



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: OCTOBER 7, 2010

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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Planning
Information:
415.558.6377

Date: September 29, 2010
Case No.: **2009.1003D**
Project Address: **1138-1140 Page Street**
Zoning: RM-2 [Residential, Mixed, Moderate Density]
40-X Height and Bulk District
Block/Lot: 1219/011
Project Sponsor: Toby Morris
Kerman Morris Architects
69A Water Street
San Francisco, CA 94133
Staff Contact: Aaron Starr – (415) 588-6362
aaron.starr@sfgov.org
Recommendation: **Do not take DR and approve as modified**

PROJECT DESCRIPTION

The existing building is a two-story, mixed-use building with one residential unit above commercial space. The commercial space is currently being used as an unwarranted residential unit. The proposal is to lower the existing floor-to-ceiling heights, construct a two-story vertical addition, a rear horizontal addition, remove the existing commercial space, add three residential units and significantly alter the existing facade. The proposal also includes a stair penthouse, and the fourth floor will be set back 10' from the front facade. The resulting building would be a four-story, four-unit, with four on-site parking spaces.

After the DR was filed, the RDT required that the proposed stair penthouse be reduced in size to the minimum required by the Building Code. The plans have been revised to comply with this requirement.

SITE DESCRIPTION AND PRESENT USE

The subject property is located on the north side of Page Street between Baker Street and Broderick Street. The subject lot is 25' wide by 137.5' deep and currently developed with a 2-story mixed use building constructed prior to 1906 that covers approximately 40% of the lot. The building has been significantly altered, with all of its decorative features stripped and reclad in stucco. The Planning Department determined that building is not a historic resource for the purposes of CEQA.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject property is located in the City's Haight/Ashbury neighborhood near Buena Vista Park. The area is characterized by Victorian and Edwardian era single-family and multi-family homes. This particular block of Page has a more eclectic mix of styles with buildings built in almost every decade of the last century. The building directly to the west of the subject building (owned by the DR Requestor) is

a four-story, 12-unit apartment building constructed in 1962. The building directly to the east of the subject building is a three-story, six-unit apartment building constructed in 1926.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	July 12, 2010 – August 11, 2010	August 9, 2010	October 7, 2010	59 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	September 27, 2010	September 27, 2010	10 days
Mailed Notice	10 days	September 27, 2010	September 27, 2010	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	3	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

The Department has heard from approximately three neighbors of the subject property at least one of which is a tenant of the adjacent building to the west who have concerns over the project. The concerns are mainly over access to light and neighborhood character.

DR REQUESTOR

Fazilat Kazeminezhad
 109 Willis Drive
 Mill Valley, CA 94941
 Owner of the 12-unit apartment building directly to the west of the subject property

DR REQUESTOR’S CONCERNS AND PROPOSED ALTERNATIVES

See attached *Discretionary Review Application*, dated August 8, 2010 and a letter from the DR Requestor’s legal representation dated September 29, 2010.

PROJECT SPONSOR’S RESPONSE TO DR APPLICATION

See attached *Response to Discretionary Review*, dated September 29, 2010

ENVIRONMENTAL REVIEW

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The RDT found that due to the size of the light courts in the DR Requestor's building (approximately 15'-0" x 15'-0"), the height of the existing 2-story wall that is located adjacent to one of the light courts, and the Planning Commission's previous decisions about construction next to large light courts, it is not necessary to provide a corresponding or matching light well on the proposed project. Further, the RDT does not find the project to create any unusual impacts to surrounding properties' access to light, air, or privacy.

The Commission previously ruled on this issue for a project located at 2948 Fillmore Street, Case # 2008.0322D. While the Commission did not indicate that the decision for 2948 Fillmore Street was precedent setting, the two situations are very similar with main difference being that the adjacent neighbor does want a matching light well. The RDT agrees with the Commission's previous ruling and finds that light courts of this size provide their own light and that there is little benefit in requiring adjacent properties to match light courts with a 3' setback.

Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission as this project does not contain or create any exceptional or extraordinary circumstances.

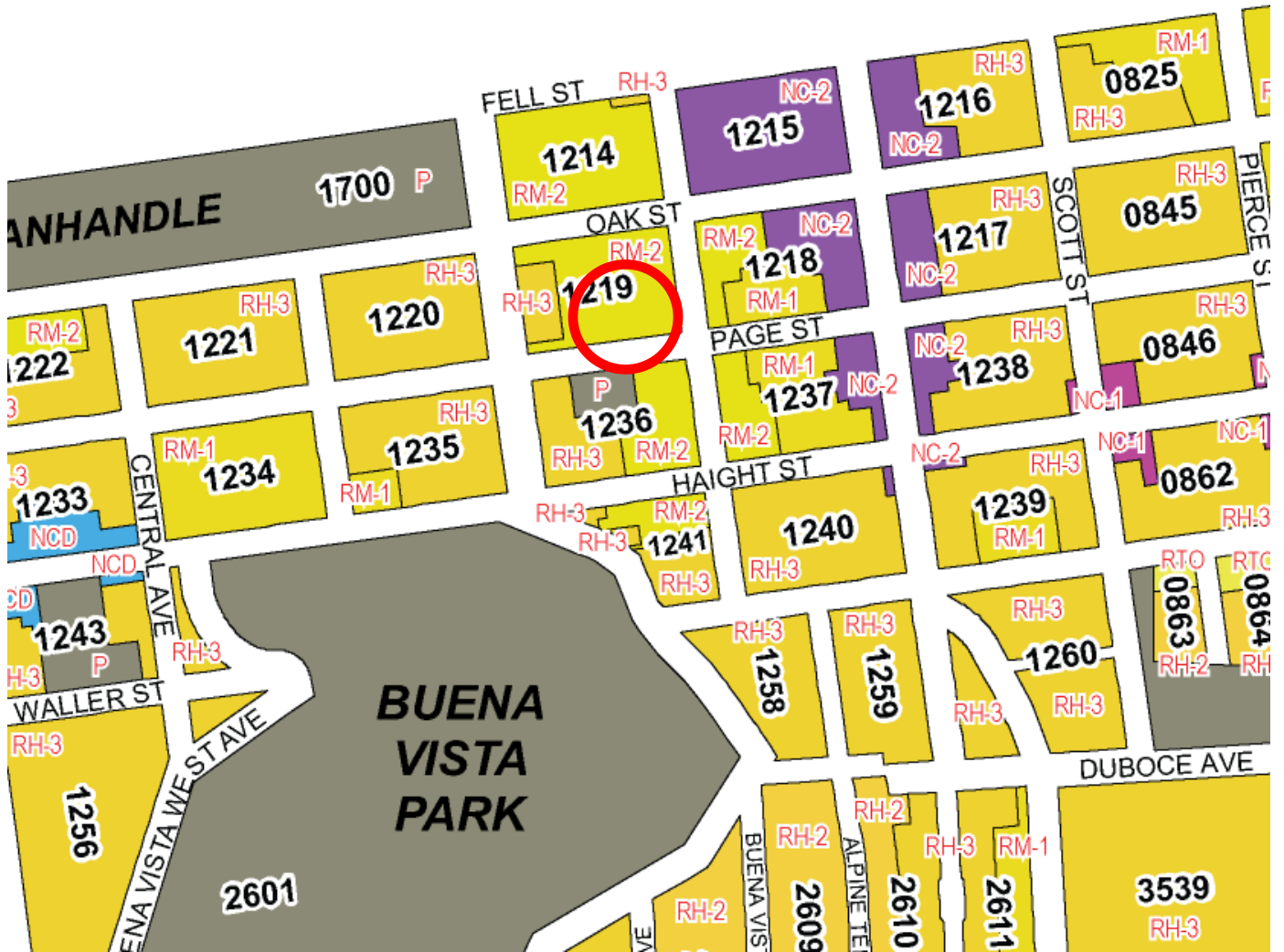
RECOMMENDATION: Do not take DR and approve project as modified
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Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
DR Application
Response to DR Application dated September 29, 2010
Reduced Plans

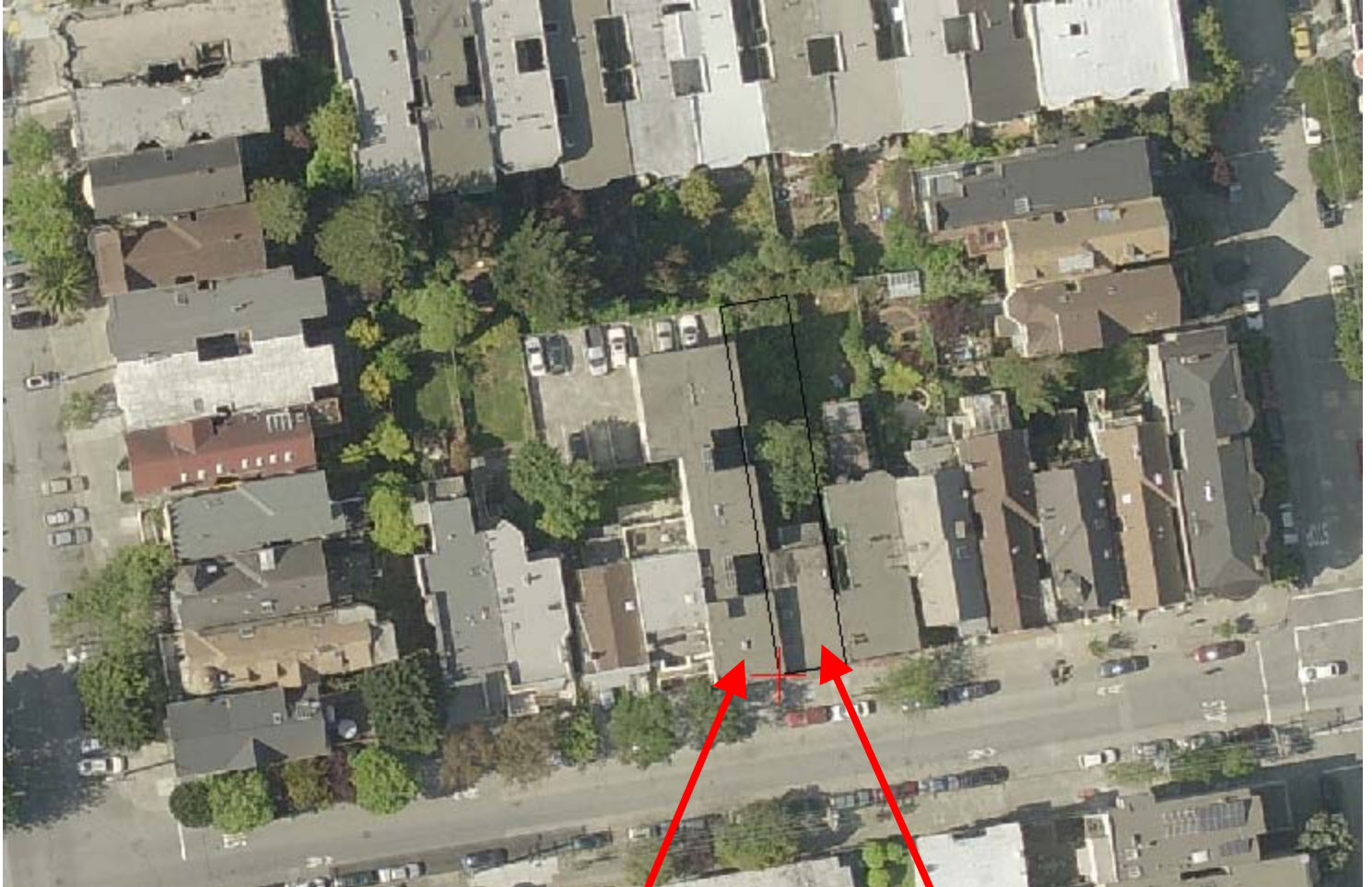
AS: G:\DOCUMENTS\Discretionary Review\1140 Page St\1140 Page Street.Abbreviated.doc

Zoning Map



Discretionary Review Hearing
Case Number 2009.1003D
1138-1140 Page Street

Aerial Photo



DR REQUESTOR'S
PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2009.1003D
1138-1140 Page Street

Site Photo



Discretionary Review Hearing
Case Number 2009.1003D
1138-1140 Page Street



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **November 3, 2009** the Applicant named below filed Building Permit Application No. **2009.11.03.0476** (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Kermann Morris Architects	Project Address:	1140 Page Street
Address:	69A Water Street	Cross Streets:	Broderick St./Baker St.
City, State:	San Francisco, CA 94133	Assessor's Block /Lot No.:	1219/011
Telephone:	(415) 749-0302	Zoning Districts:	RM-2 /40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input checked="" type="checkbox"/> CHANGE # OF DWELLING UNITS <input checked="" type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
FRONT SETBACK	None	No Change
SIDE SETBACKS	None	No Change
BUILDING DEPTH	±53'	±105.5'
REAR YARD	±84.5	±34.5
HEIGHT OF BUILDING	±33'	±40'
NUMBER OF STORIES	2	4
NUMBER OF DWELLING UNITS	1	4
NUMBER OF OFF-STREET PARKING SPACES	0	4

PROJECT DESCRIPTION

The proposal is to lower the existing floor to ceiling heights, add a two-story vertical addition, a rear horizontal addition, remove the existing commercial space (currently being used as an unwarranted residential unit), add three residential units and significantly alter the existing facade. The proposal also includes a stair penthouse, and the fourth floor will be setback 10' from the front facade. The resulting building would be a four-story, four-unit, with four on-site parking spaces.

PLANNER'S NAME: **Aaron Starr**
 PHONE NUMBER: **(415) 558-6362**
 EMAIL: **aaron.starr@sfgov.org**

DATE OF THIS NOTICE:
 EXPIRATION DATE: _____

APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name FAZILAT KAZEMINEZHAD Telephone No: 415-730-3904

D.R. Applicant's Address 109 WILLIS DRIVE
Number & Street (Apt. #)
MILL VALLEY, CA 94941
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): _____
If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name _____ Telephone No: _____

Address _____
Number & Street (Apt. #)
_____ City Zip Code

Address of the property that you are requesting the Commission consider under the Discretionary Review: 1140 PAGE STREET SAN FRANCISCO, CA 94117

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: JOHN AND SUE HARTY

Building Permit Application Number of the project for which you are requesting D.R.: 2009.11.03.0476

Where is your property located in relation to the permit applicant's property?
WEST OF THE PROPERTY IN QUESTION (NEXT TO IT)

A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

- 1. Have you discussed this project with the permit applicant? YES NO G
- 2. Did you discuss the project with the Planning Department permit review planner? YES G NO G
- 3. Did you participate in outside mediation on this case? Community Board G Other G NO G

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4. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the results, including any changes that were made to the proposed project so far.

PLEASE SEE ATTACHED LETTER DATED 10/13/09

B. DISCRETIONARY REVIEW REQUEST

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

PLEASE SEE ATTACHED LETTER DATED 8/9/10

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

PLEASE SEE ATTACHED LETTER DATED 8/9/10

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

PLEASE SEE ATTACHED LETTER DATED 8/9/10

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

CHECKLIST FOR APPLICANT:

Indicate which of the following are included with this Application:

REQUIRED:

- Check made payable to Planning Department (see current fee schedule).
- Address list for nearby property owners, in label format, plus photocopy of labels.
- Letter of authorization for representative/agent of D.R. applicant (if applicable).
- Photocopy of this completed application.

OPTIONAL:

- Photographs that illustrate your concerns.
- Covenants or Deed Restrictions.
- Other Items (specify).

File this objection in person at the Planning Information Center. If you have **questions** about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.

Signed

Janet K. Koenig
Applicant

8/9/10

Date

Fazilat Kazeminezhad
109 Willis drive
Mill Valley, Ca. 94941

8/9/10

To: SF Planning Department

Re: 1140 Page Street Proposed New Construction
Building Permit application No. 2009.11.03.0476

Dear Mr. Starr,

We are writing you in response to the 311 notification about new constructions proposed for 1140 Page Street. We own 1158 Page Street immediately to the West of the property in question and have very specific and grave concerns about the building being proposed next door to us.

As we have let Mr. Morris who is the project's architect know since our very first meeting with him last September our main objective is quite simply to sustain a healthy environment for the tenants living in our building, and key to achieving such a goal is providing proper amounts of light and air to living and sleeping spaces while also maintaining a reasonable amount of privacy for both properties.

The proposed plans lead us to believe that no attempt has been made to acknowledge our building's two main light-wells which are **the only source of light and air for nine dwelling units' living rooms and bedrooms**. In fact the design seems to simply be turning its back on our property and ignoring it as it tries to maximize light and views reaching it from the East.

Current plans show one small 3'-10" deep light-well which only occurs on the fourth floor but which makes up for even that gesture by introducing a taller stair penthouse going from the fourth floor to the roof on that very spot. One does not have to be an architect to imagine what it may feel like to look up at this soaring structure from the second floor of our building. The other light-well on our property gets even less acknowledgement with a solid wall going right up its property line.

Also important to note is that the West elevation portrayed on sheet A-3.3 of the Kerman/Morris plans dated 5/28/10 seems to imply that our building's light-wells only serve its third and fourth floors. This is not the case. We currently have a driveway on the ground floor and above that have three stories of living spaces all of which access and use the light wells. The elevation drawing in question should therefore show their wall siding starting at the second floor line and not closer to the third.

There are simple design changes which could help remedy the problems mentioned. One such way would be to create matching (even if less deep) light-wells mirroring those in our building on all of the second, third, and fourth floor living spaces. Another would be

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to keep the height and bulk of the proposed structure adjacent to the two light wells in question lower in height. Finally windows or openings in the areas in question could be designed to respect the privacy of our units wherever possible. These ideas are after all even mentioned as basic steps listed in the San Francisco Planning Department Residential Design Guideline.

