



SAN FRANCISCO PLANNING DEPARTMENT

Executive Summary Conditional Use

HEARING DATE: OCTOBER 7, 2010

Date: September 30, 2010
Case No.: **2009.0875C**
Project Address: **4563-4565 MISSION STREET**
Zoning: NC-3 (Moderate-Scale, Neighborhood Commercial District)
40-X Height and Bulk District
Block/Lot: 6014/032
Project Sponsor: Luis Vidalon
1826 32nd Avenue
San Francisco, CA 94122
Staff Contact: Sharon Lai – (415) 575-9087
sharon.w.lai@sfgov.org
Recommendation: **Approval with Conditions**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The Applicant is requesting a Conditional Use to allow the addition of 2 new dwelling units by constructing a third floor vertical expansion and expanding the second floor, without providing (two) required parking spaces to an existing 2 story mixed used building in the NC-3 (Neighborhood Commercial, Three Stories) District. The project requires conditional use authorization pursuant to Section 161(j) of the Planning Code to provide two new dwellings without off-street parking. The proposed gross square footage for the three dwelling units will be approximately 2,392 square feet.

The resulting project will be: two, two-bedroom units at the second floor, measuring 592 square feet and 650 square feet; and one, 4-bedroom unit at the third floor, measuring 1240 square feet. No changes are proposed for the existing ground floor commercial space.

The proposal requires a change of use and Section 312-neighborhood notification was conducted in conjunction with the Conditional Use Authorization process

SITE DESCRIPTION AND PRESENT USE

The Project is located at 4563-4565 Mission Street, east side between Excelsior and Brazil Avenues within the Excelsior and Outer Mission neighborhoods, Block 6014, Lot 032. The subject 2-story mixed use building is developed with one, ground level commercial use and one dwelling unit at the second floor. The existing ground level is currently occupied by a chiropractic and massage establishment. The subject property is a mid-block lot, with approximately 25-feet of frontage on Mission Street. The lot is approximately 90% covered by the subject building. The existing building measures approximately 79'-6" by 25'-0". There is no existing parking on the site. The existing ground floor is approximately 1,925 square feet and the existing second floor two-bedroom dwelling unit is approximately 944 square feet.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The property is located within the Mission Street commercial corridor, NC-3 (Moderate-Scale, Neighborhood Commercial) District, with 40-X height and bulk district. The Mission Street commercial corridor is characterized by moderate-scale retail uses from Silver Avenue to Pope Street, such as clinics, markets, restaurants, and fringe financial institutions. The retail frontage is interrupted at several locations by residential and larger businesses such as Kragen Auto Parts. Many buildings along the corridor are one to three stories mixed-use buildings.

NC-3 Districts are intended in most cases to offer a wide variety of comparison and specialty goods and services to a population greater than the immediate neighborhood, additionally providing convenience goods and services to the surrounding neighborhoods. NC-3 Districts are linear districts located along heavily trafficked thoroughfares which also serve as major transit routes.

NC-3 Districts include some of the longest linear commercial streets in the City, some of which have continuous retail development for many blocks. Large-scale lots and buildings and wide streets distinguish the districts from smaller-scaled commercial streets, although the districts may include small as well as moderately scaled lots. Buildings typically range in height from two to four stories with occasional taller structures.

NC-3 building standards permit moderately large commercial uses and buildings. Rear yards are protected at residential levels.

A diversified commercial environment is encouraged for the NC-3 District, and a wide variety of uses are permitted with special emphasis on neighborhood-serving businesses. Eating and drinking, entertainment, financial service and certain auto uses generally are permitted with certain limitations at the first and second stories. Other retail businesses, personal services and offices are permitted at all stories of new buildings. Limited storage and administrative service activities are permitted with some restrictions.

Housing development in new buildings is encouraged above the second story. Existing residential units are protected by limitations on demolitions and upper-story conversions.

ENVIRONMENTAL REVIEW

The Conditional Use Application was determined by the San Francisco Planning Department to be exempt from environmental review pursuant to Title 14, Class 1(a) of Category 15301 (Existing Facilities) of the California Administrative Code.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Classified News Ad	20 days	September 17, 2010	September 17, 2010	20 days
Posted Notice	20 days	September 17, 2010	September 17, 2010	20 days
Mailed Notice	20 days	September 17, 2010	September 17, 2010	20 days

PUBLIC COMMENT

- The Department has received 1 letter of support from the Excelsior Action Group, and is not aware of any opposition.

ISSUES AND OTHER CONSIDERATIONS

- The existing two-story mixed use building does not contain any off-street parking. The project proposes to increase the dwelling unit from one to three without providing parking. The neighborhood is well served by transit and many mixed-use buildings within the district are also developed without providing off-street parking. Further, the addition of two dwelling units will not dramatically impact the parking and traffic demands of the neighborhood.
- The design of the building is compatible with the surrounding neighborhood and is appropriately scaled to match the height and bulk of the adjacent building to the north.
- The proposed expansion and use is consistent with the intent of the prescribed NC-3 zoning, in that it is a moderately scaled building with commercial and residential uses.
- This building was determined to not be a historical resource.
- The proposal requires a Section 312-neighborhood notification, which was conducted in conjunction with the conditional use authorization process.

REQUIRED COMMISSION ACTION

In order for the project to proceed, the Commission must grant conditional use authorization to allow for the reduction in required parking in an NC-3 District.

BASIS FOR RECOMMENDATION

The Department believes this project is necessary and/or desirable under Section 303 of the Planning Code for the following reasons:

- The project increases the City's housing supply by two new, family sized dwelling units.
- The project is consistent with the prescribed zoning and prevailing neighborhood density.
- The District is well served by transit therefore the reduction in parking should not impact traffic.
- The proposed Project meets all applicable requirements of the Planning Code.

RECOMMENDATION: Approval with Conditions

Attachments:

Block Book Map
Sanborn Map
Aerial Photographs
Section 311 Notice
CU Application
Environmental Determination
Photographs
Additional Response to DR Application and 3-D Rendering
Reduced Plans

Attachment Checklist

- Executive Summary
- Draft Motion
- Zoning District Map
- Height & Bulk Map
- Parcel Map
- Sanborn Map
- Aerial Photo
- Context Photos
- Site Photos

- Project sponsor submittal
- Drawings: Existing Conditions
- Check for legibility
- Drawings: Proposed Project
- Check for legibility
- Letter of Support

Exhibits above marked with an "X" are included in this packet

Planner's Initials

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SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- | | |
|------------------------------------------------------------------|------------------------------------------------------------|
| <input type="checkbox"/> Inclusionary Housing (Sec. 315) | <input type="checkbox"/> First Source Hiring (Admin. Code) |
| <input type="checkbox"/> Jobs Housing Linkage Program (Sec. 313) | <input type="checkbox"/> Child Care Requirement (Sec. 314) |
| <input type="checkbox"/> Downtown Park Fee (Sec. 139) | <input type="checkbox"/> Other |

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Planning Commission Motion No. XXXX

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ADOPTING FINDINGS RELATING TO CONDITIONAL USE AUTHORIZATION PURSUANT TO SECTIONS 161(j), 712.94 AND 303 OF THE PLANNING CODE TO ALLOW THE ADDITION OF 2 NEW DWELLING UNITS BY CONSTRUCTING A 3RD STORY VERTICAL EXPANSION, WITHOUT PROVIDING REQUIRED PARKING TO AN EXISTING 2 STORY MIXED USED BUILDING LOCATED AT 4563-4565 MISSION STREET ON ASSESSOR'S BLOCK 6014, LOT 032, LOCATED IN AN NC-3 (MODERATE-SCALE, NEIGHBORHOOD COMMERCIAL DISTRICT).

PREAMBLE

On September 17, 2009, Luis Vidalon, authorized agent and lessee (hereinafter "Project Sponsor,") filed an application (hereinafter "Application") with the Department for a Conditional Use Authorization under Planning Code Section 712.94 of the Planning Code for the property at 4563-4565 Mission Street, Block 6014, Lot 032 (hereinafter "Subject Property") to allow the addition of 2 new dwelling units by constructing a 3rd story vertical expansion, without providing required parking to an existing 2 story mixed used building, in general conformity with plans filed with the Application, located within a NC-3 (Moderate-Scale Neighborhood Commercial) District and 40-X Height and Bulk District.

On October 7, 2010, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on Conditional Use Application No. 2009.0875C.

The proposed Conditional Use application was determined by the San Francisco Planning Department (hereinafter "Department") to be Categorically Exempt pursuant to Section 15303(e). The Commission has reviewed and concurs with said determination.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

MOVED, that the Commission hereby authorizes the Conditional Use requested in Application No. 2009.0875C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

FINDINGS

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The Project is located at 4563-4565 Mission Street, east side between Excelsior and Brazil Avenues within the Excelsior and Outer Mission neighborhoods, Block 6014, Lot 032. The subject 2-story mixed use building is developed with one, ground level commercial use and one dwelling unit at the second floor. The existing ground level is currently occupied by a chiropractic and massage establishment. The subject property is a mid-block lot, with approximately 25-feet of frontage on Mission Street. The lot is approximately 90% covered by the subject building. The existing building measures approximately 79'-6" by 25'-0". There is no existing parking on the site. There is no existing parking on the site. The existing ground floor is approximately 1,925 square feet and the existing second floor two-bedroom dwelling unit is approximately 944 square feet.
3. **Surrounding Properties and Neighborhood.** The property is located within the Mission Street commercial corridor, NC-3 (Moderate-Scale, Neighborhood Commercial) District, with 40-X height and bulk district. The Mission Street commercial corridor is characterized by moderate-scale retail uses from Silver Avenue to Pope Street, such as clinics, markets, restaurants, and fringe financial institutions. The retail frontage is interrupted at several locations by residential and larger businesses such as Kragen Auto Parts. Many buildings along the corridor are one to three stories mixed-use buildings.

NC-3 Districts are intended in most cases to offer a wide variety of comparison and specialty goods and services to a population greater than the immediate neighborhood, additionally providing convenience goods and services to the surrounding

neighborhoods. NC-3 Districts are linear districts located along heavily trafficked thoroughfares which also serve as major transit routes.

NC-3 Districts include some of the longest linear commercial streets in the City, some of which have continuous retail development for many blocks. Large-scale lots and buildings and wide streets distinguish the districts from smaller-scaled commercial streets, although the districts may include small as well as moderately scaled lots. Buildings typically range in height from two to four stories with occasional taller structures.

NC-3 building standards permit moderately large commercial uses and buildings. Rear yards are protected at residential levels.

A diversified commercial environment is encouraged for the NC-3 District, and a wide variety of uses are permitted with special emphasis on neighborhood-serving businesses. Eating and drinking, entertainment, financial service and certain auto uses generally are permitted with certain limitations at the first and second stories. Other retail businesses, personal services and offices are permitted at all stories of new buildings. Limited storage and administrative service activities are permitted with some restrictions.

Housing development in new buildings is encouraged above the second story. Existing residential units are protected by limitations on demolitions and upper-story conversions.

4. **Project Description.** The Applicant is requesting a Conditional Use to allow the addition of 2 new dwelling units by constructing a third floor vertical expansion and expanding the second floor, without providing (two) required parking spaces to an existing 2 story mixed used building in the NC-3 (Neighborhood Commercial, Three Stories) District. The project requires conditional use authorization pursuant to Section 161(j) of the Planning Code to provide two new dwellings without off-street parking. The proposed gross square footage for the three dwelling units will be approximately 2,392 square feet.

The resulting project will be: two, two-bedroom units at the second floor, measuring 592 square feet and 650 square feet; and one, 4-bedroom unit at the third floor, measuring 1240 square feet. No changes are proposed for the existing ground floor commercial space.

The proposal requires a change of use and Section 312-neighborhood notification was conducted in conjunction with the Conditional Use Authorization process.

5. **Public Comment.** The Department has received 1 letter of support from the Excelsior Action Group, and is not aware of any opposition.
6. **Planning Code Compliance:** The Commission finds that the Project is consistent with the relevant provisions of the Planning Code in the following manner:

- A. **Land Use.** In the NC-3 District, Planning Code Section 712.90 permits residential uses, Section 712.40 permits retail sales and services, and Section 712.53 permits business or professional services

The existing property contains a ground level chiropractic office and a massage establishment, and one dwelling unit at the second floor. The Project proposes to add two additional dwelling units.

- B. **Dwelling Unit Density.** Planning Code Section 712.91 allows dwelling units in the NC-3 District at a density ratio not exceeding one unit for each 600 square feet of lot area.

The subject lot has an area of approximately 2,088 square feet, which, at a density of one unit per 600 square feet would permit three units. The Project proposes three units.

- C. **Floor Area Ratio.** Section 124 establishes floor area ratios (FARs) for all districts. In the NC-3 District, non-residential uses are subject to an FAR limit of 3.6 to 1.

The lot has an existing non-residential FAR of approximately 0.95:1. The project does not propose to expand the existing commercial space.

- D. **Front Setback.** Section 132 establishes front setback requirements in the RH and RM districts. In the NC-3 District there are no front setback requirements.

The third floor will be constructed flush with the existing ground and second floor. The existing building is located at the front property line without a front setback, which is consistent with the adjacent properties.

- E. **Rear Yard.** Section 134 establishes rear yard requirements for all districts. In the NC-3 District, a minimum 25 percent rear yard is required at the lowest story containing a dwelling unit, and at each succeeding level or story of a building, which, for the subject site, represents a rear yard depth of approximately 21'-0" at the residential levels.

The Project maintains an existing rear yard of approximately 25'-0" at all residential levels.

- F. **Open Space.** Section 135 establishes standards for usable open space for dwelling units. In the NC-3 District 80 square feet of usable open space is required for each unit if private, or 106 square feet per unit if shared.

The Project provides the existing rear yard of approximately 500 square feet as common open space for all three dwelling units.

- G. **Exposure.** Section 140 requires that every dwelling unit have windows in at least one 120-square-foot-minimum-size room face directly onto an open area, such as a public

street, public alley, side yard at least 25 feet in width, or rear yard meeting the requirements of the Code.

All units have Code-complying exposure onto either a public street or a rear yard meeting the requirements of the Code.

- H. **Commercial Parking.** Planning Section 712.22 and 151 of the Planning Code requires off-street parking for every 300 square-feet of commercial occupied floor area, where the occupied floor area exceeds 5,000 square-feet.

The existing ground floor chiropractic clinic and massage establishment contains approximately 1,925 square-feet of occupied floor area and thus does not require any off-street parking.

- I. **Residential Parking.** 161(j) allows the reduction of off-street parking requirements for dwelling units in the NC districts subject to conditional use authorization by the Planning Commission. In considering an application under Section 161(j), the Commission shall consider the criteria set forth below in lieu of the criteria set forth in Section 303(c) and may grant the reduction if it finds that:

1. The reduction in the parking requirement is justified by the reasonable anticipated auto usage by residents of and visitors to the Project.

The subject neighborhood provides some of the best car-share opportunities, transit service and the widest transit usage. In addition, the Mission Street corridor provides numerous neighborhood serving retail services within walking distance of the Project site.

2. The reduction in the parking requirement will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity.

The reduced parking would not be detrimental to the neighborhood. The proposed project is not anticipated to increase parking demands significantly, intensify traffic or congestion due to the transit oriented nature of the subject location. Additionally, the provision of parking would introduce new curb cuts, which would reduce on-street parking and disrupt the pedestrian oriented storefront.

3. The project is consistent with the existing character and pattern of development in the area.

The prevailing neighborhood pattern is mixed and includes housing over commercial stores with no curb cuts and no off-street parking. The project is an appropriate in-fill development whose scale compliments the urban fabric of the existing neighborhood.

