



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Abbreviated Analysis HEARING DATE: AUGUST 12, 2010

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: August 5, 2010
Case No.: **2009.0640D**
Project Address: **380 – 382 19th Avenue**
Zoning: RM-1 (Mixed, Low-Density)
40-X Height and Bulk District
Block/Lot: 1450/019C
Project Sponsor: Hawk Lee
1609 Noriega Street
San Francisco, CA 94122
Staff Contact: Sara Vellve – (415) 588-6263
Sara.Vellve@sfgov.org
Recommendation: **Do not take DR and approve as proposed**

PROJECT DESCRIPTION

The proposal is to construct vertical and horizontal additions to the existing two-family dwelling per the enclosed plans. The proposed fourth floor would be set back from the front building wall by approximately five feet, which is consistent with the adjacent structure to the north. A roof deck would be located on the fourth-floor roof with a stair penthouse to provide access. Rear decks are not proposed. A side set back and decks located on the north side of the proposed addition would generally match those of the adjacent structure to the north.

SITE DESCRIPTION AND PRESENT USE

The Subject Property measures approximately 1,940 square feet and contains a two-family dwelling. The property is flat and is approximately 50 shorter in depth than that of the adjacent neighbor who filed the request for discretionary review.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The property is located on the east side of 19th Avenue, one lot north of Geary Boulevard. The neighborhood buildings contain one to six dwellings each and are of a mixed architectural style.

BUILDING PERMIT NOTIFICATION

TYPE	REQUIRED PERIOD	NOTIFICATION DATES	DR FILE DATE	DR HEARING DATE	FILING TO HEARING TIME
311 Notice	30 days	June 11, 2009 – July 12, 2009	July 10, 2009	August 12, 2010	+ 365 days

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	August 2, 2010	August 1, 2010	11 days
Mailed Notice	10 days	August 2, 2010	July 29, 2010	15 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)	0	1	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

The Department has not received correspondence from other neighborhood residents or groups.

In response to the issues raised by the DR Requestor, the Project Sponsor has increased the width of a side setback adjacent to the DR requestor from three to five feet, eliminated decks within the side setback and replaced doors with windows, proposed frosted glass on all windows facing the DR requestor and eliminated a door in the developed area of the ground floor.

DR REQUESTOR

Jerry and Christina Cheng: 378 – 19th Avenue, SF, 94121.

DR REQUESTOR'S CONCERNS AND PROPOSED ALTERNATIVES

See attached DR Application, dated July 10, 2009.

[THE DR REQUESTOR PROVIDED AN EMAIL IN JUNE OF 2010 INDICATING THAT THEY INTEND TO WITHDRAW THEIR REQUEST FOR DR. TO DATE, THE DEPARTMENT HAS NOT RECEIVED CORRESPONDENCE WITHDRAWING THE DR. THE EMAIL IS ATTACHED FOR REFERENCE.](#)

PROJECT SPONSOR'S RESPONSE TO DR APPLICATION

See attached DR Response.

ENVIRONMENTAL REVIEW

The Department has determined that the Project is exempt from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

RESIDENTIAL DESIGN TEAM REVIEW

The request for Discretionary Review was reviewed by the Department's Residential Design Team (RDT) on September 3, 2009. The RDT found that a five foot setback along the north side property line should be provided. The proposal has been revised to provide this setback; therefore, there are no exceptional or extraordinary circumstances associated with the property or the project. Based on the following findings, the RDT determined that this Project should be approved as proposed, and categorized as an Abbreviated Discretionary Review:

1. As revised, the Project does not result in any unusual privacy or light impacts on the DR Requestor's property
2. Private views are not protected.
3. This project does not contain or create any exceptional or extraordinary circumstances.

Under the Commission's pending DR Reform Legislation, this Project would not be referred to the Commission as this Project does not contain or create any exceptional or extraordinary circumstances.