We cannot overemphasize our concern about the potential impact of the proposed building on the quality of life in our building. Lack of sun-light and creating a tightened light well would surely reduce the quality of life and more importantly lead to possible problems with mold and mildew in our building's lower living units.

While we don't expect direct sunlight to all of our living spaces we do feel that the proposed design can do much more to acknowledge and respect our tenants' right to light and air. We are confident that Mr. Morris can design a building which achieves the goals of all parties involved.

We thank you for your time.



Fazilat Kazeminezhad

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10/13/09

To: Kerman Morris Architects
69A Water Street
San Francisco, CA 94133

Re: 1140 Page Street Proposed Plan

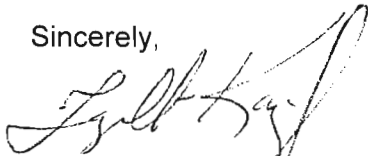
We thank you for your time and appreciate sharing your proposed structural plans with us on 9/29/09.

In the meeting as we said, our main objective is to protect and sustain a healthy and enjoyable environment for the tenants living in our building at 1158 Page Street. Your proposed plans will completely block our both courtyards which are the only sources of light for the majority of the units in our building, especially for those situated on the first two floors. Lack of exposure to enough daylight and air will create a dark and damp environment in those units, promoting development and growth of mold and mildew and in turn disruption of a sanitary and pleasant living condition for the majority of the residents in our building. San Francisco Planning Code Section 101 states that one of the purposes of the planning code is to provide adequate light and air to adjacent properties, and your plans do not show consideration for this crucial code.

We like to propose a modification in your plans to include courtyards or light wells to be matched adjacent to ours, to expand and maximize exposure to light and air for all effected units, in both of our buildings.

Please advise and share your ideas with us for further discussions and possible modifications.

Sincerely,



Fazilat Kazeminezhad
109 Willis Drive
Mill Valley, Ca. 94941
P: 415-730-3904

09.10030

anna.shimko@sdma.com

September 29, 2010

Via E-mail

President Ron Miguel and Members of the
San Francisco Planning Commission
c/o San Francisco Planning Department
1650 Mission Street, Suite 400
San Francisco, CA 94103

Re: 1140 Page Street / Building Permit Application No. 2009.11.03.0476
File No.: 11056-000001

Dear President Miguel and Members of the San Francisco Planning Commission:

We are writing on behalf of Ms. Fazilat Kazeminezhad in connection with the above-referenced building permit application to substantially enlarge (if not demolish and replace) an existing two-story, one-unit residential structure in order to create a four-story, four-unit residential structure (the "Project"). On October 7, 2010, you are scheduled to consider Ms. Kazeminezhad's request that you take discretionary review ("DR") of the Project and require design modifications in order to provide light wells that "match" those of the building next door at 1158 Page Street, thus preserving vital access to natural light and ventilation by the residents of that building. We are writing to explain why the San Francisco Planning Code and Residential Design Guidelines require this outcome, and to discuss why it is actually mandatory on other grounds that you grant DR for the Project.

Background

Ms. Kazeminezhad owns the multi-unit residential property located at 1158 Page Street, directly to the west of the Project, the residents of which depend on two light wells adjacent to the western property line of the Project for light and air. We have attached for your reference the following photographs and plans, which show the current conditions at 1158 Page Street: 1) an aerial photograph of 1158 Page Street, which shows its configuration and position with respect to the Project site; 2) a first floor plan for 1158 Page Street; and 3) several photographs of the northern and southern light wells that were taken from various perspectives. As you will see, the northern and southern light wells are the *only* source of natural ventilation and sunlight to several bedrooms and living rooms at 1158 Page Street – in fact, for one unit on each floor, *every single window* faces onto one of the two light wells.

Currently, the southern light well is partially obstructed to the east by a 33-foot-high wall on the Project site, while the northern light well faces the back yard of the Project site over a single-story fence (not a two-story wall, as is stated in the Abbreviated DR Analysis for the Project). If the Project were constructed as presently designed, the wall next to the southern light well would be raised by a

whopping 7 feet (almost an entire building story) to 40 feet in height, and the northern light well would go from facing an open space over a single-story fence to being completely obstructed by that same 40-foot wall. The residents of 1158 Page Street would suffer a dramatic loss of access to natural light and ventilation, which would directly affect their mental and physical wellbeing due to the formation of mold and mildew, darkness and dampness. As a consequence, Ms. Kazeminezhad's tenants likely would decide to move out, leaving Ms. Kazeminezhad with the difficult task of retenanting previously desirable apartments that have become dark and airless.

Despite Ms. Kazeminezhad's attempts to resolve this issue with the Project architect, no steps have been taken to rectify the situation – in fact, she was told by the architect that the light wells could be provided, but the Project sponsors did not want to spend any more money on design issues. In order to protect the interests of her tenants, therefore, Ms. Kazeminezhad was left with no choice but to request that you take DR of the Project.

Why The Project Must Be Redesigned

Planning Code Section 101 states that one of the purposes of the Planning Code is to provide adequate light, air, privacy, and convenience of access to property in San Francisco. To that end, the Residential Design Guidelines require that residential buildings are “articulated to minimize impacts on light and privacy to adjacent properties.” (Guidelines, p. 16.) A 2009 staff report in connection with a discretionary review request for a project located at 2948-2950 Fillmore Street succinctly sets forth the Planning Department's requirements regarding light wells:

In order to mitigate the effects a proposed development might have on adjacent properties, the [Residential Design Guidelines] calls [sic] for adjacent lightwells to be “matched”... the [Planning] Department seeks to apply the Residential Design Guidelines in a consistent manner, to preserve the long term interests of the neighborhood and surrounding properties.

(2948-2950 Fillmore Street Staff Report, p. 3.) Only three weeks ago, a staff report for a discretionary review request relating to 35 Lloyd Street reiterated this policy:

A shared light well was not provided in the original submission, so the Department required the proposal be modified so that it matched the adjacent [14.5-foot-long] light well. The Residential Design Team's (RDT) policy regarding shared light well's [sic] that are over 10' long is to require a minimum match of 10' or 75% of the adjacent light wells [sic] length, whichever is greater... The Department has instructed the applicant to revise the proposal so that the light well is slightly larger to better comply with the Residential Design Guidelines.

(35 Lloyd Street Staff Report, p. 5.) As you are aware, compliance with the Residential Design Guidelines is mandatory, not discretionary: “Application of the Guidelines is a mandatory step in the permit review process and all residential permit applications must comply with both the Planning Code and the Residential Design Guidelines.” (Guidelines, p. 4.) Therefore, the Project clearly must provide light wells that “match” those of 1158 Page Street.

In the present case, however, the Residential Design Team apparently has elected not to comply with the Residential Design Guidelines' unambiguous mandate that matching light wells be provided. According to the "Abbreviated DR Analysis" for the Project, this decision was based on three considerations: the size of the existing light courts at 1158 Page Street; the "height of the existing 2-story wall that is located adjacent to the light courts of [1158 Page Street]"; and "the Planning Commission's previous decisions about construction next to large light courts." None of these considerations is supportable.

As noted by the Abbreviated DR Analysis, the two light wells¹ at 1158 Page Street each measure approximately 15 feet by 15 feet. While these openings undoubtedly are larger than certain others in the City, we note that comparable situations do exist; for example, the 35 Lloyd Street Staff Report addressed a situation where the existing adjacent light well measured 14.5 feet long (its depth is not specified in the Staff Report). In fact, if the reasoning used in the 35 Lloyd Street project had been applied in the present situation, the Project sponsor would be required to provide light wells that were at least 11.25 feet long. In any event, however, the size of the light wells at 1158 Page Street does not mean that they are somehow immune to obstruction by an adjacent structure, especially since they are the only source of light and air to many of the bedrooms and living rooms of the units on each floor. The construction of a 40-foot-high wall that blocks the entire eastern exposure of each of the light wells would significantly and adversely affect the occupants of those units by drastically limiting their exposure to sunlight and natural ventilation.

The Residential Design Team's reference to "the Planning Commission's previous decisions" regarding large light courts is also baffling, as the only decision on this issue that has been provided to us by the Project planner (Aaron Starr) – the 2948-2950 Fillmore Street project cited above – is entirely inapplicable. In the case of that project, the adjacent property owner specifically requested that light wells *not* be provided, in order to preserve his privacy and minimize noise. The Planning Department noted that "the [Residential Design Guidelines] do not speak to such exceptions," and asked that if you determined that light wells were unnecessary, you state whether this was a "precedent-setting decision." (2948-2950 Fillmore Street Staff Report, p. 3.) You ultimately granted DR and decided that the light well did not need to be matched, because "[m]atching the adjacent light well of the neighbor to the south is not necessary since there is no benefit to be gained *by either property*" (emphasis supplied). (May 28, 2009, Memorandum to Interested Parties Regarding 2948 Fillmore Street, p. 1.) Furthermore, you specifically directed that "*this is not a policy setting decision*, but rather a decision based on the specific circumstances in this case" (emphasis supplied). (*Id.*) Given the differentiating aspects of the Fillmore Street project, and your explicit direction that it not be used as precedent, we fail to see how it could be relied upon in the present situation.

¹ The light wells are referred to by the Abbreviated DR Analysis as "light courts," likely in an attempt to emphasize their size. In fact, all light wells are technically light "courts," as that term is defined by Section 102.4 of the Planning Code: "[a light court is any] space on a lot other than a yard which, from a point not more than two feet above the floor line of the lowest story in the building on the lot in which there are windows from rooms abutting and served by the court, is open and unobstructed to the sky, except for obstructions permitted by this Code. An 'outer court' is a court, one entire side or end of which is bounded by a front setback, a rear yard, a side yard, a front lot line, a street, or an alley. An 'inner court' is any court which is not an outer court."

In summary, the Residential Design Team's determination that the Project need not match the light wells at 1158 Page Street is directly contradictory to the Planning Code, Residential Design Guidelines, and Planning Department policy. The Project thus must be redesigned to match the light wells at 1158 Page Street.

Why DR Is Necessary and Appropriate

Planning Department policy regarding DR is that you hear only those cases that are deemed to be "exceptional and extraordinary" because they are either (i) one-of-a-kind or (ii) representative of a policy issue that should be incorporated into design guidelines. (Discretionary Review Reform Fact Sheet, p. 2.) In the present situation, the Residential Design Team proposes to disregard an established Residential Design Guideline regarding light wells in reliance on a "policy" not to match large light wells that, so far as we have been able to determine, has never before been implemented, and certainly is not set forth in the Residential Design Guidelines. Such a policy likely would be severely detrimental to the residents of other buildings in the City with similar light well configurations. Furthermore, such a "policy" would be virtually impossible to implement in anything approaching a uniform manner, as each light well configuration is different. For instance, how large a light well would be considered too large to require matching? What if the light well footprint were long and thin rather than relatively square? What if the buildings in question were forty stories tall? In fact, if you established a policy that exempted large light wells from the "matching" requirement, you would be setting the stage for a multitude of DR requests, each alleging that its unique fact pattern should entitle it to an exemption from that exemption. By granting DR, you would be able to direct the Planning Department to address the "large light wells" policy issue by adhering to the requirements of the Residential Design Guidelines – rather than creating new guidelines that would create confusion and jeopardize the long-term interests of properties with "large" light wells.

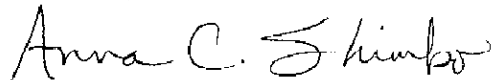
Why DR Is Actually Mandatory

Quite apart from the light well issue described above, we note that the Project was not deemed to be subject to mandatory DR under Planning Code Section 317 because it was not shown to exceed any of the thresholds for a de facto demolition. We have reviewed the demolition plans for the Project and believe that the conclusion that the threshold set forth in Section 317(b)(2)(C) was not met is in error. Specifically, the demolition plans for the south (front) elevation of the Project show several portions of that "vertical building element" as "wall to remain," when they actually should be designated as "wall to be removed." For instance, two doors and a window on the western end of the southern elevation are shown as "wall to remain," but they actually will be demolished and replaced by a new wall and garage door. This constitutes the "removal" of "vertical building elements," as those terms are defined in Subsections 317(b)(9) and 317 (b)(13), respectively. Once those areas are correctly designated, the revised calculation will show that more than 50% of the building's vertical elements will be removed. Since the demolition plans already acknowledge that more than 50% of the horizontal building elements also will be removed, the amount of demolition that will take place exceeds the threshold set forth in Section 317(b)(2)(C). Planning Code Section 317 thus requires that you take mandatory DR of the Project.

President Ron Miguel and Members of the San Francisco Planning Commission
Re: 1140 Page Street / Building Permit Application No. 2009.11.03.0476
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Page 5

While we felt obligated to bring this last issue regarding mandatory DR to your attention in order to adhere to the Planning Code, it is not Ms. Kazeminezhad's intention to cause unnecessary delay or expense for the Project; in fact, she and her tenants are looking forward to the revitalization of that property. However, it is not fair for this transformation to occur at the expense of the access to light and air that is so crucial to its neighbors' quality of life and health, nor should it be allowed to adversely affect nearby property values. We respectfully request that the Planning Commission grant DR for the Project and direct that it be redesigned to include the required light wells.

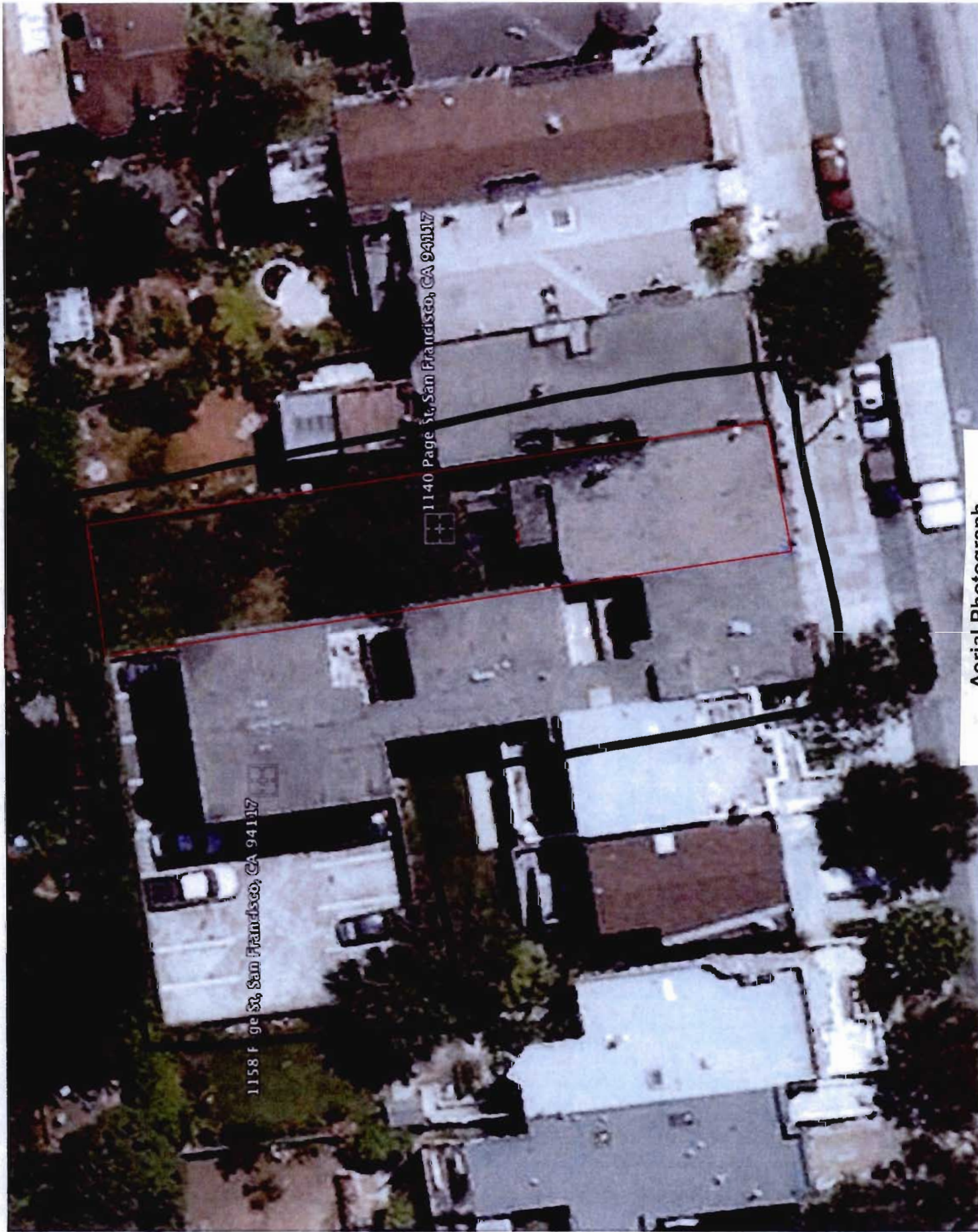
Regards,

A handwritten signature in cursive script that reads "Anna C. Shimko".