4. The project is consistent with the description and intent of the neighborhood commercial district in which it is located.

The Project is consistent with the intent of the NC-3 District, which is to provide a diversified commercial environment and a wide variety of uses on transit oriented streets with housing encouraged above the ground floor.

- J. **Bicycle Parking.** Section 155(j) establishes bicycle parking requirements for all districts.

For each 20 off-street parking spaces provided, one space shall be for parking of a bicycle.

No bicycle spaces are required for the Project.

- K. **Freight Loading.** Section 152 establishes freight loading requirements for all districts outside the C-3 and South of Market districts. Residential projects with less than 100,000 gross square feet of structure do not require off-street freight-loading spaces.

The Project consists of only approximately 4,320 gross square feet of floor area. The Project is not required to provide freight-loading spaces, and none would be provided.

- L. **Height.** Section 260 establishes height limits in all districts, with height being measured to the highest point on the finished roof in the case of a flat roof. The Project site is within the 40-X Height and Bulk District, which allows buildings up 40 feet in height.

The existing building is approximately 23'-6" in height and is proposed to be 32'-6".

- M. **Street Tree.** Section 143 requires street trees be planted in certain districts, including the NC-3 District.

One street tree will be planted along the frontage under the direction of the Department of Public Works Urban Forestry Division.

- N. **Affordable Housing.** Section 315.3(a)(2) requires that all applications for approval of a conditional use, planned unit development, or building permit filed after July 18, 2006 for housing projects consisting of five units or more must meet an affordable housing requirement. Section 315.4(a)(2) requires that such projects providing on-site affordable units must provide 15 percent of all units constructed on the project site as affordable to qualifying households.

The Project consists of three dwelling units, and is not subject to this affordable housing requirement. The Project would provide three market-rate units.

7. **Planning Code Section 303(c)** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

The Project is compatible and desirable to the neighborhood, in that it will provide additional family sized housing at an underdeveloped site. The proposed third story expansion is consistent with the height development of the neighborhood.

B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

i. Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

The height and bulk of the proposed building is compatible with the neighborhood pattern and will match the height of the adjacent neighbor to the north.

ii. The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

The Planning Code requires one parking space per dwelling unit and does not require any parking for the existing commercial space. The Project is located in an area well served by MUNI bus lines 14L, 14X, 14, 29, 49, and 52. The proposed two additional dwelling units should not generate significant amounts of vehicular trips from the immediate neighborhood or citywide. The proposed reduction in required parking will not significantly impact the parking demand of the neighborhood.

iii. The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

The proposed additional residential uses are not expected to generate any noxious or offensive emissions.

iv. Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

The Project will provide adequate common open space at the rear of the building and no new lighting or signage are proposed.

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.

- D. That the use as proposed would provide development that is in conformity with the purpose of the applicable Neighborhood Commercial District.

The proposed project is consistent with the stated purposes of NC-3 Districts in that the additional housing will be provided.

8. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan:

HOUSING ELEMENT - HOUSING SUPPLY

OBJECTIVE 1:

TO PROVIDE NEW HOUSING, ESPECIALLY PERMANENTLY AFFORDABLE HOUSING, IN APPROPRIATE LOCATIONS WHICH MEETS IDENTIFIED HOUSING NEEDS AND TAKES INTO ACCOUNT THE DEMAND FOR AFFORDABLE HOUSING CREATED BY EMPLOYMENT DEMAND.

Policy 1.1:

Encourage higher residential density in areas adjacent to downtown, in underutilized commercial and industrial areas proposed for conversion to housing, and in neighborhood commercial districts where higher density will not have harmful effects, especially if the higher density provides a significant number of units that are affordable to lower income households.

The Project will provide 2 additional housing units in a neighborhood commercial district. The subject property is along a corridor that is easily accessible by public transit.

OBJECTIVE 2:

RETAIN THE EXISTING SUPPLY OF HOUSING.

Policy 2.1:

Discourage the demolition of sound existing housing.

The project will not demolish the building however, the project proposes to modify the existing dwelling unit as part of the proposal to increase the overall density to three dwelling units.

Policy 2.4:

Retain sound existing housing in commercial and industrial areas.

The project proposes to increase the housing supply within the subject neighborhood commercial district.

THE TRANSPORTATION ELEMENT

OBJECTIVE 1:

MEET THE NEEDS OF ALL RESIDENTS AND VISITORS FOR SAFE, CONVENIENT AND INEXPENSIVE TRAVEL WITHIN SAN FRANCISCO AND BETWEEN THE CITY AND OTHER PARTS OF THE REGION WHILE MAINTAINING THE HIGH QUALITY LIVING ENVIRONMENT OF THE BAY AREA.

Policy 1.3:

Give priority to public transit and other alternatives to the private automobile as the means of meeting San Francisco's transportation needs, particularly those of commuters.

OBJECTIVE 2:

USE THE TRANSPORTATION SYSTEM AS A MEANS FOR GUIDING DEVELOPMENT AND IMPROVING THE ENVIRONMENT.

Policy 2.2:

Reduce pollution, noise and energy consumption.

The project proposes to develop additional housing unit and increase density along transit lines and the reduction in off-street parking will encourage the use of public transportation

URBAN DESIGN ELEMENT

OBJECTIVE 3:

MODERATION OF MAJOR NEW DEVELOPMENT TO COMPLEMENT THE CITY PATTERN, THE RESOURCES TO BE CONSERVED, AND THE NEIGHBORHOOD ENVIRONMENT.

Policy3.5:

Relate the height of buildings to important attributes of the city pattern and to the height and character of existing development.

Policy 3.6:

Relate the bulk of buildings to the prevailing scale of development to avoid an overwhelming or dominating appearance in new construction.

OBJECTIVE 4:

IMPROVEMENT OF THE NEIGHBORHOOD ENVIRONMENT TO INCREASE PERSONAL SAFETY, COMFORT, PRIDE AND OPPORTUNITY.

Policy 4.1: Protect residential areas from the noise, pollution and physical danger of excessive traffic.

The proposed mixed-use building is within the maximum building height permitted and is designed to be consistent with the height and bulk of the adjacent building to the north. The Project is consistent with the intent of Neighborhood Commercial development and controls.

9. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:

A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

The Project would enhance the district by providing additional housing units and will not affect the existing retail uses.

B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

The Project will increase the City's housing stock by two new units and the proposed density is consistent with the prescribed zoning as well as the neighborhood's prevailing density.

C. That the City's supply of affordable housing be preserved and enhanced,

The City's affordable housing stock will not be affected. No housing is removed for this Project.

D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

The site is on Mission Street and is well served by transit. The two additional dwelling units are not expected to impact the on street parking. Mission Street has six MUNI bus lines (14L, 14X, 14, 29, 49, and 52).

E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

The Project will not displace any service or industry establishment. The Project will add additional housing for the Mission Street NC-3 District. Ownership of industrial or service sector businesses will not be negatively affected by this project.

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

This proposal will not impact the property's ability to withstand an earthquake.

- G. That landmarks and historic buildings be preserved.

A landmark or historic building does not occupy the Project site.

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

The project will have no negative impact on existing parks and open spaces. The Project does not have an impact on open spaces.

10. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.
11. The Commission hereby finds that approval of the Conditional Use authorization would promote the health, safety and welfare of the City.

DECISION

That based upon the Record, the submissions by the Project Sponsor, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **APPROVES Conditional Use Application No. 2009.0875C** subject to the following conditions attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this Conditional Use Authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No. XXXX. The effective date of this Motion shall be the date of this Motion if not appealed (After the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.

I hereby certify that the Planning Commission ADOPTED the foregoing Motion on October 7, 2010.

Linda Avery
Commission Secretary

AYES:

NAYES:

ABSENT:

ADOPTED: October 7, 2010

Exhibit A

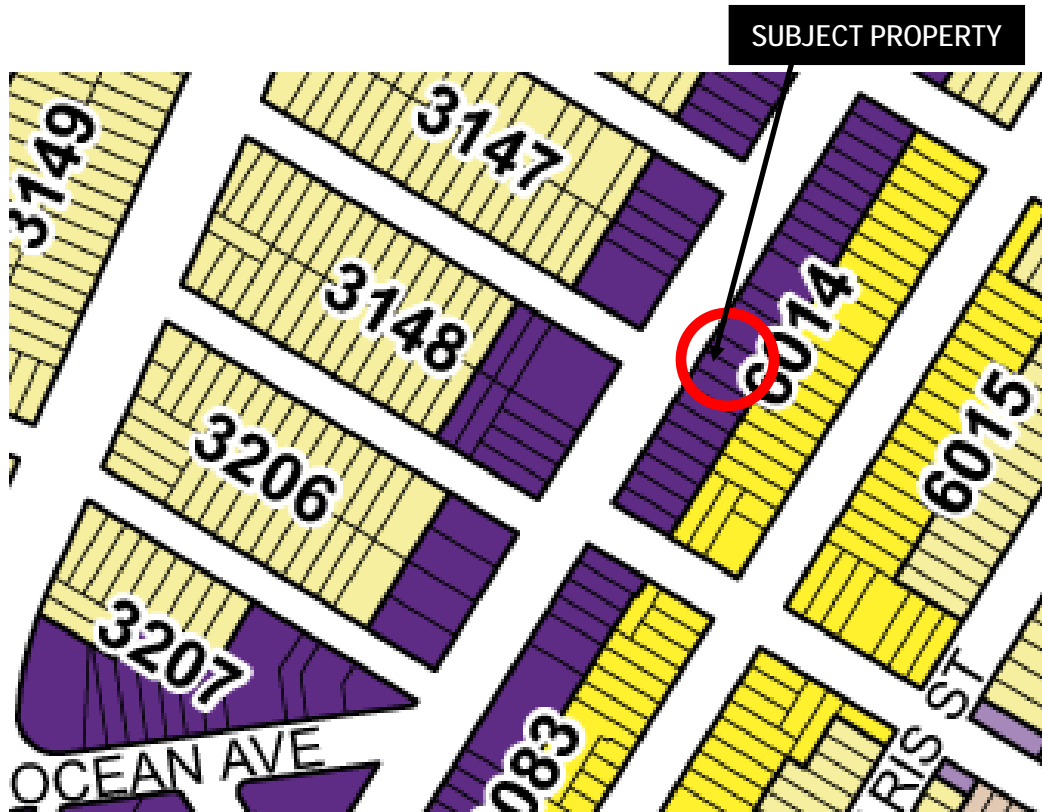
Conditions of Approval

1. This approval is for a Conditional Use Authorization under Planning Code Section 161(j), 712.94 and 303 of the Planning Code to allow the addition of 2 new dwelling units by constructing a 3rd story vertical expansion, without providing required parking to an existing 2-story mixed used building located at 4563-4565 Mission Street within the NC-3 (3 Stories, Neighborhood Commercial) District and a 40-X Height and Bulk District, in general conformance with plans filed with the Application as received on September 17, 2009 and stamped "EXHIBIT B" included in the docket for **Case No. 2009.0875C**, reviewed and approved by the Commission on October 7, 2010.
2. Prior to the issuance of the Building Permit for the Project the Zoning Administrator shall approve and order the recordation of a notice in the Official Records of the Recorder of the City and County of San Francisco for the premises (Assessor's 6014, Lot 032), which notice shall state that construction has been authorized by and is subject to the conditions of this Motion. From time to time after the recordation of such notice, at the request of the Project Sponsor, the Zoning Administrator shall affirm in writing the extent to which the conditions of this Motion have been satisfied.
3. Violation of the conditions contained in this Motion or of any other provisions of the Planning Code may be subject to abatement procedures and fines in accordance with Planning Code Section 176.
4. Should monitoring of the Conditions of Approval contained in Exhibit A of this Motion be required, the Project Sponsor or successors shall pay fees as established in Planning Code Section 351(e)(1).
5. The property owner shall maintain the main entrance to the building and all sidewalks abutting the Subject Property in a clean condition. Such maintenance shall include, at a minimum, daily litter pickup and disposal, and washing or steam cleaning of the main entrance and abutting sidewalks at least once each week.
6. Pursuant to Planning Code Section 143, the Project Sponsor shall submit a site plan to the Planning Department prior to Planning approval of the building permit application indicating that street trees, at a ratio of one street tree of an approved species for every 20 feet of street frontage along public or private streets bounding the Project, with any remaining fraction of 10 feet or more of frontage requiring an extra tree, shall be provided. The street trees shall be evenly spaced along the street frontage except where proposed driveways or other street obstructions do not permit. The exact location, size and species of tree shall be as approved by the Department of Public Works.

7. The Project shall appoint a Community Liaison Officer to address issues of concern to neighbors related to the operation of this Project. The Project Sponsor shall report the name and telephone number of this Officer to the Zoning Administrator and the neighborhood for reference. The Project Sponsor will keep the above parties apprised should a different staff liaison be designated.
8. The Project Sponsor shall assure the execution and recordation of the specified conditions as a Notice of Special Restrictions at the Office of the County Recorder / County Clerk.
9. The authorization and right vested by virtue of this action shall be deemed void and canceled, if within 3 years of this Motion a site permit or building permit for the Project has not been secured by Project Sponsor. This authorization may be extended at the discretion of the Zoning Administrator only if the failure to issue a permit by the Department of Building Inspection is delayed by a city, state, or federal agency or by appeal of the issuance of such permit.

