



# SAN FRANCISCO PLANNING DEPARTMENT

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## Executive Summary CONDITIONAL USE

HEARING DATE: JANUARY 28, 2010

*Date:* January 21, 2010  
*Case No.:* **2009.0833C**  
*Project Address:* **832 Folsom Street**  
*Current Zoning:* RSD (Residential/Service Mixed Use District)  
Western SOMA Planning Area Special Use District  
40-X / 85 - B Height and Bulk District  
*Block/Lots:* 3733/017  
*Project Sponsor:* James Singleton  
12647 Alcosta Blvd Ste 110  
San Ramon, CA 94583  
*Staff Contact:* Diego R Sánchez – (415) 575-9082  
[diego.sanchez@sfgov.org](mailto:diego.sanchez@sfgov.org)

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### PROJECT DESCRIPTION

The proposal is to replace three existing panel antennas with three new panel antennas and add an additional four panel antennas to the site. Accompanying coaxial cabling is also a part of the proposal. The antennas are proposed to be mounted on the roof of the existing elevator penthouse on of an 11 story building. The penthouse is setback 60 feet from the front property line. Each antenna is approximately 7 inches wide, 4 feet high and 3 inches in depth. The replacement of the older antennas and the addition of antennas are intended to increase the data streaming speed and assist in the maintenance and expansion of the Verizon wireless telecommunications network within the southeast sector of the City of San Francisco.

### SITE DESCRIPTION AND PRESENT USE

The project is located on the north side of Folsom Street, between 4th and 5th Streets, lot 017 of Assessor's Block 3733. The site is owned by the Salvation Army and is an 11 story office building with multiple commercial tenants.

### SURROUNDING PROPERTIES & NEIGHBORHOOD

The subject property is located within the South of Market Area neighborhood. Multiple residential and institutional developments are located to the south of the project site. Yerba Buena Gardens and a mix of eating and drinking establishments are located to the east of the site. To the north are numerous housing developments serving senior citizens. Multiple residential and commercial properties are found to the west of the subject property. A Mixed Use – Residential (MUR) district is found to the south and west. Properties zoned Light Industrial (M-1) District, under jurisdiction of the San Francisco Redevelopment

Agency are immediately to the east of the project. Downtown Commercial – Downtown Support (C-3-S) is also present, alongside a Residential-Commercial Combined, High Density, District (RC-4) to the north of the project. In general the site is well within the South of Market Area neighborhood and is surrounded by the mix of uses that typifies the South of Market Area neighborhood.

## ENVIRONMENTAL REVIEW STATUS

The project is categorically exempt from environmental review as a Class 3(c) project.

## HEARING NOTIFICATION REQUIREMENTS

| TYPE               | REQUIRED PERIOD | REQUIRED NOTICE DATE | ACTUAL NOTICE DATE | ACTUAL PERIOD |
|--------------------|-----------------|----------------------|--------------------|---------------|
| Classified News Ad | 20 days         | January 8, 2009      | January 8, 2009    | 20 days       |
| Posted Notice      | 20 days         | January 8, 2009      | January 8, 2009    | 20 days       |
| Mailed Notice      | 20 days         | January 8, 2009      | January 8, 2009    | 20 days       |

## ISSUES AND OTHER CONSIDERATIONS

- The Department has not received public comment on this project.

## REQUIRED COMMISSION ACTION

Authorize Conditional Use under Planning Code Sections 815.73 and 303 to allow for the establishment of a wireless transmission facility within an RSD (Residential/Service Mixed Use) District, the Western SOMA Planning Area Special Use District and a 40-X / 85-B Height and Bulk District.

## BASIS FOR RECOMMENDATION

The Department believes this project is necessary and/or desirable under Section 303 of the Planning Code for the following reasons:

- The proposed location is classified as a Preferred Site for wireless transmission facilities as it is a Co-Location site with a Location Preference Number 2.
- The project sponsor has complied with all procedural requirements for the establishment of a wireless transmission facility, including holding a community outreach meeting to residents within 500 feet of the proposed location in November 2009.
- The proposed project will assist in maintaining a complete and comprehensive wireless telecommunications network within the city of San Francisco and provides a service that is in demand and serves the public good.

|   |
|---|
| <b>RECOMMENDATION:</b> <b>Approve with Conditions</b> |
|---|

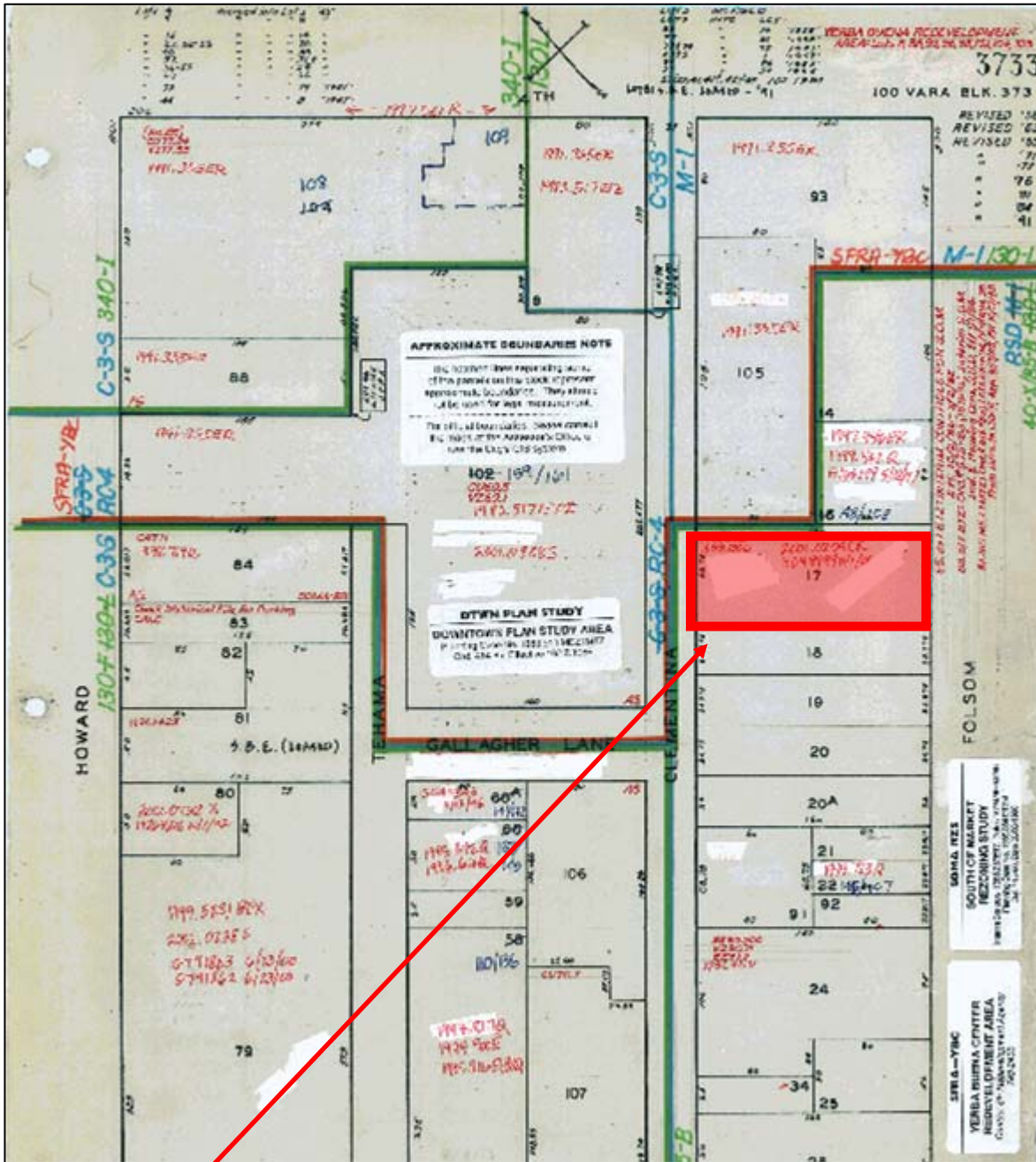
## Exhibit Checklist

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Executive Summary   | <input checked="" type="checkbox"/> Project sponsor submittal    |
| <input checked="" type="checkbox"/> Draft Motion        | Drawings: <u>Existing Conditions</u>                             |
| <input type="checkbox"/> Environmental Determination    | <input checked="" type="checkbox"/> Check for legibility         |
| <input checked="" type="checkbox"/> Zoning District Map | Drawings: <u>Proposed Project</u>                                |
| <input checked="" type="checkbox"/> Height & Bulk Map   | <input checked="" type="checkbox"/> Check for legibility         |
| <input checked="" type="checkbox"/> Parcel Map          | <input type="checkbox"/> Letters of Project Support / Opposition |
| <input checked="" type="checkbox"/> Sanborn Map         |  |
| <input checked="" type="checkbox"/> Aerial Photo        |  |
| <input checked="" type="checkbox"/> Context Photos      |  |
| <input checked="" type="checkbox"/> Site Photos         |  |

Exhibits above marked with an "X" are included in this packet

\_\_\_\_\_  
Planner's Initials

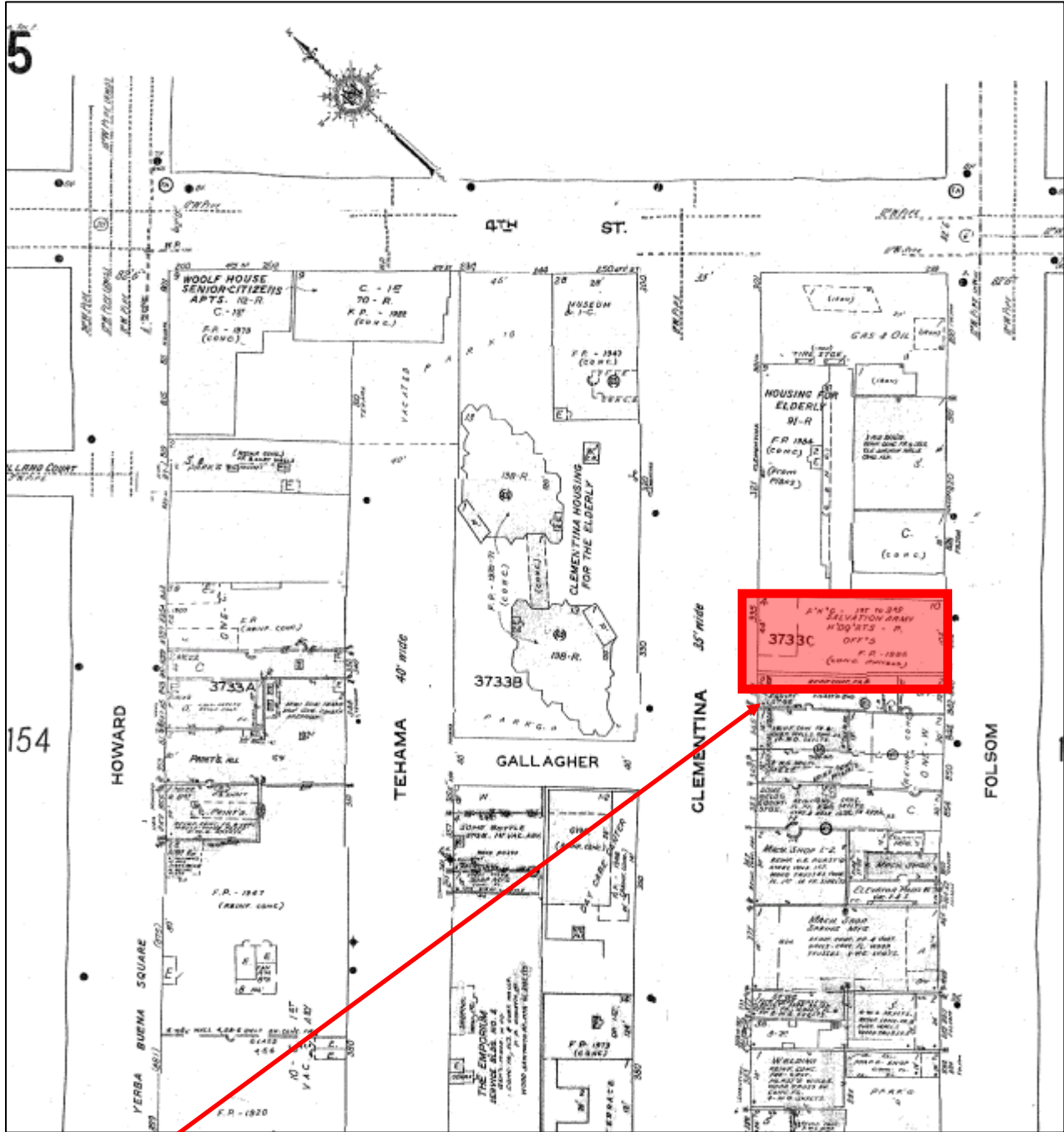
# Parcel Map



**SUBJECT PROPERTY**

Conditional Use Hearing  
Case Number 2009.0833C  
Wireless Transmission Facility  
832 Folsom Street

# Sanborn Map\*



\*The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.

**SUBJECT PROPERTY**

Conditional Use Hearing  
 Case Number 2009.0833C  
 Wireless Transmission Facility  
 832 Folsom Street

# Aerial Photo

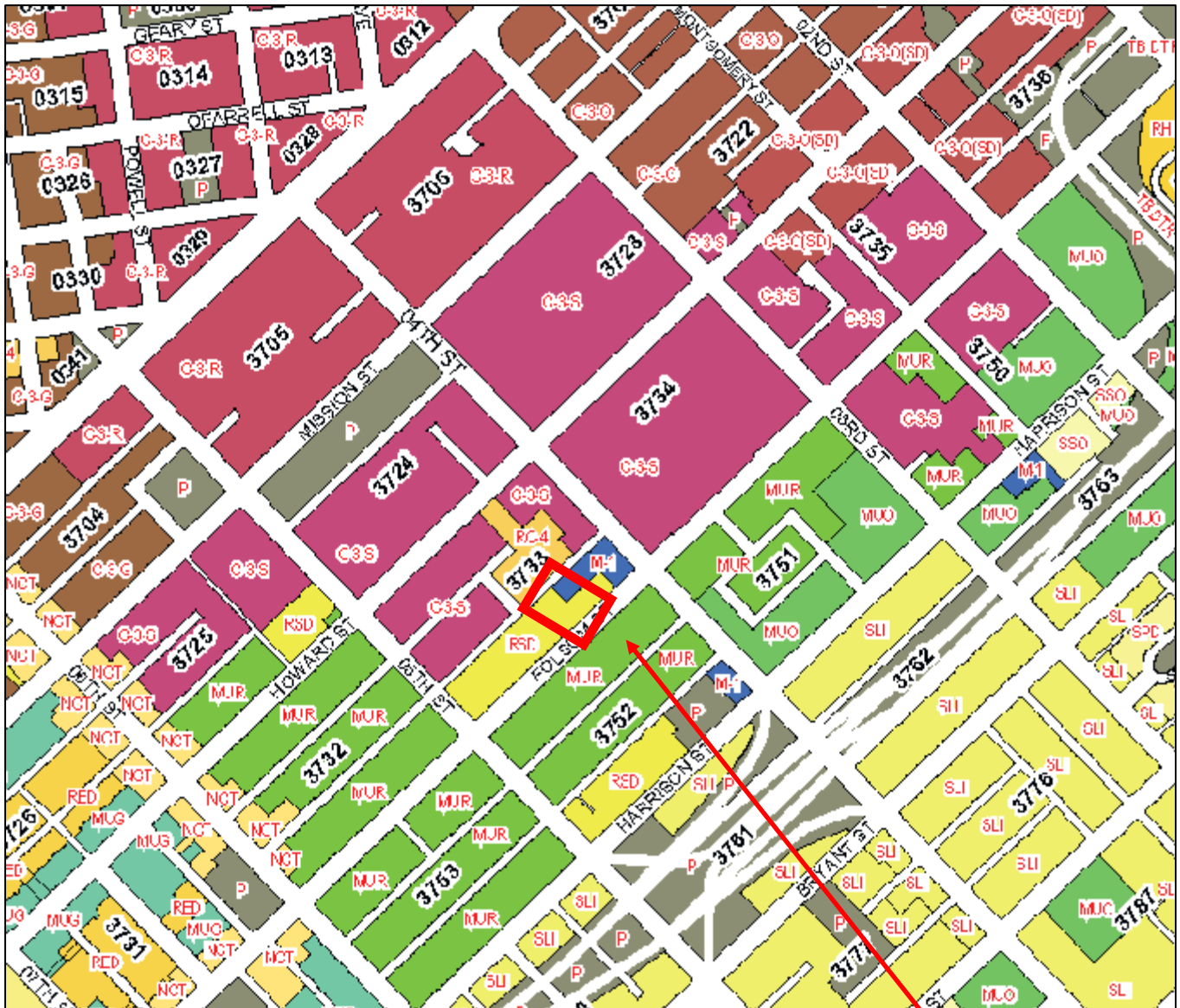


**SUBJECT PROPERTY**



Conditional Use Hearing  
Case Number 2009.0833C  
Wireless Transmission Facility  
832 Folsom Street