Anna Shimko
Sedgwick, Detert, Moran & Arnold LLP

Attachments

cc: Fazilat Kazeminezhad
Anna Shimko

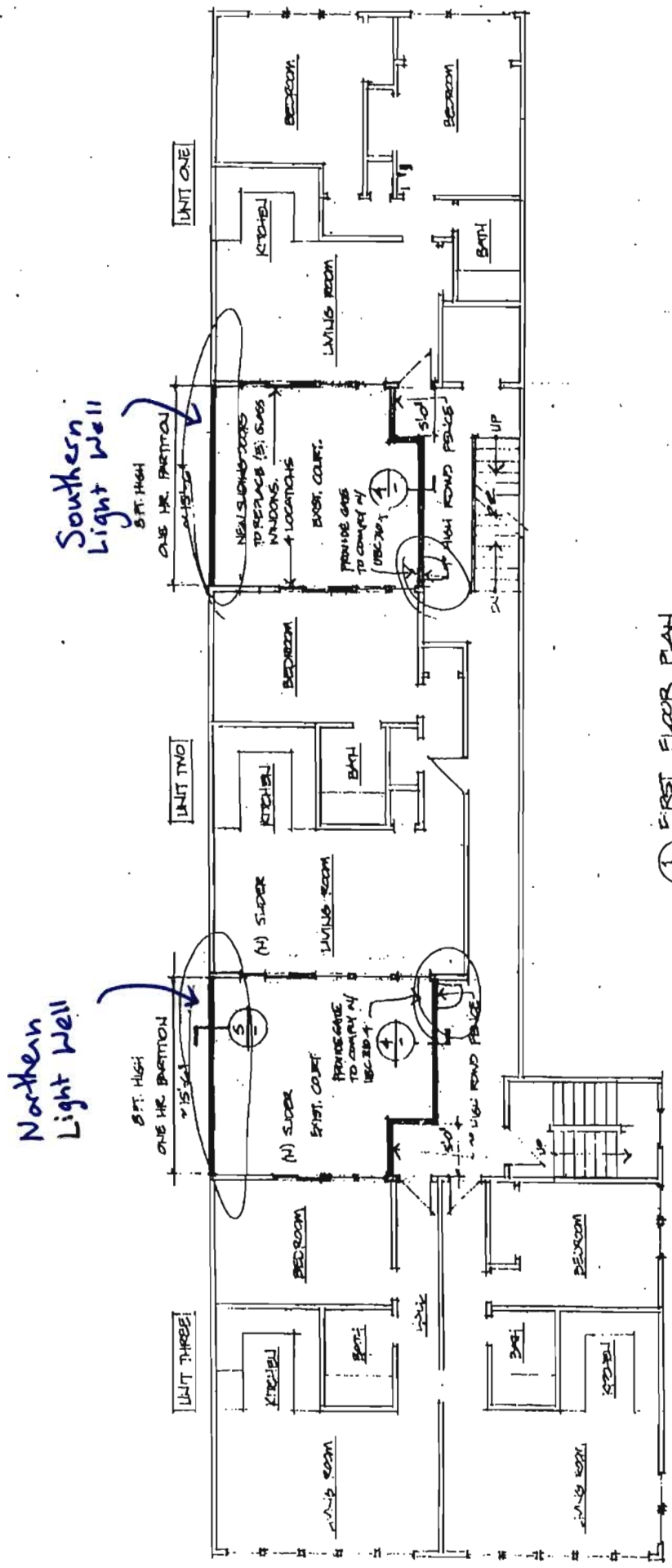


1158 F ge St, San Francisco, CA 94117

11140 Page St, San Francisco, CA 94117

Aerial Photograph
1158 & 1140 Page Street

First Floor Plan - 1158 Page Street, San Francisco, CA



1 - FIRST FLOOR PLAN
- 11610-01



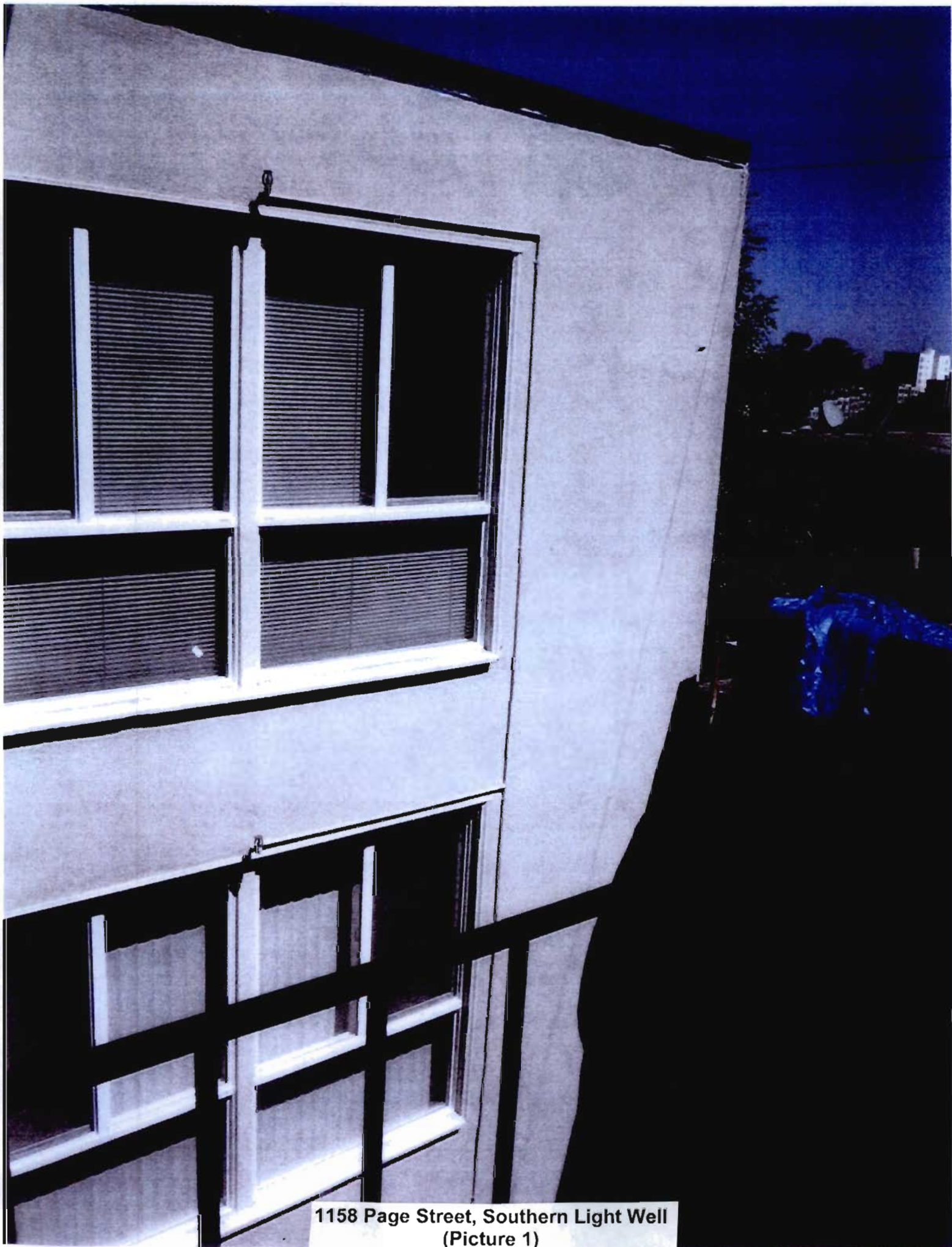
1158 Page Street, Northern Light Well
(Picture 1)



1158 Page Street, Northern Light Well
(Picture 2)



1158 Page Street, Northern Light Well
(Picture 3)



1158 Page Street, Southern Light Well
(Picture 1)



1158 Page Street, Southern Light Well
(Picture 2)



1158 Page Street, Southern Light Well
(Picture 3)



1158 Page Street, Southern Light Well
(Picture 4)

September 29, 2010

Mr. Ron Miguel, President
San Francisco Planning Commission
1650 Mission Street, Suite 400
San Francisco, CA 94103-2414

RE: 1140 PAGE STREET: RESPONSE TO D.R. APPLICATION

Dear President Miguel,

This letter is in response to points made by the D.R. Applicant in her 8/9/10 Application and accompanying letter. The D.R. Applicant's objection to our design centers on the perception that our proposed development will unreasonably impact her large "light courts". This is simply unfounded. 1158 Page Street was designed specifically with two large "light courts" (approximately 15 feet wide by 15 feet deep and 3 stories tall above the garage) to provide sufficient light and air to its own units and simultaneously to provide protection against the eventual build out of the subject lot at 1140 Page Street. This is where we find ourselves today.

The D.R. Applicant has made two demands: that we,

- provide matching light wells against her "light courts" and that we
- relocate our stair penthouse closest to her southern "light court" to minimize shading of her units.

Along the D.R. Applicant's southern light court we are already providing a matching light well (approximately 3'-10" deep) at the top story. In response to her second stated concern, we have also revised our design to reduce our adjacent stair penthouse to the minimal headroom to meet Building Code requirements. We have not, however, provided matching light wells to her light courts, as they would prove very disruptive to the layout of our addition (we are already providing a large light well at the east side of our property and a 5' wide by 37' deep side yard which was required by RDT review) while providing minimal, if any, increased light to her units.

The Planning Department and Residential Design Team have made the findings that "no extraordinary circumstances" are created by our design (please see the RDT Review of 8/26/10) with respect to surrounding properties' access to light, air or privacy; and due to the size of the D.R. Applicant's light courts and Planning Commission precedent on similar cases regarding construction next to large light courts, no matching light wells are required.

We respectfully request you do not take D.R. and approve our design as is.

Sincerely yours,

Edward D. Morris, Architect ("Toby")
Principal, Kerman/Morris Architects, LLP

Cc. Ms. Christina Olague, Commission Vice President
Cc. Mr. Michael J. Antonini, Commissioner
Cc. Ms. Gwyneth Borden, Commissioner
Cc. Ms. Kathrin Moore, Commissioner
Cc. Mr. Hisashi Sugaya, Commissioner



SAN FRANCISCO PLANNING DEPARTMENT

RESIDENTIAL DESIGN TEAM REVIEW

DATE: 08/23/10 RDT MEETING DATE: 8/26/10

PROJECT INFORMATION:

Planner: Aaron Starr
 Address: 1140 Page Street
 Cross Streets: Broderick and Baker Streets
 Block/Lot: 1219/011
 Zoning: RM-2
 Height/Bulk District: 40-X
 BPA/Case No. 2009.11.03.0476
 Project Status Initial Review Post NOPDR DR Filed

1650 Mission St
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6408

Planning
Information:
415.558.6377

PROJECT DESCRIPTION:

Rear horizontal addition, vertical addition and façade changes

PROJECT CONCERNS:

DR filed. Issue with light well vs' light court.

RDT COMMENTS:

- The RDT would like the front stair penthouse to be reduced in size to the minimum required by the Building Code. (RDG, pg. 38)
- Due to the size of the DR Requestor's light courts (approximately 15'-0"x15'-0"), the height of the existing 2-story wall that is located adjacent to the light courts of the DR Requestor's property, and the Planning Commission's previous decisions about construction next to large light courts, the RDT does not find it necessary to provide a corresponding or matching light well. (RDG, pg. 16, 38).
- The RDT does not find the project to create any unusual impacts to surrounding properties' access to light, air, or privacy. (RDG, pg. 16, 17)
- The project does not contain or create any exceptional or extraordinary circumstances.
- Under the Commission's pending DR Reform Legislation, this project would not be referred to the Commission. As such, this DR warrants an Abbreviated DR Analysis.

ADJACENT PROPERTY
BLOCK 1219/ LOT 039

SUBJECT PROPERTY
BLOCK 1219/ LOT 011

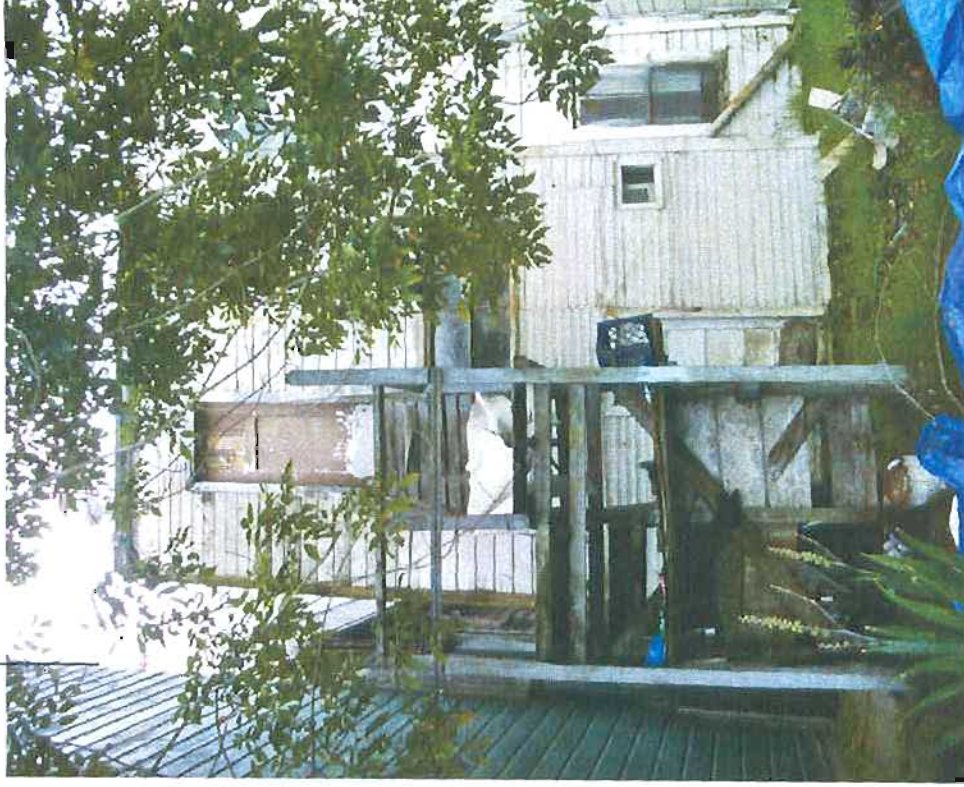
ADJACENT PROPERTY
BLOCK 1219/ LOT 010



← ADJACENT PROPERTY
BLOCK 1219/ LOT 010



SUBJECT PROPERTY
BLOCK 1219/ LOT 011



ADJACENT PROPERTY
BLOCK 1219/ LOT 039



PROPERTY
ACROSS STREET
BLOCK 1236/ LOT 026

PROPERTY ACROSS STREET
BLOCK 1236/ LOT 025





1158 PAGE:
FRONT LIGHTWELL
APPROXIMATELY 15'-0" WIDE
AND 15'-0" DEEP

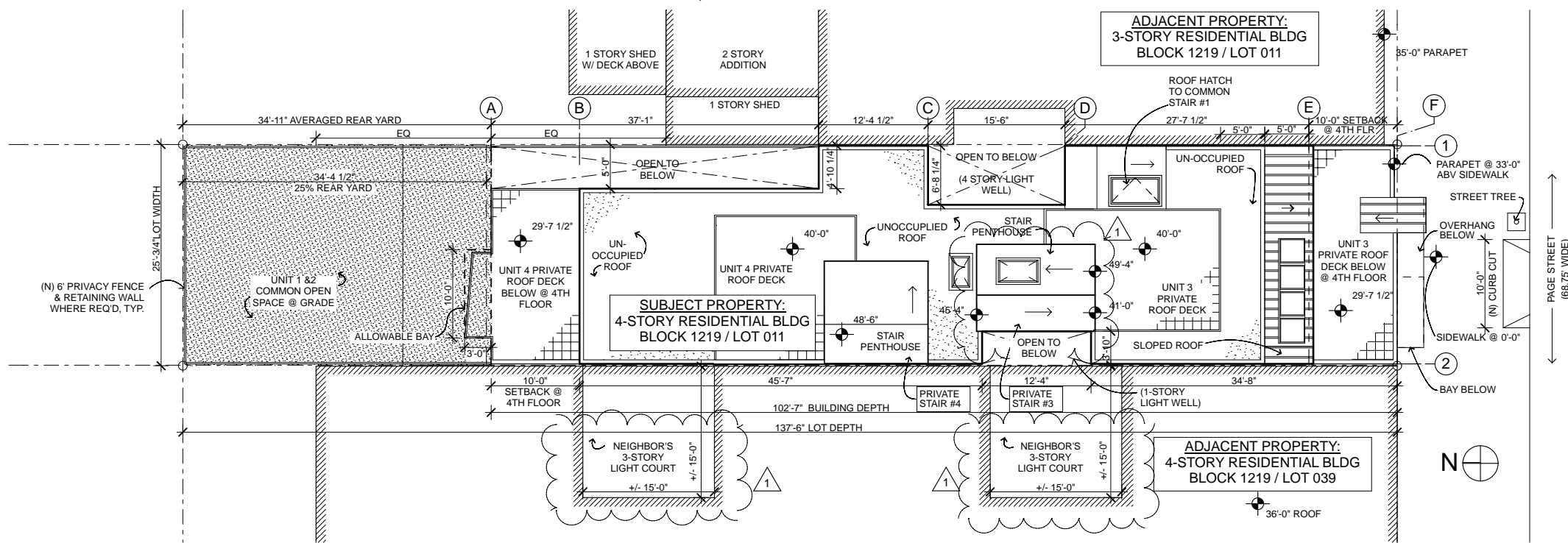


1158 PAGE:
REAR LIGHTWELL
APPROXIMATELY 15'-0" WIDE
AND 15'-0" DEEP

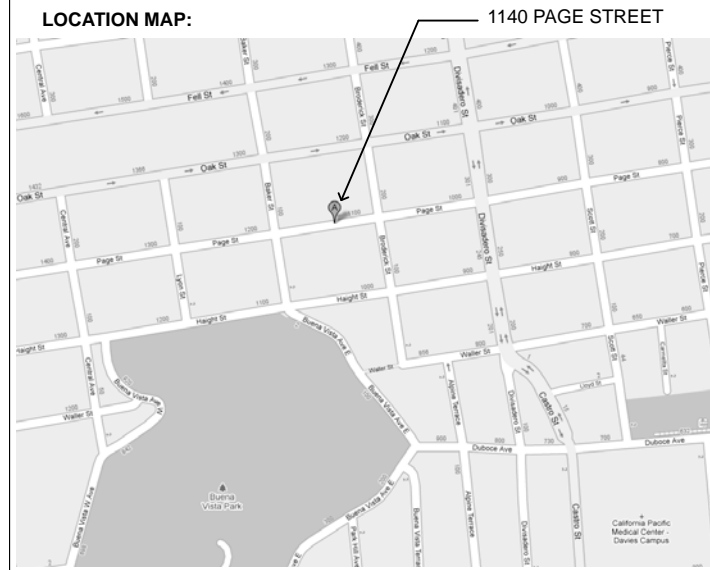


1140 PAGE STREET

ADDITION AND ALTERATION
4-STORY, 4-UNIT RESIDENTIAL BLDG



1 SITE PLAN
SCALE: 1/8" = 1'-0"



KERMAN MORRIS
Architects
69A WATER STREET
SAN FRANCISCO
CALIFORNIA 94133
TEL: 415.749.0302
FAX: 415.928.5152

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
1 PLNG R3 FOR D.R. - 9/8/10

TITLE 24 COMPLIANCE:
Title-24 Mandatory Measures:
All work to comply with Title-24 Mandatory Measures including but not limited to: R-13 min. insulation in all new/rebuilt exterior walls; R-19 min. insulation in all new/rebuilt roofs; R-13 raised floor insulation in all new/rebuilt wood framed floors; double insulated doors and window products with certified U-value and infiltration certification; exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed; 50% minimum high efficacy lighting in kitchens (separately switched); high efficacy lighting in bathrooms, garage, laundry room and utility rooms (or manual-on occupancy sensor); all other rooms, lighting to be high efficacy, manual-on occupancy sensor, or dimmer. All recessed incandescent ceiling fixtures to be IC approved. All recessed fluorescents to be ICAT rated. Outdoor lighting to be high efficacy or motion sensor with photocell. All exterior lights to be high efficacy or to be controlled by a motion sensor with photo cell per CEC 150(k).6. See attached compliance sheets on A-0.2, project notes, product information and drawings for project specific insulation levels and energy efficiency provisions.