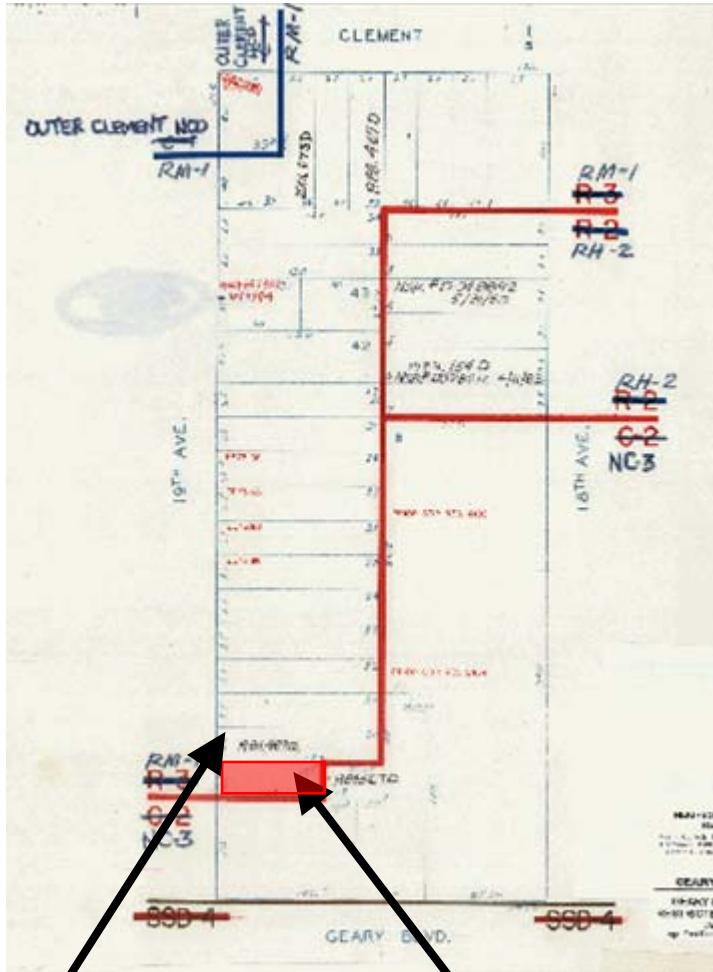
RECOMMENDATION: Do not take DR and approve Project as revised

Attachments:

Block Book Map
Sanborn Map
Aerial Photographs
Context Photographs
Section 311 Notice
DR Application
DR Requestor email stating intent to withdraw
Response to DR Application
Reduced Plans