**4563-4565 MISSION
STREET**

Zoning Map



ZONING USE DISTRICTS

RESIDENTIAL, HOUSE DISTRICTS

RH-1(D)	RH-1	RH-1(S)	RH-2	RH-3
---------	------	---------	------	------

RESIDENTIAL, MIXED (APARTMENTS & HOUSES) DISTRICTS

RM-1	RM-2	RM-3	RM-4
------	------	------	------

NEIGHBORHOOD COMMERCIAL DISTRICTS

NC-1	NC-2	NC-3	NCD	NC-S
------	------	------	-----	------

SOUTH OF MARKET MIXED USE DISTRICTS

SPD	RED	RSD	SLR	SLI	SSO
-----	-----	-----	-----	-----	-----

COMMERCIAL DISTRICTS

C-2	C-3-S	C-3-G	C-3-R	C-3-O	C-3-O(SD)
-----	-------	-------	-------	-------	-----------

INDUSTRIAL DISTRICTS

C-M	M-1	M-2
-----	-----	-----

CHINATOWN MIXED USE DISTRICTS

CRNC	CVR	CCB
------	-----	-----

RESIDENTIAL-COMMERCIAL DISTRICTS

RC-3	RC-4
------	------

REDEVELOPMENT AGENCY DISTRICTS

MB-RA	HP-RA
-------	-------

DOWNTOWN RESIDENTIAL DISTRICTS

RH DTR	TB DTR
--------	--------

MISSION BAY DISTRICTS

MB-OS	MB-O
-------	------

PUBLIC DISTRICT

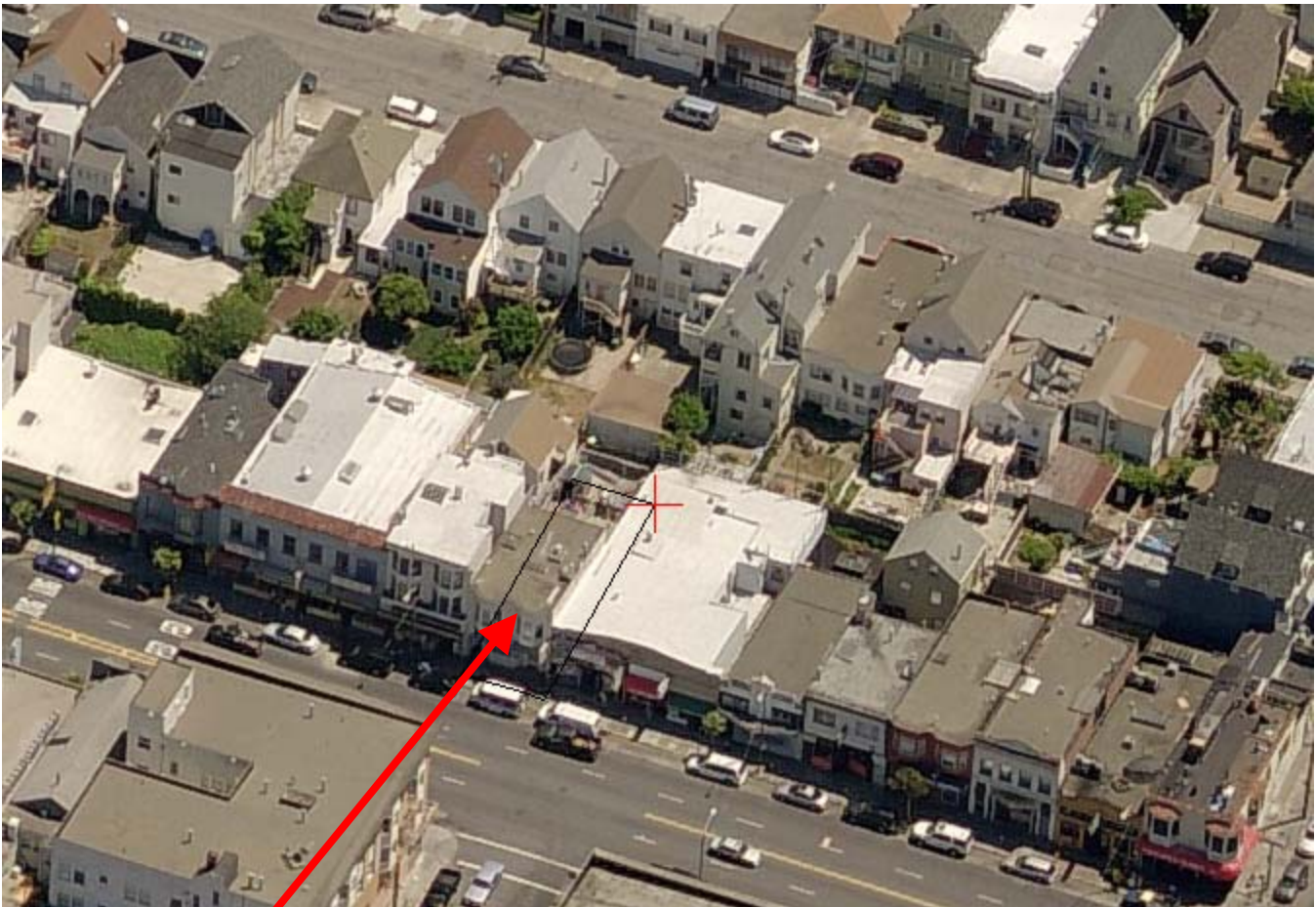
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Conditional Use Hearing
 Case Number 2009.0875C
 Parking Reduction
 4563-4565 Mission Street

Aerial Photo

View from West



SUBJECT
PROPERTY



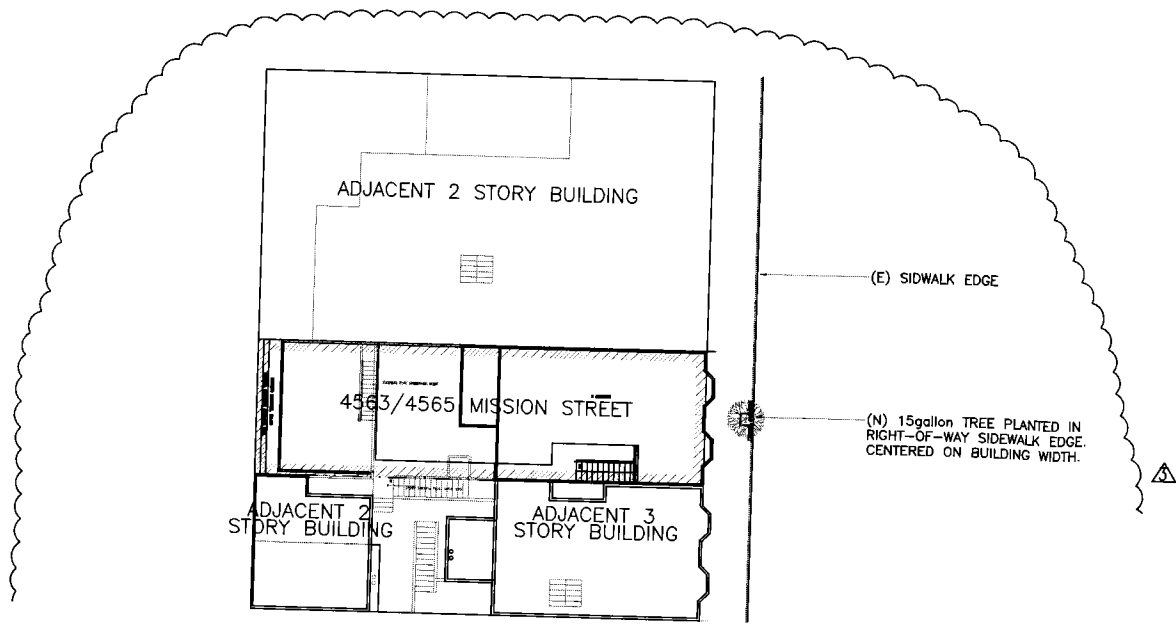
Conditional Use Hearing
Case Number 2009.0875C
Parking Reduction
4563-4565 Mission Street

Aerial Photo

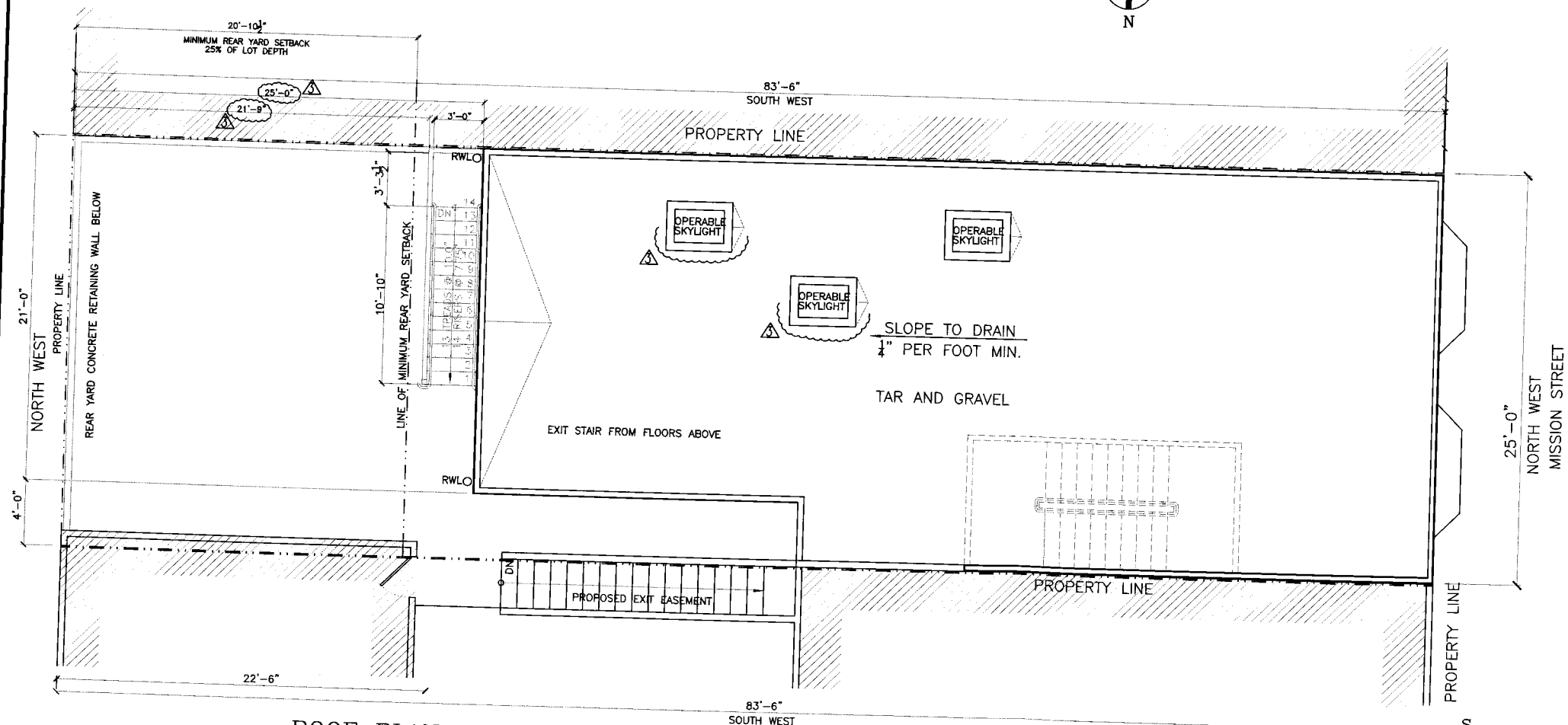
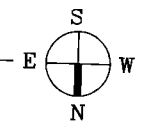
View from East



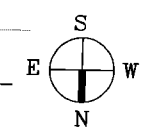
Conditional Use Hearing
Case Number 2009.0875C
Parking Reduction
4563-4565 Mission Street



FOOTPRINT PLAN & LANDSCAPE PLAN
 SCALE: 1/16"=1'-0"
 REMODELED CONDITION



ROOF PLAN & SITE PLAN
 SCALE: 1/4"=1'-0"
 REMODELED CONDITION



ZONING-NC-3 INFORMATION

LOT SIZE: 80'-0" x 83'-6" 6697.50 SQUARE FEET
 500 SQUARE FEET OF LOT PER UNIT 300
 SQUARES: 5.476887 UNITS 3 UNITS

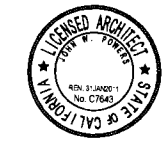
SETBACKS: REAR COMMERCIAL
 FRONT: 15 FEET OF ADJACENT LOT WITH A MIN. OF 5'-0"
 SIDE: ZERO
 REAR: RESIDENTIAL 25% OF LOT DEPTH - 20x25'-6" = 20'-10 1/2"
 HEIGHT: 40'-0" MAXIMUM

THIRD LEVEL FLOOR PLAN 1248 SQUARE FEET
 REMODELED CONDITION
 TWO UNITS

SECOND LEVEL FLOOR PLAN 1248 SQUARE FEET
 REMODELED CONDITION
 TWO UNITS

FIRST LEVEL FLOOR PLAN 944 SQUARE FEET
 REMODELED CONDITION
 ONE UNIT

EXISTING LEVEL FLOOR PLAN 1248 SQUARE FEET
 REMODELED CONDITION
 PROFESSIONAL OFFICE



LEGEND

REMOVE (E) [dashed line]

NEW (N) [solid line]

EXISTING (E) [double solid line]

ABOVE [dashed line with dots]

REFLECT CLG [dashed line with dots]

ADDITION [hatched area]

NEW APARTMENTS FOR:
 DR. LUIS VIDALON D.C.
 4563 AND 4565 MISSION STREET
 SAN FRANCISCO, CALIFORNIA 94112

A.P.N. BLOCK: 6014 LOT: 032
 ZONING: NC3

ARCHITECT

JOHN W POWERS
 ASSOCIATES AIA

ARCHITECTS
 PLANNERS

PIER 33 NORTH
 SAN FRANCISCO
 CALIFORNIA 94111
 (415) 391-9081
 (415) 391-9082 FX
 john@jwpaia.com

CALIFORNIA LICENSE: C-7843

CONSULTANTS

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

CONTRACT PHASE

EXISTING CONDITION SURVEY

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

DRAWN: JWP JOB NO: 1007
 CHECKED: JWP CONTRACT DATE: 28 NOV 07

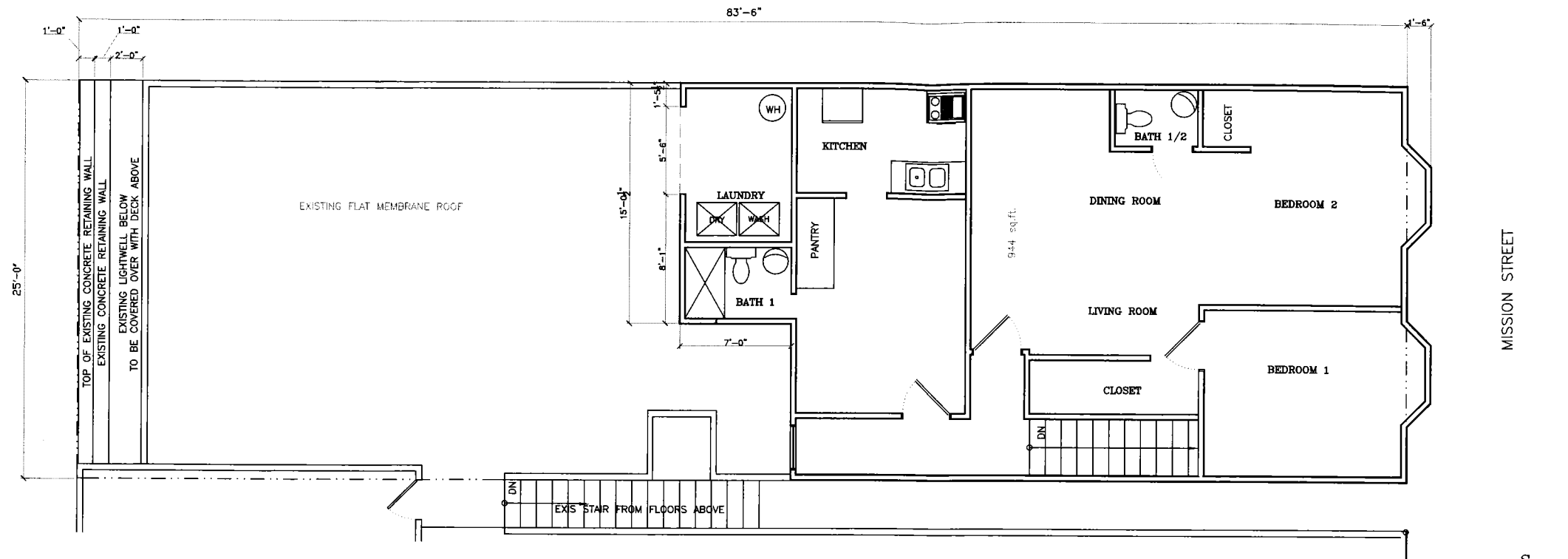
SITE PLAN

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISION TITLE	00 XXX 00
2	REQUIRED BY PLANNING	21 AUG 08
3	REQUIRED BY PLANNING	XX AUG 07