1140 PAGE STREET
ADDITION & ALTERATION
BLOCK 1219 / LOT 011

PLANNING DEPARTMENT NOTES:

PROJECT LOCATION: 1140 Page Street, Block 1219/ Lot 011
ZONING DISTRICT: RM-2
HEIGHT DISTRICT: 40-X
LOT SIZE: 3,437.5 sf
CURRENT USE: R-3, (e) single-family residence
PROPOSED USE: R-2 over U, addition/alteration resulting in a 4-unit residential building with off-street parking (4 stacker spaces) @ street level.
DENSITY: Per SFPC Section 207.1, (1) dwelling unit per 600 sf of lot area. (3,437.5 / 600 = 5.7 units = 5 units allowed) 4 units proposed.
SETBACKS:
Front Setback: Per SFPC Section 132, average between adjacent neighbors. (E) front building wall shall remain in place.
Rear Yard: 45% of lot depth, but not less than 25%. Per SFPC Section 134 (c)(1), proposed rear yard is averaged between adjacent neighbor's rear yards. 25.4% rear yard provided.
USABLE OPEN SPACE: Per SFPC Section 135, 80 sq private or 106.4 sf common open space required. Common open space provided for Unit 1 & 2 @ rear yard (873 SF). Unit 2 has a additional private roof deck at the second floor (38 SF). Units 3 & 4 have private roof decks at the 4th floor and roof level of > than 80 sf.
PARKING: Per SFPC Section 150, 1 space / dwelling unit required. 4 spaces required and provided in stackers.

ABBREVIATIONS:

#	NUMBER	AT	JOINT
AB	ANCHOR BOLT		LAV
ADJ	ADJACENT		LAV
ALT	ALTERNATE		MAX
AFF	ABOVE FINISH FLOOR		MIN
APPROX	APPROXIMATE		MFR
ASPH	ASPHALT		MTL
			(N)
			NIC
			NO#
			NTS
BLDG	BUILDING		OC
BTWN	BETWEEN		OPNG
BOT	BOTTOM		OPP
CAB	CABINET		PL
CEM	CEMENT		PLY
CMU	CONCRETE MASONRY UNIT		PTDF
COL	COLUMN		PTDF
CONT	CONTINUOUS		PLAM
CTR	CENTER		PTD
CL	CENTER LINE		PTN
CER	CERAMIC		
CLG	CEILING		R
CONC	CONCRETE		REF
			REFR
DBL	DOUBLE		RWD
DEPT	DEPARTMENT		REINF
DIA	DIAMETER		RO
DF	DOUGLAS FIR		RWL
DH	DOUBLE HUNG		REQ
DM	DIMENSION		REQ
DN	DOWN		SIM
			SHT
DS	DOWNSPOUT		SOG
DTL	DETAIL		SPEC
DWG	DRAWING		STD
			STR
(E)	EXISTING		SUSP
EA	EACH		SYM
ELEC	ELECTRICAL		
EL	ELEVATION		TRD
EQ	EQUAL		T&G
EXT	EXTERIOR		THK
			TOS
FDN	FOUNDATION		TP
FIN	FINISH		TB
FLR	FLOOR		TYP
FLUOR	FLUORESCENT		
FOC	FACE OF CONCRETE		UON
FOS	FACE OF STUD		VERT
FTG	FOOTING		VIF
FOF	FACE OF FINISH		W
			WO
GALV	GALVANIZED		WC
GFIC	GROUND FAULT INTERRUPT CIRCUIT		WDW
GND	GROUND		WP
GYP	GYPSON		WT
GWB	GYPSON WALL BOARD		WD
			WH
HORZ	HORIZONTAL		
HT	HEIGHT		
INSUL	INSULATION		
INT	INTERIOR		

LEGEND:

(E)	ONE-HOUR WALL
(N)	ONE-HOUR WALL
BLDG	WALL SECTION
	EXTERIOR ELEVATION
	COLUMN LINE
	ELEVATION MARKER
	RECESSED COMPACT FLOURESCENT
	RECESSED DOWNLIGHT
	RECESSED ADJ. DOWNLIGHT
	RECESSED WALL WASHER
	SURFACE MTD. CEILING FIXTURE/PENDANT
	CEILING MOUNTED PULL CHAIN
	WALL MTD. FIXTURE
	UNDER CABINET FIXTURE
	UNDER CABINET FLOURESCENT
	CEILING MTD. FLOURESCENT
	SURFACE MTD. FLOURESCENT FIXTURE
	SURFACE MTD. TRACK FIXTURE
	SURFACE MTD. FIXTURE W/PULL CHAIN
	EXTERIOR PATH LIGHT
	WALL MOUNTED FAN
	CEILING EXHAUST FAN
	RECESSED FAN/ LIGHT COMBO
	SINGLE POLE AND MULTI-LOCATION SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	SINGLE POLE AND MULTI-LOC. WALL DIMMER
	REMOTE TRANSFORMER
	DUPLEX RECEPTACLE
	WATERPROOF DUPLEX RECEPTACLE
	DUPLEX RECEPT. GROUND FAULT CIRCUIT INTERRUPTER
	FLOOR DUPLEX RECEPT. W/ REMOVABLE FLUSH COVER
	TELEPHONE OUTLET
	CHIME W/LOW VOLTAGE TRANSFORMER
	CABLE TV
	DOOR BUZZER
	THERMOSTAT
	INTERCOM
	IN SINK DISPOSAL
	SMOKE DETECTOR (AC POWERED W/ BATTERY BACK UP)
	LIGHTED EXIT SIGN W/ BATTERY BACK-UP PER UBC SEC. 1013
	HOSE BIB

GROSS BLDG SQUARE FOOTAGE:

	(E) RSDNTL	(E) GARAGE	PROPOSED RSDNTL	PROPOSED GARAGE	TOTAL
1ST FLR	1,170	0	1,524	775	2,299
2ND FLR	1,216	0	2,297	0	2,297
3RD FLR	0	0	2,315	0	2,315
4TH FLR	0	0	1,761	0	1,761
TOTAL	2386 sf	0	7,897 sf	775 sf	8,672 sf

PLNG R3 FOR D.R.
9/8/2010

DESCRIPTION OF WORK:

This work consists of a substantial remodel and addition to transform an existing 2-story, single-family residence of Type V-B wood construction into a 4-story, 4-unit residential building of Type V-A wood construction. 4 stacker parking spaces provided in ground floor garage.

All work to comply with current local and state codes including, but not limited to: the 2007 Edition of the California Building Code, the California Plumbing Code, the California Mechanical Code, the California Electrical Code and the California Fire Code, the current editions of the San Francisco Building and Planning Codes, Title-24 Energy Standards, etc...

BUILDING DATA:

OWNERS:	JOHN AND SUE HARTY TEL: (415) 716 -0093
BLOCK/LOT:	BLOCK 1219 / LOT 011
ZONING DISTRICT:	RM-2/ 40-X
LOT SIZE:	3437.5 SQ. FT.
SFBC OCCUPANCY CLASS:	R-2 OVER U
CONSTRUCTION TYPE:	TYPE V-A, 1-HOUR
AGENT / DESIGN:	KERMAN MORRIS ARCHITECTS 69A WATER STREET SAN FRANCISCO, CA 94133 T: (415) 749-0302 F: (415)928-5152

INDEX OF DRAWINGS

T-1	SITE PLAN
S-1	SURVEY
A-1.1	EXISTING/DEMO FIRST & SECOND FLOOR PLAN
A-1.2	EXISTING/DEMO ROOF PLAN
A-1.3	EXISTING/DEMO ELEVATIONS
A-2.1	FIRST & SECOND FLOOR PLANS
A-2.2	THIRD & FOURTH FLOOR PLANS
A-2.3	ROOF PLAN
A-3.1	FRONT & REAR ELEVATIONS
A-3.2	EAST ELEVATION
A-3.3	WEST ELEVATION
A-3.4	SECTION
A-3.5	CROSS SECTIONS
A-3.6	SITE LINE ANALYSIS

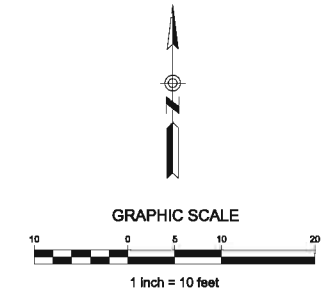
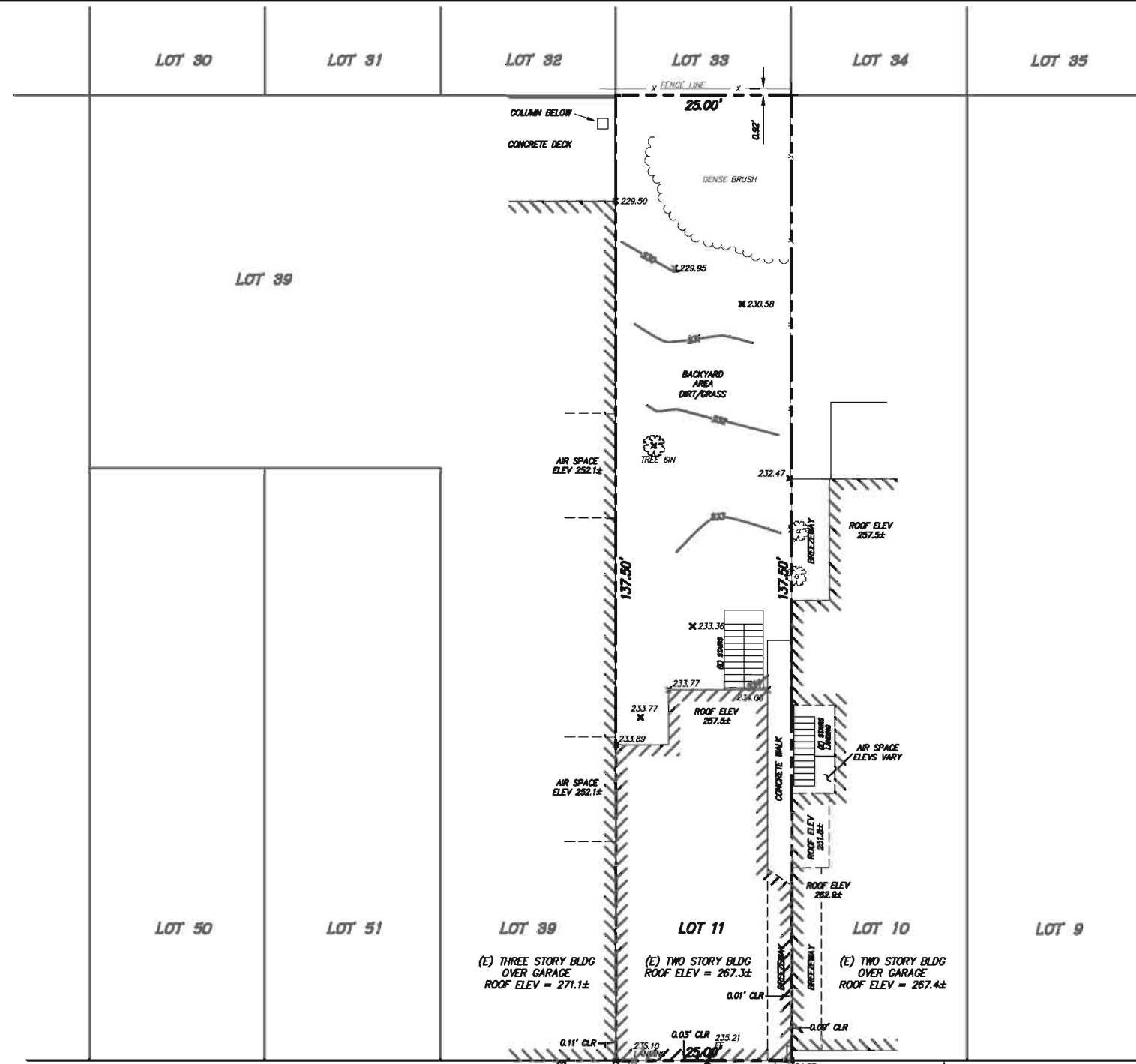
SITE PLAN

NOTICE
These drawings and specifications are the property and copyright of KermanMorrisArchitects and shall not be used on any other work except by written agreement with KermanMorrisArchitects.
The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of KermanMorrisArchitects prior to the commencement of any work.
These drawings are an industry standard building set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details. SPECIFICALLY EXCLUDED FROM THE SCOPE OF DESIGN SERVICES AND AS INDICATED IN THESE PLANS ARE ALL WATERPROOFING DETAILS/ DESIGN, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER.
All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

DATE:	9/8/2010
SCALE:	
DRAWN BY:	TTD
CHECKED BY:	TM
JOB NO.:	0909

DRAWING
T-1
1 of 13 sheets

98/2010 - PLNG R3 FOR D.R.

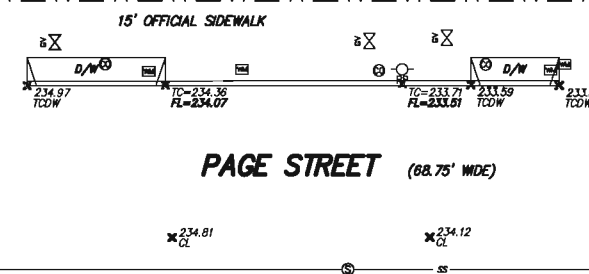


NOTE TO ANYONE HAVE ANY INTEREST IN THIS MAP, PLEASE BE ADVISED OF THE FOLLOWING:

1. THAT ALL TITLE INFORMATION HEREON (INCLUDING EASEMENTS IF ANY) WAS PREPARED SOLELY FOR AND IN STRICT CONFORMANCE WITH OUR CLIENT'S AND/OR HIS AGENTS REQUIREMENTS. THE FOLLOWING INFORMATION WAS SUPPLIED TO TRANSMERICAN ENGINEERS: (C) DEED (S) TITLE REPORT (S) A.P.M. (S) ADDRESS OF THE P.L.G.
FURTHERMORE, WE HEREBY DISCLAIM ANY AND ALL TITLE SEARCH RESPONSIBILITIES AS BEING BEYOND OUR CONTRACT AND COMMITMENT TO OUR CLIENT.
2. THAT THIS MAP WAS PREPARED AS A PROFESSIONAL INSTRUMENT OR SERVICE AND THAT IT REMAINS THE PROPERTY OF TRANSMERICAN ENGINEERS WHETHER THE PROJECT (IF ANY PROPOSED) ON THIS SITE IS CONSTRUCTED OR NOT.
3. THAT ANY INFORMATION ON THIS MAP AND ANY DOCUMENT(S) PREPARED BY TRANSMERICAN ENGINEERS IN RELATION HEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE THAN FOR BUILDING PERMITS.
FURTHERMORE, THE USE OF THIS MAP FOR ANY OTHER PURPOSES WHATSOEVER INCLUDING ENGINEERING DESIGNS OF OFFSITE OR ONSITE IMPROVEMENTS IS BEYOND THIS MAP'S PURPOSE, INTENT & CONTRACT. TRANSMERICAN ENGINEERS DISCLAIMS ANY AND ALL RESPONSIBILITIES, LIABILITIES WHICH SHALL REST UPON THE PARTY USING OUR INFORMATION BEYOND THE ESTABLISHED LIMITATION ABOVE.
4. THAT ANY IMPROVEMENT CHANGES WITHIN THIS SITE OR THE ADJACENT SITES THEREOF AS WELL AS TITLE TRANSFERS OF THE PROPERTY IN QUESTION (EXCEPT FOR ALTA MAPS) AND/OR THE LAPSE OF 3 OR MORE YEARS FROM THE DATE OF THIS MAP (WHICHEVER COMES FIRST) SHALL VOID ALL INFORMATION HEREON UNLESS A RESURVEY IS ORDERED TO RECTIFY, UPDATE OR RE-CERTIFY THIS MAP.
5. THAT THIS INFORMATION SHALL NOT BE USED FOR ANY IMPROVEMENT STAKING UNLESS STATED IN ITEM NO. 3 ABOVE.
6. THAT THE USE OF THIS MAP BY OTHER CONSULTANTS OR CONTRACTORS ON BEHALF OF OUR CLIENT SHALL PROMPT THE IMMEDIATE FULFILLMENT OF ALL CLIENTS OBLIGATIONS TO TRANSMERICAN ENGINEERS UNLESS OTHERWISE AGREED TO.
7. THAT UNDERGROUND UTILITIES (IF ANY) SHOWN HEREON WERE OBTAINED FROM INFORMATION PROVIDED TO TRANSMERICAN ENGINEERS BY UTILITIES COMPANIES. TRANSMERICAN ENGINEERS DOES NOT ASSUME ANY RESPONSIBILITY FOR THEIR EXISTENCE OR ACCURACY.
8. THAT SURFACE UTILITIES, MANHOLES, ETC. AS SHOWN HEREON WERE LOCATED BY FIELD SURVEY.
9. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ALL ISSUES REGARDING PROPERTY DISPUTES WHICH MAY ARISE OUT OF INFORMATION SHOWN HEREON.

