WALL | ---- |
| 2-HR. F.R.R. WALL | ---- |
| 1-HR. F.R.R. WALL | ---- |

GENERAL NOTES

- FOR GENERAL EXISTING REQUIREMENTS SEE A0.3
- FOR GENERAL ACCESSIBILITY REQUIREMENTS SEE A0.4-A0.5
- FOR ENLARGED UNIT PLANS SEE A1.1-A1.6 (INCLUDING ACCESSIBILITY REQUIREMENTS, DOOR TYPE DESIGNATIONS, WALL TYPE DESIGNATIONS, LIGHTING/ELECTRICAL LAYOUTS, DIMENSIONS AND SQUARE FOOTAGES FOR INDIVIDUAL UNITS).
- FOR FLOOR/CEILING/ROOF TYPE DESIGNATIONS SEE A1.1
- FOR LOCATIONS OF EGRESS WINDOWS SEE A3.1
- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.
- CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR AUTO TURNABLE EQUIPMENT WITH MANUFACTURER.
- CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GUAGE AS FRAMING OR GREATER.

SYMBOL LEGEND

| | |
|----------------|--|
| WALL TYPES | SEE A8.1 FOR WALL SCHEDULE |
| WINDOW TYPES | SEE A8.4 FOR WINDOW SCHEDULE |
| DOOR TYPES | SEE A8.3 FOR DOOR SCHEDULE |
| FLOOR DRAIN | TO CONNECT TO CITY SEWER |
| EXIT SIGN | WITH DIRECTIONAL ARROWS AS REQUIRED |
| SMOKE DETECTOR | HARD WIRED INTERCONNECTED SMOKE DETECTOR W/ BATTERY BACKUP |

DIMENSION NOTES

- WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO FACE OF STUD, U.O.M.
- ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.M.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

SHEET NOTES

- KONE-SPO SPACE-3500 MACHINE-DRIVEN LESS HYDRAULIC ELEVATOR. SEE 5/A3.3
- SECONDARY EXIT TO STAIR 2 AS NOTED. 6/16/08
- METAL BALING
- CONCRETE PAVERS OVER WATERPROOFING SLOPED TO DRAIN 1" PER FOOT.
- PRIVATE DECK FOR UNITS 201 AND 202
- LANDSCAPE PLANTING AREA BELOW
- UTILITY CLOSET FOR INDIVIDUAL HEATING SYSTEM
- 2-HR. RATED MECHANICAL SHUTTER
- CORRIDOR TO HAVE 8'-0" DROPPED CEILING BELOW RATED ASSEMBLY

APPROVED
 Dept. of Building Insp.
 JUL 03 2008
 MATTHEW FONG, DBI
 JUN 17 2008

RECEIVED
 MAY 29 2008
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY STANDARDS FOR MICROFILMS

ADJACENT
 2 STORY
 BUILDING

LEVY DESIGN PARTNERS 90 SOUTH PARK / SAN FRANCISCO / CA 94107 / T/ 415.777.0861 F/ 415.777.5117

736 VALENCIA STREET

736 VALENCIA STREET
 BLOCKLOT: 43589/005
 SAN FRANCISCO, CA
 PROJECT NO: 2005-20



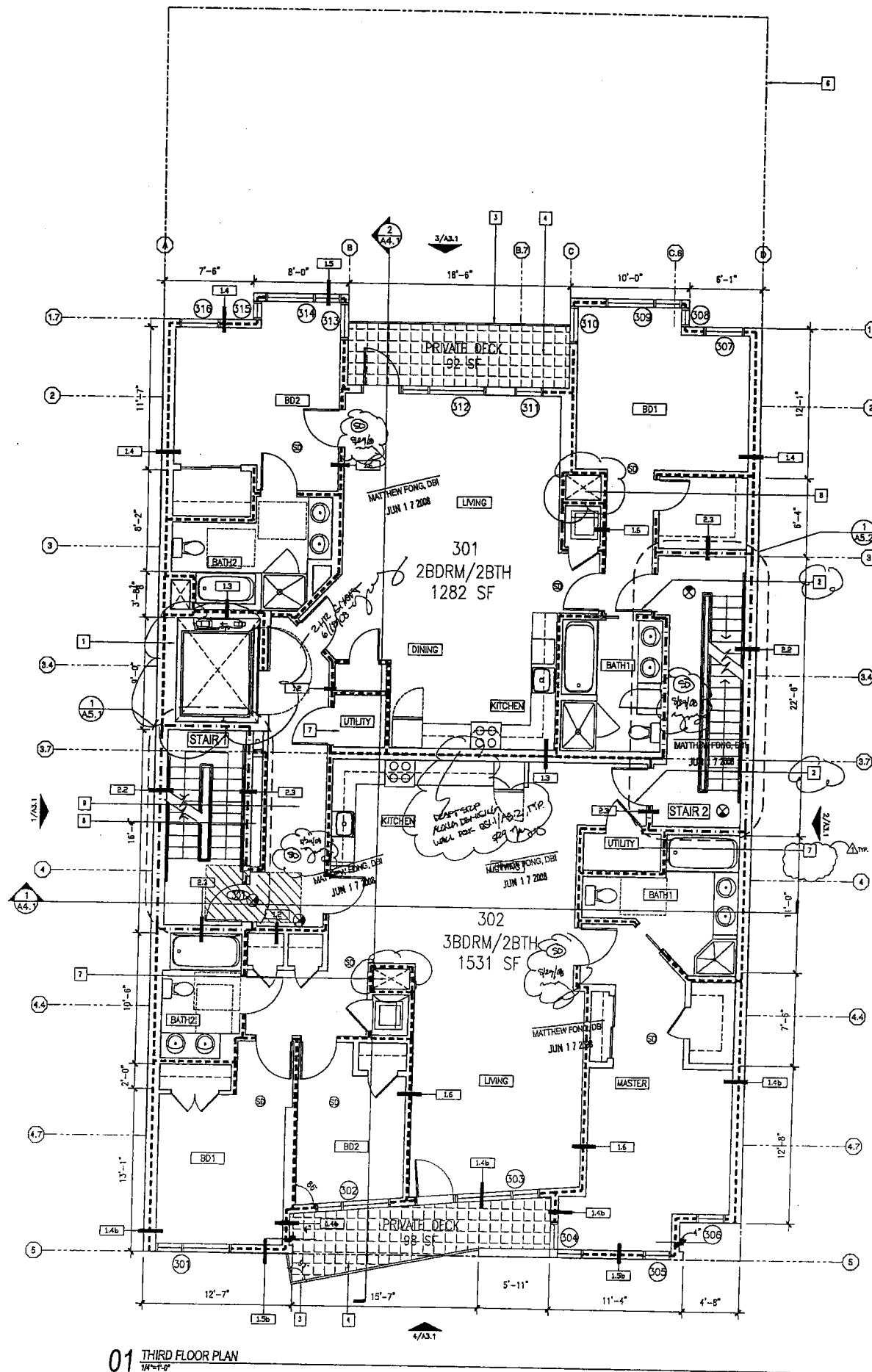
John Card, SFFD
 DATE ISSUE JUN 24 2008
 07.19.07 BUILDING PERMIT
 11.05.07 PLAN CHECK COMMENTS
 05.05.08 PLAN CHECK COMMENTS

CONTACT: TOBY LEVY

SCALE: AS NOTED

SECOND FLOOR PLAN

A2.2



01 THIRD FLOOR PLAN
 1/8"=1'-0"

WALL RATING LEGEND

| | |
|-------------------|------|
| 4-HR. F.R.R. WALL | ---- |
| 3-HR. F.R.R. WALL | ---- |
| 2-HR. F.R.R. WALL | ---- |
| 1-HR. F.R.R. WALL | ---- |

- GENERAL NOTES**
- FOR GENERAL EXISTING REQUIREMENTS SEE A0.3
 - FOR GENERAL ACCESSIBILITY REQUIREMENTS SEE A0.4-A0.5
 - FOR ENLARGED UNIT PLANS SEE A6.1-A6.6 (INCLUDING ACCESSIBILITY REQUIREMENTS, DOOR TYPE DESIGNATIONS, WALL TYPE DESIGNATIONS, LIGHTING/ELECTRICAL LAYOUTS, DIMENSIONS AND SQUARE FOOTAGES FOR INDIVIDUAL UNITS).
 - FOR FLOOR/CEILING/ROOF TYPE DESIGNATIONS SEE A4.1
 - FOR LOCATIONS OF EGRESS WINDOWS SEE A3.1
 - SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
 - AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.
 - CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR AUTO TURNABLE EQUIPMENT WITH MANUFACTURER.
 - CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MIT. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

SYMBOL LEGEND

| | | |
|------------------------|------|--|
| WALL TYPES | --- | SEE A6.1 FOR WALL SCHEDULE |
| WINDOW TYPES | (10) | SEE A6.4 FOR WINDOW SCHEDULE |
| DOOR TYPES | (10) | SEE A6.3 FOR DOOR SCHEDULE |
| FLOOR DRAIN | ● | TO CONNECT TO CITY SEWER |
| EXIT SIGN | ⊙ | WITH DIRECTIONAL ARROWS AS REQUIRED |
| SMOKE DETECTOR | ⊙ | HARD WIRED INTERCONNECTED SMOKE DETECTOR W/ BATTERY BACKUP |
| LEVEL LANDING AT 8'-1" | ▨ | LEVEL LANDING AT ALL OTHER OCCUPANCIES |

NOTE: SEE A0.0 LEGEND FOR REMAINDER OF SYMBOL IDENTIFICATIONS.