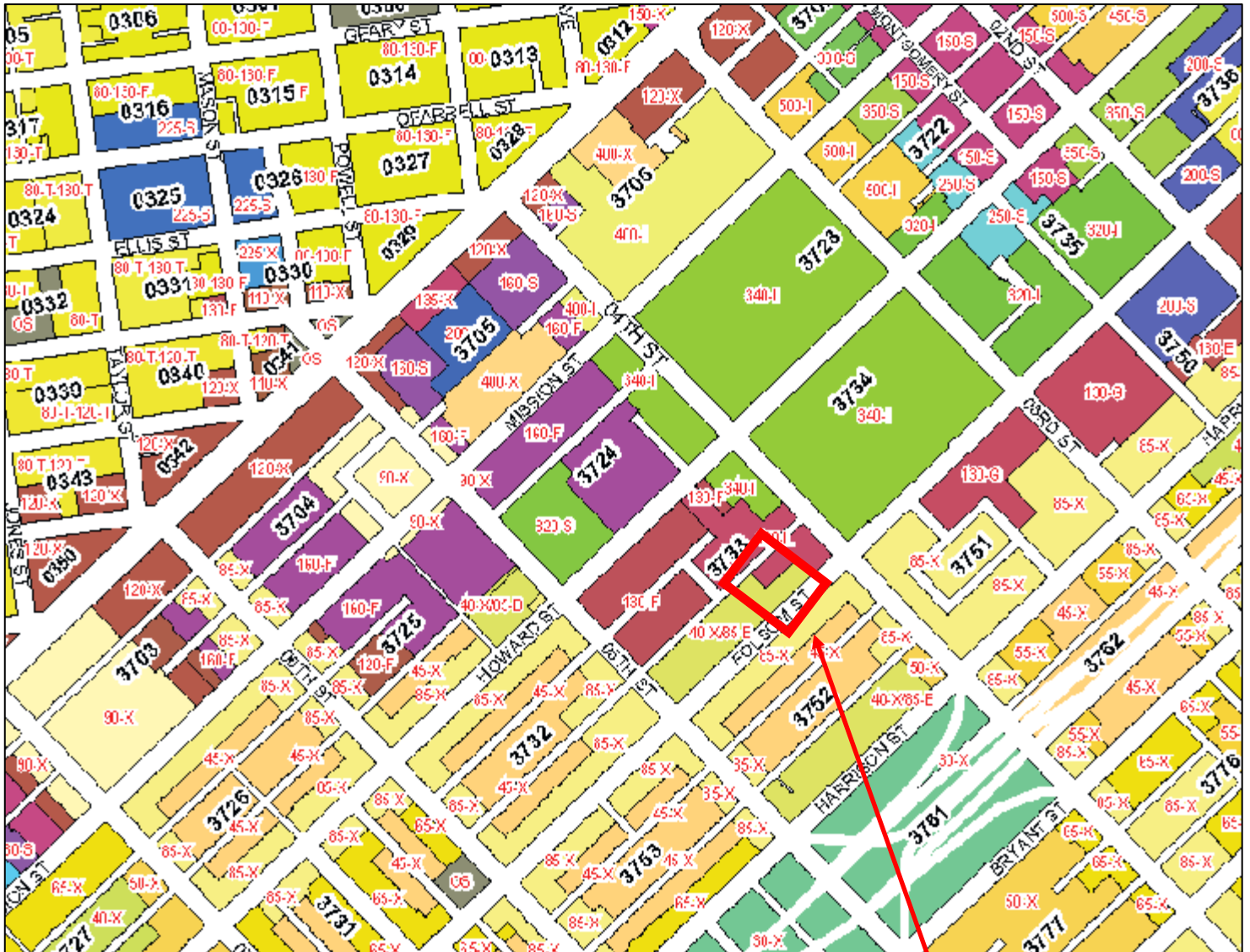
# Zoning Map



**SUBJECT PROPERTY**

Conditional Use Hearing  
Case Number 2009.0833C  
Wireless Transmission Facility  
832 Folsom Street

# Height & Bulk Map



## HEIGHT AND BULK DISTRICTS

OS ← "Open Space" District

"Numbers" are Height Limits in feet. See Planning Code Section 250 and following.

"Letters" refer to Bulk Limits. See Planning Code Section 270.

00-Z-1 ← "Suffix Numbers" identify districts in which special regulations apply. See Planning Code Sections 263 and following.



**SUBJECT PROPERTY**

Conditional Use Hearing  
 Case Number 2009.0833C  
 Wireless Transmission Facility  
 832 Folsom Street



# Site Photo



Conditional Use Hearing  
Case Number 2009.0833C  
Wireless Transmission Facility  
832 Folsom Street



City and County of San Francisco  
**DEPARTMENT OF PUBLIC HEALTH**  
**ENVIRONMENTAL HEALTH SECTION**

Verizon - SF 6th Street

Gavin Newsom, Mayor  
 Mitchell H. Katz, MD, Director of Health  
 Rajiv Bhatia, MD, MPH, Director of EH

**Review of Cellular Antenna Site Proposals**

**Project Sponsor:** Verizon Wireless **Planner:** Jonas Ionin

**RF Engineer Consultant:** Bill Hammett, Hammett & Edison **Phone number** 707-996-5200

**Project Address/Location:** 832 Folsom St. (#123823)

The following information is required to be provided before approval of this project can be made. These information requirements are established in the San Francisco Planning Department Wireless Telecommunications Services Facility Siting Guidelines dated August 1996.

In order to facilitate quicker approval of this project, it is recommended that the project sponsor review this document before submitting the proposal to ensure that all requirements are included.

X 1. The location of all existing antennas and facilities. Existing RF levels. (WTS-FSG, Section 11, 2b)

X 2. The location of all approved (but not installed) antennas and facilities. Expected RF levels from the approved antennas. (WTS-FSG Section 11, 2b)

X 3. The number and types of WTS within 100 feet of the proposed site and provide estimates of cumulative EMR emissions at the proposed site. (WTS-FSG, Section 10.5.2)

X 4. Location (and number) of the Applicant's antennas and back-up facilities per building and number and location of other telecommunication facilities on the property (WTS-FSG, Section 10.4.1a)

X 5. Power rating (maximum and expected operating power) for all existing and proposed backup equipment subject to the application (WTS-FSG, Section 10.4.1c)

X 6. The total number of watts per installation and the total number of watts for all installations on the building (roof or side) (WTS-FSG, Section 10.5.1).

X 7. Preferred method of attachment of proposed antenna (roof, wall mounted, monopole) with plot or roof plan. Show directionality of antennas. Indicate height above roof level. Discuss nearby inhabited buildings (particularly in direction of antennas) (WTS-FSG, Section 10.41d)

X 8. Report estimated ambient radio frequency fields for the proposed site (identify the three-dimensional perimeter where the FCC standards are exceeded.) (WTS-FSG, Section 10.5) State FCC standard utilized and power density exposure level (i.e. 1986 NCRP, 200  $\mu\text{w}/\text{cm}^2$ )

X 9. Signage at the facility identifying all WTS equipment and safety precautions for people nearing the equipment as may be required by any applicable FCC-adopted standards. (WTS-FSG, Section 10.9.2). Discuss signage for those who speak languages other than English.

X 10. Statement on who produced this report and qualifications.

09:0833 9

**Approved.** Based on the information provided the following staff believes that the project proposal will comply with the current Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC standard 1986 - NCRP **Approval of the subsequent Project Implementation Report is based on project sponsor completing recommendations by project consultant and DPH.**

*Comments: There are nine (9) existing antennas operated by Verizon installed on the rooftop penthouse of the building located at 832 Folsom Street. Existing RF levels at ground level were less than 1% of the FCC public exposure limit. There were observed no other antennas within 100 feet of this site. Verizon proposes to replace three of its antennas with six Andrew Model LNX-6512DS-T4M, DB931DG65T2E-M and DB854DG65VTESX. The antennas would be mounted at effective height of about 145 feet above the ground. The estimated ambient RF field from the proposed Verizon transmitters at ground level is calculated to be 0.0024 mW/sq. cm., which is .44% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit is calculated to extend 36 feet and does not reach any publicly accessible areas. Warning signs must be posted at the roof access points and the antennas in English, Spanish and Chinese. Worker should not have access to within 7 feet directly in front of the antennas while they are in operation.*

**Not Approved**, additional information required. \_\_\_\_\_

**Not Approved**, does not comply with Federal Communication Commission safety standards for radiofrequency radiation exposure. FCC Standard \_\_\_\_\_

  1   Hours spent reviewing

 \$167.00  Charges to Project Sponsor (in addition to previous charges, to be received at time of receipt by Sponsor)

Signed Patrick Fosdahl Digitally signed by Patrick Fosdahl  
DN: cn=Patrick Fosdahl, o=SFDPH,  
ou=Environmental Health,  
email=patrick.fosdahl@sfdph.org, c=US  
Date: 2009.07.13 13:41:46 -07 00 Date July 13, 2009

Patrick Fosdahl  
Environmental Health Management Section  
San Francisco Dept. of Public Health  
1390 Market St., Suite 210,  
San Francisco, CA. 94102  
415-252-3904

**Verizon Wireless • Base Station No. 123823 “6th Street”  
832 Folsom Street • San Francisco, California**

**Statement of Hammett & Edison, Inc., Consulting Engineers**

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate proposed modifications to its existing base station (Site No. 123823 “6th Street”) located at 832 Folsom Street in San Francisco, California, for compliance with appropriate guidelines limiting human exposure to radio frequency (“RF”) electromagnetic fields.

**Background**

The San Francisco Department of Public Health has adopted a 10-point checklist for determining compliance of WTS facilities with prevailing safety standards. The acceptable limits set by the FCC for exposures of unlimited duration are:

| Personal Wireless Service          | Approx. Frequency | Occupational Limit      | Public Limit            |
|------------------------------------|-------------------|-------------------------|-------------------------|
| Broadband Radio (“BRS”)            | 2,600 MHz         | 5.00 mW/cm <sup>2</sup> | 1.00 mW/cm <sup>2</sup> |
| Advanced Wireless (“AWS”)          | 2,100             | 5.00                    | 1.00                    |
| Personal Communication (“PCS”)     | 1,950             | 5.00                    | 1.00                    |
| Cellular Telephone                 | 870               | 2.90                    | 0.58                    |
| Specialized Mobile Radio (“SMR”)   | 855               | 2.85                    | 0.57                    |
| Long Term Evolution (“LTE”)        | 700               | 2.33                    | 0.47                    |
| [most restrictive frequency range] | 30–300            | 1.00                    | 0.20                    |

The site was visited by Mr. David Kelly, a qualified field technician contracted by Hammett & Edison, Inc., during normal business hours on November 21, 2008, a non-holiday weekday, and reference has been made to additional information provided by Verizon regarding the addition of LTE service.

**Checklist**

1. The location of all existing antennas and facilities at site. Existing RF levels.

Verizon had installed nine directional antennas, oriented in groups of three, at the top of the two-story mechanical equipment penthouse above the roof of the Salvation Army building located at 832 Folsom Street. Access to the antennas was restricted by their mounting locations. Existing RF levels at ground near the site had been measured less than 1% of the most restrictive public exposure limit. There were observed no other wireless telecommunications base stations at this site.

2. The location of all approved (but not installed) antennas and facilities. Expected RF levels from approved antennas.

No other WTS facilities are reported to be approved for this site, but not yet installed.

3. The number and types of WTS within 100 feet of proposed site and estimates of additive EMR emissions at proposed site.

There were no other WTS facilities observed within 100 feet of the proposed site.



**Verizon Wireless • Base Station No. 123823 “6th Street”  
832 Folsom Street • San Francisco, California**

4. Location (and number) of Applicant’s antennas and back-up facilities per building and location (and number) of other WTS at site.

Verizon proposes to increase the total number of antennas to twelve by removing three of its existing antennas and replacing them with six new Andrew antennas at the same locations, mounted at an effective height of 145 feet above ground. The antennas – Models DB931DG65T2E-M, DB854DG65VTESX, and LNX6512DS-T4M for PCS, cellular, and LTE service, respectively – would be mounted with up to 14° downtilt and would be oriented with one group of six, two of each model, toward 30°T and two groups of three, one of each model, toward 165°T and 280°T.

5. Power rating (maximum and expected operating power) for all existing and proposed backup equipment subject to application.

The maximum rating of the cellular and PCS transmitters is 20 watts, with the proposed LTE transmitters rated at 16 watts. The actual operating power of the transmitters will depend upon the system losses encountered after the physical cabling runs have been installed; the transmitters may operate at a power less than their maximum rating, such that the total power radiated from the antennas does not exceed the level given in Item 6 below.

6. Total number of watts per installation and total number of watts for all installations at site.

The maximum effective radiated power in any direction for Verizon would be 2,560 watts, representing simultaneous operation at 960 watts for PCS, 1,200 watts for cellular, and 400 watts for LTE service.

7. Plot or roof plan showing method of attachment of antennas, directionality of antennas, and height above roof level. Discuss nearby inhabited buildings.

The antennas would be mounted as described in Item 4 above. There were taller buildings located nearby, across the street.

8. Estimated ambient RF levels for proposed site and identify three-dimensional perimeter where exposure standards are exceeded.

For a person anywhere at ground near the site, the maximum ambient RF level from the proposed Verizon operation is calculated to be 0.0024 mW/cm<sup>2</sup>, which is 0.44% of the applicable public exposure limit. Therefore, ambient levels at ground are estimated to remain less than 1% of the public limit. The maximum calculated level on the roof is 21% of the applicable public limit. The three-dimensional perimeter of RF levels equal to the public exposure limit is calculated to extend 36 feet in front of the Verizon antennas; this does not reach any publicly accessible areas.

9. Describe proposed signage at site.

Due to their mounting location, the Verizon antennas are not accessible to the general public, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. To prevent

**Verizon Wireless • Base Station No. 123823 "6th Street"  
832 Folsom Street • San Francisco, California**

occupational exposures in excess of the FCC guidelines, no access within 7 feet directly in front of the antennas themselves, such as might occur during maintenance work on the building, should be allowed while the base station is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. Explanatory warning signs\* had been posted at the roof-access hatch and near the antennas, readily visible from any angle of approach to persons who might need to work within that distance.

10. Statement of authorship.

The undersigned author of this statement is a qualified Professional Engineer, holding California Registrations Nos. E-13026 and M-20676, which expire on June 30, 2011. This work has been carried out under his direction, and all statements are true and correct of his own knowledge except, where noted, when data has been supplied by others, which data he believes to be correct.

**Conclusion**

Based on the information and analysis above, it is my professional opinion that the Verizon Wireless base station operation located at 832 Folsom Street in San Francisco can comply with the prevailing standards for limiting human exposure to radio frequency energy and, therefore, need not for this reason cause a significant impact on the environment.