SPECIAL NOTES

1. ELEVATIONS SHOWN AS "ROOF ELEV." HEREON ARE IN FACT THE ELEVATIONS OF THE HIGHEST POINT OF SIDE WALLS. THESE ELEVATIONS MAY BE EITHER THE ROOF OR THE PARAPET ELEVATION OF SUCH ROOF. FLAT ROOF LEVELS WERE NOT VISIBLE FROM SURVEY POINT.
2. "PARAPET ELEV." SHOWN HEREON ARE THE HIGHEST POINT OF SUCH PARAPET.
3. "ROOF PEAK ELEV." AND "EAVE ELEV." (IF ANY SHOWN HEREON) ARE THE HIGHEST POINT OF ROOF PEAKS AND THE LOWEST POINTS OF ROOF EAVES RESPECTIVELY.
4. DUE TO LIMITED ACCESS TO THE REAR OR THE ADJACENT AND/OR THE PARAPET SUBJECT BUILDING(S) AND/OR COVERED STRUCTURE(S) AT THE TIME OF THIS SURVEY, THE TOPOGRAPHIC DATA FOR THOSE BUILDING(S) AND/OR STRUCTURE(S) IS NOT SHOWN HEREON.
5. IT SHALL BE THE RESPONSIBILITY OF OUR CLIENT TO CALL OUR OFFICE IN ORDER TO HAVE OUR SURVEYORS LOCATE ADDITIONAL INFORMATION AND/OR STRUCTURE(S) ONCE THE SITE HAS BEEN CLEARED. WE REQUIRE AN ADVANCE NOTICE OF FOUR (4) DAYS MORE OR LESS.
6. ALSO, NOTE THAT THERE WILL BE ADDITIONAL CHARGES FOR SUCH STAKING AS IT IS NOT A PART OF THE SCOPE OF THIS JOB'S CONTRACT.



LEGEND

- (Symbol) CITY MONUMENT
- (Symbol) SET 1 1/2" REBAR & PLASTIC CAP LS 8975
- (Symbol) FND 1 1/2" REBAR
- (Symbol) SET NAIL & TAG LS 8975
- (Symbol) FOUND L CUT
- (Symbol) SET CROSS
- (Symbol) FD CROSS
- (Symbol) FIRE HYDRANT
- (Symbol) JOINT POLE
- (Symbol) WATER METER
- (Symbol) ELECTRIC METER
- (Symbol) ELECTRIC BOX
- (Symbol) TELEPHONE VAULT
- (Symbol) WATER VALVE
- (Symbol) GAS VALVE
- (Symbol) CLEAN OUT
- (Symbol) ELECTROLIER
- (Symbol) CATCH BASIN
- (Symbol) SEWER MANHOLE
- (Symbol) STORM MANHOLE
- (Symbol) LAMPPOLE
- (Symbol) PARKING METER
- (Symbol) CONCRETE
- (Symbol) ASPHALT PAVING

ABBREVIATIONS

- | | |
|--------|-----------------------------|
| [] | ASSESSOR'S PLAT INFORMATION |
| AC | ASPHALT CONCRETE |
| BLDG | BUILDING |
| CLR | CLEAR |
| CO | CLEANOUT |
| COR | CORNER |
| CB | CATCH BASIN |
| DW | DRIVEWAY |
| DI | DROP INLET |
| ELEV | ELEVATION |
| (E) | EXISTING |
| FND | FOUND |
| GV | GAS VALVE |
| FL | FLOW LINE |
| HC | HANDICAP RAMP |
| (N) | NEW |
| OV | OVER |
| P.I.Q. | PROPERTY IN QUESTION |
| P/L | PROPERTY LINE |
| PROJ | PROJECTED |
| TC | TOP OF CURB |
| WM | WATER METER |
| PM | PARKING METER |

BENCH MARK

PAGE & BRODERICK STREETS (SSMH @ CL-CL)

L:\6168.dwg 6/16/09 11:33:17 PM, uperce

Job No.	6168
Sheet No.	1 OF 1
Date	05/11/09
Survey	BP 05/04/09
Design	N/A N/A
Drawn	BP 05/11/09
Checked	BP 05/11/09
Scale	1"=10'



FOX PLAZA
1390 Market St., Suite 201
San Francisco, CA 94102
Phone No. (415) 553-4002
Fax No. (415) 553-4071

ARCHITECTURAL TOPOGRAPHIC SURVEY
 ASSESSOR'S BLOCK No. 1219
 LOT No. 11
 1138 PAGE STREET
 SAN FRANCISCO CALIFORNIA

Approved by:	Chief Engineer License No. E3C
Approved by:	Chief Surveyor License No. 8975 Expires 8/30/2009
Revisions	By:

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



1140 PAGE STREET

ADDITION & ALTERATION

BLOCK 1219 / LOT 011

EXISTING/DEMO FIRST & SECOND FLOOR PLAN

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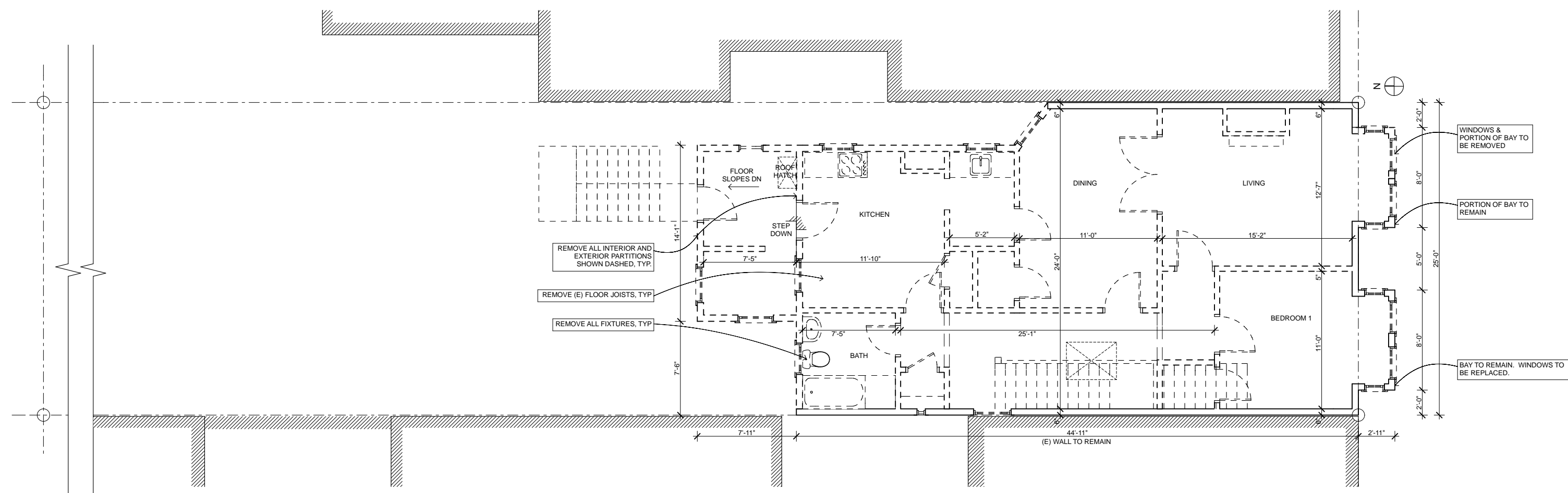
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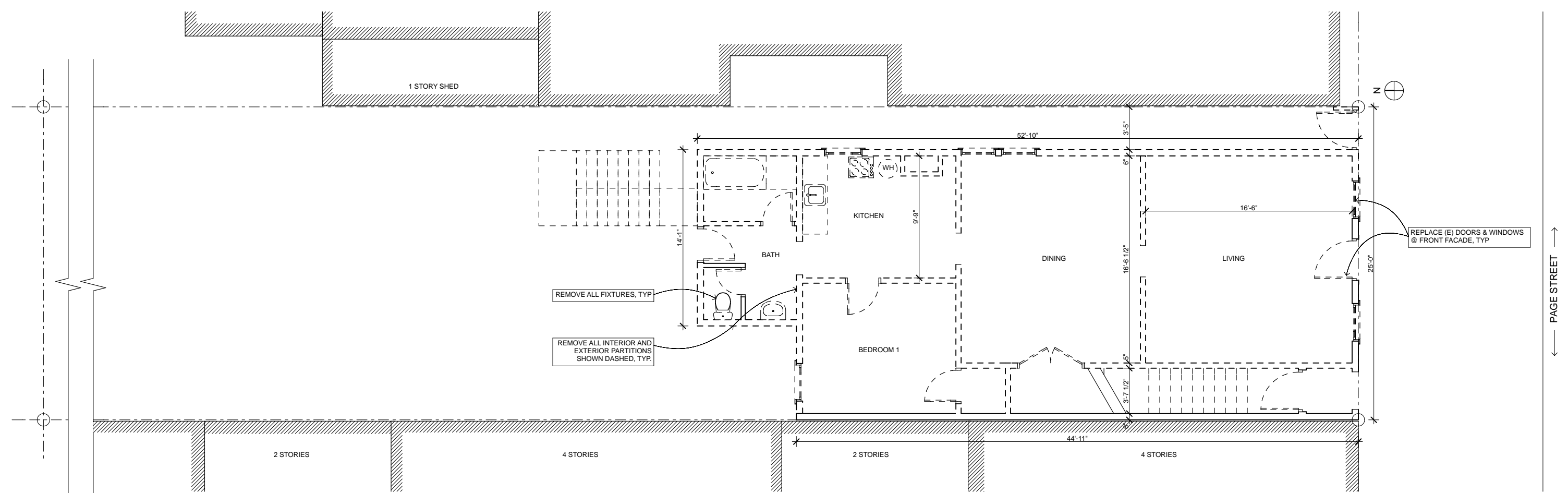
DATE:	9/8/2010
SCALE:	
DRAWN BY:	TTD / ITO
CHECKED BY:	TM
JOB NO.:	0909

DRAWING

A-1.1



2 (E) SECOND FLOOR/ DEMO PLAN
SCALE: 1/4" = 1'-0"

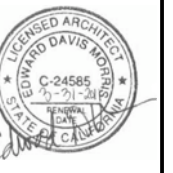


1 (E) FIRST FLOOR/ DEMO PLAN
SCALE: 1/4" = 1'-0"

PAGE STREET

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



1140 PAGE STREET

ADDITION & ALTERATION

BLOCK 1219 / LOT 011

EXISTING/DEMO ROOF PLAN

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DATE: 9/8/2010

SCALE:

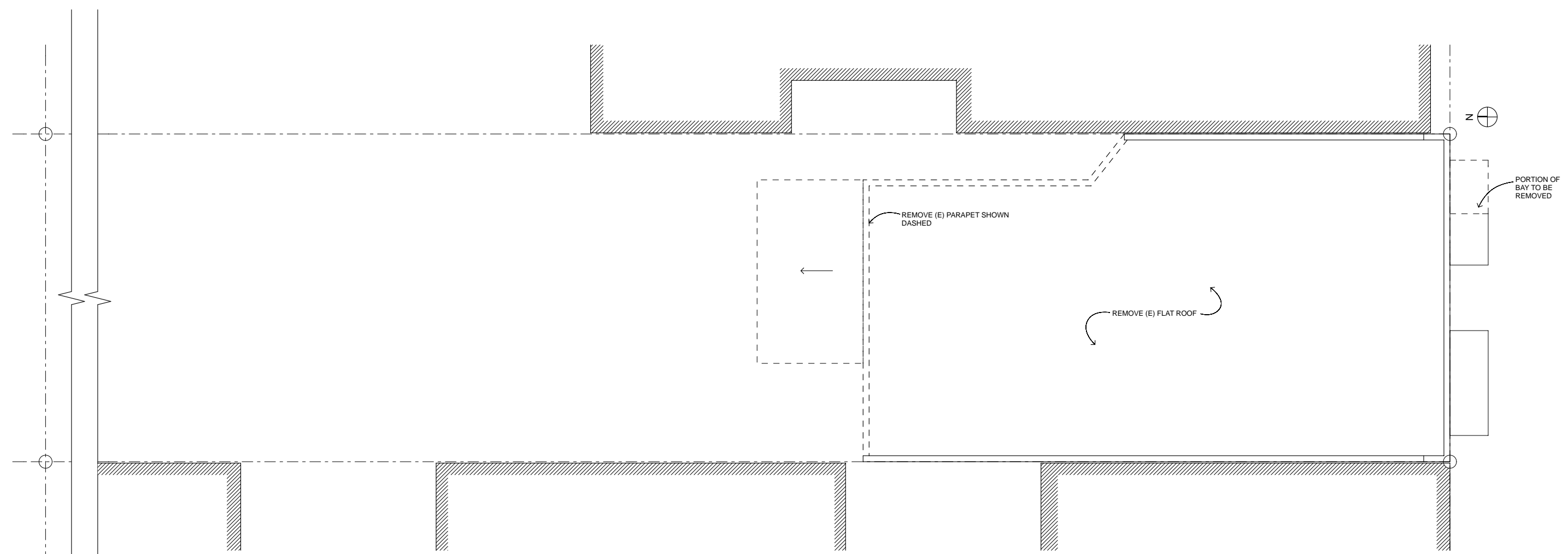
DRAWN BY: TTD / ITO

CHECKED BY: TM

JOB NO.: 0909

DRAWING

A-1.2

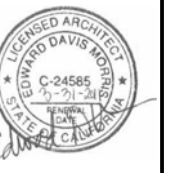


2 (E) ROOF/ DEMO ROOF PLAN
SCALE: 1/4" = 1'-0"

1140 PAGE STREET
09/2010 - PLNG R3 FOR D.R.

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



1140 PAGE STREET

ADDITION & ALTERATION

BLOCK 1219 / LOT 011

EXISTING/DEMO ELEVATIONS

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DRAWN BY:	TTD / ITO
CHECKED BY:	TM
JOB NO.:	0909

DRAWING

A-1.3

DEMO CALCULATIONS PER SFPC 317(b)(2)(B)

Project removes more than 50% of the sum of front and rear facades

BUT DOES NOT

Remove more than 65% of exterior walls, measured in linear feet from foundation.