- DIMENSION NOTES**
- WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO FACE OF STUD, U.N.O.
 - ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.
 - SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

- SHEET NOTES**
- HOME-ECO SPACE SEED MACHINE-ROOM-LESS HYDRAULIC ELEVATOR SEE 5/A5.3
 - SECONDARY EXIT TO STAIR 2 90 MIN DOOR W/ 01/01/02
 - METAL RAILING
 - PRIVATE BALCONY: TILE OVER WATERPROOFING MEMBRANE, SLOPED TO DRAIN 1" PER FOOT
 - NOT USED.
 - PROPERTY LINE
 - UPPER CLOSET FOR INDIVIDUAL HEATING SYSTEM
 - SEE SEPARATED MECHANICAL SHEET TWO HIGHER FLOOR
 - CORRIDOR TO HAVE 8'-0" DROPPED CEILING BELOW RATED ASSEMBLY

APPROVED
 Dept. of Building Insp.
 JUL 03 2008

MATTHEW FONG, DBI
 JUN 17 2008

RECEIVED
 MAY 29 2008
 DEPT. OF BUILDING INSPECTION
 THIS PLAN METS THE QUALITY
 STANDARD FOR ALL PLAN-RELATED
 ACCEPTANCE

LEVY DESIGN PARTNERS 90 SOUTH PARK / SAN FRANCISCO / CA 94107 / T/ 415.777.0561 F / 415.777.5117

736 VALENCIA STREET

736 VALENCIA STREET
 BLOCKLOT: #3589/005
 SAN FRANCISCO, CA
 PROJECT NO. 2005-20



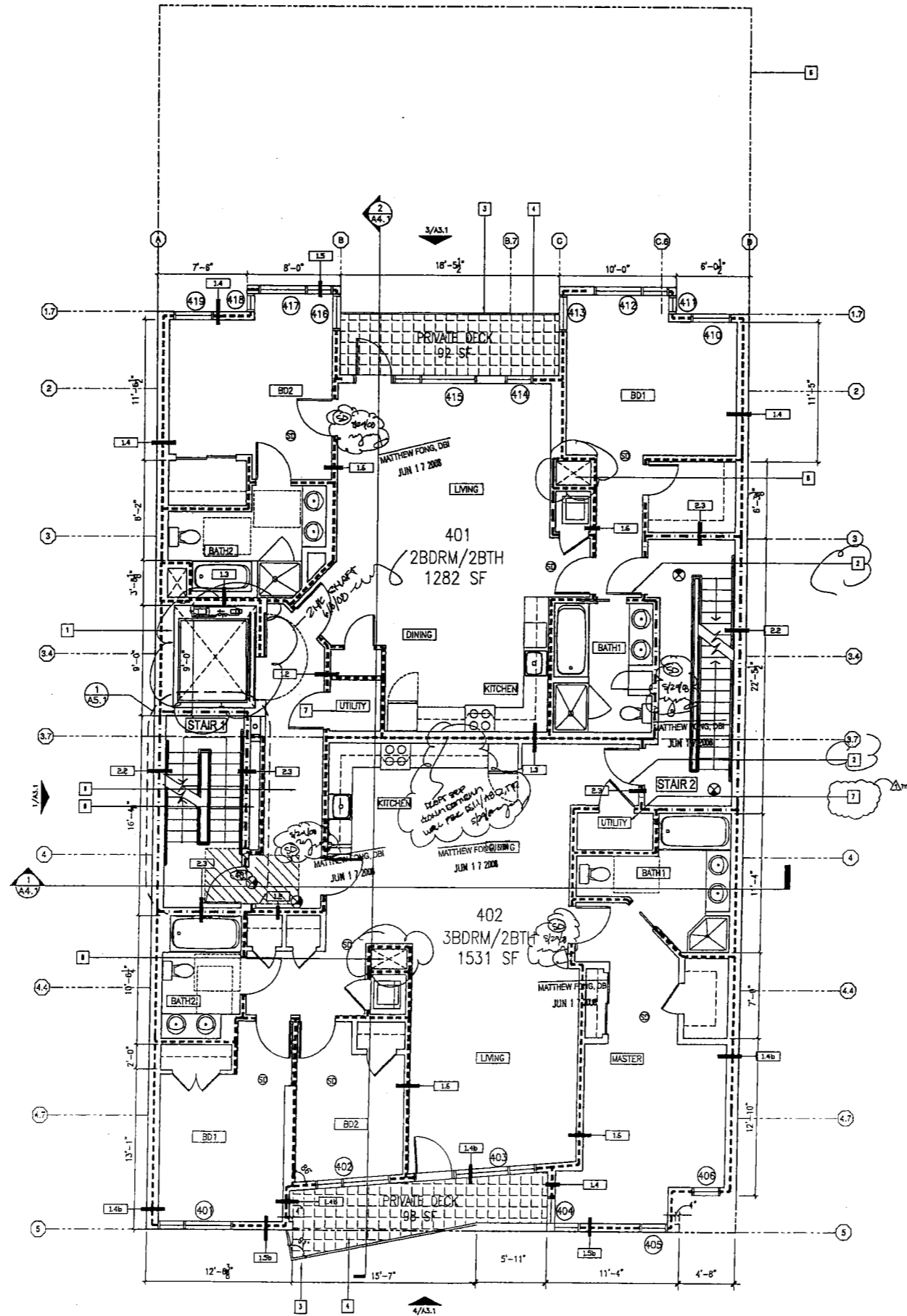
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|----------|---------------------|-----------------|
| DATE | ISSUE | John Curt, SFPD |
| 07.19.07 | BUILDING PERMIT | JUN 24 2008 |
| 11.05.07 | PLAN CHECK COMMENTS | |
| 05.05.08 | PLAN CHECK COMMENTS | |

CONTACT: TOBY LEVY

SCALE: AS NOTED

SHEET: THIRD FLOOR PLAN

A2.3



01 FOURTH FLOOR PLAN
 1/4"=1'-0"

WALL RATING LEGEND

4-HR. F.R.R. WALL
 3-HR. F.R.R. WALL
 2-HR. F.R.R. WALL
 1-HR. F.R.R. WALL

GENERAL NOTES

- FOR GENERAL EXTING REQUIREMENTS SEE A0.3
- FOR GENERAL ACCESSIBILITY REQUIREMENTS SEE A0.4-A0.5
- FOR ENLARGED UNIT PLANS SEE A6.1-A6.6 (INCLUDING ACCESSIBILITY REQUIREMENTS, DOOR TYPE DESIGNATIONS, WALL TYPE DESIGNATIONS, LIGHTING/ELECTRICAL LAYOUTS, DIMENSIONS AND SQUARE FOOTAGES FOR INDIVIDUAL UNITS).
- FOR FLOOR/CEILING/ROOF TYPE DESIGNATIONS SEE A4.1
- FOR LOCATIONS OF EGRESS WINDOWS SEE A3.1
- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- AT PARKING LEVEL: CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.
- CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR AUTO TURNABLE EQUIPMENT WITH MANUFACTURER.
- CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTL. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.

SYMBOL LEGEND

WALL TYPES: SEE A8.1 FOR WALL SCHEDULE
 WINDOW TYPES: SEE A8.4 FOR WINDOW SCHEDULE
 DOOR TYPES: SEE A8.3 FOR DOOR SCHEDULE
 FLOOR DRAIN: TO CONNECT TO CITY SEWER
 EXIT SIGN: WITH DIRECTIONAL ARROWS AS REQUIRED
 SMOKE DETECTOR: HARD WIRED INTERCONNECTED SMOKE DETECTOR W/ BATTERY BACKUP

NOTE: SEE A0.0 LEGEND FOR REMAINDER OF SYMBOL IDENTIFICATIONS.

DIMENSION NOTES

- WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO FACE OF STUD, U.N.O.
- ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

SHEET NOTES

- KONECO SPRING 2000 MACHINE-ROOM-LESS HYDRAULIC ELEVATOR. SEE 5/A5.3
- SECONDARY EXIT TO STAIR 2 4/0 1/1/11 02/08/06
- METAL RAILINGS
- PRIVATE BALCONY, TILE OVER WATERPROOFING MEMBRANE, SLOPED TO DRAIN 1" PER FOOT
- NOT USED.
- PROPERTY LINE
- UTILITY CLOSET FOR INDIVIDUAL HEATING SYSTEM
- SEISMICALLY RATED MECHANICAL SHAFT 9/18/06
- CORRIDOR TO HAVE 8'-0" DROPPED CEILING BELOW RATED ASSEMBLY