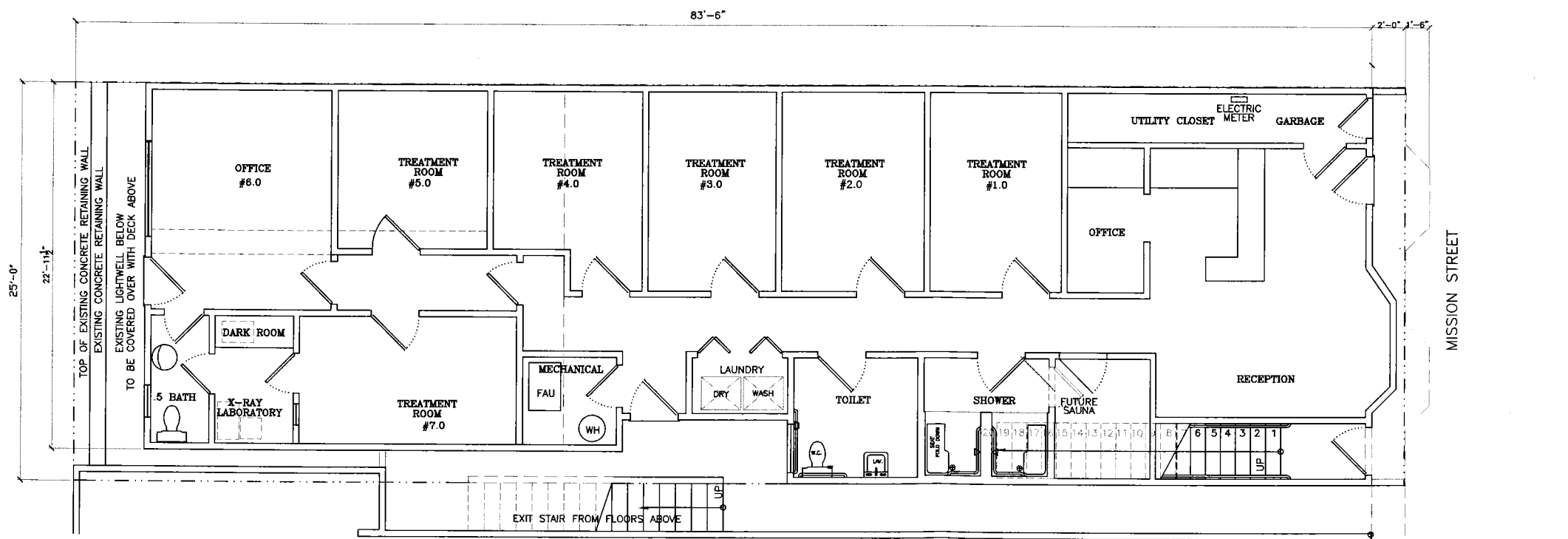
SCALE: 0 1 2 4 8
 1/4" = 1'-0"

SHEET: A1.1.7



SECOND LEVEL FLOOR PLAN

EXISTING CONDITIONS SURVEY
SCALE: 1/4"=1'-0"



GROUND LEVEL FLOOR PLAN

EXISTING CONDITIONS SURVEY
SCALE: 1/4"=1'-0"

LEGEND

- NEW (N) = [Solid line]
- EXISTING (E) = [Dashed line]
- ABOVE = [Dotted line]
- REFLECT CLG = [Dash-dot line]
- ADDITION = [Hatched area]

NEW APARTMENTS FOR:
DR. LUIS VIDALON D.C.
4563 AND 4565 MISSION STREET
SAN FRANCISCO, CALIFORNIA 94112
A.P.N. BLOCK: 6014 LOT: 032
ZONING: NC3

ARCHITECT
JOHN W POWERS
ASSOCIATES AIA
ARCHITECTS
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CONSULTANTS
STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT

INTERIOR DESIGNER

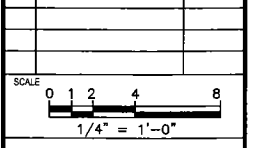
CONTRACT PHASE

CONTRACT DOCUMENTS PHASE
ALL DRAWINGS AND WRITTEN MATERIAL APPROVED
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED
WORK OF THE ARCHITECT AND THE SAME MAY NOT BE
REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.

DRAWN: JWP JOB NO: 0807
CHECKED: JWP CONTRACT DATE: 26 NOV 07

TITLE
**LOWER LEVEL
SECOND LEVEL
FLOOR PLANS**

REVISION NO.	DESCRIPTION	DATE
1	REVISION TITLE	25 FEB 08
2	REQUIRED BY PLANNING	2 AUG 08
3	REQUIRED BY PLANNING	19 AUG 09



SHEET
A2.1.7



ELECTRICAL NOTES:

- ALL WIRING SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE
- 20 AMP CIRCUITS IN LIVING AND FAMILY ROOMS
- VENT ORDER AND EXHAUST FANS TO OUTSIDE
- LIGHTS IN CLOSETS REQUIRE 18" CLEARANCE TO SHELVES, HORIZONTAL UNRESTRICTED TO FLOOR
- GFI IN BATHROOMS, UTIL. OUTSIDE & GARAGE
- 15 & 20 AMP CIRCUITS SHALL HAVE NOT MORE THAN 15 OUTLETS
- IN GARAGE, MOUNT OUTLETS MINIMUM 18 INCHES OFF FLOOR
- KITCHEN SHALL HAVE AT LEAST (2) 20 AMP SMALL APPLIANCE CIRCUITS, UTILITY (1)
- BATHROOM FAN OF SUFFICIENT CFM TO COMPLETELY CHANGE AIR EVERY 15 MINUTES
- RUN WIRING IN CONDUIT WHEN EXPOSED TO INTERIOR OF HOUSE
- PROVIDE 40 AMP SERVICE TO OVENS, RANGE WATER HEATER, AND DRYER
- GENERAL LIGHTING IN KITCHEN AND BATHROOMS MUST BE FLUORESCENT OR PROVIDE LIGHTING WITH EFFICIENCY OF AT LEAST 40 LAMENS PER WATT.
- SUPPLY A GROUNDING ELECTRODE WHEN TWO (2) OR MORE BUILDINGS OR STRUCTURES ARE SUPPLIED BY A COMMON SERVICE (SEE EXCEPTIONS, CODE SECTION 250-24)
- SUPPLY A MAIN DISCONNECT AT SEPARATE BUILDINGS, UP TO SIX (6) DISCONNECTS WITH SEPARATE LOADS (CODE SECTION 250-40B1)
- COMMUNICATION AND CATV GROUNDING TERMINATIONS ARE NOT PERMITTED INSIDE OF PANELS. EXTERNAL CONNECTION SHALL BE PROVIDED FOR WIRING-SYSTEM BONDING (CODE SECTION 250-40B1)
- ALL EXTERIOR DUPLEX OUTLETS SHALL BE 4'-18" FROM FINISHED FLOOR
- DUPLEX OUTLETS IN SPLASH TO BE MOUNTED HORIZONTALLY (TYPICAL)
- U.L. OR L.A.P.M.O. LISTING FOR JACUZZI OR HYDRO MASSAGE TYPE TUBS AND SPAS SHALL BE FURNISHED TO BUILDING OFFICIAL PRIOR TO CONSTRUCTION.
- PROVIDE LINE OF ONE DEDICATED 20A CIRCUIT FOR BATHROOM OUTLETS WITH NO OTHER OUTLETS ON THE CIRCUIT, NEC 210-32(d)
- CLOTHES CLOSET LAMPS SHALL BE ENCLOSED IF INCANDESCENT TYPE.
- LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES OR OTHER WET/SLIP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET LOCATIONS", NEC 410.4(c)

ELECTRICAL NOTES:

- NOT REQUIRED WITH SLAB ON GRADE CONSTRUCTION
- 1178 SQ.FT. CRAWL SPACE/ 150.FT. PER 150 SQ. FT. = 7.85 SQ. FT. OF VENTILATION PER SEC. 1505.3 C.B.C.
- COVER VENTS WITH 1/4 INCH CORROSION RESISTANT WIRE MESH. 15 REQ'D 14"x8" VENTS @ 112 SQ INCHES PER SEC. 1505.3 C.B.C.

SPECIAL REQUIREMENTS

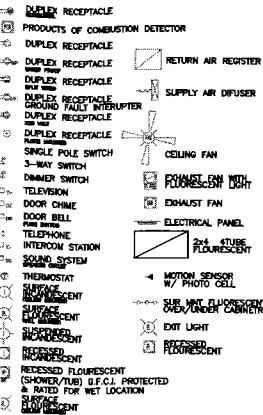
2008 STANDARDS

- KITCHEN**
HIGH EFFICACY OR UP TO 50% OF THE TOTAL WATTAGE CAN BE LOW EFFICACY.
ALL HIGH-EFFICACY AND LOW-EFFICACY LIGHTING MUST BE CONTROLLED SEPARATELY.
- BATHROOM**
HIGH-EFFICACY OR MANUAL-ON OCCUPANCY SENSOR.
- GARAGE**
HIGH-EFFICACY OR MANUAL-ON OCCUPANCY SENSOR.
- LAUNDRY ROOM**
HIGH-EFFICACY OR MANUAL-ON OCCUPANCY SENSOR.
- UTILITY ROOM**
HIGH-EFFICACY OR MANUAL-ON OCCUPANCY SENSOR.
- ALL OTHER ROOMS (LIVING ROOM, DINING ROOM, BEDROOMS, HALLWAYS) EXEMPT CLOSETS LESS THAN 70 SQ. FT. HIGH-EFFICACY OR MANUAL-ON OCCUPANCY SENSOR DIMMER.
- OUTDOOR LIGHTING ATTACHED TO BUILDINGS HIGH-EFFICACY OR CONTROLLED BY MOTION SENSOR+PHOTOCONTROL.
- ALL MANDATORY ENERGY FEATURES ARE INDICATED ON THE PLANS AND SPECIFICATIONS OR INCLUDE A COMPLETE MF-1R FORM ON THE PLANS.
- WALL RECEPTACLES ARE REQUIRED AT EACH LAVATORY IN THE BATHROOM NEC ATR. 210-52(d)

TITLE 24 ELECTRICAL COMPLIANCE

KITCHEN	A 6- 26W	4'-0" 2 LAMP FLUORESCENT FIXTURES	160W
	B 5- 13W	UNDER CABINET FIXTURE	33W
	C 8- 32W	FLUORESCENT 6" CANS	256W
			TOTAL 453W
	D 4- 50W	INCANDESCENT PENDANT FIXTURES	200W
			<50% TOTAL 200W

ELECTRICAL LEGEND

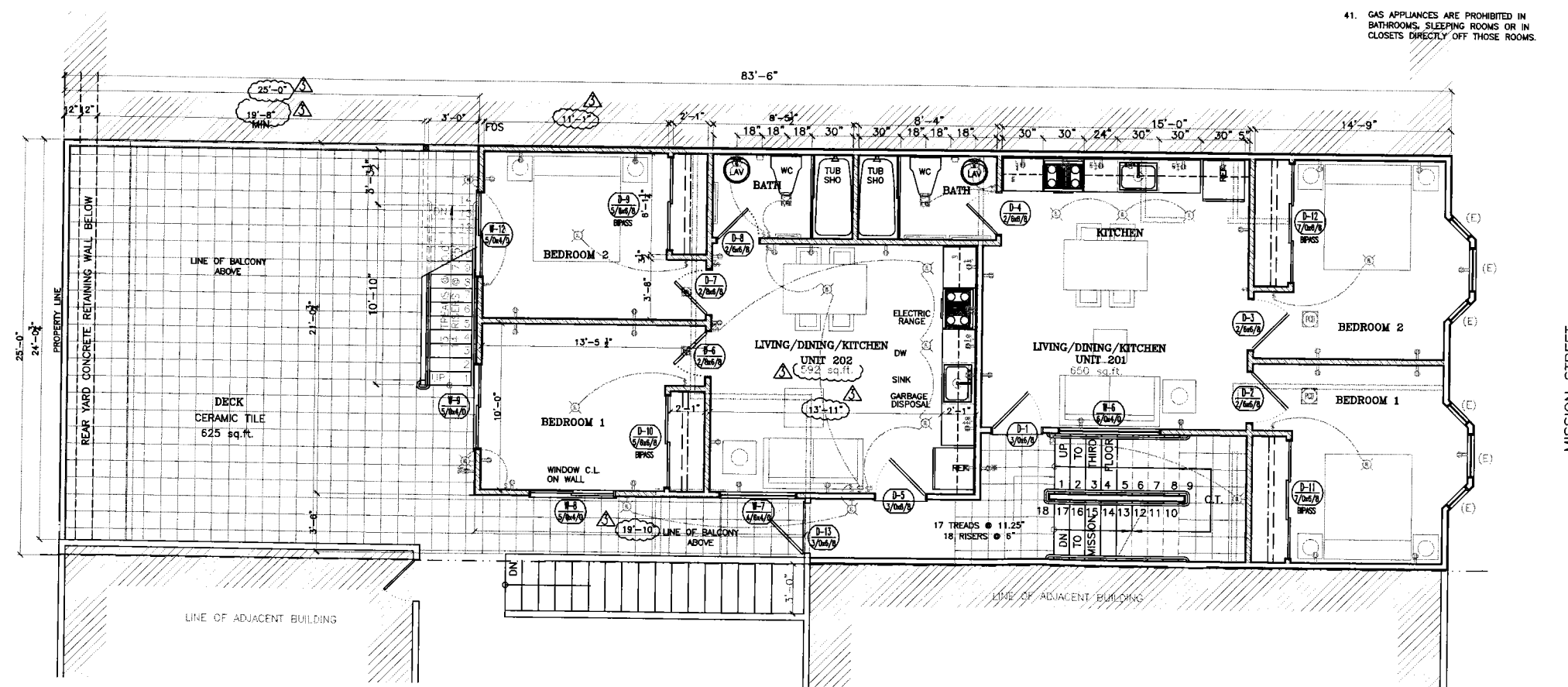


CONSTRUCTION NOTES:

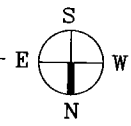
- ALL BATHROOMS AND UTILITY SPACES SHALL HAVE A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE (5) AIR CHANGES PER HOUR AND PROVIDE NO LESS THAN 100 CUBIC FEET PER MINUTE (CFM): "NUTONE" 83P CEILING FAN (OPTIONAL LIGHT) OR EQUIVALENT
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY EXIT. SLL HEIGHT SHALL NOT EXCEED 44" ABOVE FLOOR. WINDOW MUST HAVE AN OPERABLE AREA OF AT LEAST 5.7 SQ. FT. WITH THE MINIMUM OPENABLE WIDTH OF 20 INCHES AND A MINIMUM OPENABLE HEIGHT OF 24 INCHES
- IN R-1 AND R-3 OCCUPANCIES, SLEEPING AREA ON THE SECOND FLOOR OR SLEEPING AREAS ON THE FIRST FLOOR WITH ESCAPE WINDOWS GREATER THAN 12 FEET ABOVE GRADE SHALL BE PROVIDED WITH AN APPROVED PERMANENT NONCOMBUSTIBLE MINIMUM OPENABLE WIDTH OF 20 INCHES AND ESCAPE LADDER OR DEVICE.
- WATER CLOSETS SPACE SHALL BE A MINIMUM 30 INCHES IN WIDTH, 24 INCHES CLEAR SPACE IN FRONT, AND A MAXIMUM 1.6 GALLON PER FLUSH FOR WATER CLOSETS & A MAXIMUM 1.0 PER FLUSH FOR URINALS.
- NO PLASTIC PIPING ALLOWED IN THIS BUILDING.
- (N) FRAMING SHALL MATCH (E) 2x4 WOOD CONSTRUCTION (TYPICAL) 2x6 @ ADDITION.
- GLAZING IN SHOWER/TUB ENCLOSURES (INCLUDING WINDOWS WITHIN 5'-0" OF SHOWER AND TUB FLOORS) SHALL BE SAFETY GLAZED.
- ALL HEADERS TO BE 4x12 D.F. #2 GRADE OR BETTER UNLESS OTHERWISE NOTED
- PROVIDE RAFTER TIES WHERE JOISTS AND RAFTERS ARE NOT PARALLEL (MAXIMUM 4 FEET ON CENTER.)
- GAS APPLIANCES ARE PROHIBITED IN BATHROOMS, SLEEPING ROOMS OR IN CLOSETS DIRECTLY OFF THOSE ROOMS.

GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL BE IN ACCORD WITH THE LATEST RULES AND REGULATIONS OF ALL APPLICABLE STATE AND/OR LOCAL CODES, LAWS, ORDINANCES, AND STATUTES. NOTHING IN THE DRAWINGS OR SPECIFICATIONS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK CONTRARY TO THESE RULES, REGULATIONS, AND CODES.
 - THE DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAILS OF CONSTRUCTION. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. WORK NOT PARTICULARLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED.
 - DO NOT SCALE DRAWINGS.
 - FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. WHERE DISCREPANCIES OCCUR THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
 - DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
 - CONCRETE DIMENSIONS ARE GIVEN TO FACE OF CONCRETE AND TO THE FACE OF ROUGH OPENINGS AT WALL OPENINGS.
 - EXTERIOR FRAMED PARTITION DIMENSIONS ARE GIVEN TO FACE OF STUD. INTERIOR FRAMED PARTITION DIMENSIONS ARE GIVEN EITHER TO CENTERLINE OR FACE OF STUD AS NOTED. SEE PLANS.
 - SITE BOUNDARY LINES, BOUNDARY DIMENSIONS, BOUNDARY DECLINATIONS, AND EXISTING GRADES ARE BASED UPON THE SITE SURVEY WHICH IS PROVIDED BY THE OWNER FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND SATISFIED HIMSELF AS TO ACTUAL GRADES, LEVELS, DIMENSIONS, AND DECLINATIONS AND THE TRUE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
 - THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THAT ALL EXISTING CONDITIONS AGREE WITH THE INFORMATION SHOWN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.
 - THE WORK SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS, DELIVERY AND EQUIPMENT, INCLUDING SCAFFOLDING SHORING, DISPOSAL, ETC., AS REQUIRED FOR A COMPLETE INSTALLATION OF THE WORK AS INDICATED HEREIN ON THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY SERVICE LINES OR PIPING IN THE WAY OF THE NEW WORK. PROPERLY CAP OR PLUG AND MAKE TIGHT SUCH SERVICES AT THE PROPERTY LINE. ALL MATERIALS SHALL BE NEW, OF FIRST QUALITY AND ALL WORK SHALL BE PERFORMED BY SKILLED MECHANICS.
 - GENERAL CONTRACTOR SHALL PROVIDE WRITTEN ONE (1) YEAR WARRANTY FOR ALL WORK PERFORMED, EXCEPT AS INDICATED IN SPECIFICATIONS. GUARANTEE PERIOD SHALL COMMENCE AT DATE OF OCCUPANCY.
 - GENERAL CONTRACTOR SHALL CONSTRUCT THE PROJECT IN EXPEDITIOUSLY, ORDERLY AND WORKMANLIKE MANNER. THE PROJECT SHALL BE SUBJECT TO OBSERVATION AND ACCEPTANCE BY THE ARCHITECT AND ENGINEERS. ANY REJECTED OR UNACCEPTABLE WORK SHALL BE CORRECTED BY GENERAL CONTRACTOR AT HIS EXPENSE.
 - FABRICATE AND INSTALL ALL MATERIALS AND SYSTEMS IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, APPLICABLE BUILDING CODES AND GOOD BUILDING PRACTICE. WHERE CLARIFICATIONS ARE REQUIRED, CONSULT WITH ARCHITECT AND RECEIVE WRITTEN DIRECTION BEFORE PROCEEDING WITH THE WORK.
 - GENERAL CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE JOB SITE WHENEVER ANY WORK IS BEING PERFORMED, IN ORDER TO PROVIDE CONSTANT SUPERVISION.
 - GENERAL CONTRACTOR SHALL PROVIDE PROTECTION FOR PEDESTRIANS AND FOR ADJACENT PROPERTIES. CONSTRUCTION WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL.
 - SEE STRUCTURAL SHEETS FOR FOUNDATION PLANS AND DETAILS
 - SEE SHEET A-0 FOR SYMBOLS AND ABBREVIATIONS.
 - ALL MASONRY VENEER TO BE ANCHORED IN ACCORDANCE WITH THE REQUIREMENTS OF CODE SECTION 1403.6.4.2 (SEE STRUCTURALS)
- UPGRADE (E) ELECTRICAL SERVICE & PANEL FROM 100A TO 200A SERVICE. ELECTRICAL WORK SHALL BE DESIGN BUILD, G.C. TO SUBMIT ALL REQUIRED DOCUMENTS TO CITY PRIOR TO CONSTRUCTION
- NOTE:
ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK SHALL BE DONE AS DESIGN-BUILD UNDER SEPARATE PERMIT(S) BY LICENSED SUBCONTRACTOR(S)



SECOND LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"
REMODELED CONDITION
TWO UNITS



LEGEND

- EXISTING (E) [Symbol]
- REMOVE (E) [Symbol]
- NEW (N) [Symbol]
- ABOVE [Symbol]
- REFLECT CLG [Symbol]
- ADDITION [Symbol]



NEW APARTMENTS FOR:
DR. LUIS VIDALON D.C.
4563 AND 4565 MISSION STREET
SAN FRANCISCO, CALIFORNIA 94112

ARCHITECT
JOHN W POWERS ASSOCIATES AIA
ARCHITECTS PLANNERS
PIER 33 NORTH SAN FRANCISCO CALIFORNIA 94111
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john@jwpaia.com
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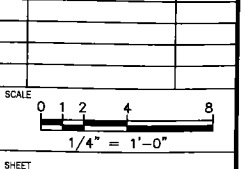
CONSULTANTS
STRUCTURAL ENGINEER
LANDSCAPE ARCHITECT
INTERIOR DESIGNER

CONTRACT PHASE
CONTRACT DOCUMENTS PHASE
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

DRAWN: JWP
CHECKED: JWP
DATE: 26 NOV 07

TITLE
REMODELED SECOND LEVEL FLOOR PLAN

NO.	DESCRIPTION	DATE
1	REVISION TITLE	25 FEB 08
2	REQUIRED BY PLANNING	21 AUG 08
3	REQUIRED BY PLANNING	08 AUG 08



SHEET
A2.2.7

A.P.N. BLOCK: 6014 LOT: 032
ZONING: NC3

NOTE:
locations shown of permanently wired smoke detectors with battery backup
a.) inside each bedroom.
b.) centrally located in door or area giving access to sleeping rooms.
c.) on each story.
when the ventilation of a room addition or repair exceeds \$1000, or when sleeping rooms are created, smoke detectors shall be provided per the above, except that smoke detectors added on existing construction shall need only be battery powered. Section 310.9.1.2.

NOTE:
BEDROOM BRANCH WILL BE ARC FAULT CIRCUIT PROTECTED.*
ART. 210-12(B)

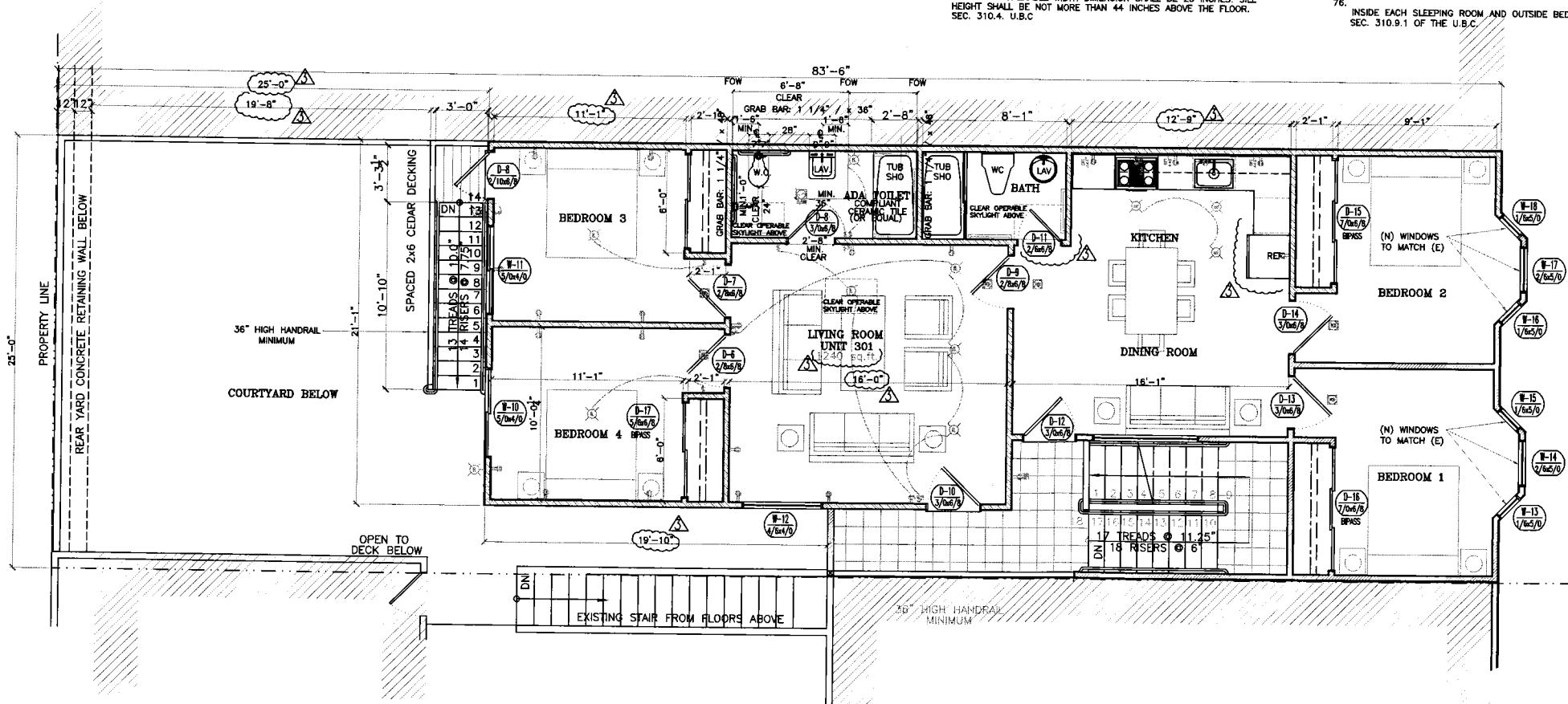
NOTE:
attic ventilation must be a minimum vent area of 1/150 of attic area.
430 ft²/150 equals 2.866 ft² for 412 in.²

NOTE:
WALL TO CONTAIN FULL THERMAL BATT INSULATION R-19
CEILING TO CONTAIN FULL THERMAL BATT INSULATION R-30
FLOOR TO CONTAIN FULL THERMAL BATT INSULATION R-19

NOTE:
glazing in the following location which should be safety glazing materials in accordance with section 2406.4
walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60 inches above a walking surface.

18. WALL RECEPTACLES ARE REQUIRED AT EACH
LAVATORY IN THE BATHROOM NEC ATR. 210-52(d)

2005 TITLE 24 ELECTRICAL COMPLIANCE
BATHROOM
A 2-28W 4'-0" 2 LAMP FLOURESCENT FIXTURES 56W
B 2-64W FLOURESCENT FAN LIGHTS 128W
TOTAL 184W



THIRD LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"
CONSTRUCTION REMODELED CONDITION

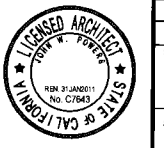
- 85. THE AREA OF NATURAL LIGHT AND VENTILATION SHALL COMPLY WITH CHAPTER 12 OF THE U.B.C.
- LIGHT - AN AREA NOT LESS THAN ONE TENTH OF THE FLOOR AREA, WITH A MINIMUM OF 10 SQUARE FEET.
- VENTILATION: OPENABLE EXTERIOR OPENING WITH AREA OF NOT LESS THAN 1/20 OF FLOOR AREA WITH MINIMUM OF 5 SQUARE FEET.
- VERIFY WITH ARCHITECT BEFORE ORDERING WINDOWS AND DOORS
- 86. TYPE OF GLAZING AT HAZARDOUS LOCATIONS LISTED BELOW SHALL BE INDICATED ON THE FLOOR PLANS AS TEMPERED OR SAFETY GLASS FOR GLAZING:
- ALL BATHROOM WINDOWS/DOORS WHERE THE SILL IS BELOW 60" FROM DRAIN
- SHOWER OR SAUNA DOORS
- ALL GLAZED ENCLOSURES, INCLUDING PARTITIONS AND GUARDRAIL PANELS
- ALL EGRESS/INGRESS DOORS
- ALL SLIDING GLASS DOORS AND STORM DOORS
- WINDOWS/DOORS ENCLOSING STAIRWAY LANDINGS
- WINDOWS/DOORS WITH GLAZING LESS THAN 18" ABOVE FLOOR
- WHERE ARC OF DOOR SWING IS 24" OR LESS FROM WINDOW
THE TEMPERED OR SAFETY GLAZING SHALL BE PERMANENTLY MARKED AND READABLE FROM THE INSIDE OF THE BUILDING AFTER INSTALLATION. SEC. 1003.3.3. U.B.C.
- 91. THE FINISH MATERIALS FOR BATHROOMS AND THE SHOWER ENCLOSURES ARE SPECIFIED ON THE FLOOR PLANS. SEC. 412 U.P.C. & SEC. 807 U.B.C.
- 92. THE WATER RESISTANT FINISH MATERIALS FOR THE FLOORS AND WALLS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACES AS SPECIFIED ON THE FLOOR PLANS:
- WATER CLOSET COMPARTMENTS TO A HEIGHT OF 48" FROM THE FLOOR
- SHOWERS & ENCLOSURES TO A HEIGHT OF 70" ABOVE THE DRAIN INLET SEC. 807. U.B.C.
- 93. THE PLANS INDICATE THE MIN. REQUIREMENTS FOR WATER CLOSET CLEARANCES FOR A WIDTH OF 15" FROM C. OF FIXTURE TO EACH SIDE AND 24" CLEAR SPACE IN FRONT OF FIXTURE. SEC. 408. OF U.P.C.
- 94. NO PLASTIC PIPING ALLOWED IN THIS BUILDING. ALL PIPING SHALL BE COPPER, WITH THE SIZE AND TYPE TO BE SPECIFIED IN THE DESIGN-BUILD PERMIT BY THE PLUMBING AND MECHANICAL CONTRACTORS OR THEIR ENGINEERS.
- 95. TITLE 24 STATE ENERGY CALCULATIONS ON FORMS AS PROVIDED BY THE STATE AND PREPARED BY QUALIFIED PERSONS, ARE SHOWN ON SHEET T-24
- 96. THE "CF-1R" FORM AND MANDATORY MEASURES CHECKLIST AREA SHOWN ON SHEET T-24 AND SIGNED BY THE PERSONS REQUESTED AS PER FORM CF-1R.
- 97. *BEDROOM branch circuits will be arc fault circuit protected.* NEC Art. 210-52(d)