ELEV	KEEP	DEMO
SOUTH	17.00'	8.00'
EAST	0.00'	52.85'
NORTH	0.00'	21.60'
WEST	45.00'	8.00'
TOTAL	62.00'	90.45'

90.45' / 152.45' = 59.3% < 65%

DEMO CALCULATIONS PER SFPC 317(b)(2)(C)

Project removes more than 50% of horizontal building elements

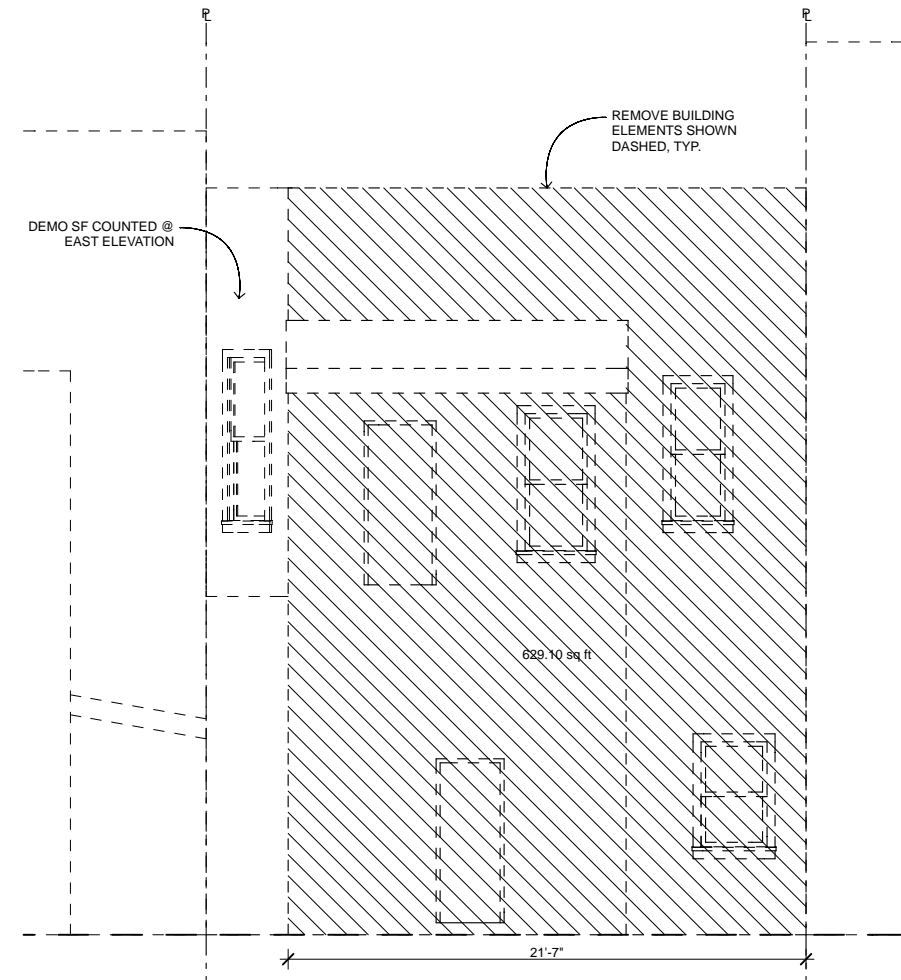
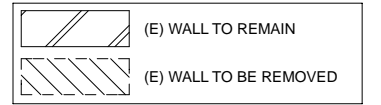
BUT DOES NOT

Remove more than 50% of vertical building elements, measured in surface area.

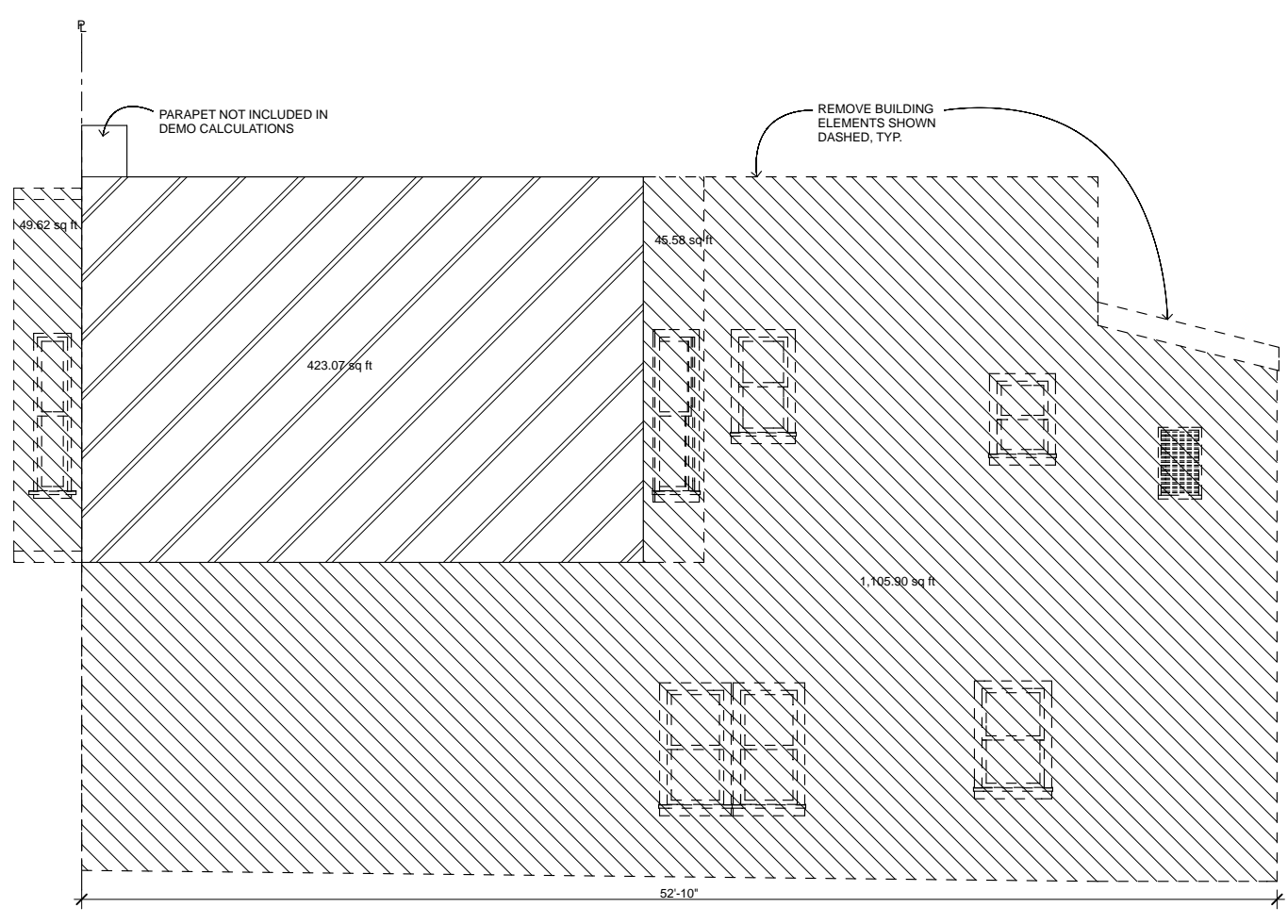
ELEV	KEEP	DEMO
SOUTH	543 sf	316 sf
EAST	423 sf	1202 sf
NORTH	0 sf	629 sf
WEST	1426 sf	187 sf
TOTAL	2392 sf	2334 sf

2334 sf / 4726 sf = 49.4% < 50%

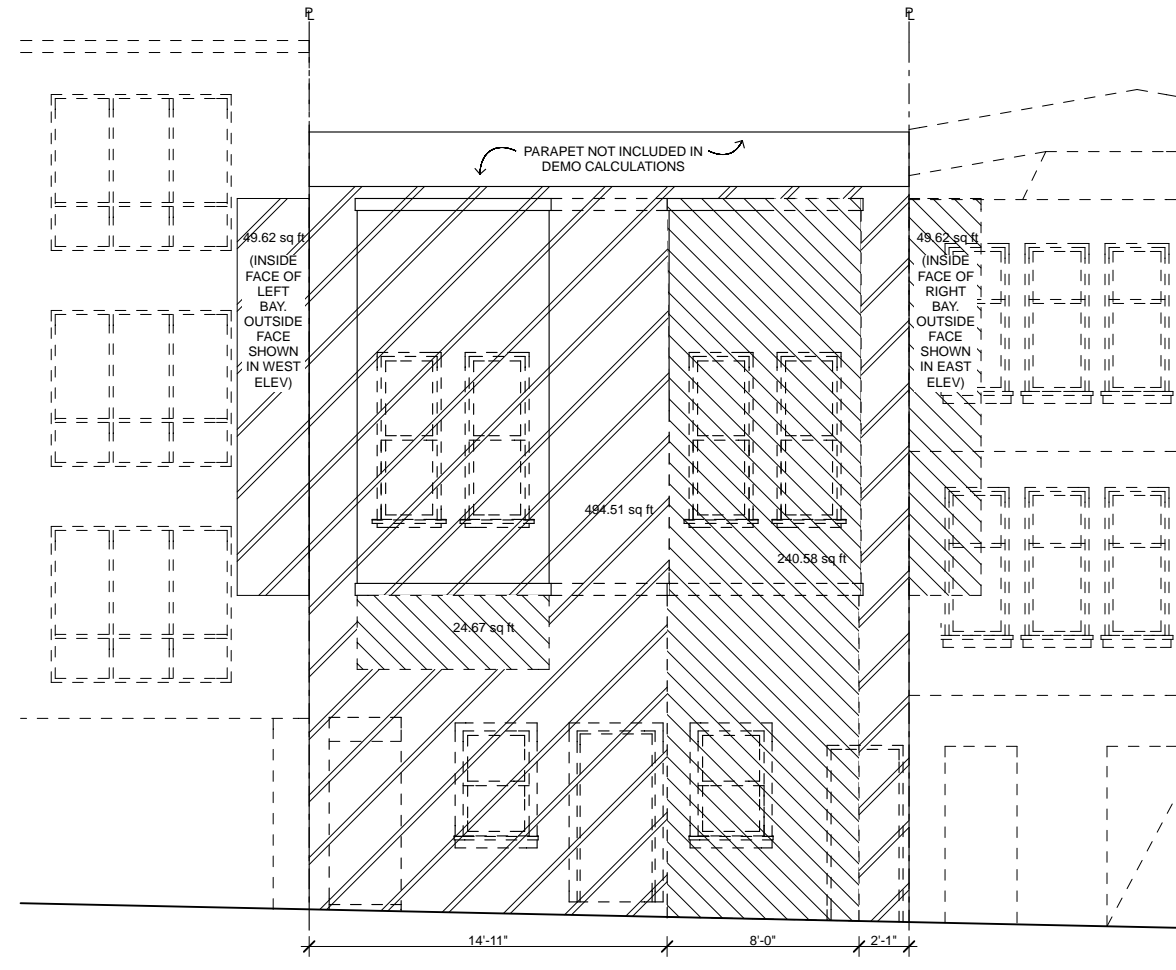
BASED ON THE ABOVE CALCULATIONS, PROJECT IS NOT A DEMOLITION.



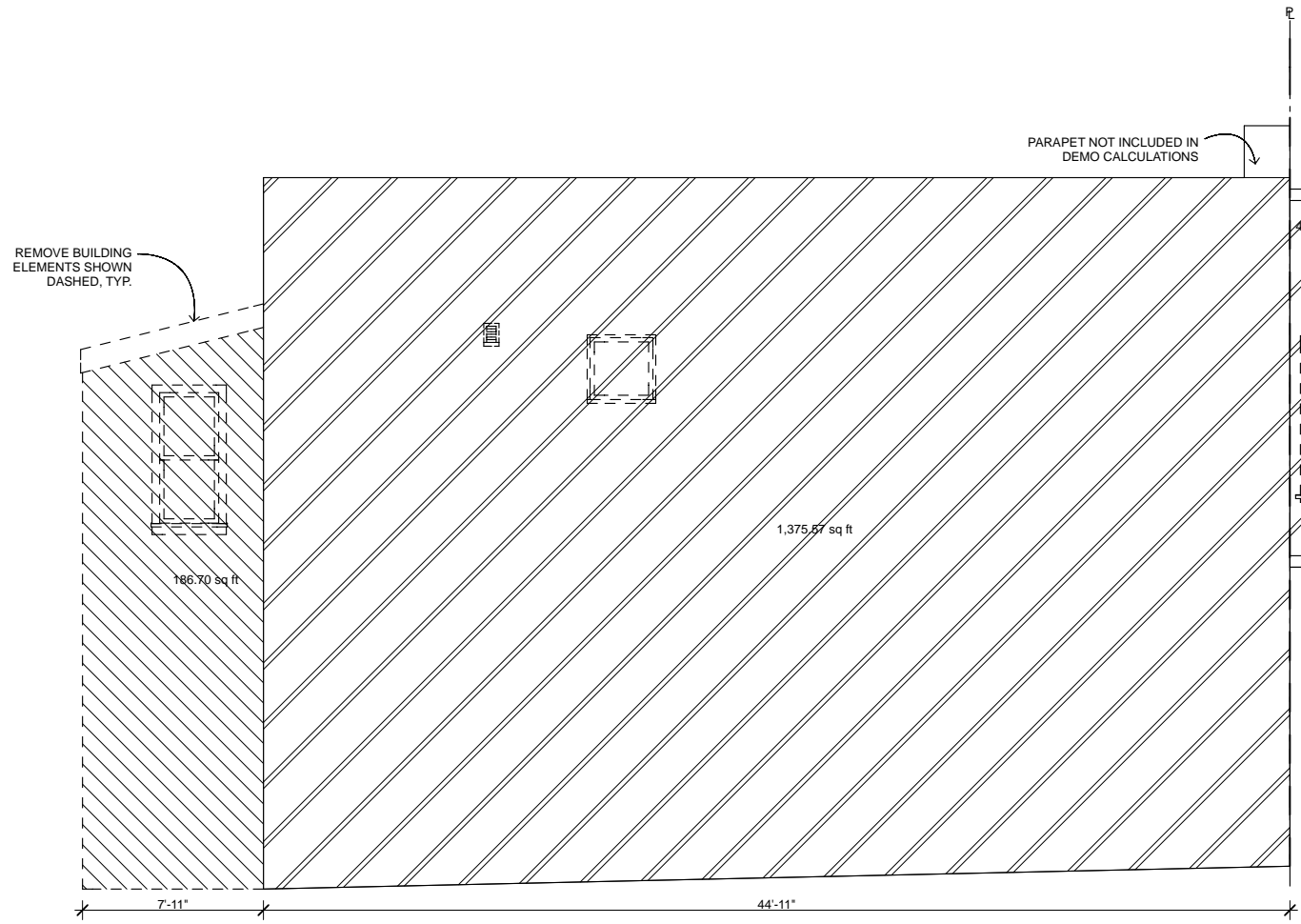
2 (E) NORTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



3 (E) EAST ELEVATION
SCALE: 1/4" = 1'-0"



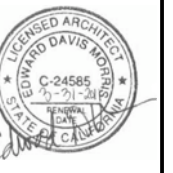
1 (E) SOUTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



4 (E) WEST ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



1140 PAGE STREET

ADDITION & ALTERATION

BLOCK 1219 / LOT 011

FIRST & SECOND FLOOR PLANS

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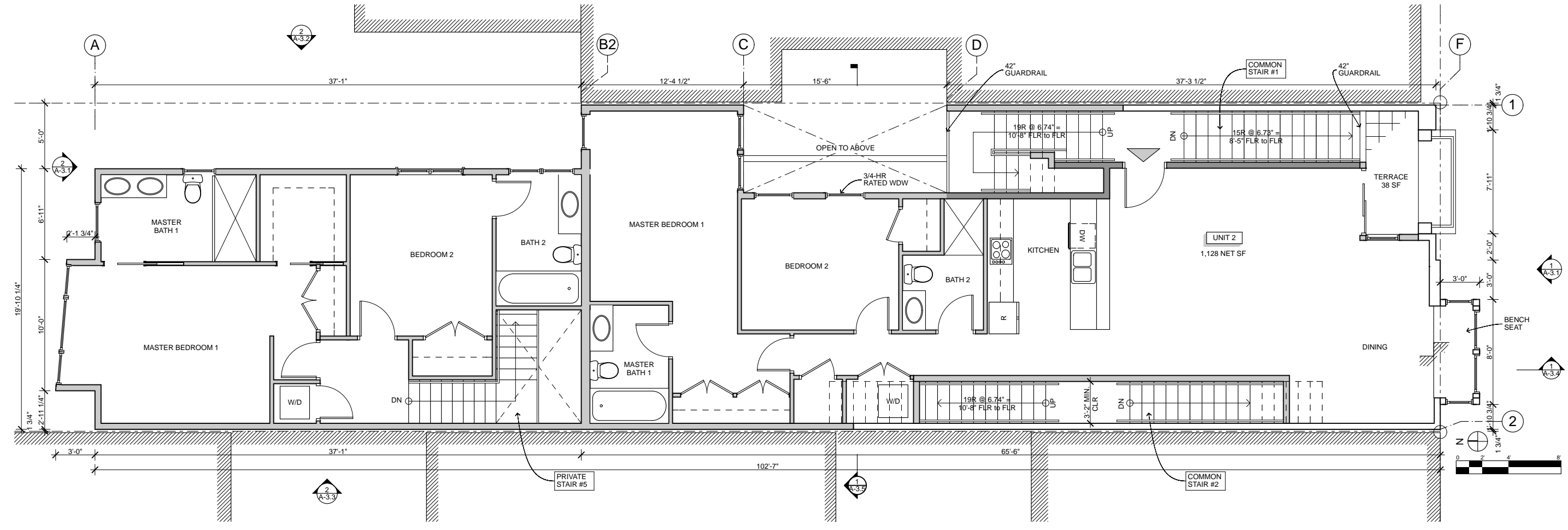
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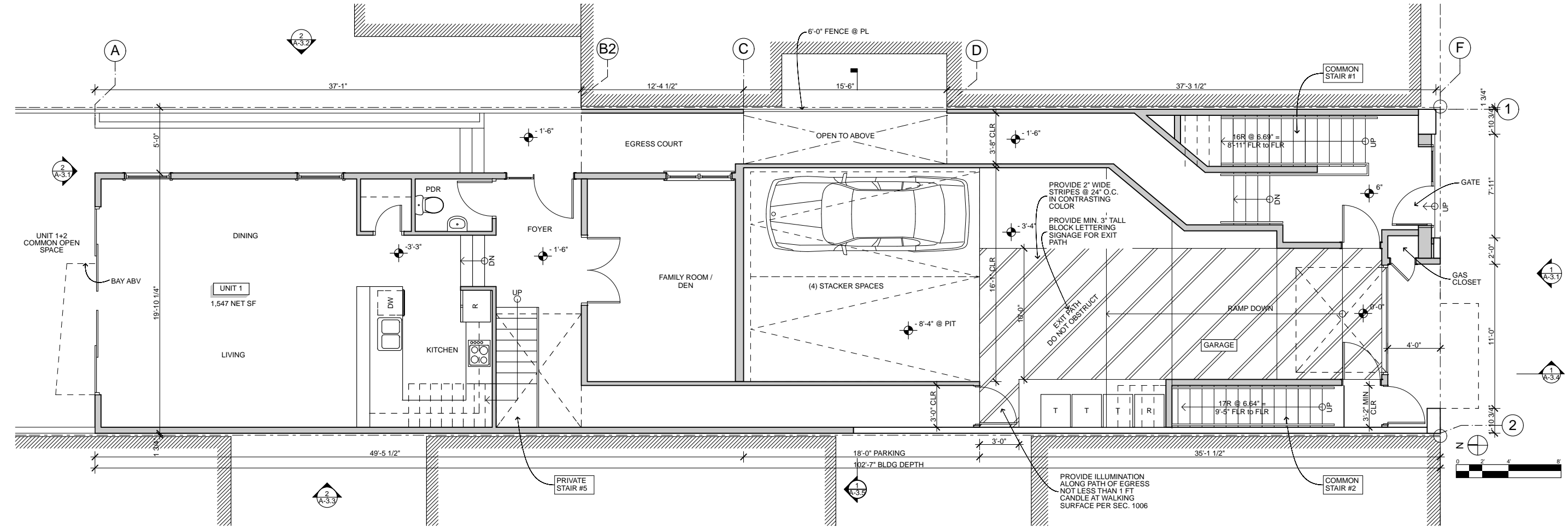
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SCALE:	
DRAWN BY:	TTD / ITO
CHECKED BY:	TM
JOB NO.:	0909