APPROVED
 Dept. of Building Insp.
 JUL 03 2008
 JOHN CAIRD, SFPD

RECEIVED
 MAY 09 2008
 DEPARTMENT OF BUILDING INSPECTION
 SAN FRANCISCO, CALIFORNIA

LEVY DESIGN PARTNERS 90 SOUTH PARK / SAN FRANCISCO / CA 94107 / T/ 415.777.0561 F / 415.777.5117

736 VALENCIA STREET

736 VALENCIA STREET
 BLOCK/LOT: #3588/005
 SAN FRANCISCO, CA
 PROJECT NO. 2005-23

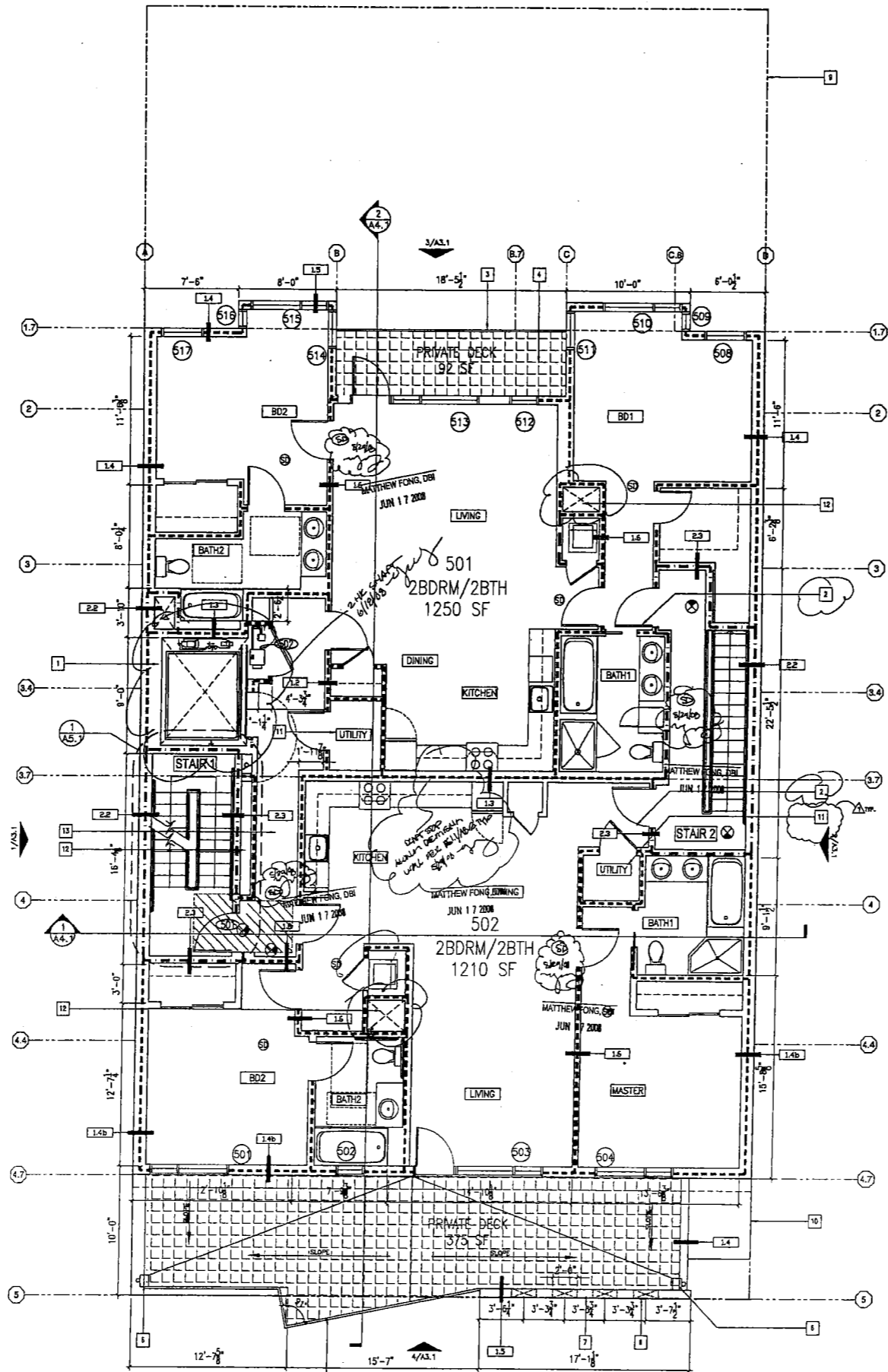


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|----------|---------------------|-------------|
| DATE | ISSUE | JUN 24 2008 |
| 07.19.07 | BUILDING PERMIT | |
| 11.05.07 | PLAN CHECK COMMENTS | |
| 05.05.08 | PLAN CHECK COMMENTS | |

CONTACT: TOBY LEVY

SCALE: AS NOTED

FOURTH FLOOR PLAN
 SHEET: A2.4



01 FIFTH FLOOR PLAN
 1/4"=1'-0"

WALL RATING LEGEND

4-HR. F.R.R. WALL
 3-HR. F.R.R. WALL
 2-HR. F.R.R. WALL
 1-HR. F.R.R. WALL

GENERAL NOTES

- FOR GENERAL EXISTING REQUIREMENTS SEE A0.3
- FOR GENERAL ACCESSIBILITY REQUIREMENTS SEE A0.4-A0.5
- FOR ENLARGED UNIT PLANS SEE A5.1-A5.6 (INCLUDING ACCESSIBILITY REQUIREMENTS, DOOR TYPE DESIGNATIONS, WALL TYPE DESIGNATIONS, LIGHTING/ELECTRICAL LAYOUTS, DIMENSIONS AND SQUARE FOOTAGES FOR INDIVIDUAL UNITS).
- FOR FLOOR/ CEILING/ ROOF TYPE DESIGNATIONS SEE A1.1
- FOR LOCATIONS OF EGRESS WINDOWS SEE A3.1
- SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- AT PARKING LEVEL: CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.
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SYMBOL LEGEND

WALL TYPES: SEE A8.1 FOR WALL SCHEDULE
 WINDOW TYPES: SEE A8.4 FOR WINDOW SCHEDULE
 DOOR TYPES: SEE A8.3 FOR DOOR SCHEDULE
 FLOOR DRAIN: TO CONNECT TO CITY SEWER
 EXIT SIGN: WITH DIRECTIONAL ARROWS AS REQUIRED
 SMOKE DETECTOR: HARD WIRED INTERCONNECTED SMOKE DETECTOR W/ BATTERY BACKUP

DIMENSION NOTES

- WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO FACE OF STUD, U.A.C.
- ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.O.N.
- SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE.

SHEET NOTES

1. MORE 200-SPACE 3500-MACHINE-ROOM-LESS HYDRAULIC ELEVATOR SEE 5/A5.1
2. SECONDARY EXIT TO STAIR 2 90 MIN DOOR #6 6/18/08
3. MEDICAL BUILDING
4. PRIVATE BALCONY TILE OVER WATERPROOFING MEMBRANE SLOPED TO DRAIN 1" PER FOOT
5. NOT USED
6. SCUPPER WITH INTERNAL RAIN LEADER
7. 54" WOOD FRAME WALL
8. OPENINGS PUNCHED THROUGH BALCONY WALL
9. PROPERTY LINE
10. LINE OF BUILDING BELOW
11. UTILITY CLOSET FOR INERQUAL HEATING SYSTEM
12. ONE HOUR RATED MECHANICAL SHAFT 6/18/08
13. CORRIDOR TO HAVE 2" DROPPED CEILING BELOW RATED ASSEMBLY

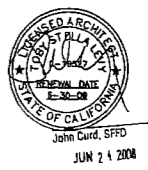
APPROVED
 Dept. of Building Insp.
 JUL 0 8 2008
 MATTHEW FONG, DBI
 JUN 17 2008

RECEIVED
 MAY 29 2008
 DEPT. OF BUILDING INSPECTION
 100 MARKET STREET, 5TH FLOOR
 SAN FRANCISCO, CA 94102

LEVY DESIGN PARTNERS 90 SOUTH PARK / SAN FRANCISCO / CA 94107 / T/ 415.777.0561 F / 415.777.5117

736 VALENCIA STREET

736 VALENCIA STREET
 BLOCK/LOT: #55M/005
 SAN FRANCISCO, CA
 PROJECT NO. 2005-20



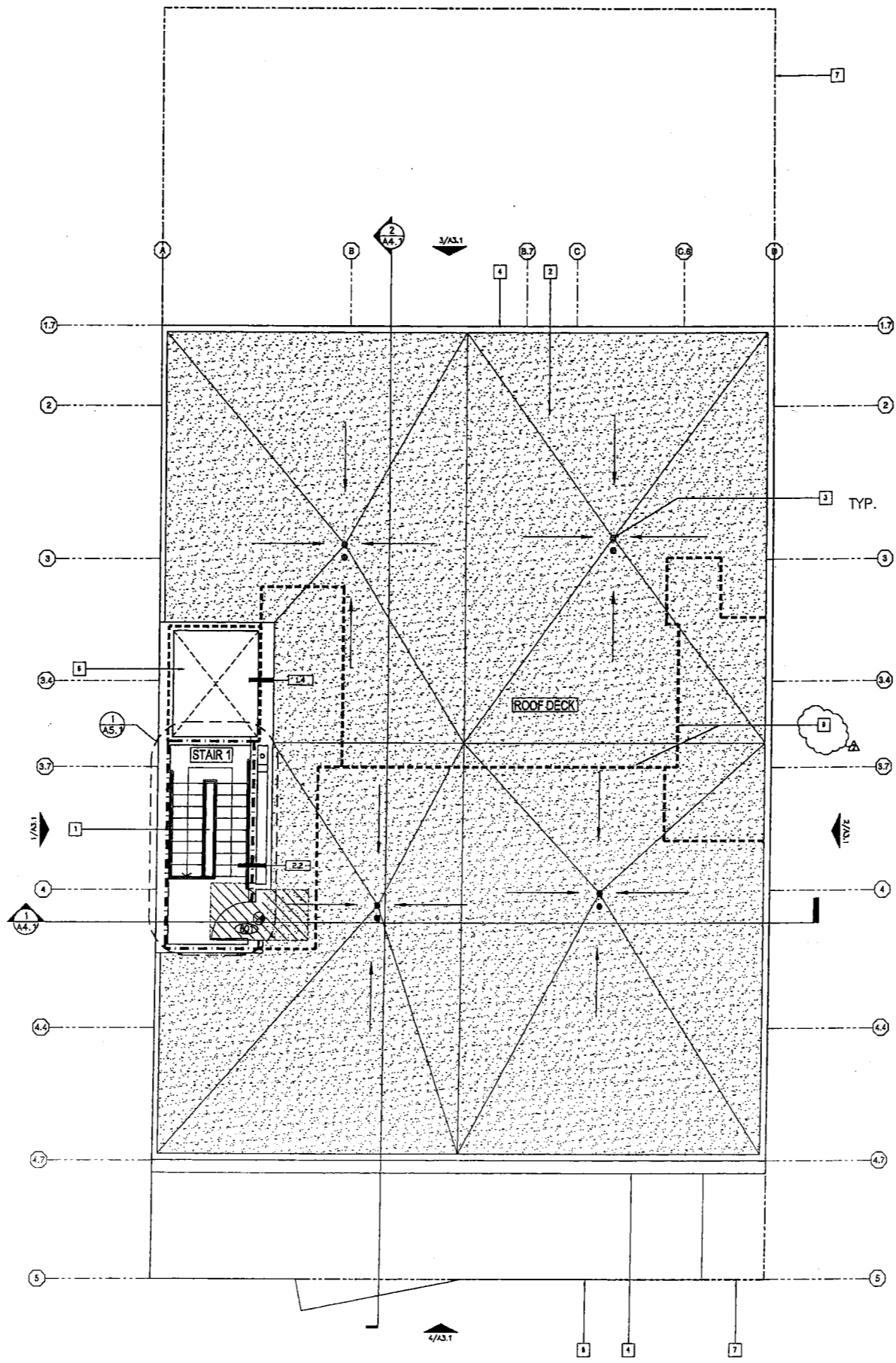
| DATE | ISSUE |
|----------|---------------------|
| 07.19.07 | BUILDING PERMIT |
| 11.05.07 | PLAN CHECK COMMENTS |
| 05.05.08 | PLAN CHECK COMMENTS |