SVG:IDOCUMENTS\DR Cases\380 - 19th Ave\DR Analysis - Abbreviated.doc

Parcel Map



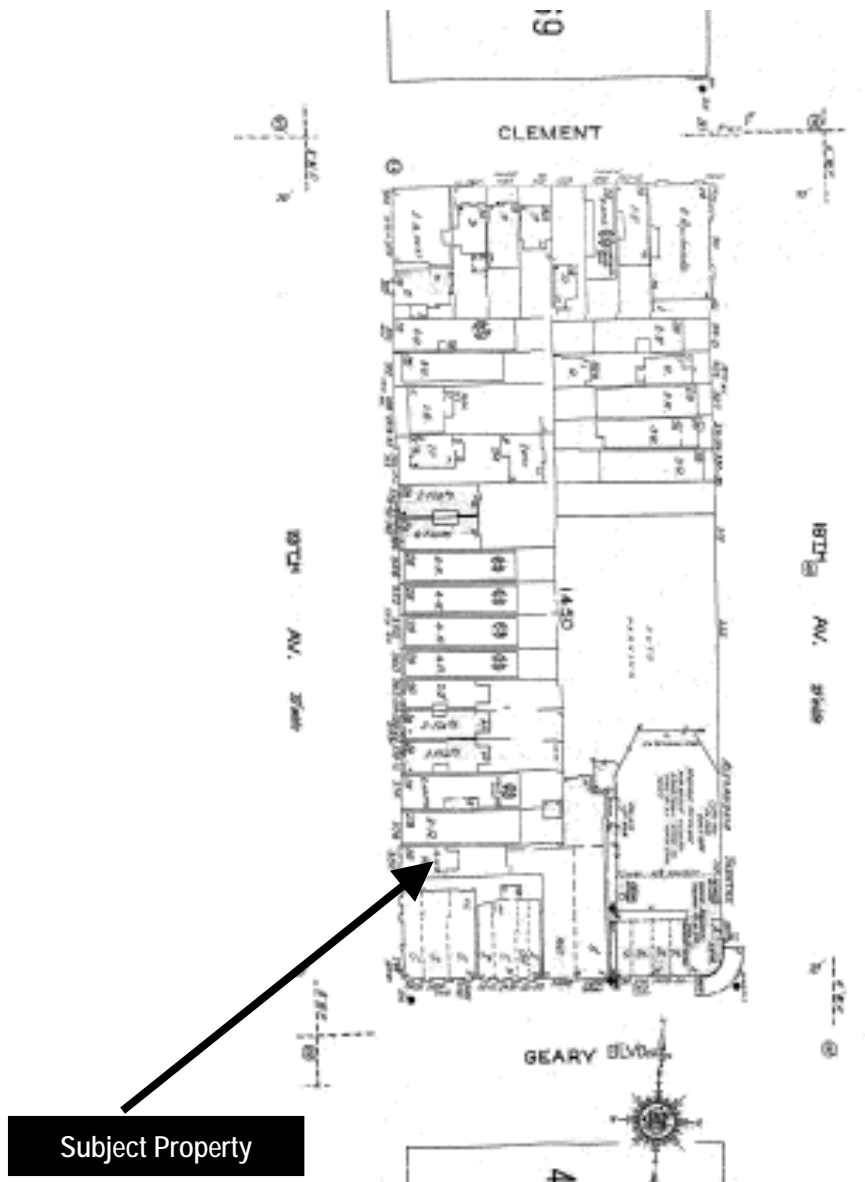
DR REQUESTOR PROPERTY

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2009.0640D
380 – 382 19th Avenue

Sanborn Map*



**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



Aerial Photo



SUBJECT PROPERTY

DR REQUESTORS PROPERTY



Discretionary Review Hearing
Case Number 2009.0640D
380 – 382 19th Avenue

Context Photos



Subject Property (pink), DR Requestor's Property (blue)



Block face opposite of project site

Discretionary Review Hearing
Case Number 2009.0640D
380 – 382 19th Avenue



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On April 24, 2008, the Applicant named below filed Building Permit Application No. 2008.04.24.0526 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Hawk Lee	Project Address:	380 – 382 19 th Avenue
Address:	1609 Noriega Street	Cross Streets:	Geary Boulevard/Clement Street
City, State:	San Francisco, CA 94122	Assessor's Block /Lot No.:	1450/019C
Telephone:	(415) 681 - 6325	Zoning Districts:	RM-1 /40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS <input type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input type="checkbox"/> HORIZ. EXTENSION (SIDE) <input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)
PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
FRONT SETBACK	+ 0 feet	No Change
SIDE SETBACKS (north)	As Is	No Change
SIDE SETBACKS (south)	As Is	No Change
BUILDING DEPTH	+ 42 feet	+ 57 feet
REAR YARD	+ 35 feet	+ 20 feet
HEIGHT OF BUILDING (to roof)	+ 26 feet	+ 35 feet
NUMBER OF STORIES	3	4
NUMBER OF DWELLING UNITS	2	2
NUMBER OF OFF-STREET PARKING SPACES	2	2
PROJECT DESCRIPTION		

The proposal is to construct vertical and horizontal additions to the existing two-family dwelling per the enclosed plans. The proposed fourth floor would be set back from the front building wall by approximately five feet, which is consistent with the adjacent structure to the north. A roof deck would be located on the fourth-floor roof with a stair penthouse to provide access. Rear decks are not proposed. A side set back and decks located on the north side of the proposed addition should generally match those of the adjacent structure to the north.

PLANNER'S NAME: Sara Vellve
 PHONE NUMBER: (415) 558-6263
 FAX NUMBER: (415) 558-6409
 EMAIL: Sara.Vellve@sfgov.org

DATE OF THIS NOTICE:
 EXPIRATION DATE:

6/11/09
 7/12/09

APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name JERRY & CHRISTINA CHENG Telephone No: (415) 221-9931

D.R. Applicant's Address 378-19TH AVE #3
Number & Street (Apt. #)
SAN FRANCISCO 94121
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): (415) 221-9931
If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name _____ Telephone No: _____
Address _____
Number & Street (Apt. #)
City Zip Code

Address of the property that you are requesting the Commission consider under the Discretionary Review: 380-382 19TH AVE, SAN FRANCISCO, CA 94121

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: WILLIAM WU (HAWKLEE 601-6325)

Building Permit Application Number of the project for which you are requesting D.R.: 2008.04.24.0526

Where is your property located in relation to the permit applicant's property?
ADJACENT ON THE NORTH SIDE

A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

1. Have you discussed this project with the permit applicant? YES NO
2. Did you discuss the project with the Planning Department permit review planner? YES NO
3. Did you participate in outside mediation on this case? Community Board Other NO

09.0640D

4. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the results, including any changes that were made to the proposed project so far.