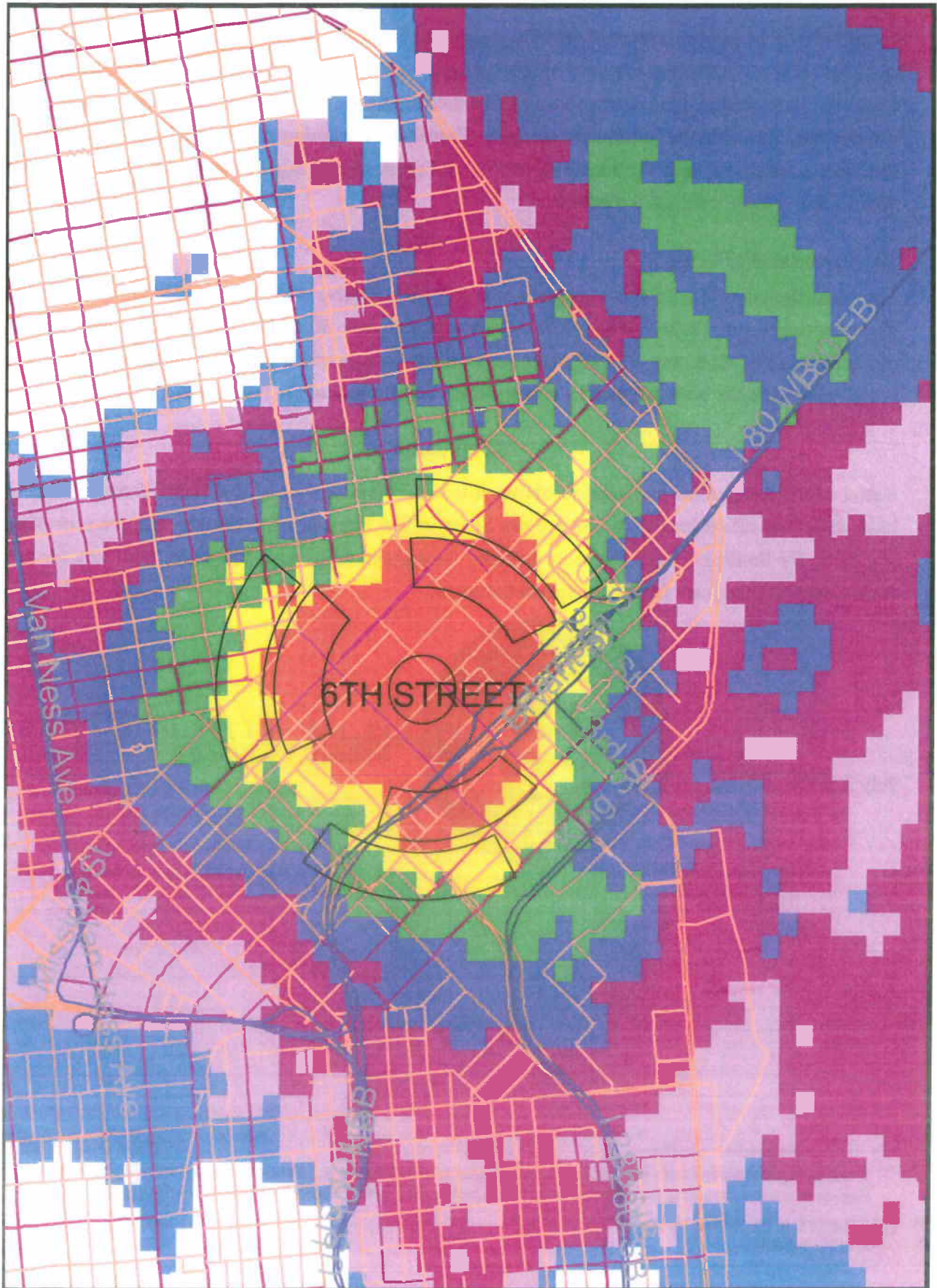
July 2, 2009



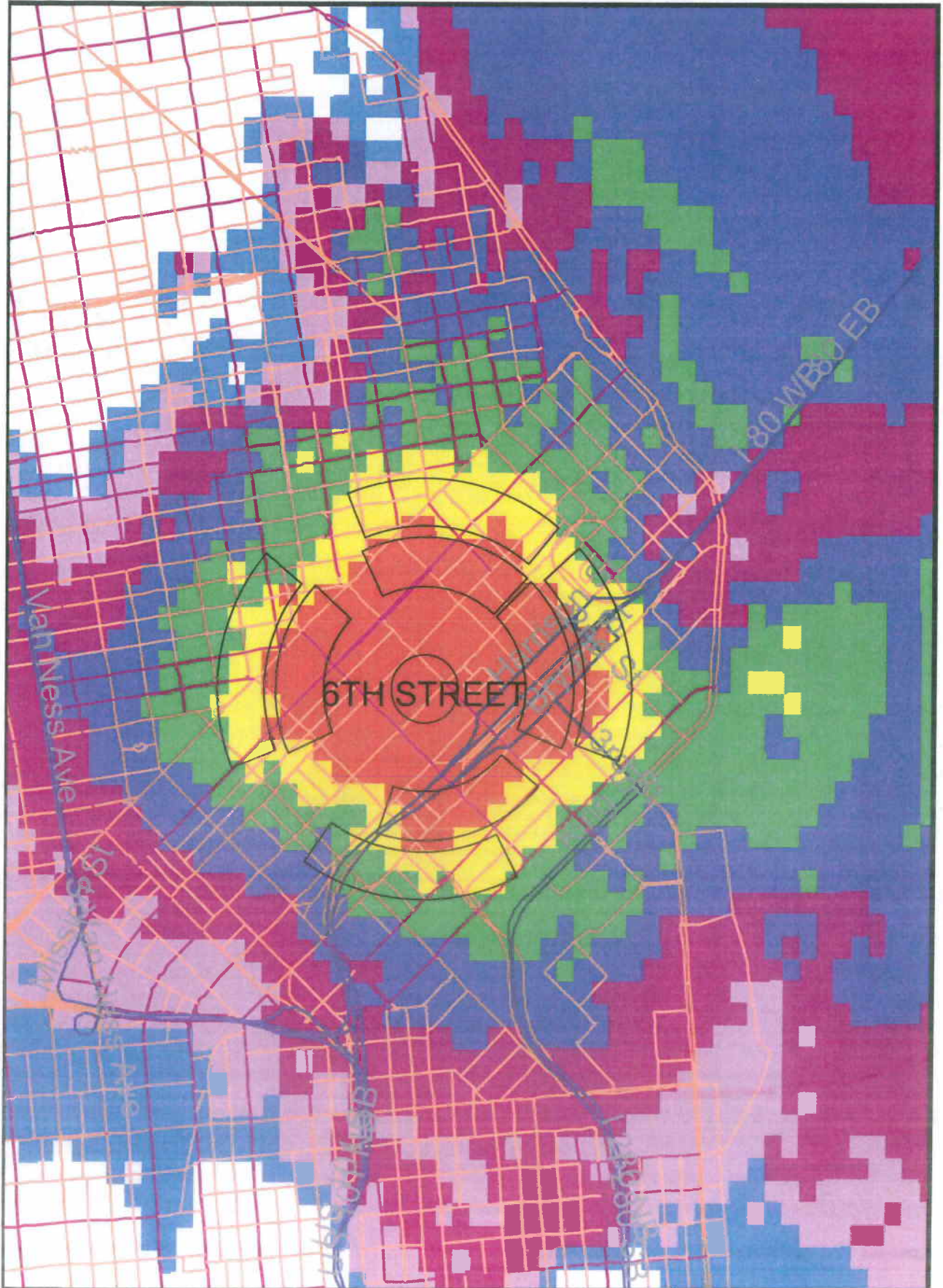
  
William F. Hammett, P.E.

\* Warning signs complied with OET-65 color and symbol recommendations. Contact information was provided in English to arrange for access to restricted areas, with Spanish and Chinese translations (not by this firm) included.

Red = good Yellow = fair Green = poor Dk Blue = bad pink/white = none



Red = Good    Yellow = fair    Green = poor    Dk Blue = bad    Pink/white = none







Existing



proposed antennas

Proposed



6th Street

Site # 123823

Looking Southwest from Folsom Street

6/5/09

832 Folsom Street  
San Francisco, CA 94107

Applied Imagination 510.914.0500

09.0833 C



Existing



Proposed



proposed replacement antennas

09.0833 C





# SAN FRANCISCO PLANNING DEPARTMENT

Subject to: (Select only if applicable)

- Inclusionary Housing (Sec. 315)
- Jobs Housing Linkage Program (Sec. 313)
- Downtown Park Fee (Sec. 139)
- First Source Hiring (Admin. Code)
- Child Care Requirement (Sec. 314)
- Other

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## Planning Commission Motion

HEARING DATE: JANUARY 28, 2010

*Date:* January 21, 2010  
*Case No.:* **2009.0833C**  
*Project Address:* **832 Folsom Street**  
*Current Zoning:* RSD (Residential/Service Mixed Use District)  
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 12647 Alcosta Blvd Ste 110  
 San Ramon, CA 94583  
*Staff Contact:* Diego R Sánchez – (415) 575-9082  
 diego.sanchez@sfgov.org

**ADOPTING FINDINGS RELATING TO THE APPROVAL OF A CONDITIONAL USE AUTHORIZATION UNDER PLANNING CODE SECTIONS 815.73 AND 890.80 TO INSTALL A WIRELESS TRANSMISSION FACILITY CONSISTING OF REPLACEMENT OF THREE PANEL ANTENNAS AND THE ADDITION OF FOUR NEW PANEL ANTENNAS ON THE ELEVATOR PENTHOUSE OF AN EXISTING 11 STORY BUILDING AS PART OF THE VERIZON WIRELESS TELECOMMUNICATIONS NETWORK WITHIN THE RSD (RESIDENTIAL/SERVICE MIXED USE) DISTRICT AND A 40-X / 85 - B HEIGHT AND BULK DISTRICT.**

### PREAMBLE

On September 3, 2009, James Singleton (hereinafter "project sponsor"), made an application (hereinafter "application"), for Conditional Use authorization on the property at 832 Folsom Street, Lot 017 in Assessor's Block 3733, (hereinafter "project site") to install a wireless transmission facility consisting of the replacement of three panel antennas and the addition of four new panel antennas on the elevator penthouse of an existing 11 story building as part of the Verizon wireless telecommunications network within the Residential/Service Mixed Use District (RSD), Western SOMA Planning Area Special Use District and a 40-X / 85 - X Height and Bulk District.

The proposed project was determined by the San Francisco Public Utilities Commission's Bureau of Environmental and Regulatory Management to be categorically exempt from the environmental review process pursuant to Class 3 exemptions of Title 14 of the California Administrative Code. The Commission has reviewed and concurs with said determination. The categorical exemption and all

pertinent documents may be found in the files of the Planning Department, as the custodian of records, at 1650 Mission Street, San Francisco.

The proposed project as approved herein is consistent with the project description contained in the categorical exemption and would not result in significant impacts not identified in the categorical exemption or cause significant effects already identified in the categorically exemption to be substantially more severe.

On January 28, 2010, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, department staff, and other interested parties.

**MOVED**, that the Commission hereby authorizes the Conditional Use in Application No. 2009.0833C, subject to the conditions contained in "EXHIBIT A" of this motion, based on the following findings:

## **FINDINGS**

Having reviewed the materials identified in the preamble above, and having heard all testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and constitute findings of this Commission.
2. **Site Description and Present Use.** The project is located on the north side of Folsom Street, between 4<sup>th</sup> and 5<sup>th</sup> Streets, lot 017 of Assessor's Block 3733. The site is owned by the Salvation Army and is an 11 story office building with multiple commercial tenants.
3. **Surrounding Properties and Neighborhood.** The subject property is located within the South of Market Area neighborhood. Multiple residential and institutional developments are located to the south of the project site. Yerba Buena Gardens and a mix of eating and drinking establishments are located to the east of the site. To the north are numerous housing developments serving senior citizens. Multiple residential and commercial properties are found to the west of the subject property. A Mixed Use – Residential (MUR) district is found to the south and west. Properties zoned Light Industrial (M-1) District, under jurisdiction of the San Francisco Redevelopment Agency are immediately to the east of the project. Downtown Commercial – Downtown Support (C-3-S) is also present, alongside a Residential-Commercial Combined, High Density, District (RC-4) to the north of the project. In general the site is well within the South of Market Area neighborhood and is surrounded by the mix of uses that typifies the South of Market Area neighborhood.
4. **Proposal.** The proposal is to replace three existing panel antennas with three new panel antennas and add an additional four panel antennas to the site. Accompanying coaxial cabling is also a part of the proposal. The antennas are proposed to be mounted on the roof of the existing elevator penthouse on of an 11 story building. The penthouse is setback 60 feet from the front

property line. Each antenna is approximately 7 inches wide, 4 feet high and 3 inches in depth. The replacement of the older antennas and the addition of antennas are intended to increase the data streaming speed and assist in the maintenance and expansion of the Verizon wireless telecommunications network within the southeast sector of the City of San Francisco.

5. **Past History and Actions.** The Planning Commission held a duly advertised public hearing on August 15, 1996 to consider adoption of guidelines for the siting of WTS facilities in San Francisco which would include standard conditions of approval for wireless communications facilities which are regulated by the FCC and required to meet the health and safety standards.

The Planning Commission, by Resolution No. 14182, adopted the proposed WTS Facilities Siting Guidelines on August 15, 1996. The sample conditions of approval presented in the Guidelines form the basis for the development of conditions of approval for this Application and Motion.

On January 28, 2010, the Commission conducted a duly noticed public hearing at a regularly scheduled meeting on the application for a Conditional Use pursuant to Planning Code Sections 815.73 and 890.80 to allow the installation of a wireless telecommunications facility consisting of the replacement of three existing panel antennas with three new panel antennas and an addition of four panel antennas as part of Verizon wireless telecommunications network.

6. **Location Preference.** The WTS Facilities Siting Guidelines identify different types of buildings for the siting of wireless transmission facilities, with Location Preference 1 being the most desirable location and Location Preference 7 being the least desirable location. Under the Guidelines, the project is a Location Preference Number 2, Co-Location and as such is a Preferred Location Site.
7. **Radio Waves Range.** The Project Sponsor has stated that the proposed wireless network will transmit calls by radio waves operating in the 700 Megahertz (MHZ) bands which are regulated by the Federal Communications Commission (FCC) and which must comply with the FCC-adopted health and safety standards for electromagnetic radiation and radio frequency radiation.
8. **Radiofrequency (RF) Emissions:** The project sponsor retained Hammett & Edison, Inc., a radio engineering consulting firm, to prepare a report describing the expected RF emissions from the proposed facility. The Department of Public Health reviewed the report and determined that the proposed facility complies with the standards set forth in the Guidelines.
9. **Department of Public Health Review and Approval.** The existing RF levels at ground level near the site for the Verizon proposal were less than 1% of the public exposure limit. Verizon is proposing to install six (three by replacement, three as new additions) Andrew Model LNX-6512DS-T4M, DB931DG65T2E-M and DB854DGVTESX antennas. The estimated ambient RF field from the proposed transmitters at ground level is calculated to be 0.0024 mW/cm<sup>2</sup>, which is 0.44% of the FCC public exposure limit. The three dimensional perimeter of RF levels equal to the public exposure limit does not reach any public accessible locations. Due to the proposed mounting locations of the antennas, they will not be accessible to the general public. Warning signs must be posted on the bottom of the tower in English, Spanish, and Chinese.

10. **Maintenance Schedule.** Maintenance visits would occur once each month, conducted by Verizon maintenance employees, generally of two workers. During service-affecting situations, such as loss of power for more than four hours, additional visits would occur.
11. **Community Outreach.** A Community Outreach Meeting was conducted for the proposed project. The meeting was held at 6:30 P.M. on Tuesday, November 10, 2009, at the Salvation Army located at 832 Folsom, San Francisco, CA 94107.
12. **Five-year plan:** Verizon submitted its latest five-year plan, as required, in October 2009.
13. **Public Comment.** The Department has not received public comment since the filing of the application as of the date of this motion.
14. **Planning Code Compliance.** The Commission finds that the Project is consistent with the relevant provisions of the amendments to Planning Code in the following manner:

- A. **Use.** Per Planning Code Sections 815.73 a Conditional Use is required for all public uses such as wireless transmission facilities.

*The project is proposing a wireless transmission facility and is requesting Conditional Use authorization.*

15. **Planning Code Section 303** establishes criteria for the Planning Commission to consider when reviewing applications for Conditional Use approval. On balance, the project does comply with said criteria in that:

- A. The proposed new uses and building, at the size and intensity contemplated and at the proposed location, will provide a development that is necessary or desirable, and compatible with, the neighborhood or the community.

*The proposed project will be generally desirable and compatible with the surrounding neighborhood because the project will not conflict with the existing uses of the property and will be of such size and nature to be compatible with the surrounding mixed use nature of the vicinity. The approval of this authorization has been found, first and foremost, to ensure public safety, and ensure that the placement of antennas are so located and designed so as to be in harmony with the character of the immediate area. The location is such that they will be far from the public view. The proposed project will also provide necessary facilities for emergency transmission and improved communication for the neighborhood, community and region.*

- B. The proposed project will not be detrimental to the health, safety, convenience or general welfare of persons residing or working in the vicinity. There are no features of the project that could be detrimental to the health, safety or convenience of those residing or working the area, in that:

- i Nature of proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;

*The proposed project must comply with all applicable Federal and State regulations to safeguard the health, safety and to ensure that persons residing or working in the vicinity will not be affected, and prevent harm to other personal property.*

*An evaluation of potential health effects from RF radiation, conducted by the Department of Public Health, has concluded that the proposed wireless transmission facilities will have no adverse health effects if operated in compliance with the FCC-adopted health and safety standards. The Department has received information that the proposed wireless system must be operated so as not to interfere with radio or television reception in order to comply with the provisions of its license under the FCC.*

*The Department is developing a database of all such wireless communications facilities operating or proposed for operation in the City and County of San Francisco. All applicants are now required to submit information on the location and nature of all existing and approved wireless transmission facilities operated by the Project Sponsor. The goal of this effort is to foster public information as to the location of these facilities.*

- ii The accessibility and traffic patterns for persons and vehicles, the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;

*No increase in traffic volume is anticipated.*

- iii The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;

*Noise or noxious emissions from this use are not likely to be significantly greater than ambient conditions due to the operation of the wireless communication network.*

- iv Treatment given, as appropriate, to such aspects as landscaping, screening, open spaces, parking and loading areas, service areas, lighting and signs;

*The installation of antennas on existing elevator penthouse will not affect the existing landscaping, open spaces, parking and loading areas, service areas or signs.*

- C. That the use as proposed will comply with the applicable provisions of the Planning Code and will not adversely affect the General Plan.

*The Project complies with all relevant requirements and standards of the Planning Code and is consistent with objectives and policies of the General Plan as detailed below.*

- 16. **General Plan Compliance.** The Project is, on balance, consistent with the following Objectives and Policies of the General Plan



## COMMERCE AND INDUSTRY ELEMENT

### Objectives and Policies

#### OBJECTIVE 1:

MANAGE ECONOMIC GROWTH AND CHANGE TO ENSURE ENHANCEMENT OF THE TOTAL CITY LIVING AND WORKING ENVIRONMENT.

##### Policy 1:

Encourage development, which provides substantial net benefits and minimizes undesirable consequences. Discourage development, which has substantial undesirable consequences that cannot be mitigated.

##### Policy 2:

Assure that all commercial and industrial uses meet minimum, reasonable performance standards.

*The project would enhance the city living and working environment by providing communication services for residents and workers within the City. Additionally, the project would comply with Federal, State and Local performance standards.*

#### OBJECTIVE 2:

MAINTAIN AND ENHANCE A SOUND AND DIVERSE ECONOMIC BASE AND FISCAL STRUCTURE FOR THE CITY.

##### Policy 1:

Seek to retain existing commercial and industrial activity and to attract new such activity to the city.

##### Policy 3:

Maintain a favorable social and cultural climate in the city in order to enhance its attractiveness as a firm location.

*The site is an integral part of a wireless communications network that will enhance the City's diverse economic base.*

#### OBJECTIVE 4:

IMPROVE THE VIABILITY OF EXISTING INDUSTRY IN THE CITY AND THE ATTRACTIVENESS OF THE CITY AS A LOCATION FOR NEW INDUSTRY.

##### Policy 1:

Maintain and enhance a favorable business climate in the City.

##### Policy 2:

Promote and attract those economic activities with potential benefit to the City.

*The project would benefit the City by enhancing the business climate through improved communication services for residents and workers.*

## COMMUNITY SAFETY ELEMENT

### Objectives and Policies

#### OBJECTIVE 3:

ENSURE THE PROTECTION OF LIFE AND PROPERTY FROM THE EFFECTS OF FIRE OR NATURAL DISASTER THROUGH ADEQUATE EMERGENCY OPERATIONS PREPARATION.

#### Policy 1:

Maintain a local agency for the provision of emergency services to meet the needs of San Francisco.