CONTACT: TOBY LEVY

SCALE: AS NOTED

FIFTH FLOOR PLAN

A2.5



01 ROOF PLAN
 1/4"=1'-0"

| WALL RATING LEGEND | |
|--------------------|-------|
| 4-HR. F.R.R. WALL | ----- |
| 3-HR. F.R.R. WALL | ----- |
| 2-HR. F.R.R. WALL | ----- |
| 1-HR. F.R.R. WALL | ----- |

| GENERAL NOTES | |
|---------------|---|
| 1. | FOR GENERAL EXISTING REQUIREMENTS SEE A0.3 |
| 2. | ROOF AND OVERFLOW DRAINS @ ROOF AND DECK AREAS SHALL CONNECT TO THE CITY SEWER. |
| 3. | ALL ROOF AREAS TO BE CLASS "B" PER CBC SECTION 1503. |

| SYMBOL LEGEND | |
|-----------------|--|
| WALL TYPES | SEE A0.0 FOR WALL SCHEDULE |
| WINDOW TYPES | SEE A0.3 FOR WINDOW SCHEDULE (INDICATES TEMPERED GLAZING REQUIRED) |
| DOOR TYPES | SEE A0.2 FOR DOOR SCHEDULE |
| FLOOR DRAIN | TO CONNECT TO CITY SEWER |
| EMERGENCY LIGHT | WITH DIRECTIONAL ARROWS AS REQUIRED |

NOTE: SEE A0.0 LEGEND FOR REMAINDER OF SYMBOL IDENTIFICATIONS.

| DIMENSION NOTES | |
|-----------------|---|
| 1. | WOOD FRAMED WALLS: ALL DIMENSIONS ARE TO FACE OF STUD, U.N.O. |
| 2. | ALL WINDOWS AND DOORS ARE DIMENSIONED TO CENTERLINE OPENINGS TYPICAL U.N.O. |
| 3. | SEE ENLARGED PLANS/DETAILS FOR DIMENSIONS NOT SHOWN HERE. |

| SHEET NOTES | |
|-------------|--|
| 1 | ACCESS STAIR TO ROOF |
| 2 | SINGLE PLY THERMOPLASTIC ROOFING OVER PROTECTION BOARD AND RIGID INSULATION SLOPED TO DRAIN 1/4" PER FOOT. |
| 3 | AREA DRAIN W/ OVERFLOW, TYP. |
| 4 | PARAPET/CORNICE |
| 5 | SCUPPER WITH INTERNAL RAIN LEADER |
| 6 | ELEVATOR OVERRIDE PENTHOUSE |
| 7 | PROPERTY LINE |
| 8 | LINE OF BUILDING BELOW |
| 9 | DRAFT STOP LOCATION - SEE DETAIL DS1.1/A0.2 |

APPROVED
 Dept. of Building Insp.
 JUL 08 2008
 JOHN CARD, SFPD

MATTHEW FONG, DBI
 JUN 17 2008

RECEIVED
 JUN 20 2008
 DEPT. OF BUILDING INSPECTION
 SAN FRANCISCO, CA
 THIS PLAN MEETS THE QUALITY STANDARDS FOR MICROFILMING

LEVY DESIGN PARTNERS 90 SOUTH PARK / SAN FRANCISCO / CA 94107 / T/ 415.777.0561 F / 415.777.5117

736 VALENCIA STREET

736 VALENCIA STREET
 BLOCK/LOT: #3588/005
 SAN FRANCISCO, CA
 PROJECT NO. 2005-20

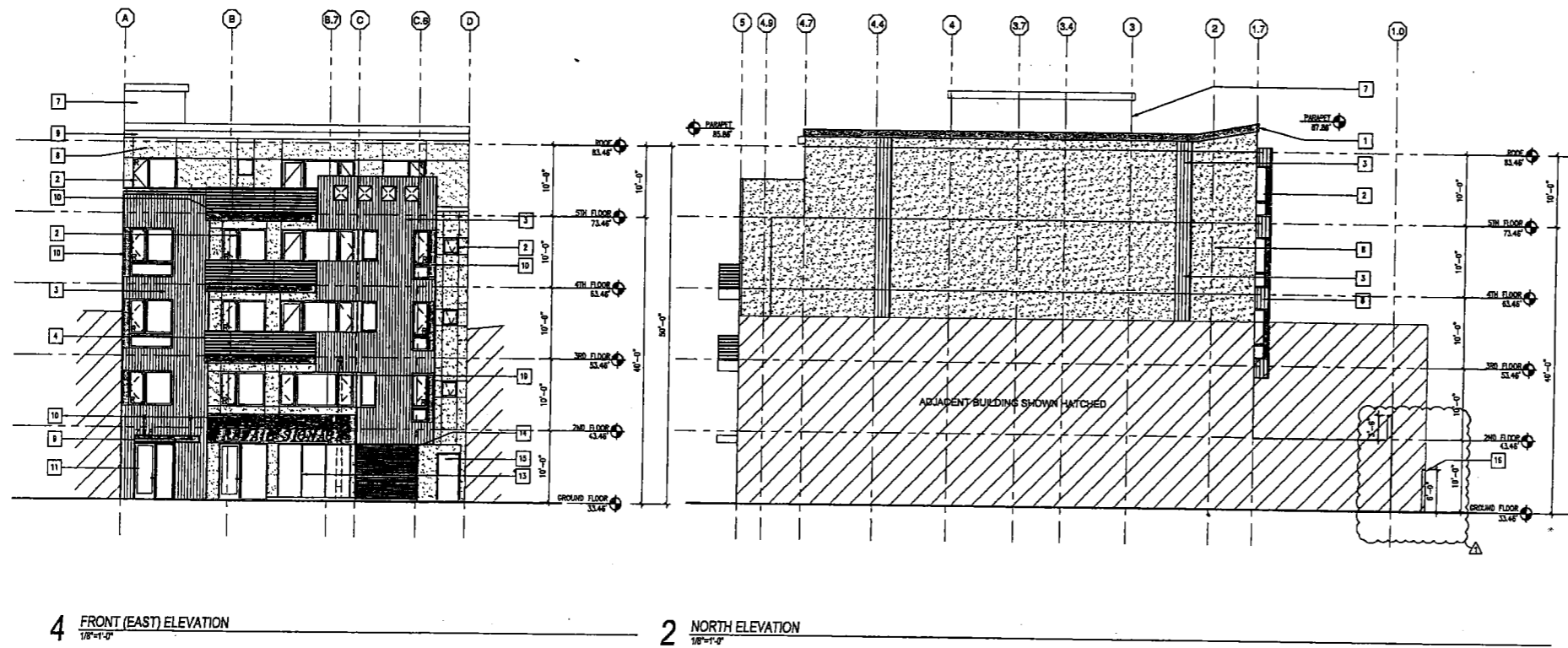


| DATE | ISSUE |
|----------|---------------------|
| 07.18.07 | BUILDING PERMIT |
| 11.05.07 | PLAN CHECK COMMENTS |
| 05.05.08 | PLAN CHECK COMMENTS |