ON JULY 6, 2009 WE MET WITH THE PERMIT APPLICANT AND HIS ARCHITECT AT HIS OFFICE FOR ~45 MINUTES. WE DISCUSSED OUR CONCERNS AND THEY DID NOT AGREE TO ANY OF OUR SUGGESTED CHANGES. LATER THAT DAY, WE WENT TO THE SF PLANNING DEPT AND SPOKE TO A GENTLEMAN AT THE COUNTER, WHO SUGGESTED WE FILE A DR TO ASK THE PLANNING COMMISSION TO EXERCISE ITS POWER TO GET THE PERMIT APPLICANT TO ACCEPT OUR SUGGESTED CHANGES.

B. DISCRETIONARY REVIEW REQUEST

- 127 What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

THERE WILL BE AN EXTRAORDINARY INVASION OF PRIVACY AND EXCEPTIONAL LOSS OF SUNLIGHT WITH THE CURRENT PLANS, WHICH HAS THEIR PROPOSED NORTH-FACING DOORS, DECKS, AND WINDOWS DIRECTLY OPPOSITE SIX OF OUR BUILDING'S WINDOWS. THE HEIGHT OF THEIR BUILDING AND PENTHOUSE WILL ALSO BLOCK SEVERAL HOURS OF SUNLIGHT TO OUR WINDOWS AND THIRD FLOOR SKYLIGHT.

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

ALL THE INHABITANTS OF OUR BUILDING WILL BE AFFECTED. THIS INCLUDES OUR FAMILY OF FIVE, AND FOUR TENANTS IN UNIT #1 AND #2. MY FAMILY AND TENANTS WILL ALL SUFFER A TREMENDOUS LOSS OF PRIVACY, SUNLIGHT, AND VIEWS. ALSO, THERE WILL CERTAINLY BE SUBSTANTIAL ECONOMIC CONSEQUENCES. OUR RENTAL UNITS WILL BE MUCH LESS DESIRABLE, LEADING TO LOWER RENT AND MORE DIFFICULTY FINDING TENANTS, IF THE CURRENT PLAN IS ALLOWED.

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

CHANGES REQUESTED:

- 1) INCREASE SETBACK FROM 3 FEET TO 5 FEET (JUST LIKE OUR BUILDING), WHICH WILL HELP IN NOT BLOCKING OUR SUNLIGHT.
- 2) ELIMINATE PENTHOUSE SO THAT IT DOES NOT FURTHER BLOCK OUR SUNLIGHT AND VIEWS. IF BUILT, IT WILL BE HIGHER THAN OUR BUILDING.
- 3) MOVE FOURTH FLOOR DOOR SO THAT IT DOES NOT OPEN DIRECTLY OPPOSITE OUR WINDOW. IF NOT POSSIBLE, PLEASE ELIMINATE THE DOOR.
- 4) MOVE SMALL DECK (3' X 3') ON FOURTH FLOOR SO THAT ITS ~~DOOR~~ NOT DIRECTLY OPPOSITE OUR 2 WINDOW. IF NOT POSSIBLE, PLEASE ELIMINATE DECK.
- 5) MOVE SECOND FLOOR SLIDING GLASS DOOR SO THAT IT IS NOT DIRECTLY OPPOSITE OUR SECOND FLOOR WINDOWS. IF NOT POSSIBLE, PLEASE ELIMINATE SLIDING GLASS DOOR.



Jerry Cheng
<jerry_cheng@hotmail.com>
06/23/2010 08:26 AM

To <sara.vellve@sfgov.org>
cc
bcc

Subject 380 - 19th Ave

History:  This message has been replied to and forwarded.

Hi Sara,

Per your request, I am writing that I intend to withdraw my dr for building # 200804240526.

Jerry

The New Busy is not the old busy. Search, chat and e-mail from your inbox. [Get started.](#)



SAN FRANCISCO PLANNING DEPARTMENT

RECEIVED

RESPONSE TO DISCRETIONARY REVIEW

AUG 5 2010

CITY & COUNTY OF S.F.
PLANNING DEPARTMENT
RECEPTION DESK

Case No.: 2009.0640D

Building Permit No.: 2008 04 24 0526

Address: 380-382 19TH AVE

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Project Sponsor's Name: William Wu
Telephone No.: 415 307-3198 (for Planning Department to contact)

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

WE HAVE MADE ALL CHANGES TO PLANS REQUESTED BY DR REQUESTER. HE WAS TO RELEASE THE DR AND HAS NOT RESPONDED

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes. Indicate whether the changes were made before filing your application with the City or after filing the application.