#### Policy 2:

Develop and maintain viable, up-to-date in-house emergency operations plans, with necessary equipment, for operational capability of all emergency service agencies and departments.

#### Policy 3:

Maintain and expand agreements for emergency assistance from other jurisdictions to ensure adequate aid in time of need.

#### Policy 4:

Establish and maintain an adequate Emergency Operations Center.

#### Policy 5:

Maintain and expand the city's fire prevention and fire-fighting capability.

#### Policy 6:

Establish a system of emergency access routes for both emergency operations and evacuation.

*The project would enhance the ability of the City to protect both life and property from the effects of a fire or natural disaster by providing communication services.*

17. **Planning Code Section 101.1(b)** establishes eight priority-planning policies and requires review of permits for consistency with said policies. On balance, the project does comply with said policies in that:
  - A. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses be enhanced.

*No neighborhood-serving retail use would be displaced and the wireless communications network will enhance personal communication services.*

- B. That existing housing and neighborhood character be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods.

*No residential uses would be displaced as the proposed project is an addition to a site that currently houses multiple wireless transmission sites.*

- C. That the City's supply of affordable housing be preserved and enhanced,

*The project would have no adverse impact on affordable housing in the vicinity.*

- D. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.

*Due to the nature of the project and minimal maintenance or repair, municipal transit service would not be impeded and neighborhood parking would not be overburdened.*

- E. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for resident employment and ownership in these sectors be enhanced.

*The Project would cause no displacement of industrial and service sector activity.*

- F. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Compliance with applicable structural safety and seismic safety requirements would be considered during the building permit application review process.*

- G. That landmarks and historic buildings be preserved.

*No landmarks or historic buildings would be affected by the project.*

- H. That our parks and open space and their access to sunlight and vistas be protected from development.

*The Project will have no adverse impact on parks or open space, or their access to sunlight or vistas.*

18. The Project is consistent with and would promote the general and specific purposes of the Code provided under Section 101.1(b) in that, as designed, the Project would contribute to the character and stability of the neighborhood and would constitute a beneficial development.

19. The Commission hereby finds that approval of the Determination of Compliance authorization would promote the health, safety and welfare of the City.

**DECISION**

The Commission, after carefully balancing the competing public and private interests, and based upon the Recitals and Findings set forth above, in accordance with the standards specified in the Code, hereby approves the Conditional Use authorization under Planning Code Sections 815.73 and 890.80 to install a wireless transmission facility consisting of the replacement of three panel antennas and the addition of four new panel antennas on the elevator penthouse of an existing 11 story building as part of the Verizon wireless telecommunications network within RSD (Residential / Service Mixed Use) District and a 40-X / 85-B Height and Bulk District and subject to the conditions of approval attached hereto as **Exhibit A**.

**APPEAL AND EFFECTIVE DATE OF MOTION: Any aggrieved person may appeal this conditional use authorization to the Board of Supervisors within thirty (30) days after the date of this Motion No XXXXX. The effective date of this Motion shall be the date of this Motion if not appealed (after the 30-day period has expired) OR the date of the decision of the Board of Supervisors if appealed to the Board of Supervisors. For further information, please contact the Board of Supervisors at (415) 554-5184, City Hall, Room 244, 1 Dr. Carlton B. Goodlett Place, San Francisco, CA 94102.**

I hereby certify that the foregoing Motion was adopted by the Planning Commission on **January 28, 2010**.

---

Linda D Avery  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED: January 28, 2010

# Exhibit A

## Conditions of Approval

Whenever "Project Sponsor" is used in the following conditions, the conditions shall also bind any successor to the Project or other persons having an interest in the Project or underlying property.

### General Conditions

1. This approval is for Conditional Use authorization under Planning Code Sections 815.73 and 890.80 to install a wireless transmission facility consisting of the replacement of three panel antennas and the addition of four new panel antennas on the elevator penthouse of an existing 11 story building as part of the Verizon wireless telecommunications network within the RSD (Residential/Service Mixed Use) District, the Western SOMA Planning Area Special Use District and a 40-X / 85 - X Height and Bulk District.
2. The Project approved by this Motion is in general conformity with the plans dated July 27, 2009, on file with the Department in the docket for Case No. 2009.0833 (labeled EXHIBIT B), reviewed and approved by the Commission on January 28, 2010.

### Design

3. The final plans shall meet the standards of the Planning Code and be in general conformity with the plans approved by the Commission on January 28, 2010. as Exhibit B found in the Case docket.
4. Prior to the issuance of any building or electrical permits for the installation of the facilities, the Project Sponsor shall submit final scaled drawings for review and approval by the Planning Department ("Plan Drawings"). The Plan Drawings shall:
  - a. Structure and Siting. Identify all facility related support and protection measures to be installed. This includes, but is not limited to, the location(s) and method(s) of placement, support, protection, screening, paint and/or other treatments of the antennas and other appurtenances to insure public safety, insure compatibility with urban design, architectural and historic preservation principles, and harmony with neighborhood character.
  - b. For the Project Site, regardless of the ownership of the existing facilities: Identify the location of all existing antennas and facilities; and identify the location of all approved (but not installed) antennas and facilities.
  - c. Emissions. Provide a report, subject to approval of the Zoning Administrator, that operation of the facilities in addition to ambient RF emission levels will not exceed adopted FCC standards with regard to human exposure in uncontrolled areas.

**Performance**

5. Project Implementation Report. The Project Sponsor shall prepare and submit to the Zoning Administrator a Project Implementation Report. The Project Implementation Report shall:
  - a. Identify the three-dimensional perimeter closest to the facility at which adopted FCC standards for human exposure to RF emissions in uncontrolled areas are satisfied;
  - b. Document testing that demonstrates that the facility will not cause any potential exposure to RF emissions that exceed adopted FCC emission standards for human exposure in uncontrolled areas.
  - c. Compare test results for each test point with applicable FCC standards. Testing shall be conducted in compliance with FCC regulations governing the measurement of RF emissions and shall be conducted during normal business hours on a non-holiday week day with the subject equipment measured while operating at maximum power.
  - d. The Project Implementation Report shall be prepared by a certified professional engineer or other technical expert approved by the Department. At the sole option of the Department, the Department (or its agents) may monitor the performance of testing required for preparation of the Project Implementation Report. The cost of such monitoring shall be borne by the Project Sponsor pursuant to the condition related to the payment of the City's reasonable costs.
6. Notification and Testing. The Project Implementation Report shall set forth the testing and measurements undertaken pursuant to Conditions 4 and 13.
7. Approval. The Zoning Administrator shall request that the Certification of Final Completion for operation of the facility not be issued by the Department of Building Inspection until such time that the Project Implementation Report is approved by the Department for compliance with these conditions.
8. Notification prior to Project Implementation Report. The Project Sponsor shall undertake to inform and perform appropriate tests for residents of any dwelling units located within 25 feet of the transmitting antennae at the time of testing for the Project Implementation Report.
  - a. At least twenty calendar days prior to conducting the testing required for preparation of the Project Implementation Report, the Project Sponsor shall mail notice to the Department, as well as to the resident of any legal dwelling unit within 25 feet of a transmitting antenna, of the date on which testing will be conducted. The Applicant will submit a written affidavit attesting to this mail notice along with the mailing list.
  - b. When requested in advance by a resident notified of testing pursuant to subsection (a), the Project Sponsor shall conduct testing of total power density of RF emissions within

the residence of that resident on the date on which the testing is conducted for the Project Implementation Report.

9. Community Liaison. Within 10 days of the effective date of this authorization, the Project Sponsor shall appoint a community liaison officer to resolve issues of concern to neighbors and residents relating to the construction and operation of the facilities. Upon appointment, the Project Sponsor shall report in writing the name, address and telephone number of this officer to the Zoning Administrator. The Community Liaison Officer shall report to the Zoning Administrator what issues, if any, are of concern to the community and what issues have not been resolved by the Project Sponsor.
10. Installation. Within 10 days of the installation and operation of the facilities, the Project Sponsor shall confirm in writing to the Zoning Administrator that the facilities are being maintained and operated in compliance with applicable Building, Electrical and other Code requirements, as well as applicable FCC emissions standards.
11. Screening.
  - a. To the extent necessary to ensure compliance with adopted FCC regulations regarding human exposure to RF emissions, and upon the recommendation of the Zoning Administrator, the Project Sponsor shall:
    - i. Modify the placement of the facilities;
    - ii. Install fencing, barriers or other appropriate structures or devices to restrict access to the facilities;
    - iii. Install multi-lingual signage, including the RF radiation hazard warning symbol identified in ANSI C95.2-1982, to notify persons that the facility could cause exposure to RF emissions; or
    - iv. Implement any other practice reasonably necessary to ensure that the facility is operated in compliance with adopted FCC RF emission standards.
  - b. To the extent necessary to minimize visual obtrusion and clutter, installations shall conform to the following standards:
    - i. Antennas and back-up equipment shall be painted, fenced, landscaped or otherwise treated architecturally so as to minimize visual impacts;
    - ii. Rooftop installations shall be setback such that back-up facilities are not viewed from the street;
    - iii. Antennae attached to building facades shall be so placed, screened or otherwise treated to minimize any negative visual impact; and
    - iv. Although co-location of various companies' facilities may be desirable, a maximum number of antennas and back-up facilities on the Project Site shall be established, on a case-by-case basis, such that "antennae farms" or similar visual intrusions for the site and area is not created.



12. The Project Sponsor or Property Owner shall remove antennae and equipment that has been out of service for a continuous period of six months.
13. Periodic Safety Monitoring. The Project Sponsor shall submit to the Zoning Administrator 10 days after installation of the facilities, and every two years thereafter, a certification attested to by a licensed engineer expert in the field of EMR/RF emissions, that the facilities are and have been operated within the then current applicable FCC standards for RF/EMF emissions.
14. Emissions Conditions. It is a continuing condition of this authorization that the facilities be operated in such a manner so as not to contribute to ambient RF/EMF emissions in excess of then current FCC adopted RF/EMF emission standards; violation of this condition shall be grounds for revocation.
15. Noise and Heat. The WTS facility, including power source and cooling facility, shall be operated at all times within the limits of the San Francisco Noise Ordinance. The WTS facility, including power source and cooling facility, shall not be operated so as to cause the generation of heat that adversely affects a building occupant.
16. Implementation and Monitoring Costs.
  - a. The Project Sponsor, on an equitable basis with other WTS providers, shall pay the cost of preparing and adopting appropriate General Plan policies related to the placement of WTS facilities. Should future legislation be enacted to provide for cost recovery for planning, the Project Sponsor shall be bound by such legislation.
  - b. The Project Sponsor or its successors shall be responsible for the payment of all reasonable costs associated with the monitoring of the conditions of approval contained in this authorization, including costs incurred by this Department, the Department of Public Health, the Department of Electricity and Telecommunications, Office of the City Attorney, or any other appropriate City Department or agency pursuant to Planning Code Section 351(f)(2). The Planning Department shall collect such costs on behalf of the City.
  - c. The Project Sponsor shall be responsible for the payment of all fees associated with the installation of the subject facility, which are assessed by the City pursuant to all applicable law.
17. All Conditions Basis for Revocation. The Project Sponsor or its successors shall comply fully with all conditions specified in this authorization. Failure to comply with any condition shall constitute grounds for revocation under the provisions of Planning Code Sections 174, 176 and 303(d). The Zoning Administrator shall schedule a public hearing before the Planning Commission to receive testimony and other evidence to demonstrate a finding of a violation of a condition of the authorization of the use of the facility and, finding that violation, the Commission shall revoke the Conditional Use authorization. Such revocation by the Planning Commission is appealable to the Board of Supervisors.

In the event that the project implementation report includes a finding that RF emissions for the site exceed FCC Standards in any uncontrolled location, the Zoning Administrator may require the Applicant to immediately cease and desist operation of the facility until such time that the violation is corrected to the satisfaction of the Zoning Administrator.

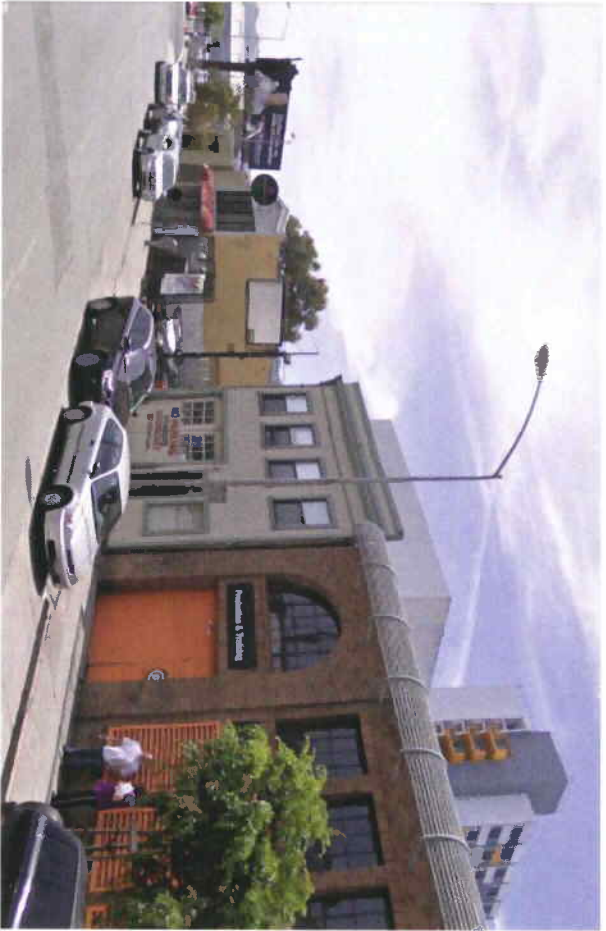
18. Complaints and Proceedings. Should any party complain to the Project Sponsor about the installation or operation of the facilities, which complaints are not resolved by the Project Sponsor, the Project Sponsor (or its appointed agent) shall advise the Zoning Administrator of the complaint and the failure to satisfactorily resolve such complaint. If the Zoning Administrator thereafter finds a violation of any provision of the Planning Code and/or any condition of approval herein, the Zoning Administrator shall attempt to resolve such violation on an expedited basis with the Project Sponsor. If such efforts fail, the Zoning Administrator shall refer such complaints to the Commission for consideration at the next regularly scheduled public meeting.
19. Severability. If any clause, sentence, section or any part of these conditions of approval is for any reason held to be invalid, such invalidity shall not affect or impair other of the remaining provisions, clauses, sentences, or sections of these conditions. It is hereby declared to be the intent of the Commission that these conditions of approval would have been adopted had such invalid sentence, clause, or section or part thereof not been included herein.
20. Transfer of Operation. Any carrier/provider authorized by the Zoning Administrator or by the Planning Commission to operate a specific WTS installation may assign the operation of the facility to another carrier licensed by the FCC for that radio frequency provided that such transfer is made known to the Zoning Administrator in advance of such operation, and all conditions of approval for the subject installation are carried out by the new carrier/provider, and the authorizing Motion is recorded on the deed of the property stating the new carrier/provider and authorizing conditions of approval.
21. Compatibility with City Emergency Services. The facility shall not be operated, nor caused to transmit on or adjacent to any radio frequencies licensed to the City for emergency telecommunication services such that the City's emergency telecommunications system experiences interference, unless prior approval for such has been granted in writing by the City.