CONTACT: TOBY LEVY

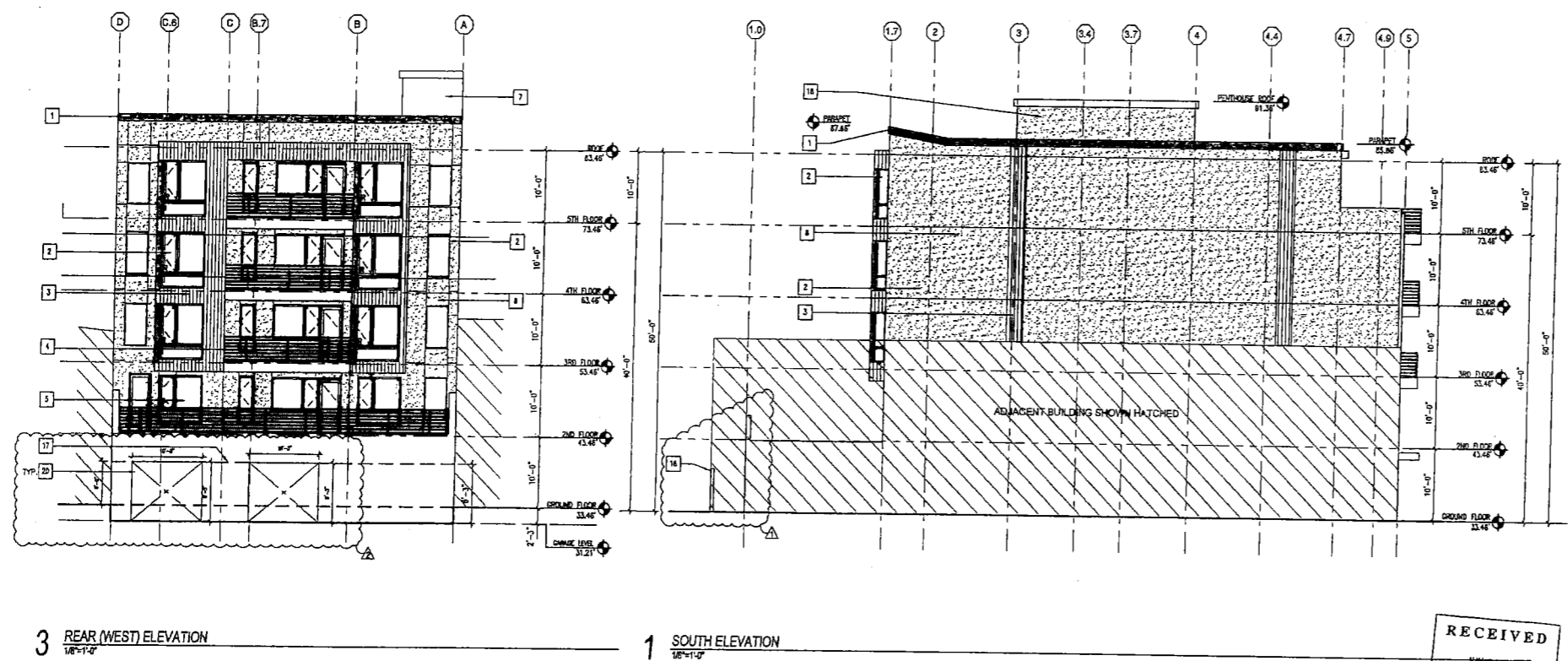
SCALE: AS NOTED

SHEET: ROOF PLAN
A2.6



4 FRONT (EAST) ELEVATION
1/8"=1'-0"

2 NORTH ELEVATION
1/8"=1'-0"



3 REAR (WEST) ELEVATION
1/8"=1'-0"

1 SOUTH ELEVATION
1/8"=1'-0"

SYMBOL LEGEND

ELEVATION MARKER TO FINISHED FLOOR

NOTE: SEE A.D. LEGEND FOR REMAINDER OF SYMBOL IDENTIFICATIONS.

GENERAL NOTES

- FOR DOOR SCHEDULE, SEE SHEET AB.3
- FOR WINDOW SCHEDULE, SEE SHEET AB.4
- FOR DIMENSIONS NOT INDICATED HERE; SEE FLOOR PLANS AND ENLARGED UNIT PLANS.
- ROOF DRAINS, OVERFLOW DRAINS, AND DOWNSPOUTS @ ROOF OR DECK SHALL CONNECT TO CITY SEWER.
- ALL ROOF AREAS TO BE CLASS "B" PER CBC SECTION 1505
- "R" INDICATES LOCATION OF RESCUE WINDOW/DOOR. PROVIDE EMERGENCY EGRESS WINDOWS FOR BEDROOMS PER CBC SECTION 510.4
- ALL FLASHING, COPING, DOWNSPOUTS, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES

SHEET NOTES

- METAL FACIA AT ROOF
- BRUSHED ALUMINUM FRAME WINDOW, 3 INCH RECESS, TYP.
- SEALED NATURAL IRONWOOD SIDING OVER BUILDING PAPER, TYP.
- METAL RAILING, TYP. PAINT FINISH
- GLAZED ENTRY/EXIT DOOR, BRUSHED ALUMINUM FRAME
- 5'-0" RAISED PLANTER
- STAIR / ELEVATOR SHOWN BEYOND
- STUCCO, TYP.
- METAL ANNING
- ALUM PANEL, TYP.
- BRUSHED ALUMINUM FRAME STOREFRONT SYSTEM, TYP.
- NOT USED.
- TEXTURE TEXTURED PAINT FINISH OVER STRUCTURAL CONCRETE WALL
- PERFORATED METAL GARAGE DOOR
- SOLID CORE EXIT DOOR, PAINT FINISH
- 6'-0" CONCRETE WALL AT PROPERTY LINE
- LINE OF 6'-0" CONCRETE WALL AT PROPERTY LINE
- NOT USED
- RELOCATED STREET LIGHT
- OPENING IN GARAGE WALL

APPROVED
 Dept. of Building Insp.
 JUL 08 2008
 JOHN CURT, S.F.D.
 DIRECTOR CHIEF BUILDING OFFICIAL
 DEPT. OF BUILDING INSPECTION

KEYPLAN

RECEIVED
 JUN 29 2008
 DEPT. OF BUILDING INSPECTION
 THE PLAN SHEETS TO THE QUALITY
 STANDARD FOR MICROFILMING
 ACCEPTED

LEVY DESIGN PARTNERS 90 SOUTH PARK / SAN FRANCISCO / CA 94107 / T/ 415.771.0561 F / 415.771.5117

736 VALENCIA STREET

736 VALENCIA STREET
 BLOCKLOT: #3588/005
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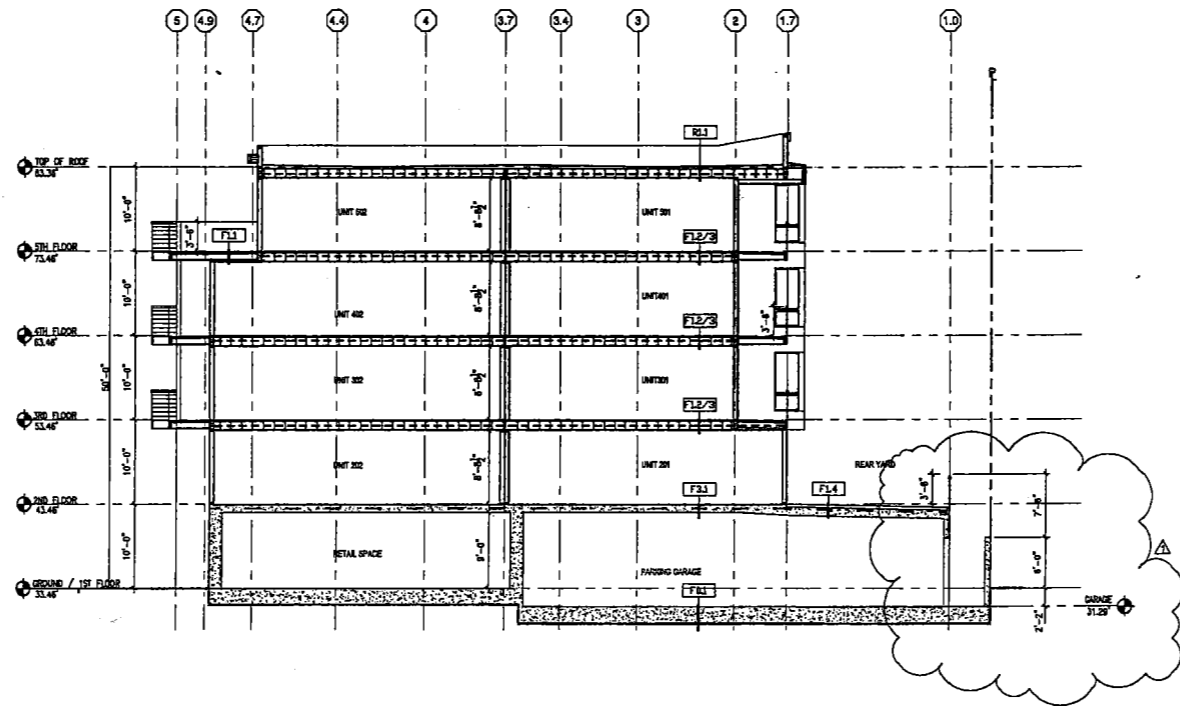


John Curt, S.F.D.
 DATE: ISSUE JUN 24 2008
 07.19.07 BUILDING PERMIT
 11.05.07 PLAN CHECK COMMENTS
 05.05.08 PLAN CHECK COMMENTS

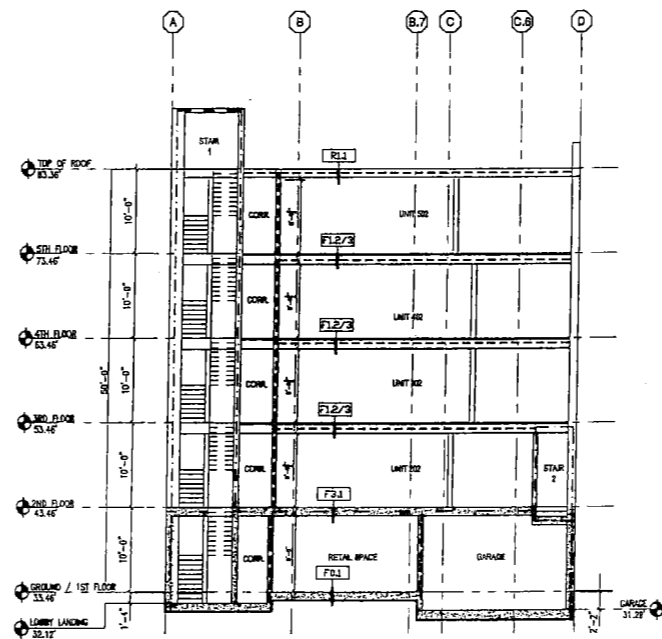
CONTACT: TOBY LEVY

SCALE: 1/8"=1'-0"

EXTERIOR
 SHEET: ELEVATIONS
A3.1



2 BUILDING SECTION
 1/8"=1'-0"



1 BUILDING SECTION
 1/8"=1'-0"

| WALL RATING LEGEND | |
|--------------------|---------|
| 3-HR. F.R.R. WALL | --- |
| 2-HR. F.R.R. WALL | - - - - |
| 1-HR. F.R.R. WALL | ---- |

| SYMBOL LEGEND | |
|---|------|
| ELEVATION MARKER TO FINISHED FLOOR | 0.00 |
| FLOOR TYPES SEE AB.2 FOR FLOOR ASSEMBLY | F3.1 |

NOTE: SEE A0.0 LEGEND FOR REMAINDER OF SYMBOL IDENTIFICATIONS.