WE ARE WILLING TO DO ALL THAT IS REQUESTED BY DR REQUESTER EXCEPT REMOVE OUR ADDITION OF THE 4TH FLOOR.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Please explain your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.


TO DELETE THE 4TH FLOOR WILL ELIMINATE THE 2ND UNIT WE WANT TO ADD.

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

4. Please supply the following information about the proposed project and the existing improvements on the property.

<u>Number of</u>	<u>Existing</u>	<u>Proposed</u>
Dwelling units (only one kitchen per unit –additional kitchens count as additional units)	<u>2</u>	<u>2</u>
Occupied stories (all levels with habitable rooms) ...	<u>3</u>	<u>4</u>
Basement levels (may include garage or windowless storage rooms)	<u>1</u>	<u>1</u>
Parking spaces (Off-Street)	<u>2</u>	<u>2</u>
Bedrooms	<u>2+2</u>	<u>3+3</u>
Gross square footage (floor area from exterior wall to exterior wall), not including basement and parking areas....	<u>2000^{sq} ft</u>	<u>4013^{sq} ft</u>
Height	<u>30'</u>	<u>38'</u>
Building Depth	<u>42'</u>	<u>58'</u>
Most recent rent received (if any)	<u>∅</u>	<u>\$2500 -</u>
Projected rents after completion of project	<u>∅</u>	<u>\$2500 -</u>
Current value of property	<u>\$600k</u>	<u>\$1,200,000 -</u>
Projected value (sale price) after completion of project (if known)	<u>\$600k</u>	<u>1,200,000 -</u>

I attest that the above information is true to the best of my knowledge.



 Signature

7/29/10

 Date

H. Lee for William Wu

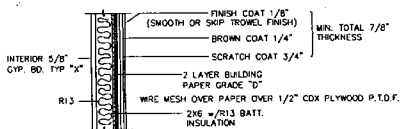
 Name (please print)

BUILDING DATA:

ADDRESS: 380-382 19TH AVENUE.
 STORIES: 4 STORIES
 OCCUPANCY: R-3 (2 UNITS)
 TYPE: 5-1HR
 ZONING: RHI
 BLOCK: 1450 LOT:019C

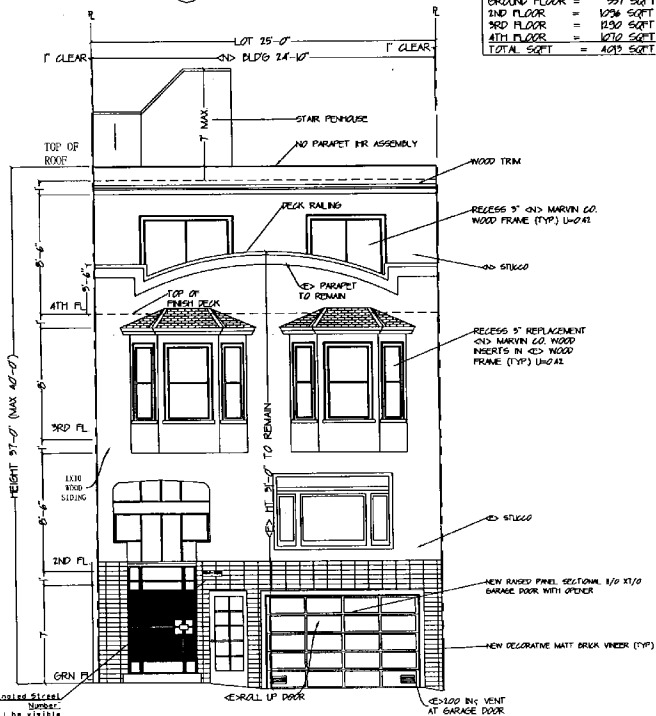
INDEX:

- A1 FRONT ELEVATION & SITE PLAN
- A1-1 FRONT ELEV WITH ADJACENT BLDGS
- A2 ELEVATIONS AND ROOF PLAN
- A3 PROPOSED & EXISTING GRN FL PLANS
- A4 PROPOSED & EXISTING 2ND FL PLANS
- A5 PROPOSED & EXISTING 3RD FL PLANS
- A6 PROPOSED 4TH & ROOFTOP FLOOR PLANS
- A7 SECTIONS



(A) STUCCO DETAIL (SECTION)
 TYPICAL ALL STUCCO SURFACE

AREA ANALYSIS (existing & new)	
GROUND FLOOR	= 557 SQFT
2ND FLOOR	= 1026 SQFT
3RD FLOOR	= 1030 SQFT
4TH FLOOR	= 1070 SQFT
TOTAL SQFT	= 4683 SQFT