**Motion No. XXXXXX**  
**Hearing Date: January 28, 2010**

**CASE NO. 2009.0833C**  
**832 Folsom Street**

DRS G:\DOCUMENTS\Conditional Use\832 Folsom\832 Folsom Motion.doc

North West Block front from left to right

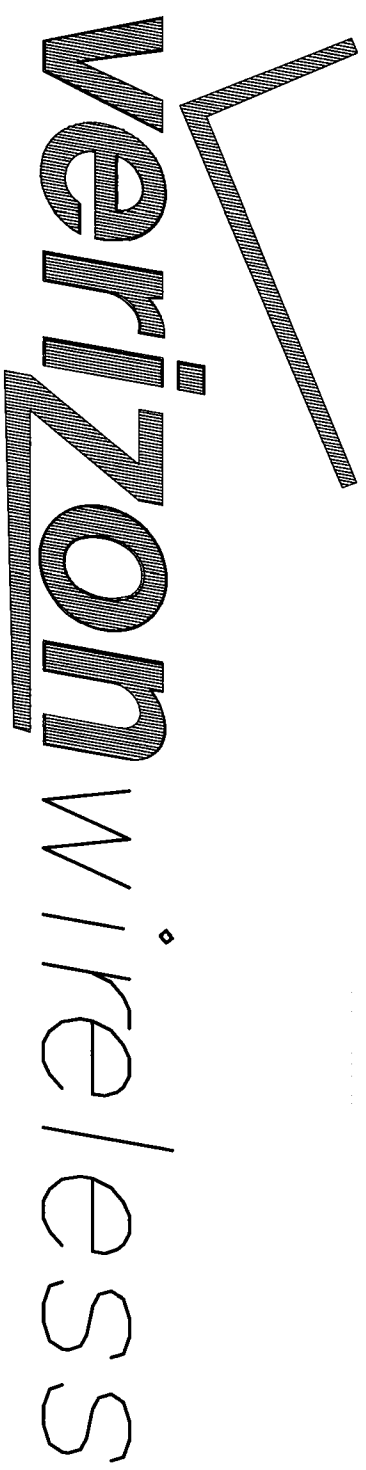




South East Block Front from left to right





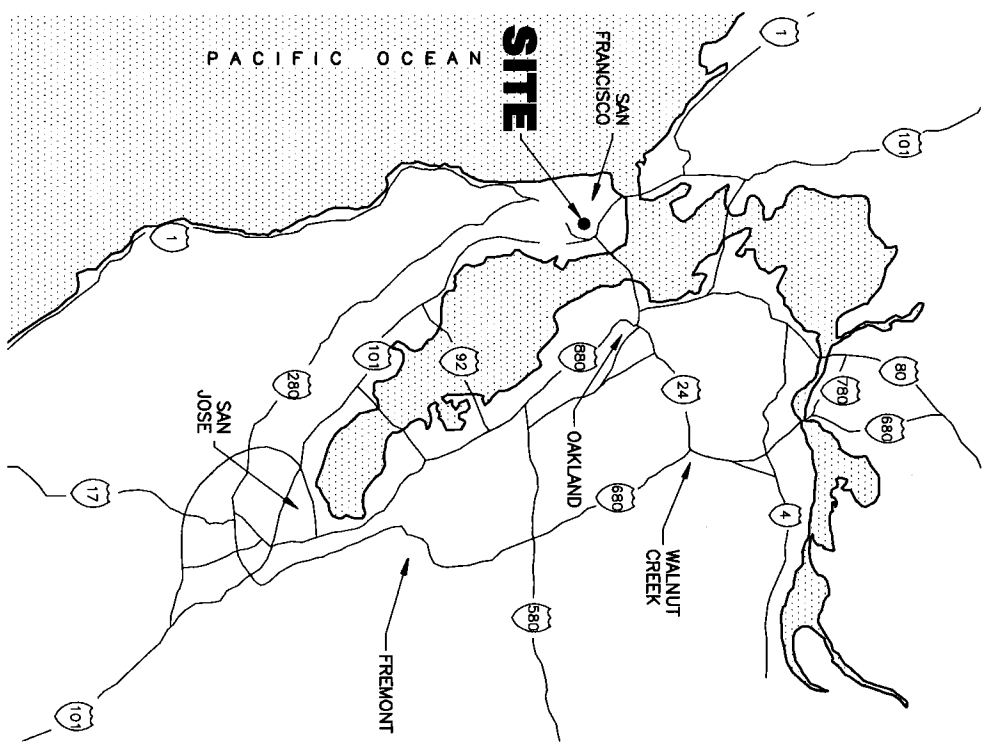


# 6TH STREET - LTE ADD/MOD

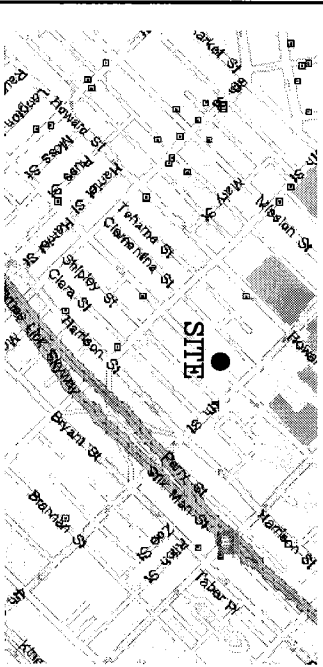
## PSL# 123823

**832 FOLSON ST  
SAN FRANCISCO, CA**

### LOCATION MAP



### VICINITY MAP



### CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED NOT CONFORMING TO THESE CODES.

1. CALIFORNIA ADMINISTRATIVE CODE (INCLUDING TITLES 24 & 25)
2. CALIFORNIA BUILDING CODE (CBC) 2007
3. CALIFORNIA MECHANICAL CODE (CMC) 2007
4. CALIFORNIA PLUMBING CODE (CPC) 2007
5. CALIFORNIA ELECTRIC CODE (CEC) 2007
6. COUNTY ORDINANCES

ACCESSIBILITY REQUIREMENTS:  
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2001 CALIFORNIA BUILDING CODE.

### DRIVING DIRECTIONS

#### FROM VERIZON OFFICE - WALNUT CREEK, CA

Depart 2785 Mitchell Dr, Walnut Creek, CA 94598 on Mitchell Dr  
 Turn LEFT (South-East) onto N Wiget Ln  
 Turn RIGHT (West) onto Ygnacio Valley Rd  
 Road name changes to Hillside Ave  
 Take Ramp (RIGHT) onto SR-24 [Grove Shafter Fwy] Oakland  
 Turn RIGHT onto Ramp I-580/San Francisco/Hayward  
 Keep RIGHT to stay on Ramp I-580/San Francisco  
 Take Ramp (LEFT) onto I-580 [MacArthur Fwy] Hayward  
 Take Ramp (LEFT) onto I-80/San Francisco  
 Turn LEFT onto Ramp 5th St/US-101 N/Golden Gate Br  
 Bear RIGHT (North-West) onto 5th St  
 Turn RIGHT (North-East) onto Folsom St  
 Arrive 832 Folsom St, San Francisco, CA 94107

### BUILDING / SITE DATA LEGEND

LOT & BLOCK LOT 017, BLOCK 3733  
 PSL NUMBER: 123823  
 OCCUPANCY TYPE: UNOCCUPIED  
 CONSTRUCTION TYPE: V-N

### PROJECT TEAM

**ENGINEER:** FORESIGHT LAND SURVEYING & CIVIL ENGINEERING  
 CONTACT: JIM SCHURICHT  
 PHONE: (925) 389-8180

**APPLICANT:** Verizon Wireless  
 2785 MITCHELL DRIVE  
 WALNUT CREEK, CA 94598  
 CONTACT: TOM KROHN  
 PHONE: (925) 279-6329

**AGENT:** NSA WIRELESS, INC.  
 12467 ALICOSTA BLVD, SUITE 110  
 SAN RAMON, CA 94583  
 CONTACT: CHRIS DURAND  
 PHONE: (925) 244-1897

### PROJECT DESCRIPTION

REMOVE AND REPLACE THREE (3) EXISTING 4' PANEL ANTENNAS. ADD THREE (3) NEW ADDITIONAL 4' PANEL ANTENNAS TO THE ALPHA SECTOR AND ADD TWELVE NEW RUNS OF COAX.

### SHEET INDEX

- T-1 TITLE SHEET
- T-2 SF FD CHECKLIST
- T-3 EMF REPORT
- T-4 SITE SIGNAGE
- A-1 SITE PLAN
- A-2 ELEVATION VIEWS
- A-3 ELEVATION VIEW
- A-4 ELEVATION VIEW
- A-5 ANT MOUNT DETAIL

NOTE: IF DRAWING IS 11" x 17" DRAWING IS 1/2 SCALE



Land Surveying & Civil Engineering  
 Jim Schuricht  
 ph 925-389-8180  
 email: foresight@comcast.net

**NSA WIRELESS, INC.**  
 Bishop Ranch 15 1st Floor  
 12647 Alcosta Blvd, Suite 110  
 San Ramon, CA 94583  
 Office: 925-244-1890  
 Fax: 925-355-0672



2785 MITCHELL DRIVE, BLDG 9  
 WALNUT CREEK, CA, 94598  
 OFFICE: (925) 279-6000  
 TOM KROHN  
 (925) 279-6329  
 PSL NO. 123823  
 6TH STREET  
 832 FOLSON ST  
 SAN FRANCISCO, CA  
 SAN FRANCISCO COUNTY

VERIZON WIRELESS  
 EQUIP. ENGINEER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 VERIZON WIRELESS  
 REAL ESTATE:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 VERIZON WIRELESS  
 CONSTRUCTION:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 VERIZON WIRELESS  
 RF ENGINEER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 PROPERTY OWNER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY \_\_\_\_\_ CHECKED BY \_\_\_\_\_

LAM

NO. DATE ISSUE  
 A 03/18/09 FOR REVIEW  
 0 07/14/09 PER COMMENTS

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

FORESIGHT JOB # 500909





2785 MITCHELL DRIVE, BLDG 9  
 WALNUT CREEK, CA, 94598  
 OFFICE: (925) 279-6000  
 TOM KROHN  
 (925) 279-6329  
 PSL NO.123823  
 6TH STREET  
 832 FOLSOM ST  
 SAN FRANCISCO, CA  
 SAN FRANCISCO COUNTY

VERIZON WIRELESS  
 EQUIP. ENGINEER:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 VERIZON WIRELESS  
 REAL ESTATE:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 VERIZON WIRELESS  
 CONSTRUCTION:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 VERIZON WIRELESS  
 RF ENGINEER:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 PROPERTY OWNER:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

NO. DATE ISSUE  
 A 03/18/09 FOR REVIEW  
 0 07/14/09 PER COMMENTS

SHEET TITLE  
**SF FD  
 CHECKLIST**

SHEET NUMBER  
**T-2**

FORESIGHT JOB # 500909

| STATUS | SHEET LOCATION |
|--------|----------------|
|--------|----------------|

| STATUS | SHEET LOCATION |
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| STATUS | SHEET LOCATION |
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|--------|----------------|

**San Francisco Fire Department**

Division of Fire Prevention and Investigation

2.06 Permit Application Checklist for Cellular Antenna Sites and all Equipment Serving the Cellular Antenna Site

This checklist shall be printed on a drawing sheet and submitted as part of the plans submitted with any building permit application for modifying cellular antenna sites regardless of RF emission quantities. This checklist is designed to assist designers, installers, plan reviewers, and field inspectors. This checklist shall be prepared by the design professional and shall be stamped and wet-signed.

This document is not all-inclusive of all requirements for cellular antenna sites and it is the responsibility of the designer to research the applicable codes. Documents referenced by this bulletin are as follows:

- FCC OET Bulletin 56 - Questions and Answers about Biological Effects and Potential Hazards of Radiofrequency Electromagnetic Fields (August 1999)
- FCC OET Bulletin 65 - Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields (Ed. 97-01: August 1997)
- FCC - A Local Government Official's Guide to Transmitting Antenna RF Emission Safety: Rules, Procedures, and Practical Guidance (June 2, 2000)
- 2007 California Building Code (CBC)
- 2007 California Fire Code (CFC)
- 2007 California Mechanical Code (CMC)
- 2007 San Francisco Fire Code (SFFC)
- 2002 NFPA 13 Automatic Sprinkler Systems
- 2002 NFPA 72 National Fire Alarm Code

|          |          |  |          |          |   |
|----------|----------|--|----------|----------|---|
| COMPLETE | E1       | 1. Description of scope of work (both on the application and plans) shall match the actual work being done.  | COMPLETE | E1-E2-E3 | 10. EITERS:<br>Provide a manual battery disconnect:<br>* Instructional signage shall be provided on the Procedure To Disconnect or De-Energize Radio Frequency (RF) Signal for the above manual disconnect for the batteries.<br>* Signage shall be permanently mounted next to the battery's electrical panel and clearly labeled in a phenolic label with a white background and black lettering. The title block shall be a red background and 1" high white lettering.<br>* The actual breaker(s) shall be a phenolic label (red background and white lettering) with lettering not less than 1/8" high.      |
| COMPLETE | E1-E2-E3 | 2. Plans shall include plan views and elevations showing all equipment locations and cable runs.   | N/A      | N/A      | 11. Is a new HVAC system being installed?<br>Yes<br>* What is the volume of refrigerant used by the cooling unit(s)?<br>* What is the type of refrigerant per 2007 CMC?<br>* Assure compliance with 2007 CFC Section 606.   |
| N/A      | N/A      | 3. Submit on a drawing sheet the San Francisco Health Department Cellular Antenna Site (CATS) Checklist/Process/Engineer's RF Report. The FCC requires centers to perform and prevent occupational exposure (i.e. building maintenance workers, fire fighters, etc.) The RF report shall include a floor plan showing the location of the antenna and a public off of the roof per 2007 SFFC 1207.7.1. The RF Report shall be wet stamped and signed by an engineer. | N/A      | N/A      | 12. Plans shall clearly show locations of batteries and battery cabinets.<br>13. Plans shall clearly show locations of batteries and battery cabinets.<br>14. Plans shall show whether the building is fully sprinklered or not.<br>15. In fully sprinklered buildings, equipment rooms shall be provided with sprinklers in accordance with NFPA 13.<br>16. Provide a detail on a drawing sheet showing the manufacturer, model, type, amount (pounds or ounces) of electrolyte, flooded lead acid, Ni-Cd, VRLA or Li-Ion. Please show drawings compliance with 2007 CFC Section 508 on the drawing sheets. When |
| COMPLETE | E4-E1    | 5. Notices to Workers warning signage as applicable per the above RF Report:<br>* 4'x8' SIGNAGE<br>Tel: (415) 882-8787 Fax: (415) 882-8800<br>1488 Mission Street, 9th Floor<br>San Francisco, CA 94103<br>Approved October 31, 2007   | N/A      | N/A      | 17. Plans shall sequence of operations for any new detection, dampers, or fans.<br>18. Plans shall clearly show locations of batteries and battery cabinets.<br>19. Plans shall show whether the building is fully sprinklered or not.<br>20. Plans shall show whether the building is fully sprinklered or not.  |

1488 Mission Street, 9th Floor  
 San Francisco, CA 94103

**San Francisco Fire Department**

Division of Fire Prevention and Investigation

Signage shall be in English, Chinese and Spanish. The signage shall be permanently mounted at the stairwell side of the roof-access staircase, door, in the fire control room within proximity of the call-site shutdown signage and any other space necessary to warn workers (i.e. parapets, steel side of the escape). The signage shall be clearly labeled and visible from any direction of approach. The sign shall be weatherproof with contrasting background and lettering colors and shall be readable from at least fifteen (15) feet from the sign. There is a yellow triangle around the antenna symbol (see ANSI C95.2-1999) and location and signage detail with site specific information shall be included on a drawing sheet.

6. Provide a quantitative three-dimensional perimeter of the RF levels if the antennas appear to encroach on any means of egress.

7. Camouflaged antennas shall have a minimum 1" high signage permanently mounted to the exterior of the RF screen as provided below. These antennas shall also have the restricted exclusion area to the fullest extent of the antenna location with a minimum radius of 1 foot.

8. Plans shall show whether a new electrical service is installed for the call site. In general, buildings should only have one electrical service. However, with the prior approval of the San Francisco Fire Department and the Electrical Inspection Division, buildings may have one additional service to serve rooftop antenna equipment, provided a permanent placard is provided at the location of each service disconnect stating the location of the other and identifying the equipment served by each service.

|          |          |   |          |          |   |
|----------|----------|---|----------|----------|---|
| COMPLETE | E1-E2-E3 | 7. Camouflaged antennas shall have a minimum 1" high signage permanently mounted to the exterior of the RF screen as provided below. These antennas shall also have the restricted exclusion area to the fullest extent of the antenna location with a minimum radius of 1 foot.  | COMPLETE | E1-E2-E3 | 11. Is a new HVAC system being installed?<br>Yes<br>* What is the volume of refrigerant used by the cooling unit(s)?<br>* What is the type of refrigerant per 2007 CMC?<br>* Assure compliance with 2007 CFC Section 606.   |
| N/A      | N/A      | 8. Plans shall show whether a new electrical service is installed for the call site. In general, buildings should only have one electrical service. However, with the prior approval of the San Francisco Fire Department and the Electrical Inspection Division, buildings may have one additional service to serve rooftop antenna equipment, provided a permanent placard is provided at the location of each service disconnect stating the location of the other and identifying the equipment served by each service. | N/A      | N/A      | 12. Plans shall clearly show locations of batteries and battery cabinets.<br>13. Plans shall clearly show locations of batteries and battery cabinets.<br>14. Plans shall show whether the building is fully sprinklered or not.<br>15. In fully sprinklered buildings, equipment rooms shall be provided with sprinklers in accordance with NFPA 13.<br>16. Provide a detail on a drawing sheet showing the manufacturer, model, type, amount (pounds or ounces) of electrolyte, flooded lead acid, Ni-Cd, VRLA or Li-Ion. Please show drawings compliance with 2007 CFC Section 508 on the drawing sheets. When |
| N/A      | N/A      | 9. Provide notice of all cables from their origin to the equipment (fan, elevation and section views). Cables/wiring shall not be allowed in exit enclosures or in front of dry standpipes (2007 CFC 1020.1.1).   | N/A      | N/A      | 17. Plans shall sequence of operations for any new detection, dampers, or fans.<br>18. Plans shall clearly show locations of batteries and battery cabinets.<br>19. Plans shall show whether the building is fully sprinklered or not.<br>20. Plans shall show whether the building is fully sprinklered or not.  |

1488 Mission Street, 9th Floor  
 San Francisco, CA 94103

**San Francisco Fire Department**

Division of Fire Prevention and Investigation

\* The signage shall also be like posted in the FCC Room within proximity of the fire alarm panel and building's main electrical room within proximity of the main shutdown. A copy of this signage shall be included on a drawing sheet.

\* Provide SFFD approved key lock box for equipment/electrical room for battery/equipment shutdown.  
 \* This permanently mounted label above the lock box shall read "SFFD BATTERY DISCONNECT ACCESS KEY" and shall be a phenolic label with a red background and white lettering.  
 \* Location and label of the key lock box shall be included on a drawing sheet.

OR:  
 Provide 24 hour 7 days a week telephone service center shut-down:  
 \* Provide instructional signage for emergency shutdown of the call site, including telephone number and call site identification number.  
 \* The sign shall state that there is no manual shut down for the call site and to call the contact number (the number shall be printed on the sign) for immediate shut-down of the site. The number shall be printed on the sign for immediate shut-down of the site.