- GENERAL NOTES**
- FOR GENERAL EXISTING REQUIREMENTS SEE A0.3
 - FOR GENERAL ACCESSIBILITY REQUIREMENTS SEE A0.4-A0.5
 - FOR ENLARGED UNIT PLANS SEE A0.1-A0.8 (INCLUDING ACCESSIBILITY REQUIREMENTS, DOOR TYPE DESIGNATIONS, WALL TYPE DESIGNATIONS, LIGHTING/ELECTRICAL LAYOUTS, DIMENSIONS AND SQUARE FOOTAGES FOR INDIVIDUAL UNITS).
 - FOR FLOOR/ CEILING/ ROOF TYPE DESIGNATIONS SEE A0.1
 - FOR LOCATIONS OF EGRESS WINDOWS SEE A3.1
 - SEE CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL & STRUCTURAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
 - AT PARKING LEVEL; CONTRACTOR SHALL ENSURE THAT A MINIMUM OVERHEAD CLEARANCE OF 8'-2" IS PROVIDED IN THE PATH OF TRAVEL TO THE ACCESSIBLE PARKING SPACE.
 - CONTRACTOR SHALL COORDINATE ALL CLEARANCES FOR AUTO CARROUSEL EQUIPMENT WITH MANUFACTURER.
 - CONTRACTOR TO PROVIDE SOLID CONTINUOUS BACKING FOR ALL WALL MTD. FIXTURES, ACCESSORIES, MILLWORK, EQUIPMENT RACKS, SHELVING, ETC. ALL BLOCKING TO BE SAME GAUGE AS FRAMING OR GREATER.
 - FOR TYPICAL PARAPET, CORNICE, BALCONY, AND EXTERIOR CLADDING DETAILS, SEE SHEETS A0.1 AND A0.2.
 - FOR ROOF, WALL, AND FLOOR ASSEMBLIES, SEE SHEETS A0.1 AND A0.2.

APPROVED
 Dept. of Building Insp.

JUL 0 8 2008
 JOHN CURR, SFPD
 SUPERVISOR, BUILDING OFFICIAL
 DEPT. OF BUILDING INSPECTION

MATTHEW FONG, DBI
 JUN 17 2008

RECEIVED
 JUN 20 2008
 DEPT. OF BUILDING INSPECTION
 THE PLAN MEETS THE QUALITY
 STANDARD FOR APPROVAL
 ACCEPTED

LEVY DESIGN PARTNERS 90 SOUTH PARK / SAN FRANCISCO / CA 94107 / T/ 415.777.0561 F / 415.777.5117

736 VALENCIA STREET

736 VALENCIA STREET
 BLOCKLOT: F3389/005
 SAN FRANCISCO, CA
 PROJECT NO. 2005-20



| | | |
|----------|---------------------|-------------|
| DATE | ISSUE | JUN 24 2008 |
| 07.19.07 | BUILDING PERMIT | |
| 11.05.07 | PLAN CHECK COMMENTS | |
| 05.05.08 | PLAN CHECK COMMENTS | |

CONTACT: TOBY LEVY

SCALE: AS NOTED

BUILDING SECTIONS
 SHEET:

A4.1

736 VALENCIA STREET

**PROPOSED PLANS
FOR ROOF DECK, ETC.**



CORPORATE OFFICE
3983 Sacramento Street
San Francisco, CA 94118
415.876.7800 TEL
415.876.7801 FAX
www.panasciassociates.com

SCOPE OF WORK:

1. REVISE FRONT + REAR ELEVATION WINDOWS + DOORS AS SHOWN.
2. ADD ROOF DECK WITH RAILING.
3. MODIFY ROOF PENTHOUSE AT ELEVATOR AND STAIR NO. 1.
4. ADD PENTHOUSE AT STAIR NO. 2.
5. ADD FIREPLACES AT ALL UNITS.
6. ELIMINATE CORRIDOR ACCESS TO 2ND FLOOR REAR DECK - MOVE OPPOSITE UNIT INTERIOR WALL TO ALLOW FOR FIREPLACE.



Edward R. Panasci



DATE: 8 OCTOBER 2009

**736
VALENCIA
STREET**

BLOCK #3588 LOT #005
SAN FRANCISCO, CA.

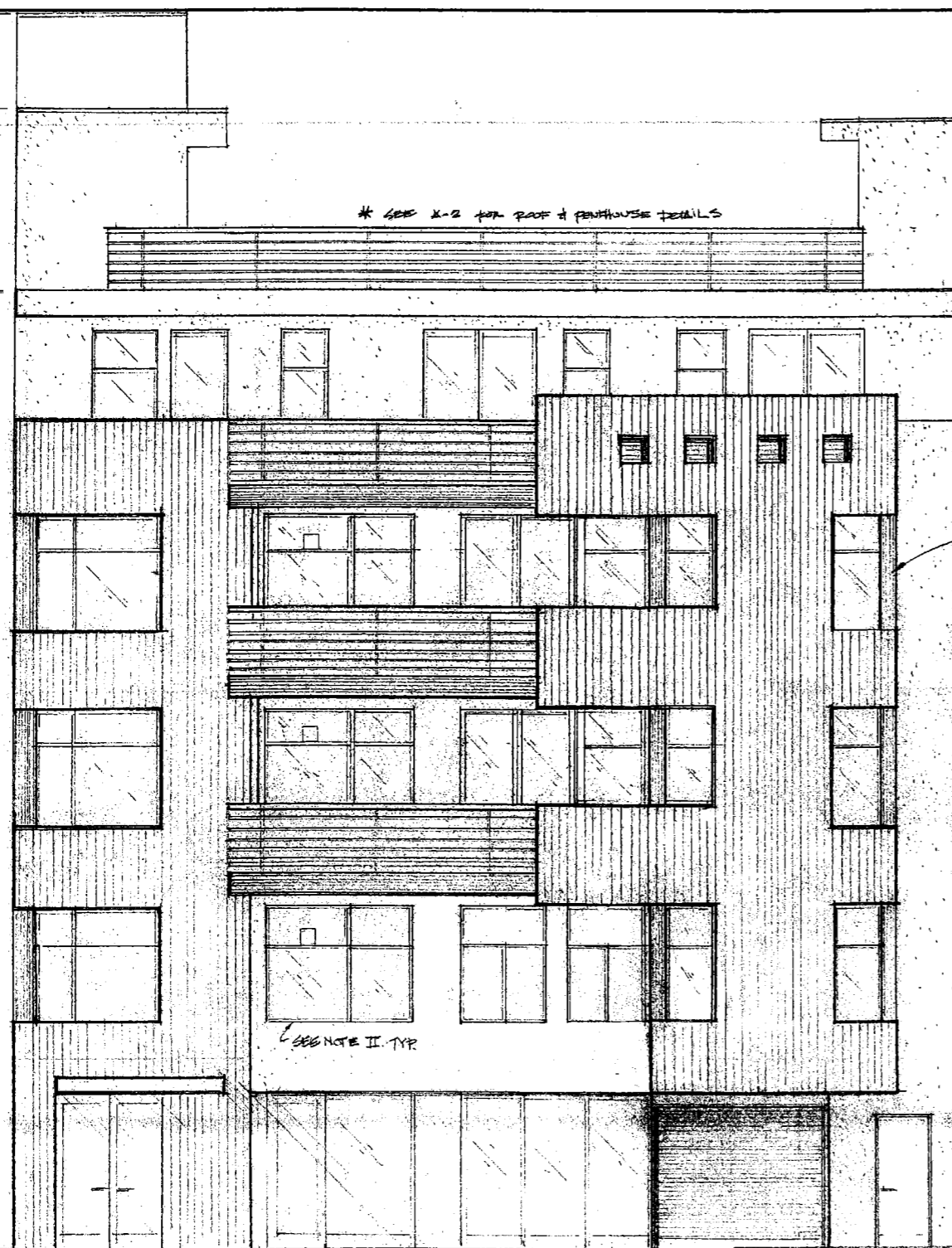
ELEVATIONS and SCHEDULE

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |

THESE DRAWINGS WILL MODIFY AND SUPPLEMENT DRAWINGS PREPARED BY LEVY DESIGN PARTNERS PREVIOUSLY SUBMITTED UNDER S.F. BUILDING PERMIT NO. 2006/0208/4114 AND 2008/1121/7146.

A-1

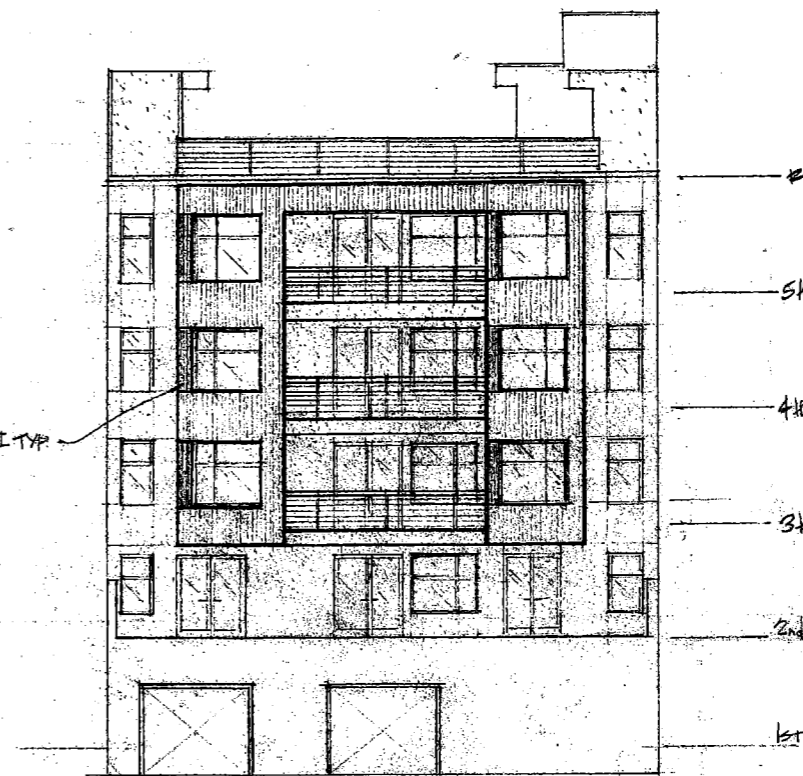
SCALE: AS NOTED



FRONT ELEVATION
SCALE: 1/4 INCH = 12 INCHES

ELEVATION NOTES:

- I. Revise Front and Rear Elevation Windows and Doors. At exterior walls with vertical wood siding provide 3 inch window recess by furring out wood siding from exterior wall plane. At exterior walls with cement plaster (stucco) finish eliminate 3 inch recess at windows and doors.
- II. Provide opaque glass "false" window with aluminum frame and opening for new fireplace vent, typical at front elevation decks, Floors 2 through 4.
- III. Anodized aluminum panel typical at windows where shown.
- IV. See drawings by Levy Design Partners for exterior dimensions, facade materials and finishes.