DRAWING

A-2.1



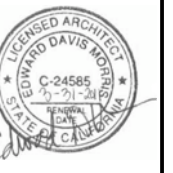
2 SECOND FLOOR
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR
SCALE: 1/4" = 1'-0"

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



1140 PAGE STREET

ADDITION & ALTERATION

BLOCK 1219 / LOT 011

THIRD & FOURTH FLOOR PLANS

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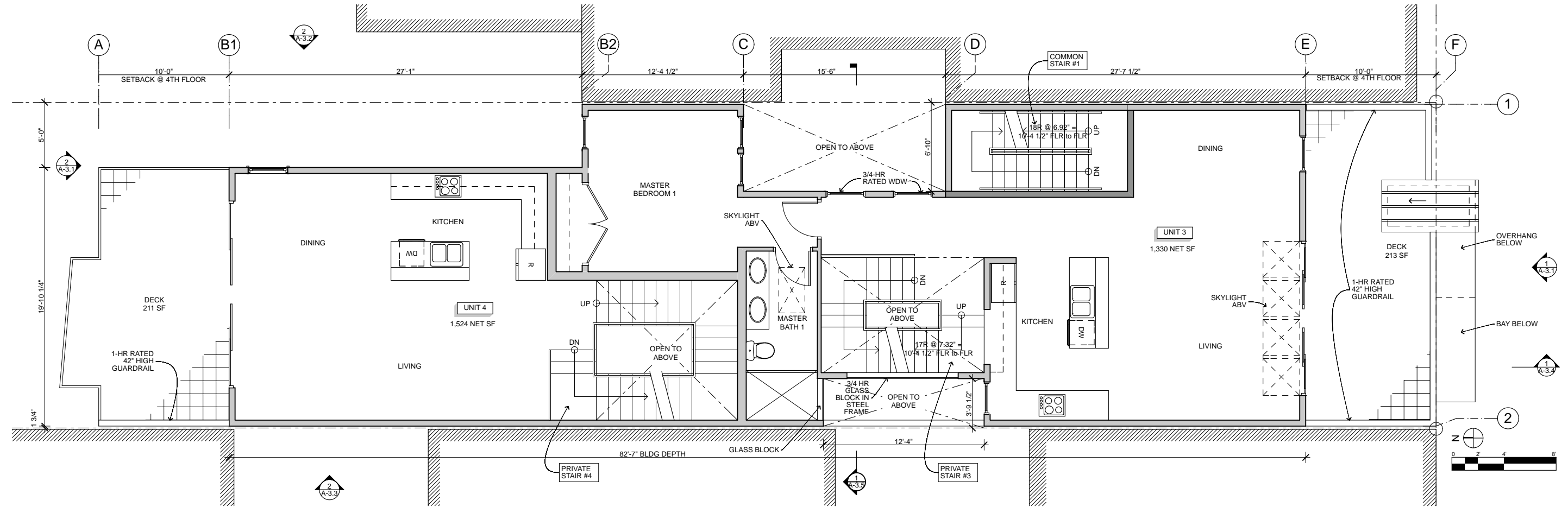
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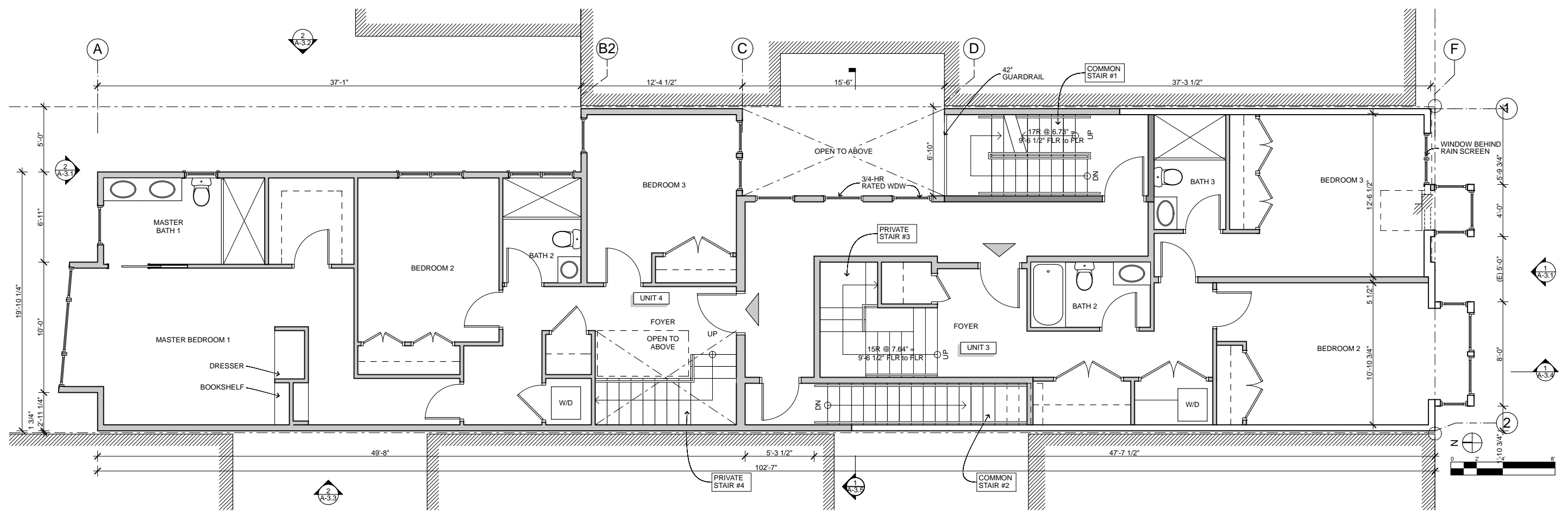
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DRAWING

A-2.2



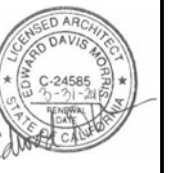
2 FOURTH FLOOR
SCALE: 1/4" = 1'-0"



1 THIRD FLOOR
SCALE: 1/4" = 1'-0"

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



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ADDITION & ALTERATION

BLOCK 1219 / LOT 011

ROOF PLAN

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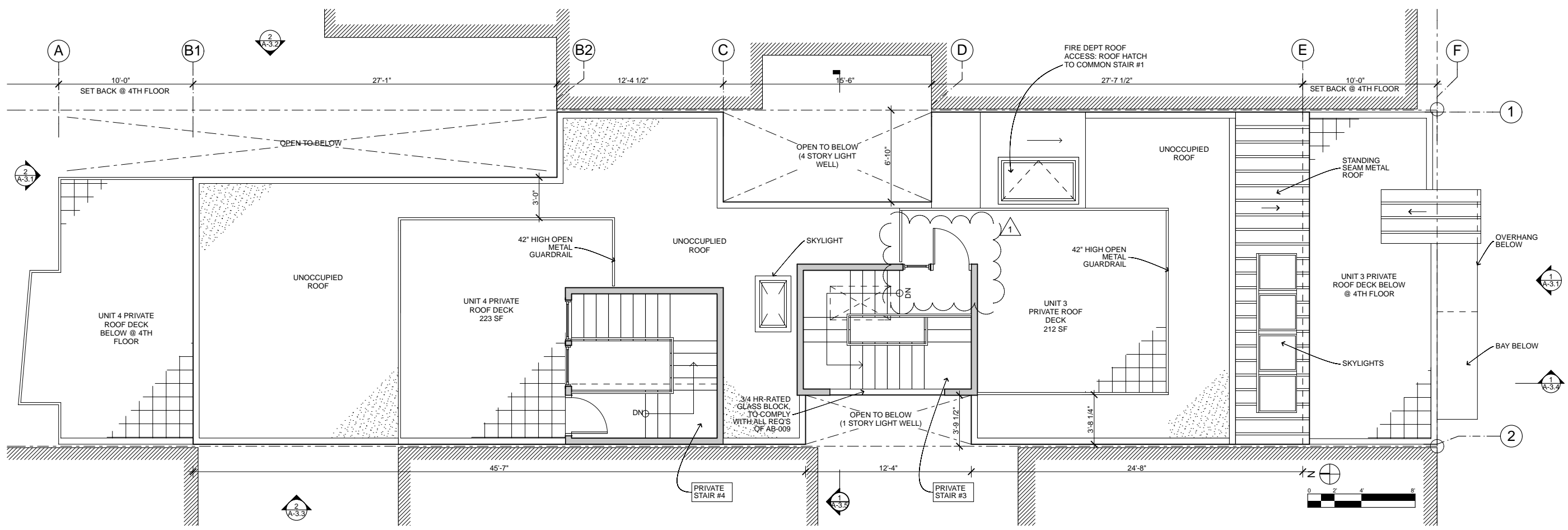
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DRAWING

A-2.3

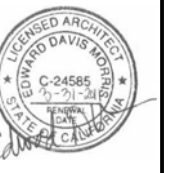


1 ROOF PLAN
SCALE: 1/4" = 1'-0"

1140 PAGE STREET
9/8/2010 - PLNG R3 FOR D.R.

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



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ADDITION & ALTERATION

BLOCK 1219 / LOT 011

FRONT & REAR ELEVATIONS

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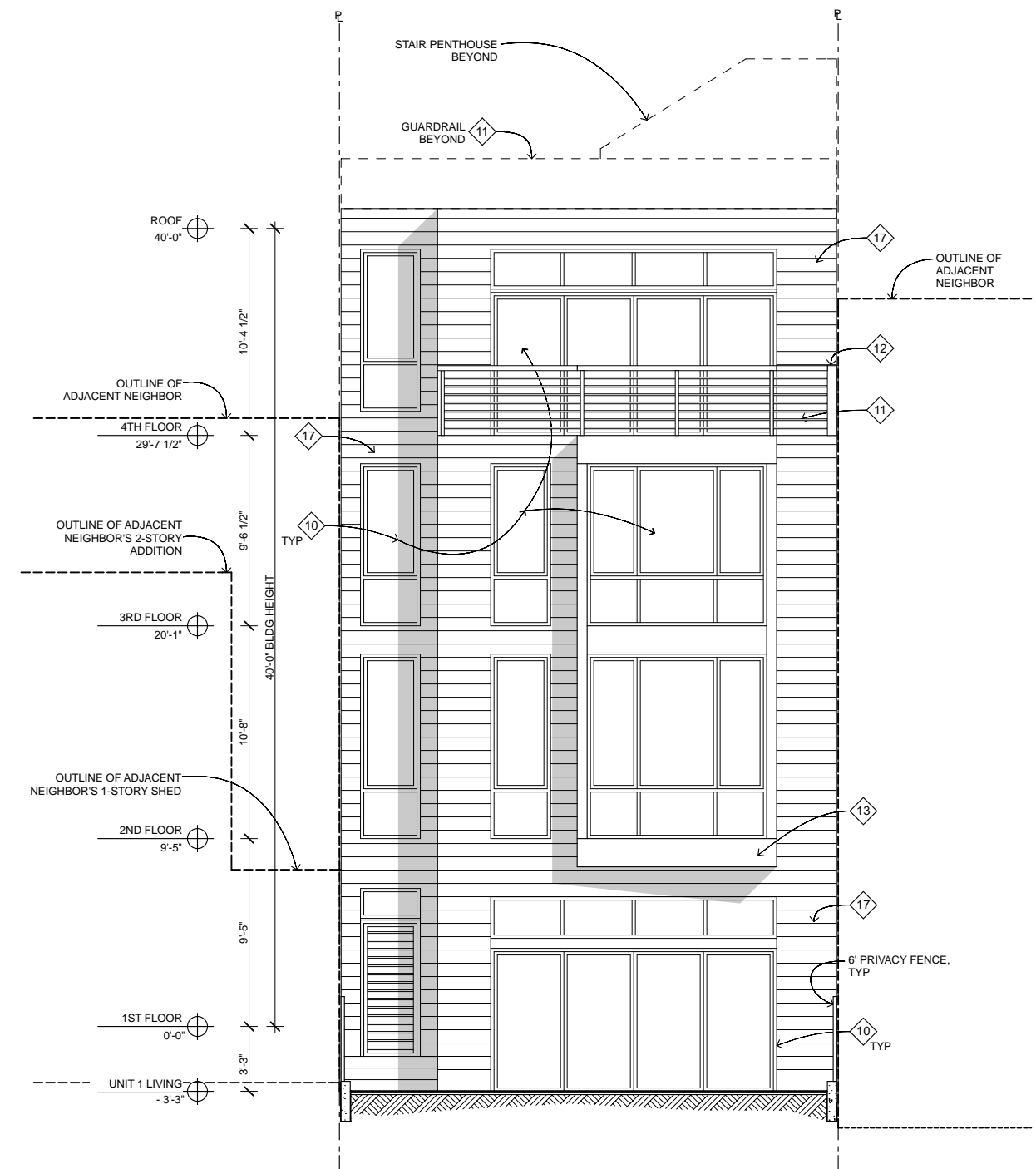
A-3.1

ELEVATION KEYNOTES

1	PTD. WOOD SIDING, 8" WIDTH	10	METAL WINDOWS & DOORS
2	PTD. WOOD SIDING, 4" WIDTH	11	42" TALL METAL GUARDRAIL
3	BLIND FINISHED STAIN GRADE SIDING @ DOOR AND GARAGE DOOR	12	42" 1-HR RATED GUARDRAIL
4	PTD. WOOD TRIM / FASCIA	13	HARDI-PANEL
5	WOOD WINDOWS/ DOORS	14	BLINDWALL
6	NOT USED	15	WOOD CORNICE
7	PTD. METAL AND HWD GATE	16	PROJECTING METAL TRELLIS
8	STONE FINISHED STAIRS OR TERRAZZO	17	HARDIE PLANK W/ HARDIE TRIM (6" EXPOSURE)
9	PTD. WOOD	18	PAINTED STUCCO
		19	STANDING SEAM METAL ROOFING



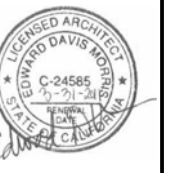
1 SOUTH (FRONT) ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH (REAR) ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



1140 PAGE STREET

ADDITION & ALTERATION

BLOCK 1219 / LOT 011

EAST ELEVATION

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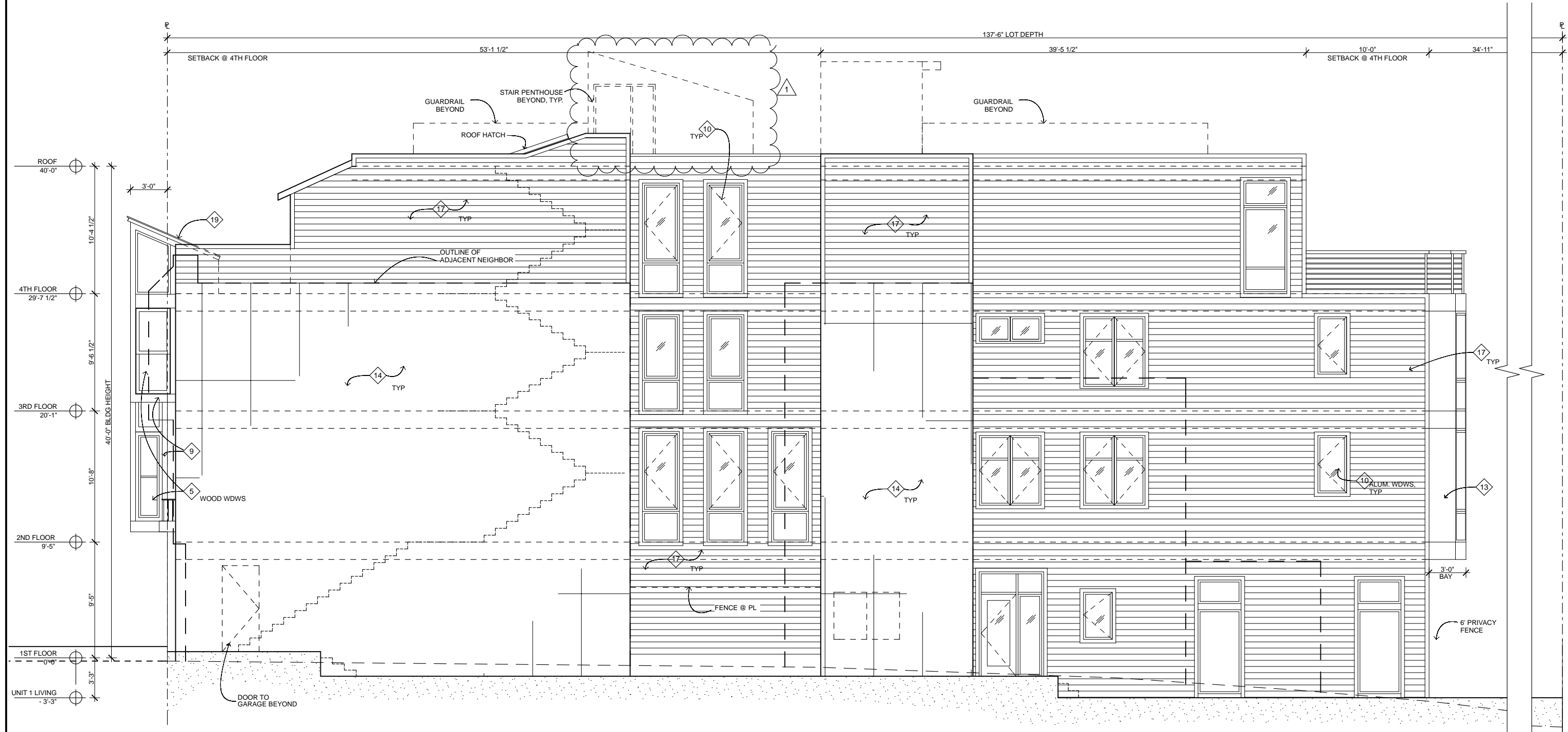
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DRAWN BY:	TTD / ITO
CHECKED BY:	TM
JOB NO.:	0909