\* The sign shall also state whether or not the back-up battery power to the antennas is also shut-down.  
 \* The signage shall be permanently mounted next to the main electrical shut-off, in the FCC room within close proximity to the fire alarm panel, at the battery cabinet and at the equipment room.  
 \* The sign shall be clearly labeled in a phenolic label with a white background and black lettering. The title block shall be a red background and 1" high white lettering.  
 \* A copy of this signage shall be included on a drawing sheet.

|          |       |  |          |       |  |
|----------|-------|--|----------|-------|--|
| COMPLETE | E4-E1 | 5. Notices to Workers warning signage as applicable per the above RF Report:<br>* 4'x8' SIGNAGE<br>Tel: (415) 882-8787 Fax: (415) 882-8800<br>1488 Mission Street, 9th Floor<br>San Francisco, CA 94103<br>Approved October 31, 2007 | COMPLETE | E4-E1 | 20. Plans shall show whether the building is fully sprinklered or not. |
|----------|-------|--|----------|-------|--|

1488 Mission Street, 9th Floor  
 San Francisco, CA 94103

**San Francisco Fire Department**

Division of Fire Prevention and Investigation

compliance with Section 508 of the 2007 California Fire Code is required, the following additional information shall be provided:

- \* Rooftop battery rooms exceeding the above requirements shall be separated from the building and any openings as specified by the 2007 CBC and CMC.
- \* Plans state that a separate fire department permit will be obtained from SFFD Headquarters at 609 2nd St.

Prepared by: JIM SCHURICHT  
 (Please include professional title and stamp)  
 Firm Name: FORESIGHT LAND SURVEYING & CIVIL ENGINEERING  
 Address: 930 TAHOE BLVD, #902-152, INCLINE VILLAGE, NV 89451  
 Phone Number: 925 389-8180  
 Fax Number:  
 For further information see the FCC website: <http://www.fcc.gov/oet/etfsafety>

**Verizon Wireless - Base Station No. 123823 "6th Street"**  
832 Folsom Street - San Francisco, California

occupational exposures in excess of the FCC guidelines, no access within 7 feet directly in front of the antennas themselves, such as might occur during maintenance work on the building, should be allowed while the base station is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met. Explanatory warning signs had been posted at the roof-access hatch and near the antennas, readily visible from any angle of approach to persons who might need to work within that distance.

10. **Statement of authorship.**  
The undersigned author of this statement is a qualified Professional Engineer, holding California Registrations Nos. E-13026 and M-20676, which expire on June 30, 2011. This work has been carried out under his direction, and all statements are true and correct to his own knowledge except where noted, when data has been supplied by others, which data he believes to be correct.

**Conclusion**

Based on the information and analysis above, it is my professional opinion that the Verizon Wireless base station operation located at 832 Folsom Street in San Francisco can comply with the prevailing standards for limiting human exposure to radio frequency energy and, therefore, need not for this reason cause a significant impact on the environment.

July 2, 2009  
  
William F. Hammett, P.E.

Warning signs complied with OSHA 29 CFR 1910.147 and symbol recommendations. Contact information was provided in English to arrange for access to restricted areas, with Spanish and Chinese translations (not by this firm) included.  
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VW12382399.1  
Page 3 of 3

**Verizon Wireless - Base Station No. 123823 "6th Street"**  
832 Folsom Street - San Francisco, California

4. Location (and number) of applicant's antennas and back-up facilities per building and location (and number) of other HTS at site.  
Verizon proposes to increase the total number of antennas to twelve by removing three of its existing antennas and replacing them with six new Andrew antennas at the same locations: mounted at an effective height of 145 feet above ground. The antennas - Models DB931DG6517E-M, DB854DG6517E-SX, and LNX6512DS-14M for PCS, cellular, and LTE service, respectively - would be mounted with up to 14° down tilt and would be oriented with one group of six, two of each model, toward 30° T and two groups of three, one of each model, toward 165° T and 280° T.

5. Power rating (maximum and expected operating power) for all existing and proposed backup equipment subject to application.  
The maximum rating of the cellular and PCS transmitters is 20 watts, with the proposed LTE transmitters rated at 16 watts. The actual operating power of the transmitters will depend upon the system losses encountered after the physical cabling runs have been installed; the transmitters may operate at a power less than their maximum rating, such that the total power radiated from the antennas does not exceed the level given in Item 6 below.

6. Total number of watts per installation and total number of watts for all installations at site.  
The maximum effective radiated power in any direction for Verizon would be 2,360 watts, representing simultaneous operation at 960 watts for PCS, 1,200 watts for cellular, and 400 watts for LTE service.

7. Plot or roof plan showing method of attachment of antennas, directionality of antennas, and height above roof level. Discuss nearby inhabited buildings.  
The antennas would be mounted as described in Item 4 above. There were rather buildings located nearby, across the street.

8. Estimated ambient RF levels for proposed site and identify three-dimensional perimeter where exposure standards are exceeded.  
For a person anywhere at ground near the site, the maximum ambient RF level from the proposed Verizon operation is calculated to be 0.0024 mW/cm<sup>2</sup>, which is 0.44% of the applicable public exposure limit. Therefore, ambient levels at ground are estimated to remain less than 1% of the public limit. The maximum calculated level on the roof is 21% of the applicable public limit. The three-dimensional perimeter of RF levels equal to the public exposure limit is calculated to extend 36 feet in front of the Verizon antennas; this does not reach any publicly accessible areas.

9. Describe proposed signage at site.  
Due to their mounting location, the Verizon antennas are not accessible to the general public, and so no mitigation measures are necessary to comply with the FCC public exposure guidelines. To prevent

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VW12382399.1  
Page 2 of 3

**Verizon Wireless - Base Station No. 123823 "6th Street"**  
832 Folsom Street - San Francisco, California

**Statement of Hammett & Edison, Inc., Consulting Engineers**

The firm of Hammett & Edison, Inc., Consulting Engineers, has been retained on behalf of Verizon Wireless, a personal wireless telecommunications carrier, to evaluate proposed modifications to its existing base station (Site No. 123823 "6th Street") located at 832 Folsom Street in San Francisco, California, for compliance with appropriate guidelines limiting human exposure to radio frequency ("RF") electromagnetic fields.

**Background**

The San Francisco Department of Public Health has adopted a 10-point checklist for determining compliance of WTS facilities with prevailing safety standards. The acceptable limits set by the FCC for exposures of unlimited duration are:

| Personal Wireless Service          | Approx. Frequency | Occupational Limit       | Public Limit            |
|------------------------------------|-------------------|--------------------------|-------------------------|
| Broadband Radio ("BRS")            | 2,600 MHz         | 5,000 mW/cm <sup>2</sup> | 1.00 mW/cm <sup>2</sup> |
| Advanced Wireless ("AWS")          | 2,100             | 5,000                    | 1.00                    |
| Personal Communication ("PCS")     | 1,950             | 5,000                    | 1.00                    |
| Cellular Telephone                 | 870               | 2,900                    | 0.58                    |
| Specialized Mobile Radio ("SMR")   | 855               | 2,95                     | 0.57                    |
| Long Term Evolution ("LTE")        | 700               | 2.33                     | 0.47                    |
| (most restrictive frequency range) | 30-300            | 1.00                     | 0.20                    |

The site was visited by Mr. David Kelly, a qualified field technician contracted by Hammett & Edison, Inc., during normal business hours on November 21, 2008, a non-holiday weekday, and reference has been made to additional information provided by Verizon regarding the addition of LTE service.

**Checklist**

1. The location of all existing antennas and facilities at site. Existing RF levels.  
Verizon had installed nine directional antennas, oriented in groups of three, at the top of the two-story mechanical equipment penthouse above the roof of the Salvation Army building located at 832 Folsom Street. Access to the antennas was restricted by their mounting locations. Existing RF levels at ground near the site had been measured less than 1% of the most restrictive public exposure limit. There were observed no other wireless telecommunications base stations at this site.

2. The location of all proposed (but not installed) antennas and facilities. Expected RF levels from proposed antennas.  
No other WTS facilities are reported to be approved for this site, but not yet installed.

3. The number and types of HTS within 100 feet of proposed site and estimates of relative EMR emissions at proposed site.  
There were no other WTS facilities observed within 100 feet of the proposed site.

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VW12382399.1  
Page 1 of 3

# NOTICE



Radio frequency fields beyond this point may exceed the FCC general public exposure limit.

Obey all posted signs and site guidelines for working in radio frequency environments.

Compliance with Federal Communications Commission rules at this site is required under 47 CFR 1.1307(b).

SITE NO. PSL#123823

## CAUTION SIGN

NOTE: SIGN TO BE PERMANENTLY MOUNTED AT ANTENNA LOCATIONS SHOWN ON SHEET A-1



## NOTICE

### GUIDELINES FOR WORKING IN RADIO FREQUENCY ENVIRONMENTS

- All personnel should have electromagnetic energy (EMF) awareness training.
- All personnel entering this site must be authorized obey all posted signs.
- Assume all antennas are active. Before working on antennas, notify owners and disable appropriate transmitters.
- Maintain minimum 7 feet clearance from all antennas. Do not step in front of antennas. Use personal RF monitors while working near antennas.
- Never operate transmitters without shields during normal operation.
- Do not operate base station antennas in equipment rooms.

## CAUTION SIGN

### SIGNAGE MOUNTING NOTES:

SIGNS SHALL BE SECURELY FASTENED AT LOCATIONS SHOWN ON THE PLANS IN SUCH A MANNER AS TO DETER REMOVAL BY FORCES OF NATURE, THEFT, VANDALISM, ETC. THE CONTRACTOR SHALL INVESTIGATE THE EXISTING CONSTRUCTION MATERIAL AT THE LOCATION AT WHICH THE SIGNS ARE TO BE ATTACHED AND DETERMINE THE REQUIREMENTS TO PROPERLY SECURE THE SIGN AT ALL FOUR CORNERS USING THE FOLLOWING GUIDELINE AS A MINIMUM:

- CONCRETE: 1/4" TAPPER CONCRETE ANCHOR, 2" INCH MINIMUM EMBEDMENT
  - METAL: #12 SHEET METAL SCREWS, 1-1/2" INCH MINIMUM EMBEDMENT
  - WOOD: #12 ROUND HEAD WOOD SCREWS, 1-1/2" INCH MINIMUM EMBEDMENT
  - BUILDING: 1/4" MACHINE SCREWS WITH LOCK WASHERS
- CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPER SECUREMENT OF SIGNAGE AT THE SITE

### INFORMATION— DISCONNECT PROCEDURE

PROCEED TO DISCONNECT OR DE-ENERGIZE RADIO FREQUENCY (RF SIGNAL)

1. DISCONNECT POWER AT MAIN SERVICE DISCONNECT
2. DISCONNECT BACK-UP POWER AT BATTERY DISCONNECT

Contact Verizon Wireless at 1-800-242-7622 and follow their instructions prior to performing any maintenance or repairs closer than 3 feet from the antenna.

This is Verizon Wireless Site: PSL 123823

Verizon Wireless

### NOTES:

1. SIGN SHALL BE A RETROREFLECTIVE WITH WHITE BACKGROUND AND BLACK LETTERING. THE TITLE BLOCK SHALL BE A RED BACKGROUND AND 1" HIGH WHITE LETTERING.
2. CONTRACTOR TO PLACE SIGNS IN THE FOLLOWING LOCATIONS: BATTERY DISCONNECT WITH FRONT OF BATTERY DISCONNECT, MAIN SERVICE DISCONNECT, THE FIRE ALARM PANEL, AND THE BUILDING MAIN ELECTRICAL ROOM WITHIN PROXIMITY OF THE MAIN SERVICE.

## BATTERY DISCONNECT SIGN

## EMERGENCY SHUT DOWN

FOR IMMEDIATE SHUTDOWN OF ALL RADIO FREQUENCY EMISSIONS OF THIS SITE, PLEASE CALL CONTACT NUMBER AND GIVE SITE IDENTIFICATION NO.

CONTACT PHONE NUMBER:  
1-800-242-7622

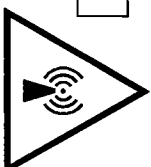
SITE IDENTIFICATION NUMBER:  
PSL#123823

LOCATION OF EQUIPMENT:

- ROOFTOP
  - OTHER
- THIS EQUIPMENT HAS BATTERY BACKUP:  
 ROOFTOP  
 OTHER

## CAUTION SIGN

## NOTICE TO WORKERS



RADIO FREQUENCY ANTENNAS ON THIS ROOF. PLEASE EXERCISE CAUTION AROUND ANTENNAS AND OBEY POSTED SIGNS AND/OR MARKINGS. FOR ACCESS TO RESTRICTED AREAS OR FOR FURTHER INFORMATION, PLEASE CALL 1-800-242-7622 (VERIZON SITE NUMBER 123823)

IN ACCORDANCE WITH FCC RULES 47 CFR 1.1310

## AVISO A TRABAJADORES

EXISTEN ANTENAS DE RADIOFRECUENCIA EN ESTE TECHO. POR FAVOR USE PRECAUCION ALCOROD ANTENNAS Y OBEDEZCA A LAS ZONAS RESTRICTIDAS O PARA OBTENER MAS INFORMACION, LLAME AL TELEFONO 1-888-859-1400 (NUMERO DE SITIO PSL 123810)

DE ACORDO A LAS REGLAS DE FCC 47 CFR 1.1310

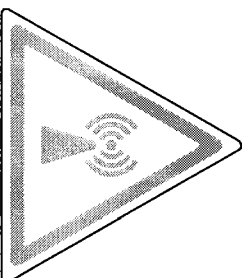
## 工作人員注意

此處字身頂有特種天線裝置。在天線範圍內請小心，並遵照各已張貼之指示及/或標識行事。如需進入禁區範圍或索取更多資料，請致電：1-888-859-1400 (網站區號:123823)

根據FCC規則第47 CFR1.1310條執行

## WARNING SIGN

# CAUTION



BEYOND THIS POINT you are entering a controlled area, where RF emissions may exceed the FCC Occupational Exposure Limits.

Obey all posted signs and site guidelines for working in an RF environment.

Ref: FCC 47CFR 1.1307(b)

## CAUTION SIGN

## SIGNAGE AND STRIPING INFORMATION

THE FOLLOWING INFORMATION IS A GUIDE LINE WITH RESPECT TO PREVAILING STANDARDS LIMITING HUMAN EXPOSURE TO RADIO FREQUENCY ENERGY AND SHOULD BE USED AS SUCH. IF THE SITE'S EMF REPORT OR ANY LOCAL, STATE OR FEDERAL GUIDELINES OR REGULATIONS SHOULD BE IN CONFLICT WITH ANY PART OF THESE NOTES OR PLANS, THE MORE RESTRICTIVE GUIDE LINE OR REGULATION SHALL BE FOLLOWED AND OVER RIDE THE LESSER.

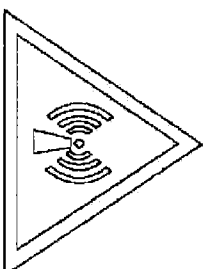
IF THE BOTTOM OF THE ANTENNA IS MOUNTED (8) EIGHT FEET ABOVE THE GROUND OR ROOF LINE OF THE PERSONAL COMMUNICATION SYSTEM (PCS) AND DOES NOT EXCEED THE PUBLIC LIMIT OF RF EXPOSURE LIMIT THEN NO STRIPING OR BARRICADES SHOULD BE NEEDED.

IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS EXCEEDED AND THE AREA IS PUBLICLY ACCESSIBLE (e.g. ROOF ACCESS DOOR THAT CANNOT BE LOCKED OR HAVING A FIRE EGRESS), THEN BOTH BARRICADES AND STRIPING WILL BE NEEDED AROUND THE ANTENNAS. THE EXACT EXTENT OF THE BARRICADES AND STRIPING WILL BE DETERMINED BY THE EMF REPORT FOR THE SITE DONE BEFORE OR SHORTLY AFTER THE CONSTRUCTION OF THE SITE. USE THE PLANS AS A GUIDE LINE FOR PLACEMENT OF SUCH BARRICADES AND STRIPING.

IF THE PUBLIC LIMIT OF RF EXPOSURE ON THE SITE IS NOT EXCEEDED AND THE AREA IS NOT PUBLICLY ACCESSIBLE (e.g. ROOF ACCESS DOOR IS LOCKED), THEN JUST STRIPING OUT THE PUBLIC LIMIT WILL BE NEEDED AROUND THE ANTENNAS. THE EXACT EXTENT OF THE STRIPING WILL BE DETERMINED BY THE EMF REPORT FOR THE SITE DONE BEFORE OR SHORTLY AFTER THE CONSTRUCTION OF THE SITE. USE THE PLANS AS A GUIDE LINE FOR PLACEMENT OF SUCH STRIPING.

ALL TRANSMIT ANTENNAS REQUIRE A (3) THREE LANGUAGE WARNING SIGN WRITTEN IN ENGLISH, SPANISH, AND CHINESE. THIS SIGN WILL BE PROVIDED TO THE CONTRACTOR BY THE AT&T CONSTRUCTION MANAGER AT THE TIME OF CONSTRUCTION. THE LARGER SIGN SHALL BE PLACED AT ALL ROOF ACCESS LOCATIONS AND ON ALL BARRICADES IN PLANE SITE AND THE SMALLER SIGN SHALL BE PLACED ON THE ANTENNAS THEMSELVES OR ON THE OUTSIDE OF ANY PERSON ON THE ROOF. WARNING SIGNS SHALL COMPLY WITH ANSI C95.2 COLOR, SYMBOL, AND CONTENT CONVENTIONS. ALL SIGNS WILL HAVE VERIZON'S NAME AND THE COMPANY CONTACT INFORMATION (e.g. TELEPHONE NUMBER) TO ARRANGE FOR ACCESS TO THE RESTRICTED AREAS. THIS TELEPHONE NUMBER WILL BE PROVIDED TO THE CONTRACTOR BY THE VERIZON WIRELESS CONSTRUCTION PROJECT MANAGER AT THE TIME OF CONSTRUCTION.