REAR ELEVATION
SCALE: 1/8 INCH = 12 INCHES

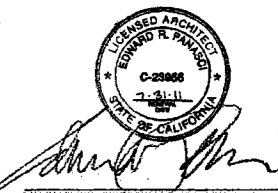
| Qty | Item | Description |
|-----|----------|--|
| 3 | CASEM... | CLEAR ANODIZED, NAIL ON, RO DIMS, CH,SS,WS, INSULATED W/ SB60 ANNEALED, NO SCREENS, USE WHITE BRONZE HARDWARE THE FOLLOWING GLAZED W/ SB60 OVER CLR LAMI 6'6" X 6'0" |
| 4 | AWNING | 3'0" X 6'0" |
| 1 | AWNING | 3'6" X 6'0" |
| 2 | AWNING | 2'6" X 6'0" |
| 3 | FIXED | 2'6" X 6'0" |
| 6 | CASEM... | 2'6" X 6'0" 4'6" egress * FIELD MEASURE |
| 2 | CASEM... | 4'0" X 6'0" |
| 1 | CASEM... | 2'6" X 3'0" SPATIN BRCH. |
| 6 | FIXED | 3'0" X 6'0" |
| 6 | FIXED | 1'0" X 6'0" |
| 9 | CASEM... | 6'0" X 6'0" 18" egress |
| 8 | AWNING | 3'0" X 6'0" |
| | DOORS | CLEAR ANODIZED, ADA COMPLIANT GLAZED W/SB60 CLEAR TEMPERED AS FOLLOWS: |
| | DOORS | 6'0" X 8'0" |
| | DOORS | 5'0" X 8'0" |

SCHEDULE - Windows and Doors

SEE PLANS A-2 FOR (P) LOCATIONS

SCOPE OF WORK:

1. REVISE FRONT + REAR ELEVATION WINDOWS + DOORS AS SHOWN.
2. ADD ROOF DECK WITH RAILING.
3. MODIFY ROOF PENTHOUSE AT ELEVATOR AND STAIR NO. 1.
4. ADD PENTHOUSE AT STAIR NO. 2.
5. ADD FIREPLACES AT ALL UNITS.
6. ELIMINATE CORRIDOR ACCESS TO 2ND FLOOR REAR DECK - MOVE OPPOSITE UNIT INTERIOR WALL TO ALLOW FOR FIREPLACE.



DATE 3 OCTOBER 2009

736
 VALENCIA
 STREET

BLOCK #3588 LOT #005
 SAN FRANCISCO, CA.

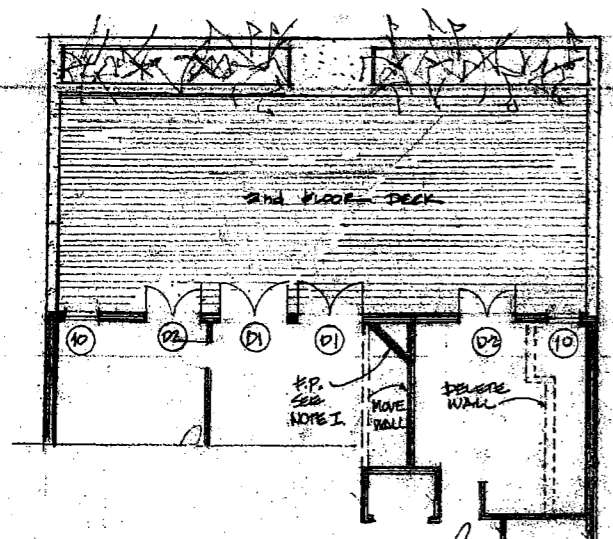
PLANS and DETAILS

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |

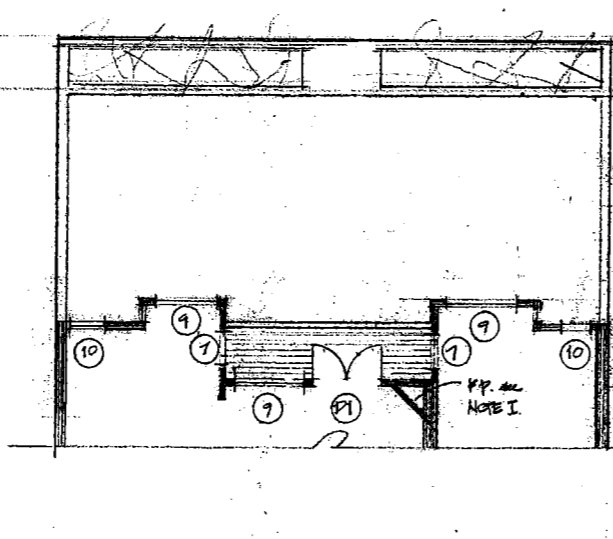
THESE DRAWINGS WILL MODIFY AND SUPPLEMENT DRAWINGS PREPARED BY LEVY DESIGN PARTNERS PREVIOUSLY SUBMITTED UNDER S.F. BUILDING PERMIT No. 2006/0208/4114 AND 2008/1121/7146.

A-2

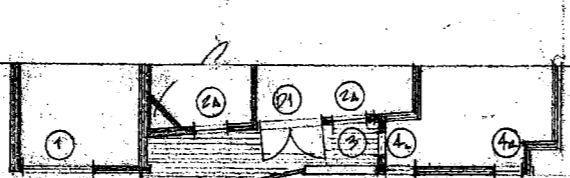
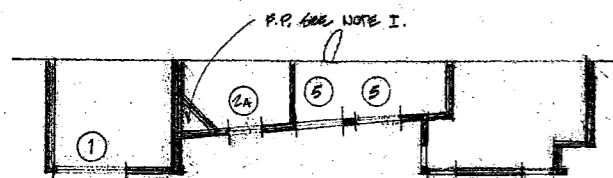
SCALE AS NOTED



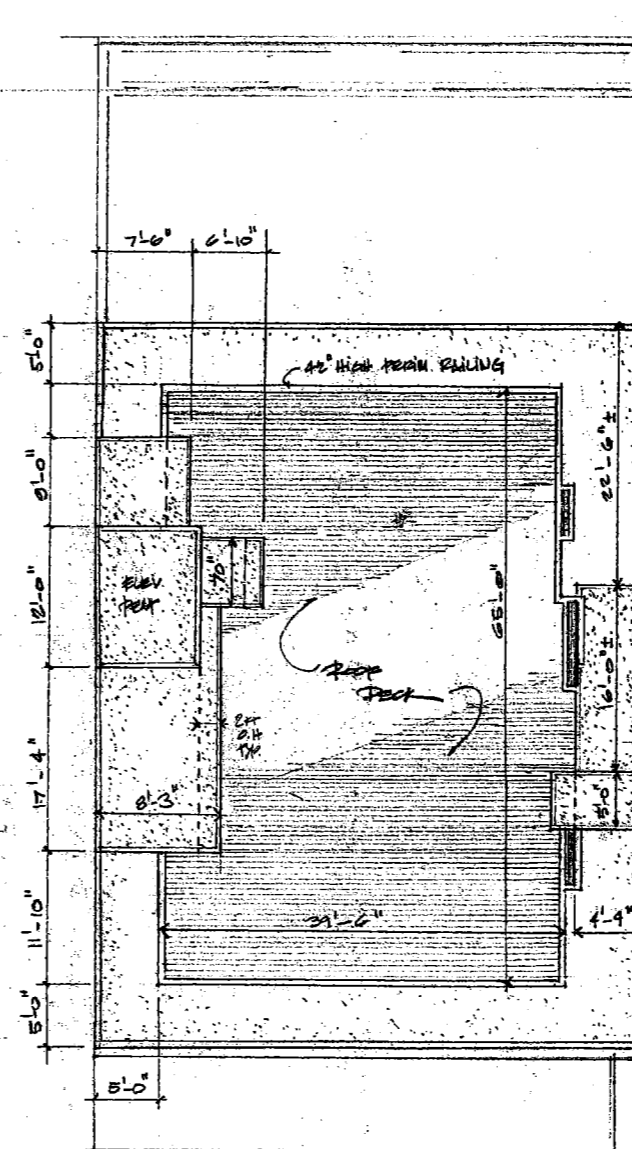
PLAN - 2nd Floor @ Front and Rear of Building
 SCALE: 1/8 INCH = 12 INCHES



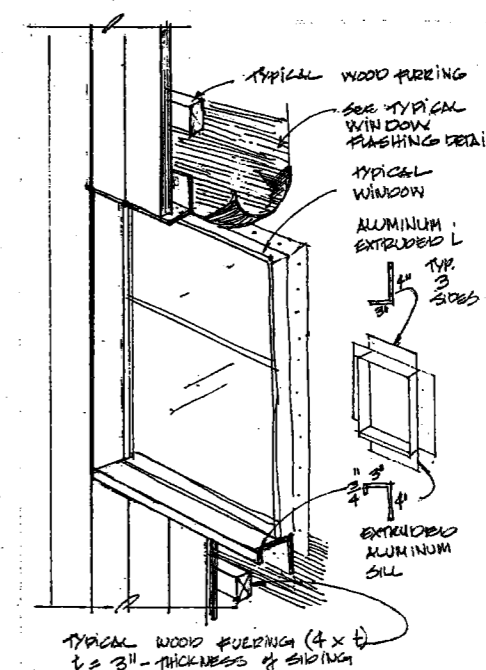
PLAN - Typical @ Front and Rear of Building
 SCALE: 1/8 INCH = 12 INCHES