- 77. THE BUILDING SHALL BE PROVIDED WITH AT LEAST ONE MEANS OF EGRESS AS AN "EXIT DOOR" SIZE (36" MIN. WIDTH & 6'-8" MIN. HEIGHT). LOCATIONS AND SIZE OF DOORS ARE INDICATED ON THE FLOOR PLANS. SEC. 1003.3.3. U.B.C.
- 79. THE MIN. WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 36" AS INDICATED ON THE FLOOR PLANS. SEC. 1003.3.3. U.B.C.
- 79. SINKS USED FOR SOAKING, WASHING, OR PREPARING FOOD SHALL BE WASTE OR VENT PIPE AND ALL WASTE DRAINED BY THEM SHALL DISCHARGE THROUGH AND AIRGAP. SEC. 801 U.P.C.
- 80. NO DOMESTIC DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHER MACHINE. SEC. 807.4 U.P.C.
- 81. ALL DOMESTIC WATER PIPING AND GAS PIPING SHALL BE BONDED PER CEC. REFER TO "UFER" DETAIL FOR ADDITIONAL INFORMATION.
- 80. INTERIOR AND EXTERIOR STAIRWAY & LANDING DIMENSIONS ARE SHOWN ON THE FLOOR PLANS & EXTERIOR BUILDING ELEVATIONS. DETAILS FOR DOORS(S) AT FLOOR LEVEL ARE SHOWN ON SHEET AS.5. SEC. 1003.3.3 & 1003.3.1.6 OF U.B.C.
- FOR RESIDENTIAL: MAX. RISE OF 8". MIN. RUN OF 9".
- FOR COMMERCIAL: MAX. RISE OF 7". MIN. RUN OF 11".
- HEADROOM CLEARANCE OF NOT LESS THAN 6'-8"
- 81. HANDRAILS ARE SHOWN ON THE FLOOR PLANS AND DETAILS OF THE HANDRAILS AND THE HAND GRIP AT THE STAIRWAYS ON SHEET AS.5. SEC. 1003.3.3.6 OF U.B.C.
- TOP OF THE HANDRAILS SHALL BE PLACED MAX. 38" & MIN. 34" ABOVE THE NOSING OF THE TREADS.
- HAND GRIP OF THE HANDRAIL SHALL BE MAX. 1 1/2" & MAX. 2"
- 82. GUARDRAILS DETAILS FOR INTERIOR AND EXTERIOR, COMPLYING WITH SECTION 509 OF THE U.B.C.
- OPEN GUARDRAIL SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT SPHERE OF 4" IN DIAMETER CANNOT PASS THROUGH.
- RESIDENTIAL: THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 36" IN HEIGHT FROM THE FLOOR.
- COMMERCIAL: THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 42" IN HEIGHT FROM THE FLOOR.
- 83. THE SIZE & TYPE OF ALL WINDOWS AND DOORS ARE INDICATED ON THE FLOOR PLANS & EXTERIOR BUILDING ELEVATIONS:
OPERABLE DOUBLE HUNG WINDOW = X
FIXED WINDOW = O
DOOR & WINDOW SWING = (INDICATED ON PLANS & ELEVATIONS)
DOOR & WINDOW SLIDERS = (INDICATED ON PLANS & ELEVATIONS)
- 84. EGRESS WINDOWS ARE INDICATED ON THE FLOOR PLANS "EGRESS" OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR. SEC. 310.4. U.B.C.

- 66. ALL WALLS, CEILINGS, BEAMS, AND POSTS SUPPORTING A HORIZONTAL OCCUPANCY SEPARATION SHALL BE ONE HOUR FIRE RESISTIVE RATED. SPECIFY MATERIAL USED FOR FIRE SEPARATION. PROVIDE MIN. 5/8" TYPE "X" GYP. PLAS. BD. WITH FIRE RESISTANT, TAPED JOINTS.
- 67. GARAGE, CARPORT AND PARKING DECK SURFACES, INCLUDING RAMPS, SHALL BE OF NON-COMBUSTIBLE MATERIAL, MIN. 3/4" OF CONCRETE (SEE STRUCTURAL DWG'S). SEC. 312.5 U.B.C.
- 68. LOCATIONS OF THE HEATING SYSTEM(S) & WATER HEATER(S) ARE INDICATED ON THE FLOOR PLANS. ALL MECHANICAL SYSTEMS SHALL BE DESIGN-BUILD WITH THE CONTRACTOR AND SPECIFIED BY THE MECHANICAL CONTRACTOR FOR BUILDING INSPECTOR'S APPROVAL.
- 69. SIZE AND LOCATION OF THE COMBUSTION AIR VENTS AREA INDICATED ON THE EXTERIOR BUILDING ELEVATIONS FOR ALL GAS APPLIANCES. CHAPTER 7 OF U.M.C.
- 70. ALL GAS AND ELECTRIC APPLIANCES INSTALLED IN THE GARAGE SHALL BE RAISED AT LEAST 18 INCHES ABOVE THE FLOOR LEVEL. SEC. 303.1.3 U.M.C.
- 71. ALL WATER HEATER(S) SHALL BE ANCHORED OR STRAPPED AT THE LOWER AND UPPER THIRD OF THE APPLIANCE, TO RESIST HORIZONTAL DISPLACEMENT.
ALL WATER HEATERS INSTALLED IN AREAS WHERE THEY MAY BE SUBJECT TO MECHANICAL DAMAGE, SHALL BE SUITABLY GUARDED AGAINST SUCH DAMAGE. REFER TO THE FLOOR PLANS FOR LOCATION OF ADEQUATE BARRIERS FOR THE WATER HEATER(S) WHERE OCCURS. 510.3 OF U.P.C. & SEC.510.3 OF U.P.C.
- 72. ALL APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION. REQUIRED 30" OF WORKING SPACE IN FRONT OF APPLIANCE(S) SHALL BE A PLATFORM OR SLAB ON GRADE AS INDICATED ON THE FLOOR PLANS. SEC. 307. U.M.C.
- 73. GAS APPLIANCES ARE PROHIBITED IN BATHROOMS, SLEEPING ROOMS OR IN CLOSETS DIRECTLY OFF THOSE ROOMS. EXACT LOCATIONS SHOWN ON THE FLOOR PLANS SHALL BE DESIGN-BUILD WITH THE CONTRACTOR. SEC. 304.5 U.M.C.
- 74. PROVIDE A VENT FROM THE CLOTHES DRYER TO THE EXTERIOR OF THE BUILDING. THE PATH OF THE VENT AND LOCATION OF TERMINATION ARE SHOWN ON THE FLOOR PLANS. MAX. 14' LENGTH WITH TWO 90 ELBOWS. PROVIDE METAL VENT WITH SMOOTH INTERIOR SURFACES. SEC. 504.3. & 508. U.M.C.
- 75. THE SIZE AND TYPE OF THE MECHANICAL VENTILATING SYSTEM(S) SHALL AND SHOWN ON THE ELECTRICAL PLANS. FIVE AIR CHARGES PER HOUR ALL BATHROOMS MIN.
- 76. INSIDE EACH SLEEPING ROOM AND OUTSIDE BEDROOMS CENTRALLY LOCATED 53. SEC. 310.9.1 OF THE U.B.C.

- 42. GAS FIREPLACES SHALL INCLUDE A GAS LOG LIGHTER UNLESS OTHERWISE NOTED
- 43. ALL WALLS & CLG SUPPORTING STRUCTURAL FRAMING BETWEEN THE DWELLING AND THE GARAGE/MECHANICAL SPACES TO RECEIVE 5/8" TYPE "X" GYP PLAS BD FOR 1hr RATING
- 44. ALL MECHANICAL SPACES WITH A COMBUSTION APPLIANCE SHALL HAVE AT LEAST (2) TWO 4"x12" (MIN.) VENTS, HIGH & LOW PLACEMENT, SCREENED AND OPEN TO THE EXTERIOR
- 45. ALL MECHANICAL SPACES WITH A COMBUSTION APPLIANCE SHALL HAVE 45min RATED FIRE DOOR(S) WITH AUTO. CLOSE HINGE AND MTL THRESHOLD(S)
- 46. ALL WALLS, BEAMS, POSTS AND CEILINGS SUPPORTING A HORIZONTAL OCCUPANCY SEPARATION SHALL BE ONE HOUR FIRE RESISTIVE.
- 47. PROVIDE ONE HOUR FIRE PROTECTION AT THE UNDERSIDE OF (WALLS & SOFFITS) OF THE ENCLOSED USABLE SPACE FOR STAIRWAY
- 48. STAIRWAY: MAX. RISE 8 INCHES. MIN. RUN 9 INCHES. MIN. HEADROOM CLEARANCE OF NOT LESS THAN 6'-8". (APPLICABLE CODE SECTION 1006.3)
- 49. EXTERIOR LANDINGS AND DECKS SHALL NOT BE MORE THAN 8 INCHES BELOW THE FINISH FLOOR LINE OF BUILDING
- 50. REPLACE (E) WINDOWS AND DOORS WITH "PELLA" VINYL PRODUCTS. W/ INSUL. LOW-E GLAZING (TYP)
- 51. EXTER CLAD BLDG SHALL CEM. PLASTER OVER (2) LAYER OF #15 FELT PAPER ON 1/2" CDX PLYWD SHEATHING (TYPICAL)
- 52. SOLID ROOF SHEATHING REQUIRED. (MIN. 3/4" CDX" PLYWD) (SEE STRUCTURAL DWG'S FOR ATTACHMENT) SEC. 2312.2 & 2320.12.9 U.B.C.
- 53. ROOF SHALL BE SLOPED TO DRAIN (1/4 INCH PER FOOT MIN.) TO RESIST PONDING LOAD FOR WATER ACCUMULATION SEC. 1506&1611.7 U.B.C.
- 54. ALL ROOF COVERING SHALL BE CLASS "A" (SEE EXTERIOR BUILDING
- 55. ELEVATIONS FOR SPECIFIED TYPE OF ROOF COVERING). THE ASSEMBLY SHALL HAVE A MIN. OF (2) LAYERS #15 FELT ON 3/4" CDX" PLYWD (MANUFACTURE DATA SUBMITTED ASSEMBLY, IF APPLICABLE). (SEE STRUCTURAL DWG'S) SEC. 1504.U.B.C.
- 56. LOCATION AND SIZE OF ALL ATTIC ACCESS(ES) INDICATED ON PLANS. ALL OPENINGS SHALL BE MIN. OF 22"x30" AND 30"x30" WHERE HEATING SYSTEMS OCCUR IN THE ATTIC SPACE. SEC. 1505.1 U.B.C.
- 57. SIZE AND LOCATION OF ATTIC AND FOUNDATION CROSS VENTILATION PENETRATIONS ARE INDICATED ON EXTERIOR BUILDING ELEVATIONS. PER SEC. 1505.3 U.B.C.
- 58. SIZE AND DETAIL OF ENCLOSED RAFTER SPACE CROSS VENTILATION ARE SHOWN ON DETAIL SHEET AS.4. WHERE CLG. IS APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, CREATE A 1 1/2" AIR GAP AT THE UNDERSIDE OF THE SHEATHING, VENTED AT ENDS (SEE DETAIL). PER SEC. 1505.3 U.B.C.
- 59. TYPE OF EXTERIOR IS CEMENT PLASTER SHOWN ON DETAIL SHEET AS.4. MIN. (2) LAYERS #15 FELT OVER "GRAFT" PAPER ON 3/4" CDX" PLYWD SHEATHING SHEAR WALL (SEE STRUCTURAL DWG'S). THE UNDERSIDE OF FLOOR SYSTEMS WHICH ARE NOT ENCLOSED TO GRADE AT THE EXTERIOR WALL AND UNDER CANTILEVERED FLOOR AREAS SHALL BE SOFFITED WITH THE SAME MATERIAL AS EXTERIOR SIDING, WHERE OCCURS. SEC. 1402. U.B.C.
- 60. FINISHED CEILING HEIGHT AT EACH ROOM INDICATED ON FLOOR PLANS AND BUILDING SECTIONS. 7'-6" MIN. REQUIRED AT HABITABLE SPACES. SEC. 310.6.1 U.B.C.
- 61. WHEN A FIRE SUPPRESSION SYSTEM IS REQUIRED, THE SYSTEM SHALL BE DESIGN-BUILD WITH THE CONTRACTOR, WHO SHALL BE REQUIRED TO SUBMIT DRAWING(S) AND CALCULATION(S) FOR INSTALLATION OF FIRE SUPPRESSION SYSTEM FOR THIS PROJECT FOR BUILDING INSPECTOR'S APPROVAL BEFORE INSTALLATION WORK BEGINS. PROVIDE THE OWNER'S NAME, ADDRESS OF PROJECT, A.P.N. AND FIRE ENGINEER'S STAMP & SIGNATURE OR C-16 CONTRACTOR STAMP & SIGNATURE ARE ON THE SUBMITTAL OF FIRE SUPPRESSION PLANS & CALCULATIONS. IF ALLOWED BY BUILDING INSPECTION, SUBMIT A COPY OF THE CONTRACT AGREEMENT FOR INSTALLATION OF THE FIRE SPRINKLER SYSTEM SIGNED BY THE OWNER AND THE C-16 CONTRACTOR, IN LIEU OF CALCULATIONS AND DRAWINGS.
- 62. ALL SLEEPING AREAS ON THE SECOND WITH EGRESS "ESCAPE" WINDOWS GREATER THAN 12 FEET FROM SILL TO GRADE, SHALL BE HAVE AN APPROVED, PERMANENT, NON-COMBUSTIBLE ESCAPE LADDER. SEC.19.04.070.
- 63. PROVIDE ONE HOUR FIRE RESISTIVE CONSTRUCTION AT THE UNDERSIDE OF SOFFIT AND ON THE WALLS OF THE ENCLOSED USABLE SPACE (BENEATH THE STAIRWAYS). MIN. 5/8" TYPE "X" GYPSUM PLASTER BOARD WITH FIRE RESISTANT JOINTS. SEC. 1003.3.3.9 U.B.C.
- 64. PROVIDE ONE HOUR FIRE RESISTIVE SEPARATION ON THE COMMON WALL(S) BETWEEN THE GARAGE/MECHANICAL SPACE AND DWELLING. PROVIDE MIN. 5/8" TYPE "X" GYP. PLAS. BD. WITH FIRE RESISTANT, TAPED JOINTS. SEC. 302.4 U.B.C.