PHOTOS OF ALL STRIPING, BARRICADES, AND SIGNAGE WILL BE PART OF THE CONTRACTORS CLOSE OUT PACKAGE AND WILL BE TURNED INTO THE VERIZON WIRELESS CONSTRUCTION PROJECT MANAGER AT THE END OF CONSTRUCTION. STRIPING SHALL BE DONE WITH FADE RESISTANT YELLOW SAFETY PAINT IN A CROSS HATCH PATTERN. ALL BARRICADES SHALL BE MADE OF AN RF FRIENDLY MATERIAL SO THAT THEY DO NOT BLOCK OR INTERFERE WITH THE OPERATION OF THE SITE AND SHALL BE PAINTED WITH FADE RESISTANT YELLOW SAFETY PAINT. THE CONTRACTOR SHALL PROVIDE ALL RF FRIENDLY BARRICADES NEEDED AND SHALL PROVIDE THE VERIZON CONSTRUCTION PROJECT MANAGER WITH A DETAILED SHOP DRAWING OF EACH BARRICADE.



## WARNING

HIGH RADIO FREQUENCY EXPOSURE AREA

KEEP BACK 7 FEET FROM THIS ANTENNA. IF ACCESS IS REQUIRED WITHIN THIS DISTANCE, PLEASE CONTACT ANTENNA OWNER BEFORE APPROACHING.

ADVERTENCIA  
AREA DE EXPOSICION DE ALIAS FRECUENCIAS DE RADIO

MANTENERSE A 7 PIES DE DISTANCIA DE ESTA ANTENA. SI ES NECESARIO ALCORODSE MAS, COMUNIQUESE CON EL PROPIETARIO DE LA ANTENA ANTES DE HACERLO.

## 警告

高頻無線電場暴露地區

此處字身頂有特種天線裝置。在天線範圍內請小心，並遵照各已張貼之指示及/或標識行事。如需進入禁區範圍或索取更多資料，請致電：1-888-859-1400 (網站區號:123823)

PHONE NUMBER/NUMERO TELEFONO: 123823  
TOPPER JOHNSTON, (415) 705-6500  
OWNER PROJECT/PROYECTO: 123823  
SITE NUMBER/NUMERO DEL SITIO: 123823  
Hornell & Company, Inc.

# Foresight

Land Surveying & Civil Engineering

Jim Schuricht  
ph 925-369-8180  
email: foresight@comcast.net

## NSA WIRELESS, INC.

Bishop Ranch 15 1st Floor  
12647 Alcosta Blvd, Suite 110  
San Ramon, CA 94583  
Office: 925-244-1890  
Fax: 925-355-0672

## Verizon wireless

2785 MITCHELL DRIVE, BLDG 9  
WALNUT CREEK, CA 94598  
OFFICE: (925) 279-6000  
TOM KROHN  
(925) 279-6329  
PSL NO.123823  
6TH STREET  
832 FOLSOM ST  
SAN FRANCISCO, CA  
SAN FRANCISCO COUNTY

## VERIZON WIRELESS EQUIP. ENGINEER:

SIGNATURE DATE  
VERIZON WIRELESS  
REAL ESTATE:

SIGNATURE DATE  
VERIZON WIRELESS  
CONSTRUCTION:

SIGNATURE DATE  
VERIZON WIRELESS  
RF ENGINEER:

SIGNATURE DATE  
PROPERTY OWNER:

SIGNATURE DATE

DRAWN BY CHECKED BY

LAM

NO. DATE ISSUE  
A 03/18/09 FOR REVIEW  
0 07/14/09 PER COMMENTS

SHEET TITLE

## SITE SIGNAGE

SHEET NUMBER

T-4

FORESIGHT JOB # 500909

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 VERIZON WIRELESS  
 REAL ESTATE:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 VERIZON WIRELESS  
 CONSTRUCTION:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 VERIZON WIRELESS  
 RF ENGINEER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 PROPERTY OWNER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY \_\_\_\_\_ CHECKED BY \_\_\_\_\_

| LAW | NO.      | DATE     | ISSUE                   |
|-----|----------|----------|-------------------------|
| A   | 03/18/09 | 07/14/09 | FOR REVIEW PER COMMENTS |
| 0   |          |          |                         |

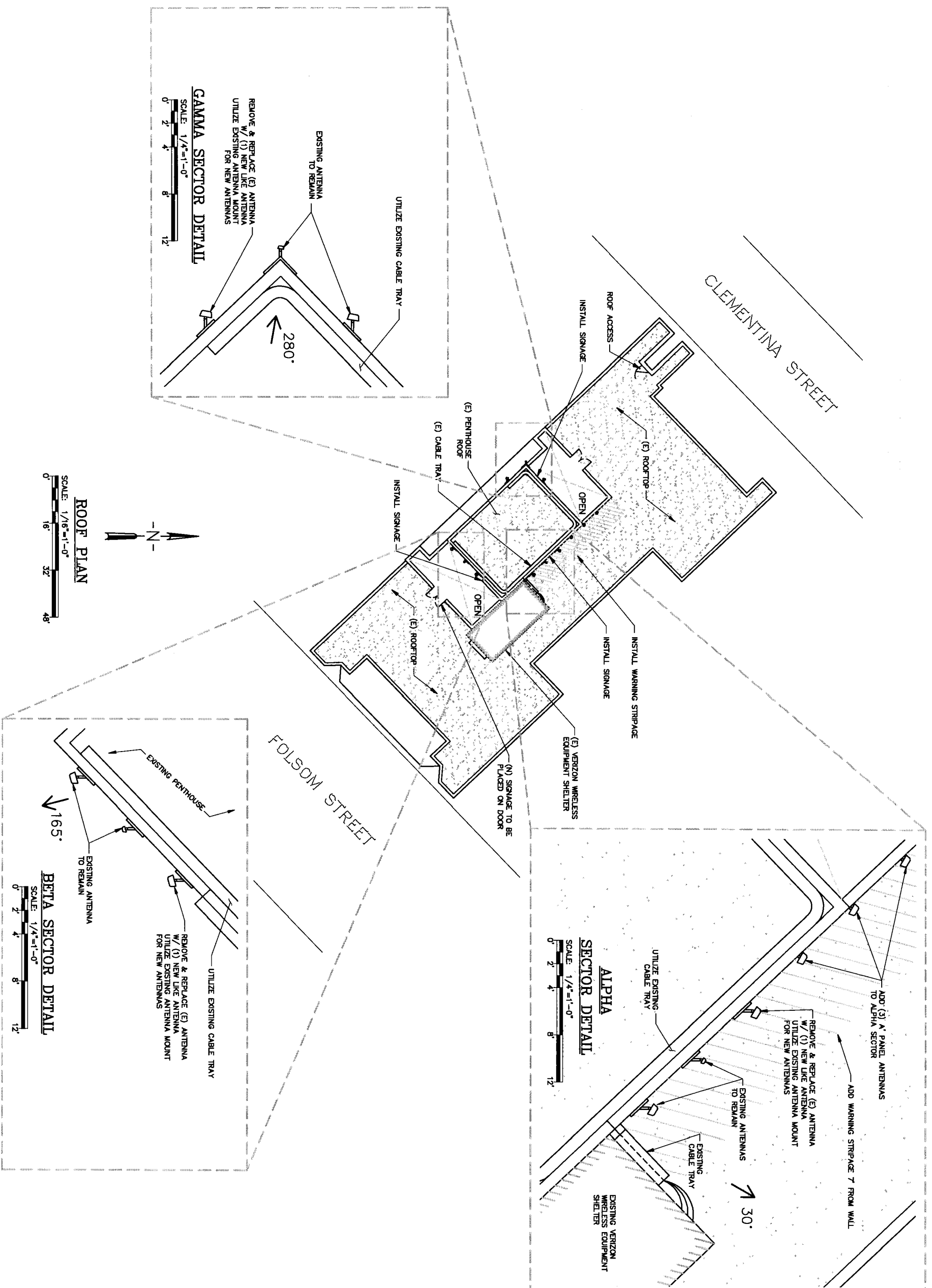
SHEET TITLE \_\_\_\_\_

**SITE PLAN**

SHEET NUMBER \_\_\_\_\_

**A-1**

FORESIGHT JOB # 500909



**ROOF PLAN**  
 SCALE: 1/16" = 1'-0"  
 0' 16' 32' 48'

**GAMMA SECTOR DETAIL**  
 SCALE: 1/4" = 1'-0"  
 0' 2' 4' 8' 12'

**ALPHA SECTOR DETAIL**  
 SCALE: 1/4" = 1'-0"  
 0' 2' 4' 8' 12'

**BETA SECTOR DETAIL**  
 SCALE: 1/4" = 1'-0"  
 0' 2' 4' 8' 12'

REMOVE AND REPLACE EXISTING ANTENNA  
W/ (1) NEW LIKE ANTENNA  
(HIDDEN BEHIND EXISTING ANTENNA)

EXISTING ANTENNA TO REMAIN

GAMMA SECTOR

ALPHA SECTOR

(E) VERIZON WIRELESS  
EQUIPMENT SHELTER

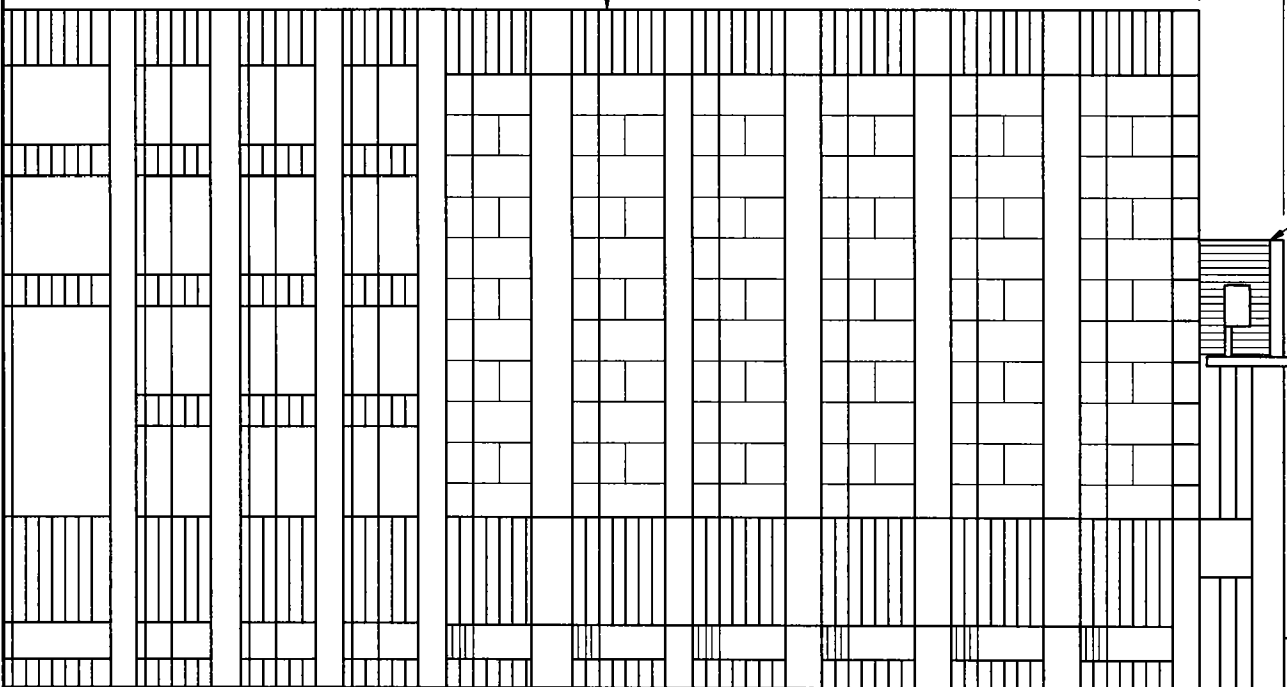
ANTENNA RAD CENTER  
= 147 ± AGL

TOP (E) PARAPET/TOP (E) ANTENNAS  
= 149 ± AGL

TOP EXISTING PARAPET  
= 137-0 ± AGL

TOP EXISTING PARAPET  
= 128-0 ± AGL

EXISTING  
BUILDING



WEST ELEVATION



EXISTING ANTENNA TO REMAIN

BETA SECTOR

REMOVE AND REPLACE EXISTING ANTENNA  
W/ (1) NEW LIKE ANTENNA

ALPHA SECTOR

(E) VERIZON WIRELESS  
EQUIPMENT SHELTER

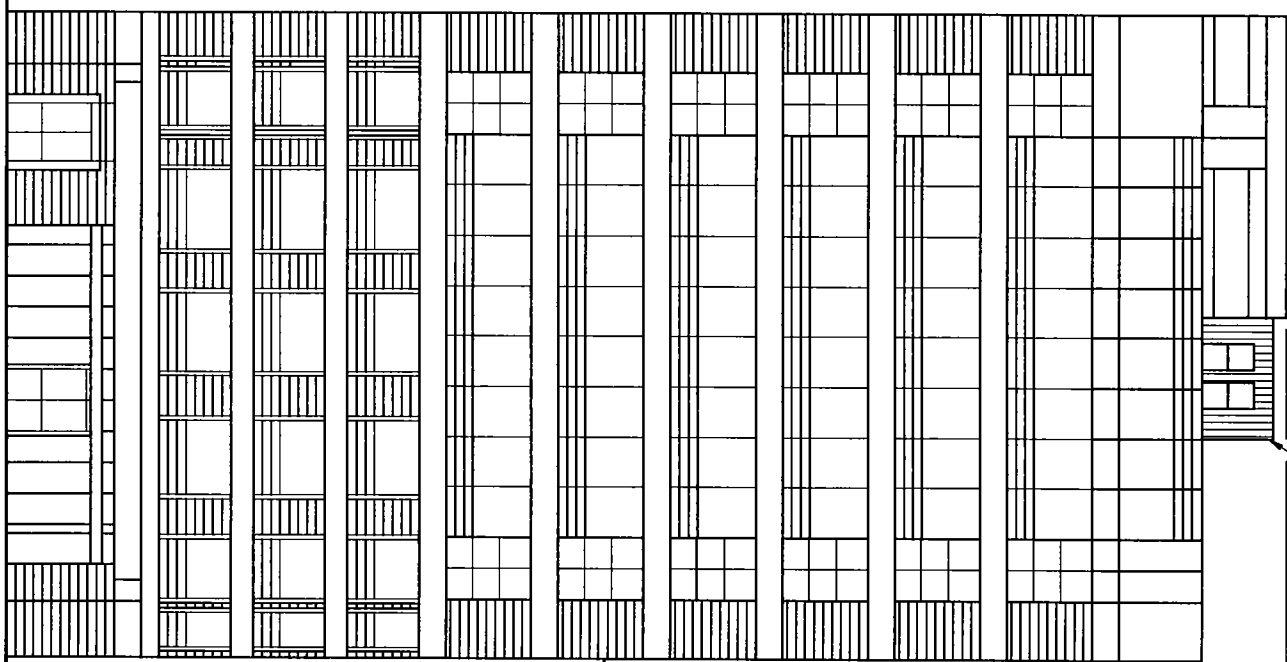
ANTENNA RAD CENTER  
= 147 ± AGL

TOP (E) PARAPET/TOP (E) ANTENNAS  
= 149 ± AGL

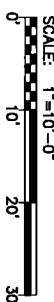
TOP EXISTING PARAPET  
= 137-0 ± AGL

TOP EXISTING PARAPET  
= 128-0 ± AGL

EXISTING  
BUILDING



EAST ELEVATION



**Foresight**

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PSL NO.123823  
6TH STREET  
832 FOLSOM STREET  
SAN FRANCISCO, CA  
SAN FRANCISCO COUNTY

VERIZON WIRELESS  
EQUIP. ENGINEER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
VERIZON WIRELESS  
REAL ESTATE:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
VERIZON WIRELESS  
CONSTRUCTION:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
VERIZON WIRELESS  
RF ENGINEER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
PROPERTY OWNER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
DRAWN BY \_\_\_\_\_ CHECKED BY \_\_\_\_\_  
PAW