DRAWING

A-3.2

ELEVATION KEYNOTES

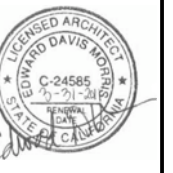
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9	PTD. WOOD	18	PAINTED STUCCO
		19	STANDING SEAM METAL ROOFING



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



1140 PAGE STREET

ADDITION & ALTERATION

BLOCK 1219 / LOT 011

WEST ELEVATION

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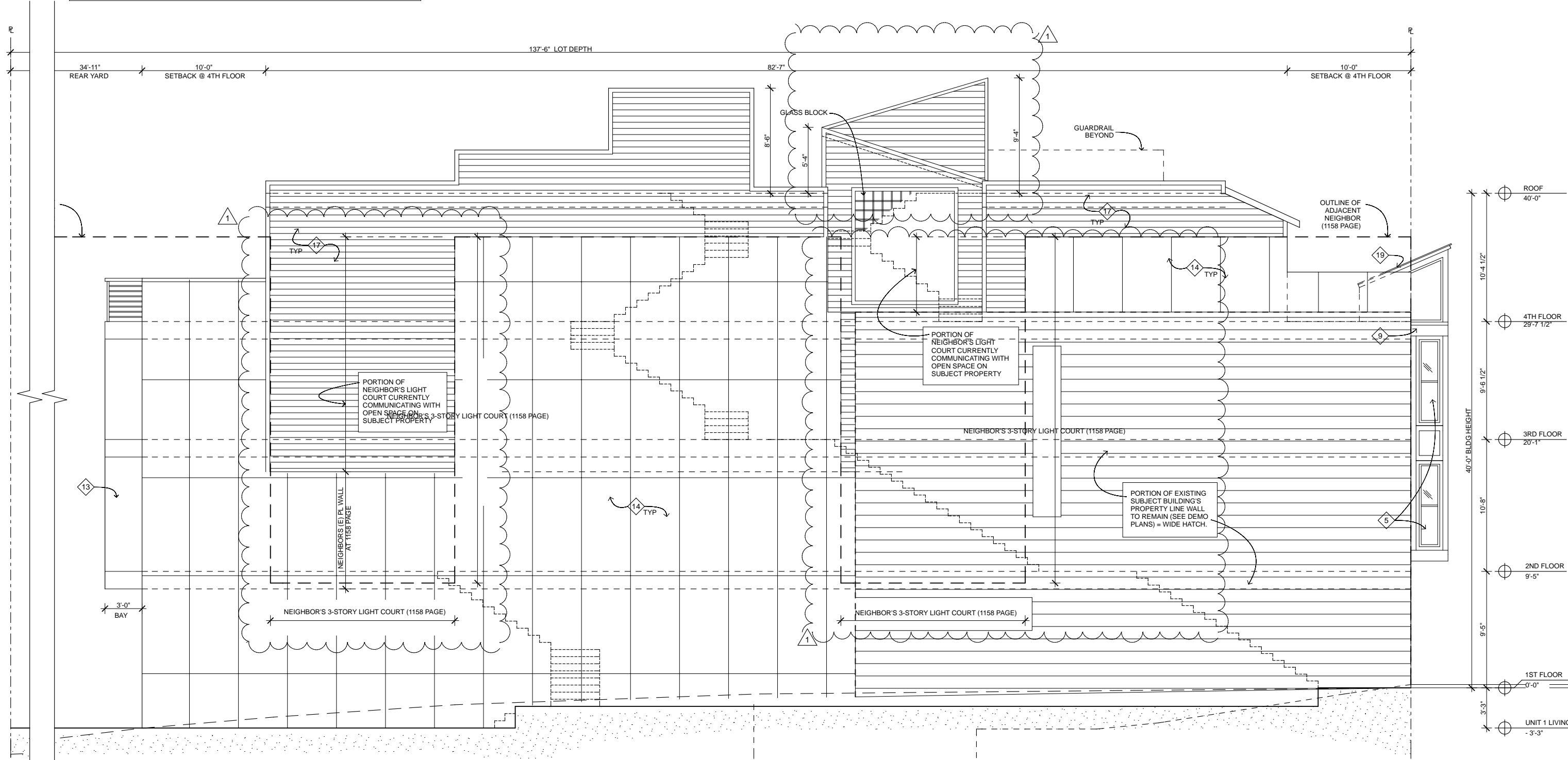
DATE: 9/8/2010
SCALE: TTD / ITO
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CHECKED BY: TM
JOB NO.: 0909

DRAWING
A-3.3

11 of 12 sheets

ELEVATION KEYNOTES

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		19	STANDING SEAM METAL ROOFING



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

1140 PAGE STREET
09/08/2010 - PLNG R3 FOR D.R.

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



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ADDITION & ALTERATION

BLOCK 1219 / LOT 011

SECTION

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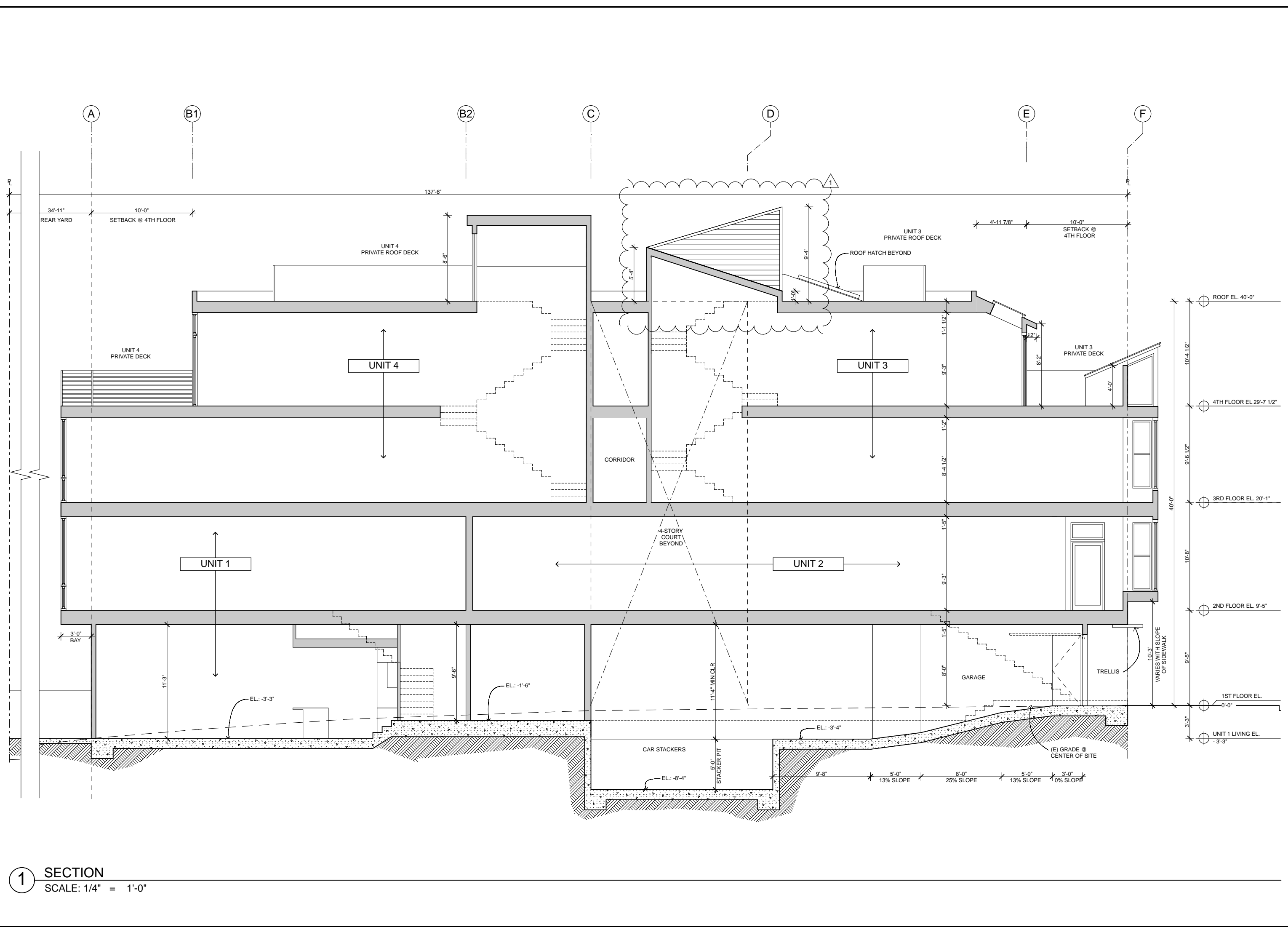
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DRAWING

A-3.4



1 SECTION
SCALE: 1/4" = 1'-0"

1140 PAGE STREET
9/8/2010 - PLNG R3 FOR D.R.

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
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PLNG R3 - 9/8/10



1140 PAGE STREET

ADDITION & ALTERATION

BLOCK 1219 / LOT 011

CROSS SECTIONS

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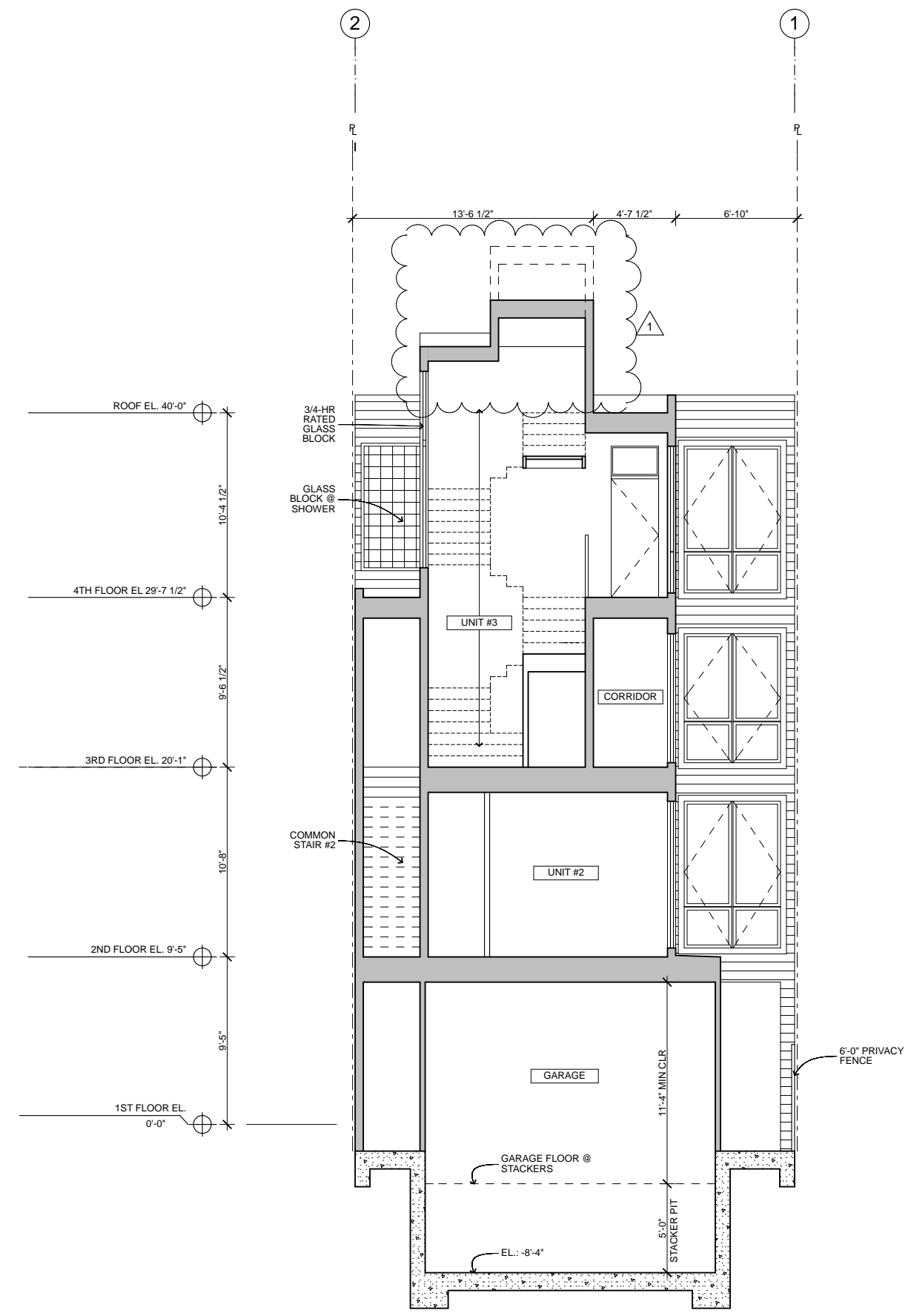
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DRAWING

A-3.5



1 NORTH CROSS SECTION
SCALE: 1/4" = 1'-0"

Revisions:

EE APP - 10/16/09
SITE PERMIT - 11/2/09
PLNG PROGRESS (R1) - 5/5/10
PLNG R2 - 5/28/10
PLNG R3 - 9/8/10



1140 PAGE STREET

ADDITION & ALTERATION

BLOCK 1219 / LOT 011

SITE LINE ANALYSIS

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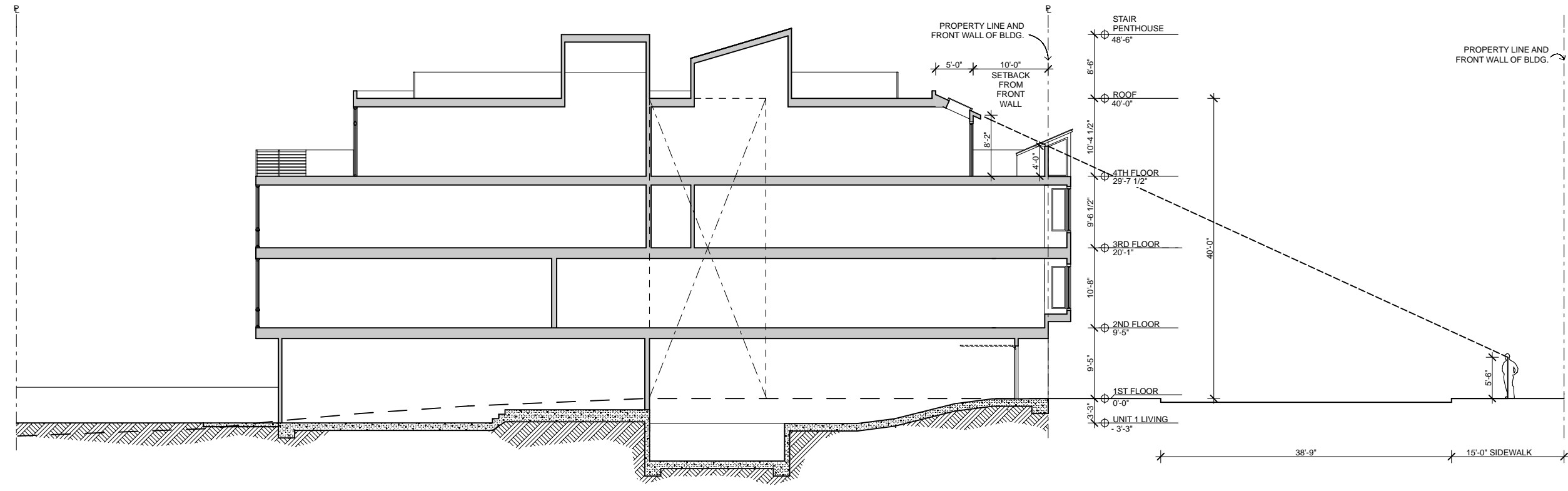
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DATE:	9/8/2010
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CHECKED BY:	TM
JOB NO.:	0909

DRAWING

A-3.6



1 SITE LINE ANALYSIS
SCALE: 1/8" = 1'-0"