LEGEND
EXISTING (E) =
NEW (N) =
ABOVE =
REFLECT CLG =
ADDITION =



NEW APARTMENTS FOR:
DR. LUIS VIDALON D.C.
4563 AND 4565 MISSION STREET
SAN FRANCISCO, CALIFORNIA 94112
A.P.N. BLOCK: 6014 LOT: 032
ZONING: NC3

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CONTRACT PHASE
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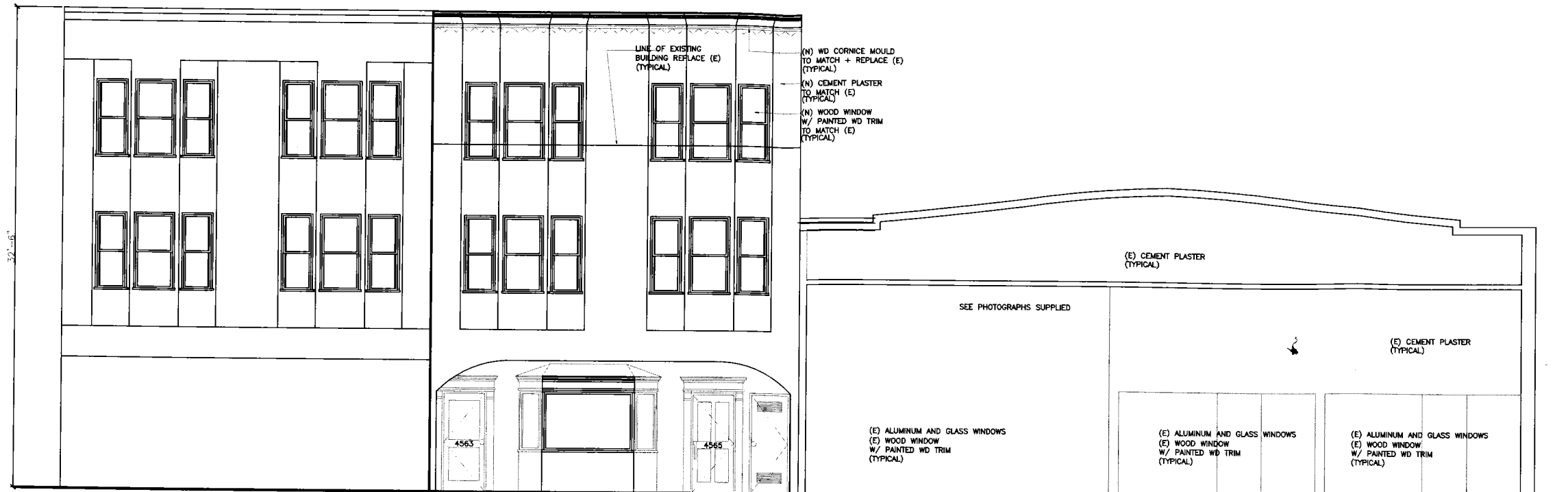
DRAWN: JWP JOB NO: 1007
CHECKED: JWP CONTRACT DATE: 28 NOV 07

REMODELED THIRD LEVEL FLOOR PLAN

REVISION NO.	DESCRIPTION	DATE
1	REVISION TITLE	00 XXX 00
2	REQUIRED BY PLANNING	2 AUG 08
3	REQUIRED BY PLANNING	XX AUG 09

SCALE: 0 1 2 4 8
1/4" = 1'-0"

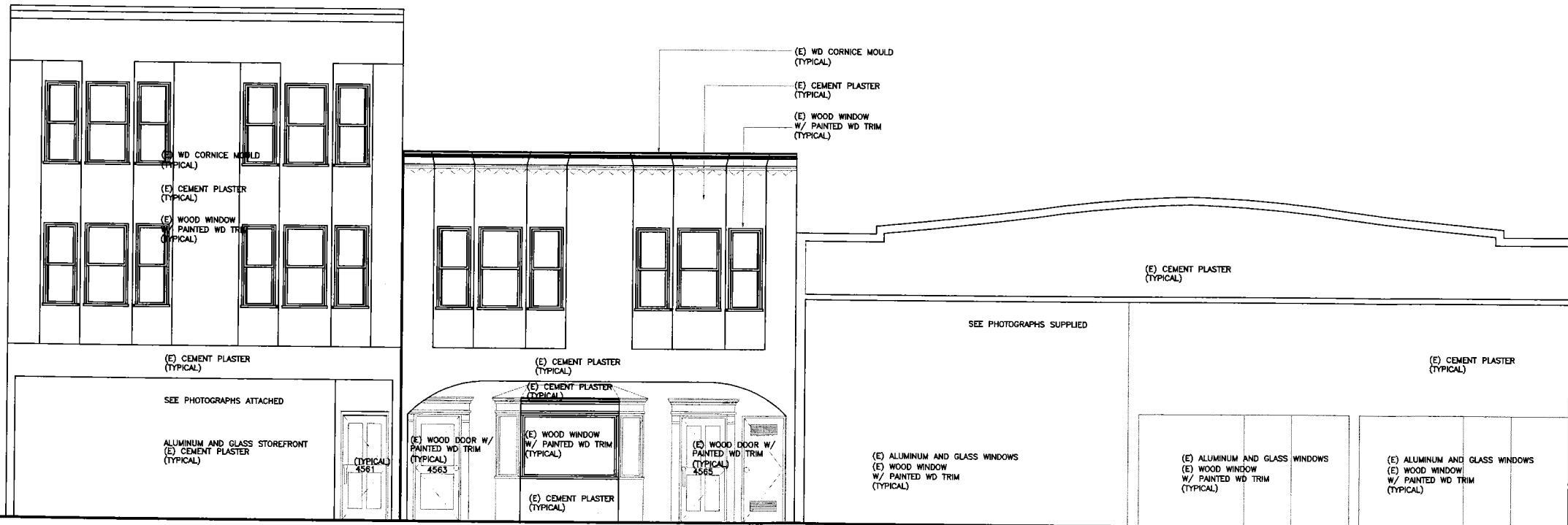
SHEET **A2.3.7**



ADJACENT 3 STORY BUILDING 4561 MISSION STREET 4563/4565 MISSION STREET 4567 MISSION STREET ADJACENT BUILDING

EXTERIOR ELEVATION (WEST)

SCALE: 1/4"=1'-0"
REMODELED CONDITION



ADJACENT 3 STORY BUILDING 4563/4565 MISSION STREET

EXTERIOR ELEVATION (WEST)

SCALE: 1/4"=1'-0"
EXISTING CONDITIONS SURVEY

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CHECKED: JWP CONTRACT DATE: 28 NOV 07

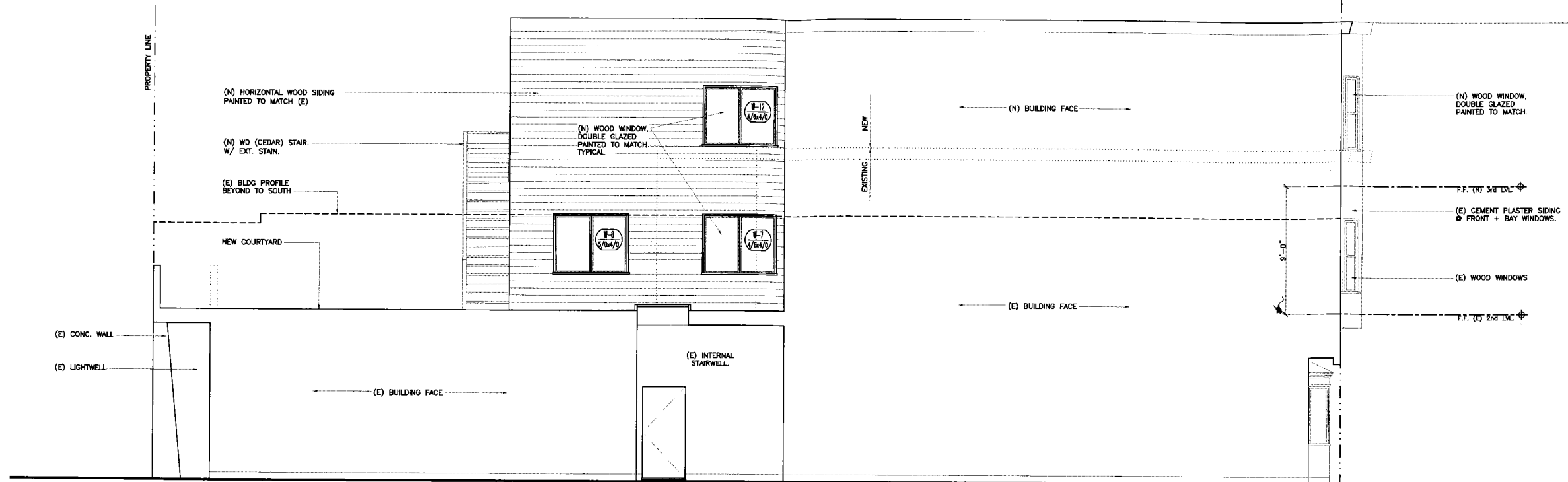
EXTERIOR ELEVATIONS

REVISION NO.	DESCRIPTION	DATE
Δ	DIMENSIONS	20 DEC 07
Δ	REQUIRED BY PLANNING	21 AUG 08
Δ	REQUIRED BY PLANNING	XX AUG 09

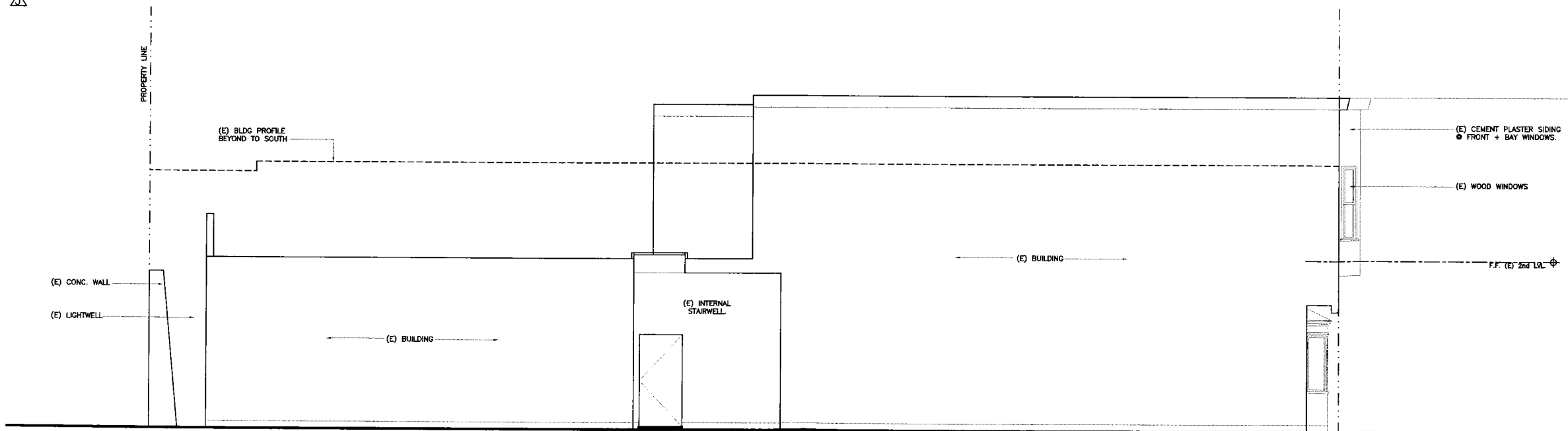
SCALE: 0 1 2 4 8
1/4" = 1'-0"

SHEET A3.1.7





EXTERIOR ELEVATION (NORTH)
SCALE: 1/4"=1'-0"
REMODELED CONDITION



EXTERIOR ELEVATION (NORTH)
SCALE: 1/4"=1'-0"
EXISTING CONDITIONS SURVEY

NEW APARTMENTS FOR:
DR. LUIS VIDALON D.C.
4563 AND 4565 MISSION STREET
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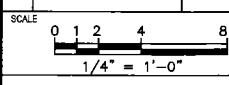
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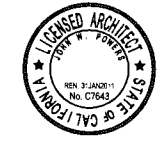
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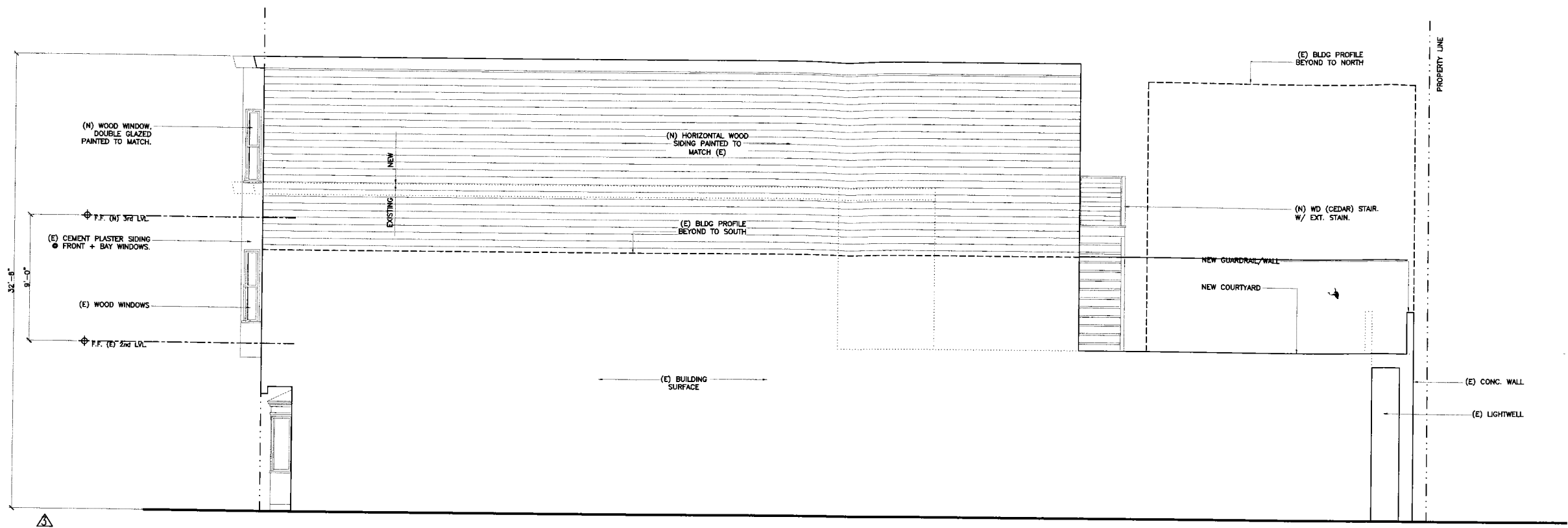
TITLE: **EXTERIOR ELEVATIONS**

REVISION	NO.	DESCRIPTION	DATE
△	1	DIMENSIONS	20 DEC 07
△	2	REQUIRED BY PLANNING	21 AUG 08
△	3	REQUIRED BY PLANNING	01 AUG 09