NO. DATE ISSUE  
A 03/18/09 FOR REVIEW  
0 07/14/09 PER COMMENTS

SHEET TITLE  
**ELEVATIONS  
VIEWS**

SHEET NUMBER

A-2

FORESIGHT JOB # 500909

REMOVE AND REPLACE EXISTING ANTENNA  
W/ (1) NEW LIKE ANTENNA

EXISTING ANTENNA TO REMAIN

ALPHA SECTOR

ADD (3) 4' PANEL ANTENNAS  
TO ALPHA SECTOR

GAMMA SECTOR

TOP (E) PARAPET/TOP (E) ANTENNAS  
= 149' ± AGL

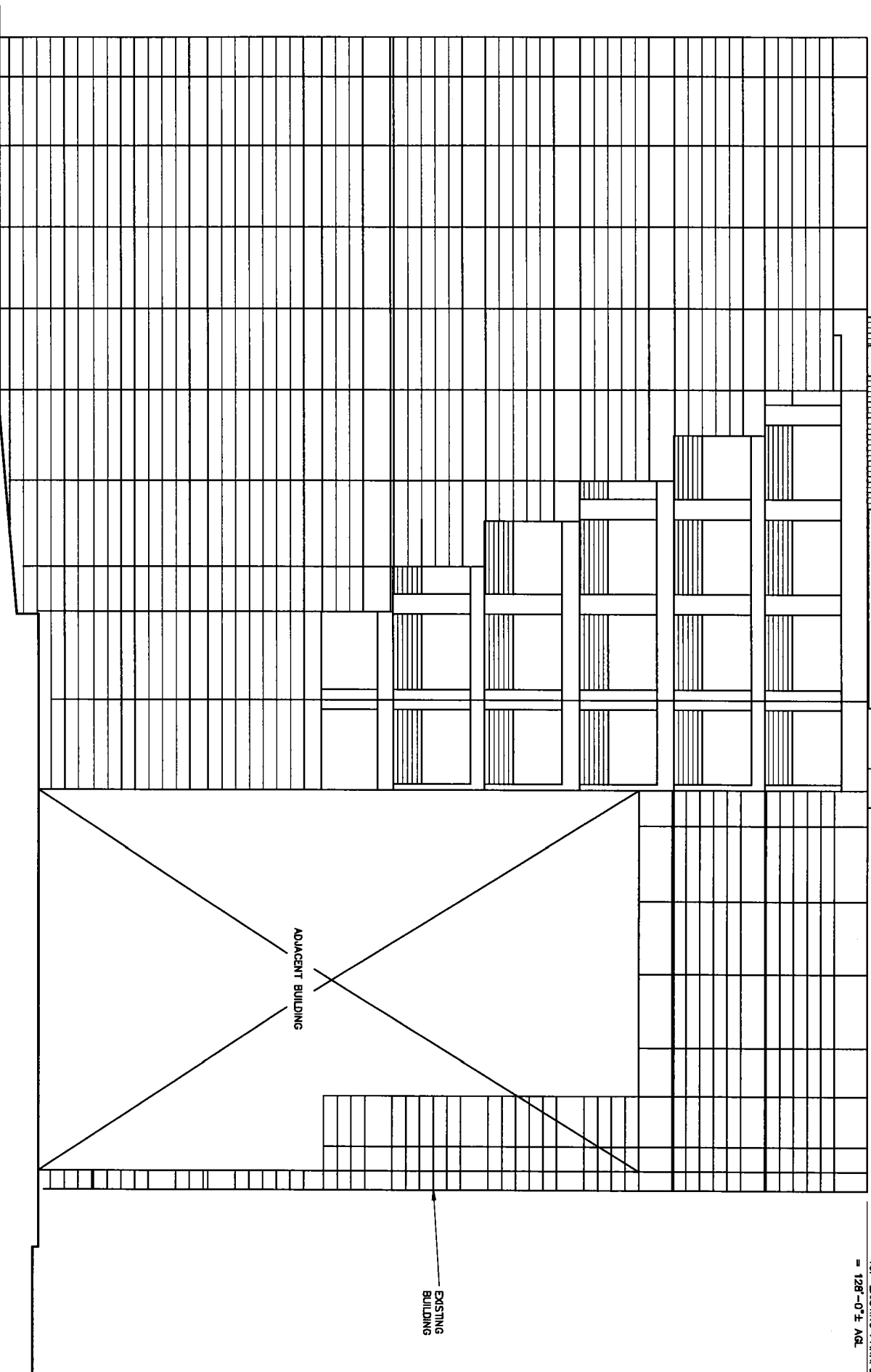
TOP EXISTING PARAPET  
= 137'-0" ± AGL

TOP EXISTING PARAPET  
= 128'-0" ± AGL

EXISTING VERIZON WIRELESS  
EQUIPMENT SHELTER

EXISTING VERIZON WIRELESS  
CABLE TRAY

ANTENNA RAD CENTER  
= 147' ± AGL



ADJACENT BUILDING

EXISTING  
BUILDING

**NORTH ELEVATION**

SCALE: 1"=10'-0"  
0 10' 20' 30'

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VERIZON WIRELESS  
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VERIZON WIRELESS  
CONSTRUCTION:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
VERIZON WIRELESS  
RF ENGINEER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
PROPERTY OWNER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY \_\_\_\_\_ CHECKED BY \_\_\_\_\_

PAM

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SHEET TITLE \_\_\_\_\_

**ELEVATIONS  
VIEW**

SHEET NUMBER \_\_\_\_\_

**A-3**

FORESIGHT JOB # 500909



VERIZON WIRELESS  
 EQUIP. ENGINEER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 VERIZON WIRELESS  
 REAL ESTATE:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 VERIZON WIRELESS  
 CONSTRUCTION:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 VERIZON WIRELESS  
 RF ENGINEER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 PROPERTY OWNER:

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY \_\_\_\_\_ CHECKED BY \_\_\_\_\_  
 PAM

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|-----|----------|--------------|
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| 0   | 07/14/09 | PER COMMENTS |

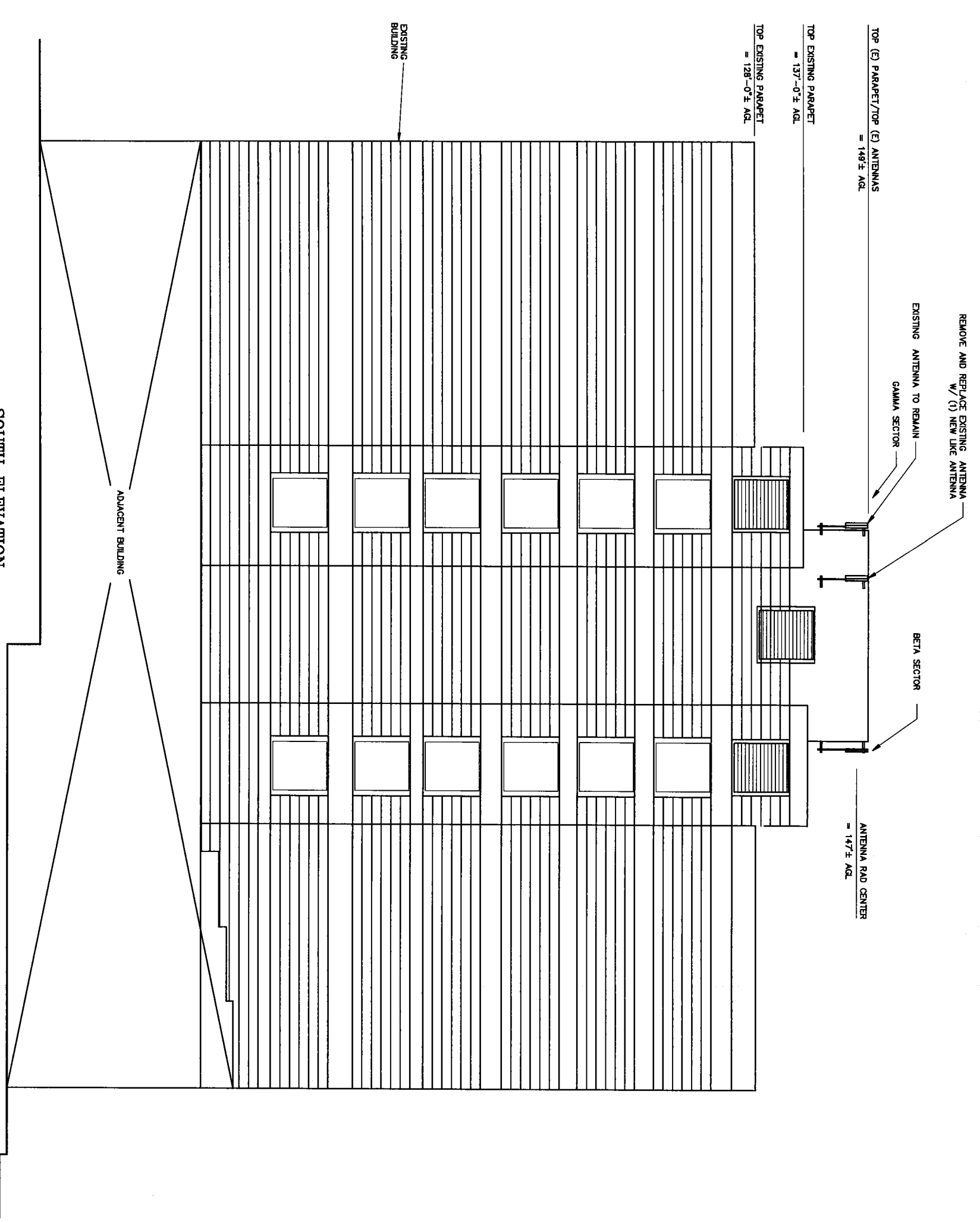
SHEET TITLE \_\_\_\_\_

**ELEVATION  
 VIEW**

SHEET NUMBER \_\_\_\_\_

**A-4**

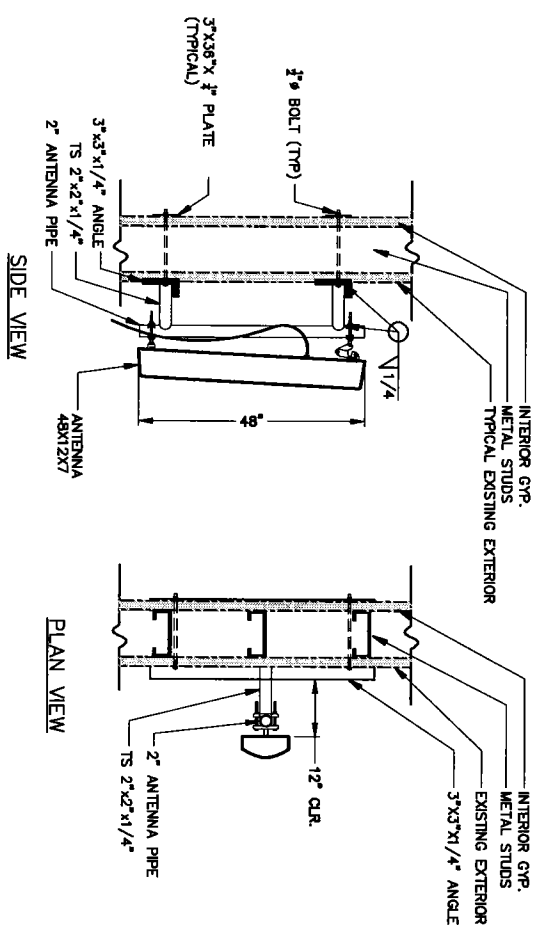
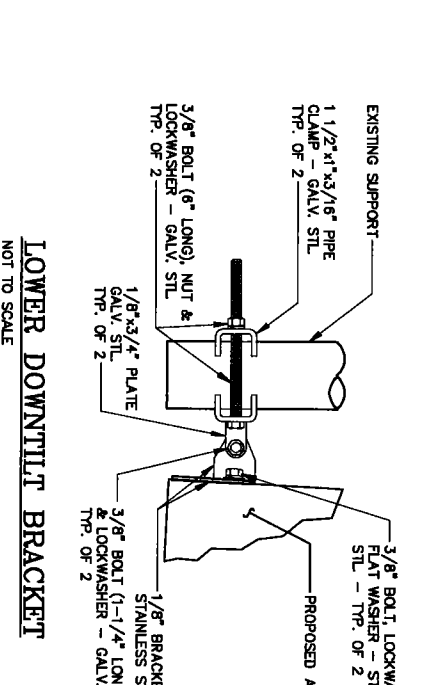
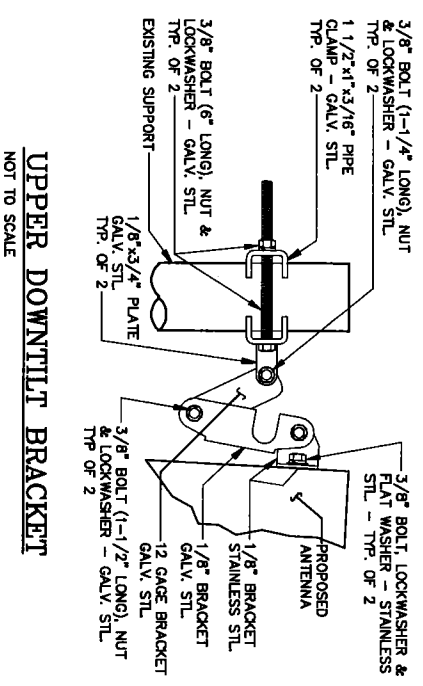
FORESIGHT JOB # 500909



**SOUTH ELEVATION**  
 SCALE: 1"=10'-0"  
 0' 10' 20' 30'

**DESIGN CONFORMS TO THE CALIFORNIA BUILDING CODE, 2007 EDITION.**

1. THE CONTRACTOR SHALL NOTIFY FORESIGHT (WHERE REQUIRED) OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AS THEY MAY BE DISCOVERED IN PLANS, DOCUMENTS, NOTES, OR SPECIFICATIONS PRIOR TO STARTING CONSTRUCTION INCLUDING, BUT NOT LIMITED BY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF FORESIGHT AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY HHM DESIGN GROUP.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK. DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO FORESIGHT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUB-CONTRACTOR.
3. A COPY OF GOVERNING AGENCY APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW, SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION GOVERNING AGENCY APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS, IN GOOD CONDITION, COMPLETE WITH ALL REVISIONS, ADDENDA, AND/OR CHANGE ORDERS AT THE CONCLUSION OR THE WORK AS A PART OF THE AS-BUILT DRAWINGS RECORDS.
4. THE CONTRACTOR SHALL STUDY THE STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING PLANS AND CROSS CHECK THEIR DETAILS, NOTES, DIMENSIONS, AND ALL REQUIREMENTS PRIOR TO THE START OF ANY WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT AND SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
6. THE CONTRACTOR HAS THE RESPONSIBILITY OF LOCATING ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR, OR SUB-CONTRACTOR AND CONTRACTOR, SHALL BEAR THE EXPENSES OF REPAIR AND/OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
7. THE REFERENCES OF THE DRAWINGS ARE FOR CONVENIENCE ONLY AND SHALL NOT LIMIT THE APPLICATION OF THE DRAWINGS OR DETAILS.
8. ALL CONSTRUCTION THROUGHOUT THE PROJECT SHALL CONFORM TO TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS, EXCEPT WHERE EXEMPTED.
9. THE GOVERNING AGENCIES, CODE AUTHORITIES AND BUILDING INSPECTORS SHALL FINISHES USED THROUGHOUT THE PROJECT. TRADE STANDARDS AND/OR PUBLISHED MANUFACTURERS SPECIFICATIONS MEETING OR EXCEEDING DESIGN REQUIREMENTS SHALL BE USED FOR INSTALLATION.
10. DRAWINGS ARE NOT TO BE SEALED UNDER ANY CIRCUMSTANCES. FORESIGHT IS NOT RESPONSIBLE FOR ANY ERRORS RESULTING FROM THIS PRACTICE WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS.
11. THE PROJECT, WHEN COMPLETED SHALL COMPLY WITH LOCAL SECURITY CODES AND TITLE 24 ENERGY CONSERVATION REQUIREMENTS. (TITLE 24 WHEN APPLICABLE)
12. CONTRACTOR TO REPLACE AND/OR REROUTE ANY EXISTING UNDERGROUND UTILITIES ENCOUNTERED DURING TRENCHING AND GENERAL CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A PROJECT LEAVE, STRAIGHT, AND TRUE ACCORDING TO THE PLANS. THE CONTRACTOR SHALL LOCATE THE LINES AND LEVELS OF THE EXISTING CONDITIONS WITH THOSE SHOWN OF THE PLANS PRIOR TO START OF ANY CONSTRUCTION.
14. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKING, BLOCKING, AND/OR SLEEVES REQUIRED FOR THE INSTALLATION OF FIXTURES, MECHANICAL EQUIPMENT, PLUMBING, HARDWARE, AND FINISH ITEMS TO INSURE A PROPER AND COMPLETE JOB.
15. TRADES INVOLVED IN THE PROJECT SHALL BE RESPONSIBLE FOR THEIR OWN CUTTING, FITTING, FATHOMING, ETC. SO AS TO BE RECEIVED PROPERLY BY THE WORK OF OTHER TRADES.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY ALL FAULTY INTERIOR, AND/OR IMPROPER MATERIALS, DAMAGED GOODS, AND/OR FAULTY WORKMANSHIP FOR ONE (1) YEAR AFTER THE PROJECT IS COMPLETE AND ACCEPTED UNDER THIS CONTRACT, UNLESS NOTED OTHERWISE IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR.
17. THE CONTRACTOR SHALL BE REQUIRED TO PAY FOR ALL NECESSARY PERMITS AND/OR FEES WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR THEIR REPRESENTATIVE. CONTRACTOR SHALL OBTAIN AND MAKE FINAL PAYMENT FOR SAID DOCUMENT.
18. FIRE EXTINGUISHER REQUIREMENTS SHALL BE VERIFIED WITH THE LOCAL FIRE MARSHALL.
19. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO PLACEMENT OF NEW IMPROVEMENTS.
20. IF NECESSARY THE CONTRACTOR TO PROVIDE TRENCH AS REQUIRED TO INSTALL BOTH ELECTRICAL AND TELEPHONE UNDERGROUND CONDUITS (40 PVC), BACKFILL WITH CLEAN SAND AND COMPACT TO THE SATISFACTION OF THE DISTRICTS INSPECTOR. REPLACE FINISH GRADE WITH MATCHING MATERIALS (GRASS, ASPHALT, CONCRETE, ETC.).
21. IF NECESSARY THE CONTRACTOR TO PROVIDE HEAVY STEEL PLATES AT OPEN TRENCHES FOR SAFETY AND TO PROTECT EXISTING GROUND SURFACES FROM HEAVY EQUIPMENT UTILIZED DURING CONSTRUCTION.
22. IF NECESSARY THE CONTRACTOR TO PATCH AND REPAIR ALL GROUND SURFACES WITHIN THE CONSTRUCTION AREA AS NECESSARY TO PROVIDE A UNIFORM SURFACE AND MAINTAIN EXISTING SURFACE DRAINAGE SLOPES.



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**DRAWN BY** \_\_\_\_\_ **CHECKED BY** \_\_\_\_\_  
**PGM**

**NO.** \_\_\_\_\_ **DATE** \_\_\_\_\_ **ISSUE** \_\_\_\_\_  
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**0** 07/14/09 PER COMMENTS

**SHEET TITLE**  
**ANT MOUNT  
DETAIL**  
**SHEET NUMBER**  
**A-5**

**FORESIGHT JOB # 500909**