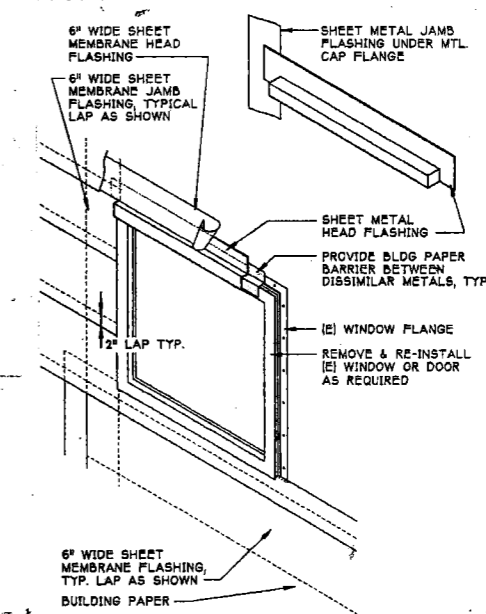
PLAN - 5th Floor @ Front of Building
 SCALE: 1/8 INCH = 12 INCHES



PLAN - ROOF DECK
 SCALE: 1/8 INCH = 12 INCHES



DETAILS - Window Flashing and Trim

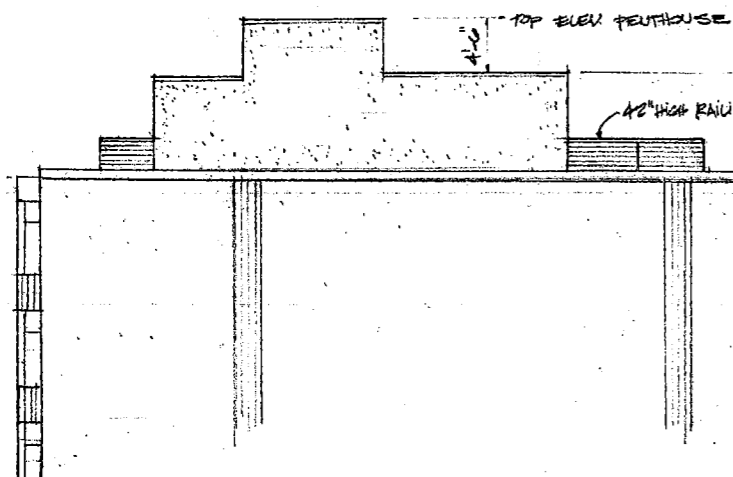


WINDOW FLASHING
 DOOR FLASHING ISOMETRIC
 SCALE AS NOTED

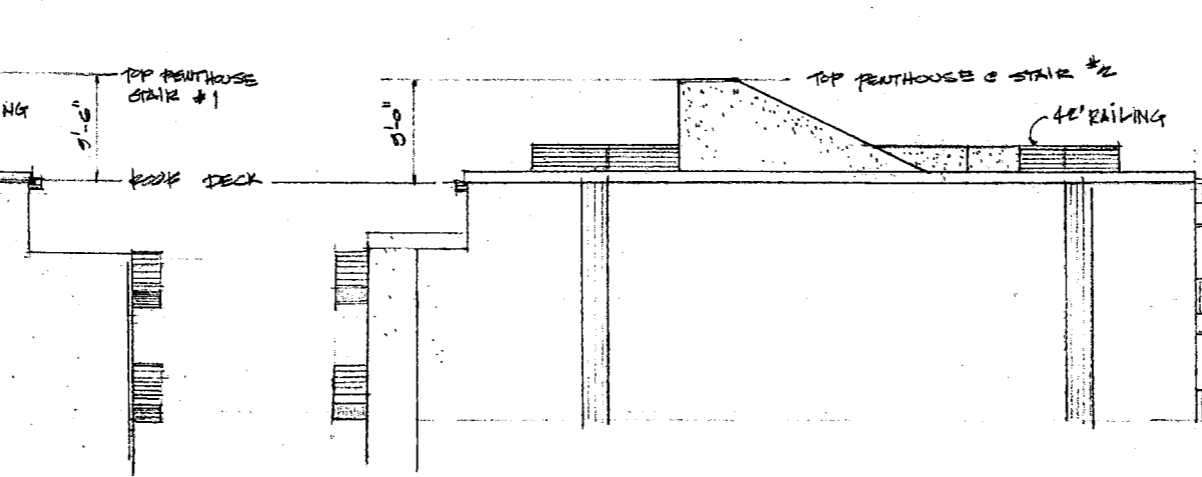
PLAN NOTES:

- i. Add gas fireplaces to all units: Heatilator Eclipse 36" No. DVUP2FT, typical
- ii. See attached Floor Plan Drawings: A2.0, A2.1 & A2.2 by Levy Design Partners for floor plan dimensions, details and interior walls.

(P) - SEE WINDOW & DOOR SCHEDULE DWG. A-1

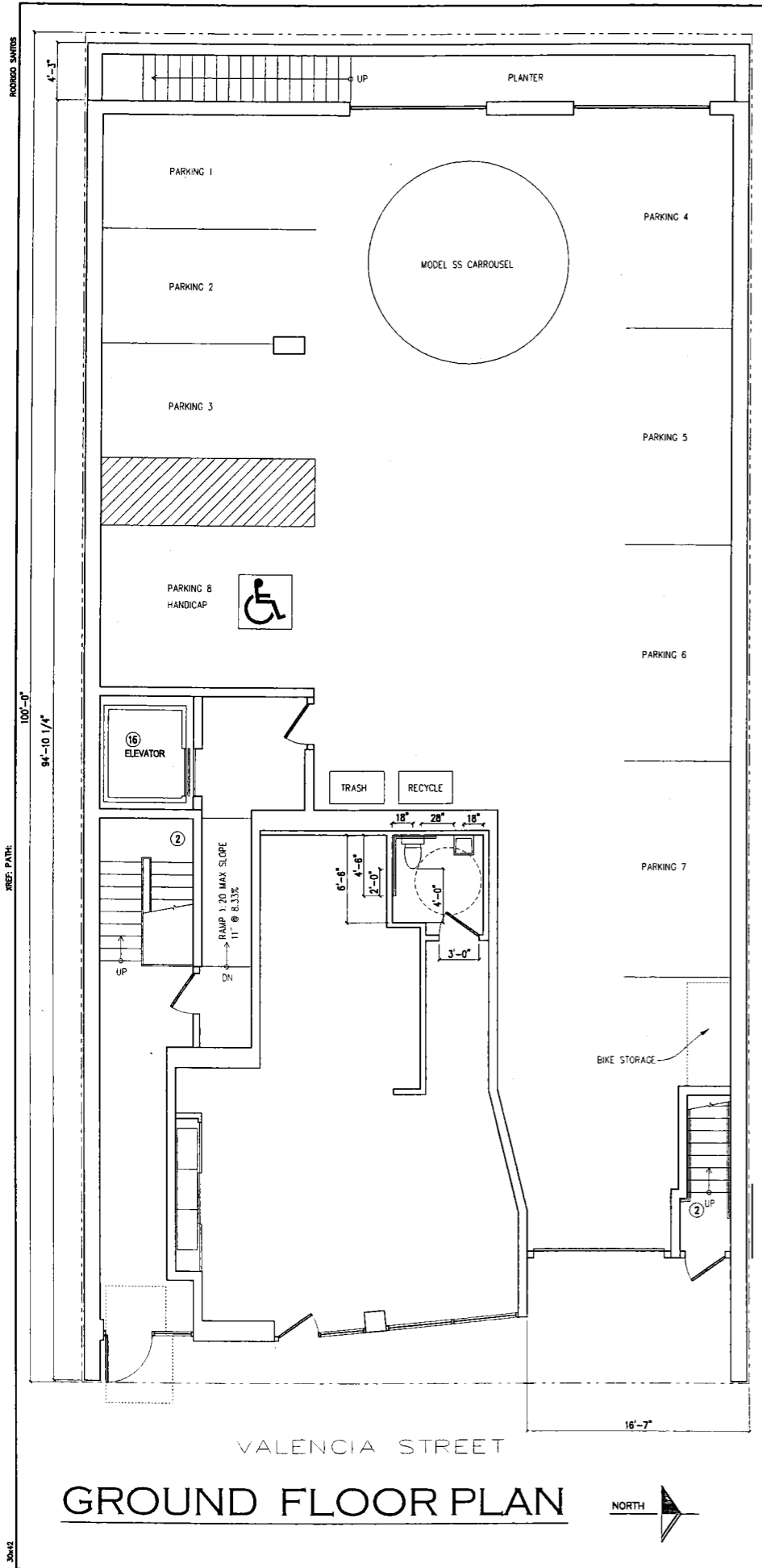


SOUTH ELEVATION - Roof Penthouse
 SCALE: 1/8 INCH = 12 INCHES



NORTH ELEVATION - Roof Penthouse
 SCALE: 1/8 INCH = 12 INCHES

K:\Drawings\0200-EBWA\0200-EBWA\Arch\05-20-09- Current\WORKSHEET PLANS BY SLS\05/20/09 9:44 AM Printed by: sbrunstein



GROUND FLOOR PLAN



| REVISIONS | BY |
|-----------|----|
| | |
| | |
| | |
| | |
| | |

SANTOS & LURUTIA
STRUCTURAL
ENGINEERS
 1000 CALIFORNIA STREET, SUITE 100
 SAN FRANCISCO, CA 94110
 TELEPHONE (415) 842-7723
 FAX (415) 842-7890



GROUND FLOOR PLAN

NEW FIVE STORY BUILDING
736 VALENCIA STREET
SAN FRANCISCO, CALIFORNIA

| | |
|-----------|------------|
| Date: | 05/20/09 |
| Scale: | 1/4"=1'-0" |
| Drawn By: | R.S. |
| Job No: | 6329 |
| Sheet | A.3 |
| Of | Sheets |