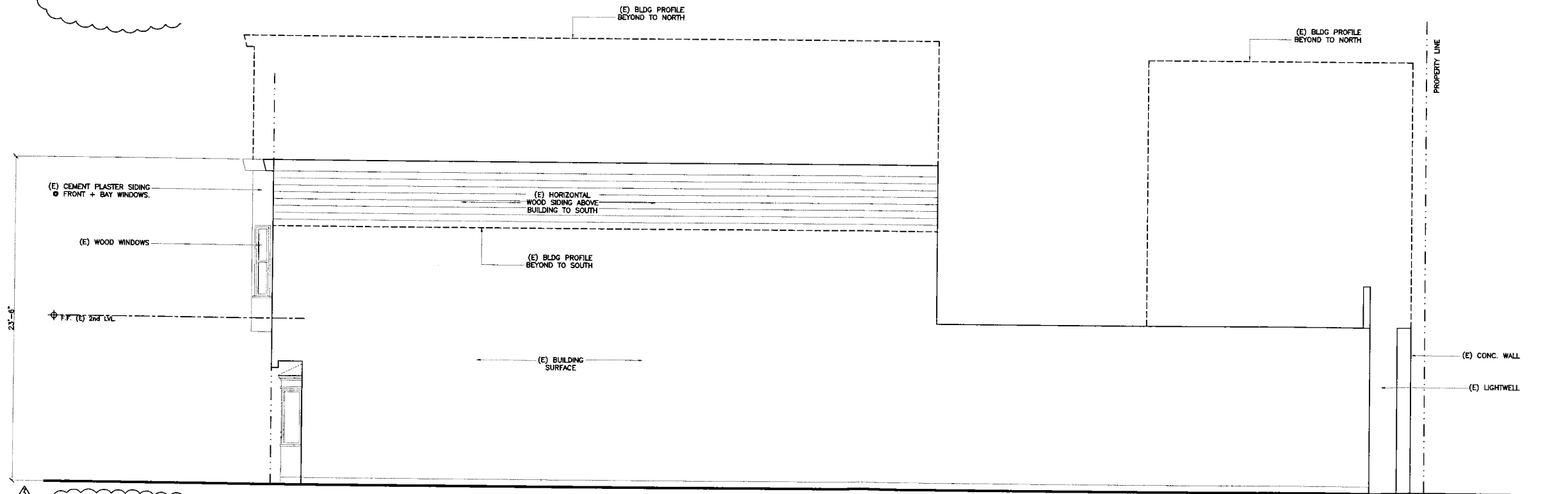


SHEET: **A3.2.7**





EXTERIOR ELEVATION (SOUTH)
 SCALE: 1/4"=1'-0"
 REMODELED CONDITION



EXTERIOR ELEVATION (SOUTH)
 SCALE: 1/4"=1'-0"
 EXISTING CONDITIONS SURVEY

NEW APARTMENTS FOR:
 DR. LUIS VIDALON D.C.
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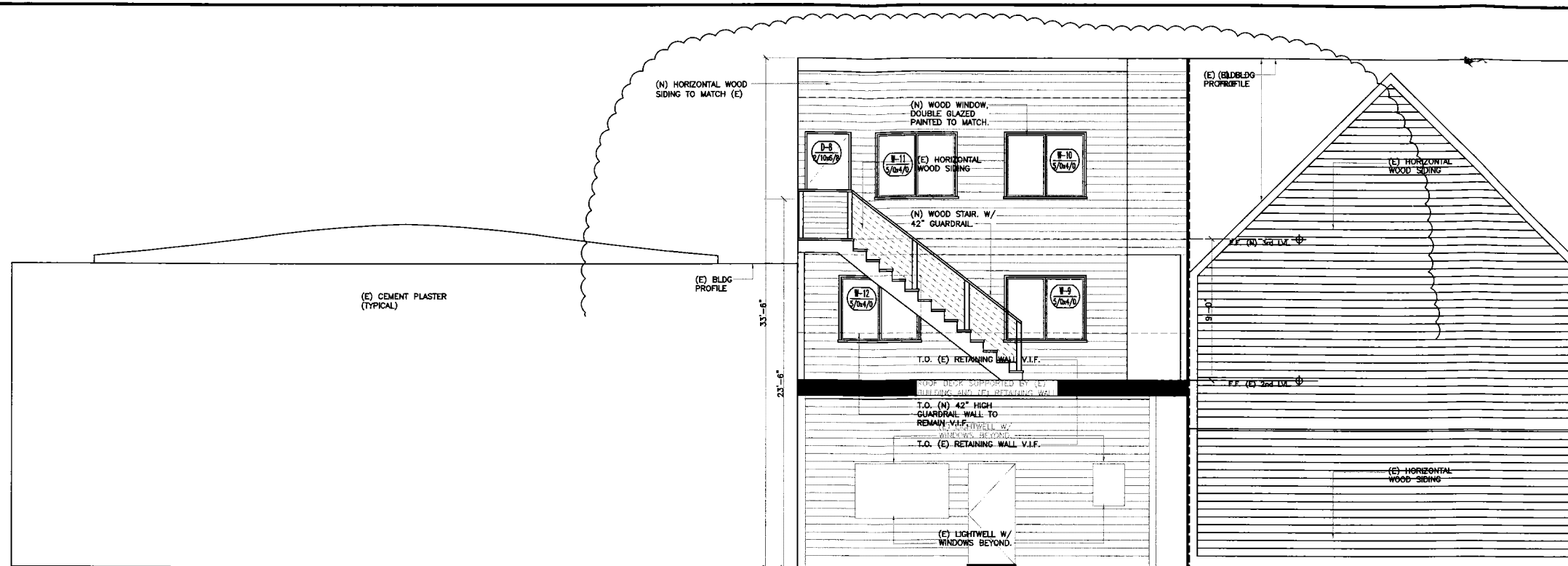
TITLE
EXTERIOR ELEVATIONS

REVISION NO.	DESCRIPTION	DATE
1	DIMENSIONS	20.08.07
2	REQUIRED BY PLANNING	21 AUG 08
3	REQUIRED BY PLANNING	19 AUG 09

SCALE
 0 1 2 4 8
 1/4" = 1'-0"

SHEET
A3.3.7

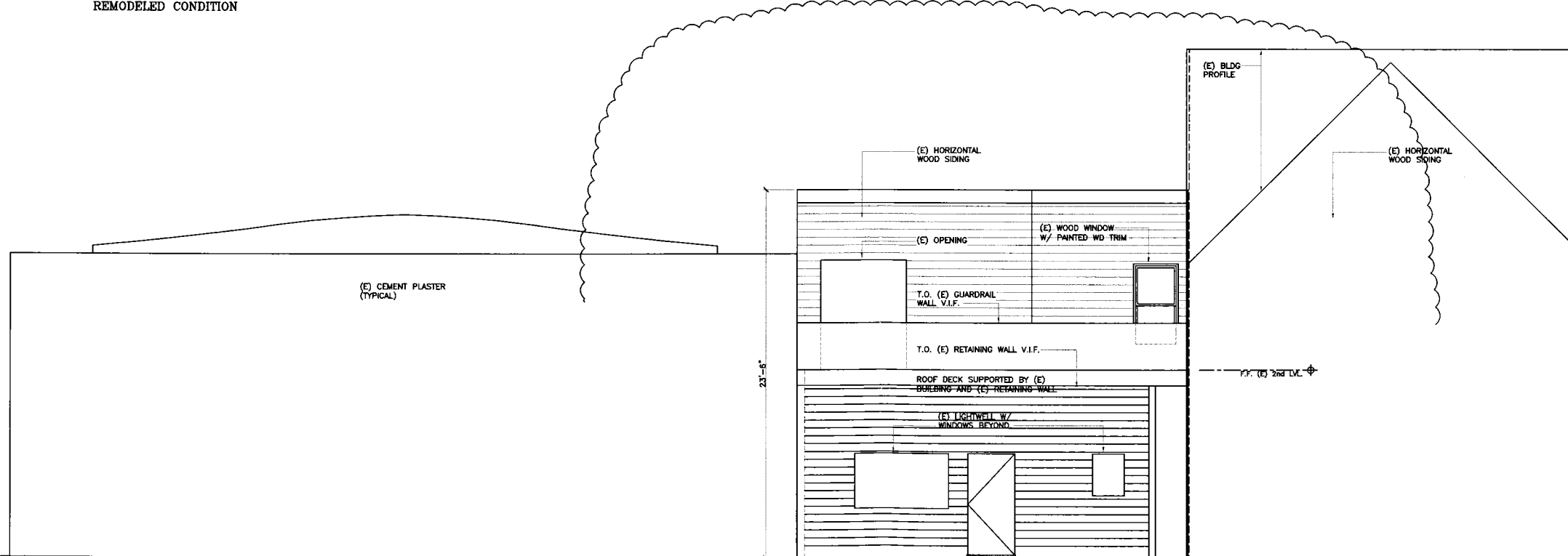




ADJACENT 3 STORY BUILDING 4561 MISSION STREET 4563/4565 MISSION STREET 4567 MISSION STREET ADJACENT BUILDING

4563/4565 MISSION STREET
EXTERIOR ELEVATION (EAST)
 SCALE: 1/4"=1'-0"
 REMODELED CONDITION

EXTERIOR ELEVATION (EAST)
 SCALE: 1/4"=1'-0"
 REMODELED CONDITION



ADJACENT 3 STORY BUILDING 4563/4565 MISSION STREET 4563/4565 MISSION STREET

EXTERIOR ELEVATION (EAST)
 SCALE: 1/4"=1'-0"
 EXISTING CONDITIONS SURVEY

NEW APARTMENTS FOR:
 DR. LUIS VIDALON D.C.
 4563 AND 4565 MISSION STREET
 SAN FRANCISCO, CALIFORNIA 94112
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DRAWN: JWP JOB NO: 1007

CHECKED: JWP CONTRACT DATE: 28 NOV 07

TITLE: **EXTERIOR ELEVATIONS**

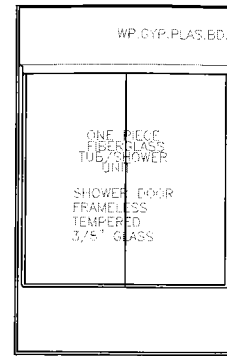
REVISIONS:

NO.	DESCRIPTION	DATE
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2	REQUIRED BY PLANNING	21 AUG 08
3	REQUIRED BY PLANNING	22 AUG 08

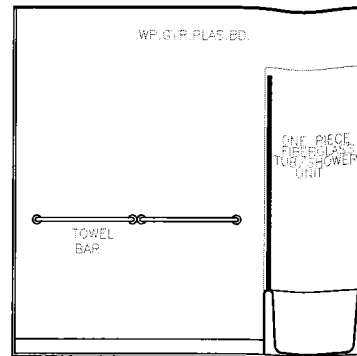
SCALE: 0 1 2 4 8
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SHEET: **A3.4.7**

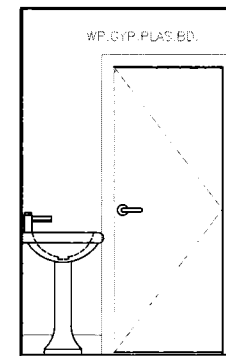




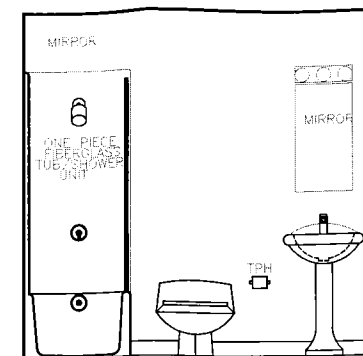
EAST



NORTH

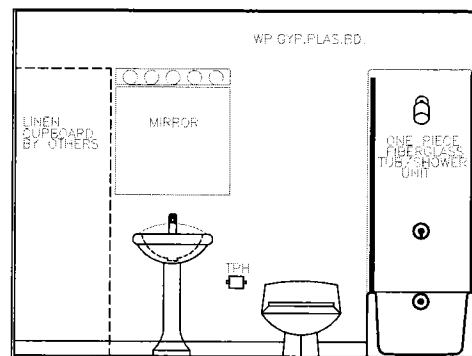


WEST

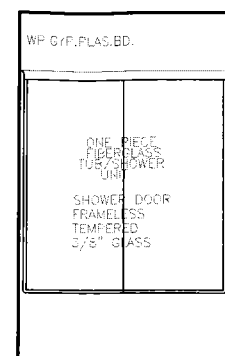


SOUTH

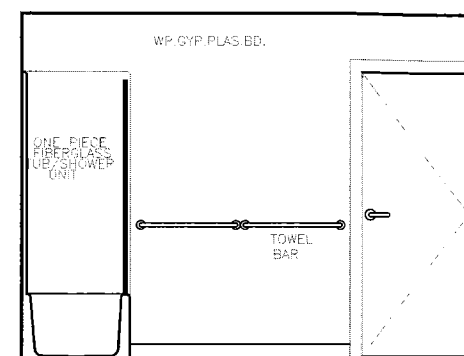
INTERIOR ELEVATION
BATHROOM 201/301
SCALE: 1/2"=1'-0"



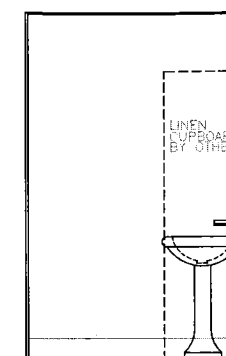
SOUTH



EAST

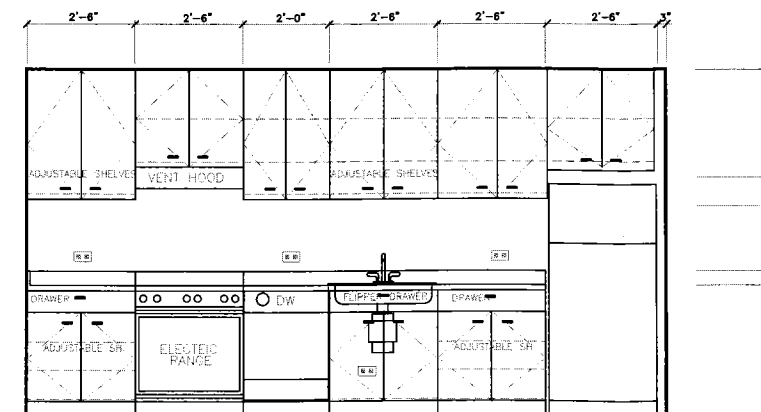


NORTH



WEST

INTERIOR ELEVATION
BATHROOM 202/302
SCALE: 1/2"=1'-0"



INTERIOR ELEVATION
KITCHEN 201/202/301
SCALE: 1/4"=1'-0"

NEW APARTMENTS FOR:
DR. LUIS VIDALON D.C.
4563 AND 4565 MISSION STREET
SAN FRANCISCO, CALIFORNIA 94112

A.P.N. BLOCK: 6014 LOT: 032
ZONING: NC3

ARCHITECT
JOHN W POWERS
ASSOCIATES AIA
ARCHITECTS
PLANNERS
PIER 33 NORTH
SAN FRANCISCO
CALIFORNIA 94111
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john@jwpaia.com
CALIFORNIA LICENSE C-7843

CONSULTANTS
STRUCTURAL ENGINEER
LANDSCAPE ARCHITECT

INTERIOR DESIGNER

CONTRACT PHASE
CONTRACT DOCUMENTS PHASE

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING
HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED
WORK OF THE ARCHITECT AND THE SAME MAY NOT BE
DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.

DRAWN	JWP	JOB NO.	0807
CHECKED	JWP	CONTRACT DATE	26 NOV 07

TITLE
**INTERIOR
ELEVATIONS**

REVISION NO.	DESCRIPTION	DATE
1	REVISION TITLE	XX-XXX-XX
2	REQUIRED BY PLANNING	21 AUG 08
3	REQUIRED BY PLANNING	XX AUG 09

SCALE
0 1 2 4 8
1/4" = 1'-0"

SHEET
A4.1.7



SF Planning Commission
City and County of San Francisco
1660 Mission Street
San Francisco, CA 94103-2414

September 14, 2010

Re: 4565 Mission Street, Dr. Vidalon Chiropractic

Dear Commissioners:

I write to you today in support of Dr. Vidalon Chiropractic's permit application on behalf of the Excelsior Action Group (EAG), a community-based group of volunteers, residents, merchants, and community leaders working to economically strengthen and stabilize the Excelsior's Mission Street commercial corridor.

Dr. Vidalon's project is proposing to add two residential units on top of existing residential and commercial space. Although we recognize that parking is scarce in most neighborhoods, we believe that Dr. Vidalon's proposed project will not significantly impact the availability of street parking in the Excelsior. Because of the current zoning, the planning department is requiring that Dr. Vidalon provide parking in his building, thereby displacing the ground floor commercial tenant.

A neighborhood transportation study completed in 2008 (Mission-Geneva Transportation Study) addresses parking and traffic flow issues, and as a community based plan, recommends ways to improve public transportation, which is by far the preferred and most used mode of transportation in our community. As such, we believe we should continue to support Mission St. as a transit corridor. Given that San Francisco is a transit-first city, EAG is shocked that the planning department would require displacing Dr. Vidalon's business to accommodate parking. Not only will this cost the city payroll and sales tax revenue, but would create a pedestrian safety issue on an already busy and congested transit corridor along Mission St.

There is an existing public parking lot with over 20 spaces across the street from the business at the former Woolworth's site (4550 Mission Street). This parking lot sits empty most of the day as people prefer to park one block away to obtain free or all-day parking on the side streets immediately surrounding the business district. We support retaining the ground floor commercial retail space over parking and would oppose any decision that would replace a storefront with a garage entrance. A curb cut on Mission Street will only further exacerbate traffic flow on Mission St., compound transit delays and hazard for pedestrians shopping on this very dense street adjacent to a busy and crowded produce market next door.

We urge the Planning Department to approve this project without requiring additional parking. We believe that by approving this permit application we will have not only more residential opportunities for existing families in the area but will preserve crucial commercial space that will attract shoppers and investors alike to this section of Mission Street, and as a result sustain other businesses nearby. We appreciate your consideration and urge that you approve the permit as soon as possible taking the above into account so investment may commence at this location. Thank you.

Sincerely,

Cristy Johnston

Cristy Johnston, Executive Director
Excelsior Action Group