PROPOSED FRONT ELEVATION
 (1/4" = 1'-0")

Provide Illuminated Glass Number:
 The numbers shall be visible and legible from the street having contrast against a minimum 1/2" stroke by 2-1/2" minimum height

BY USE OF THESE PLANS THE OWNER AND THE GENERAL CONTRACTOR HAVE AGREED TO INDEMNIFY THE ENGINEER FOR ALL LEGAL COST ASSOCIATED WITH ANY OWNER AND CONTRACTOR DISPUTES AND HOLD ENGINEER HARMLESS. THE ENGINEER'S LIABILITY IS LIMITED TO FEES RECEIVED FOR SERVICES RENDERED.

ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE (CBC 2007), CALIFORNIA PLUMBING CODE (CPC 2007), CALIFORNIA ELECTRICAL CODE SERIES (CEC 2007) AND THE CALIFORNIA MECHANICAL CODE (CMC 2007), INCLUDING ALL CURRENT MUNICIPAL CODES AND AMENDMENTS.

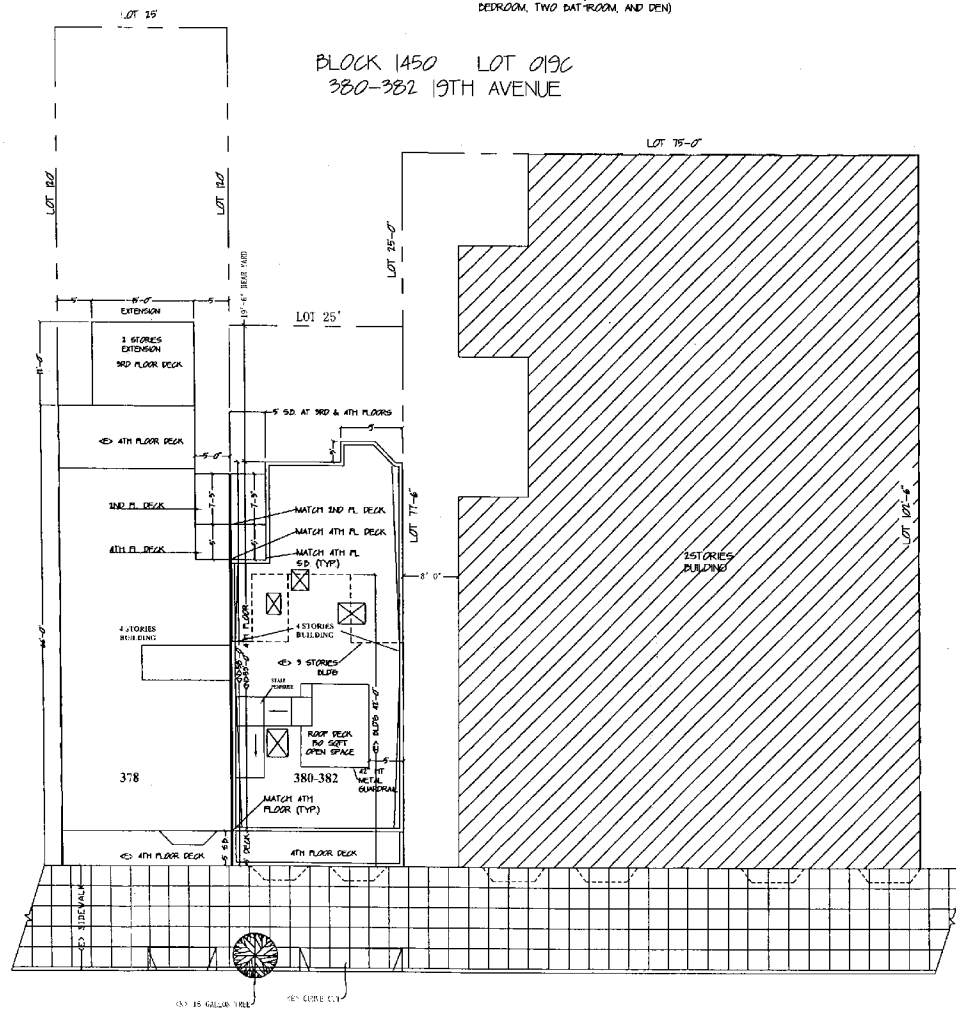
DEMOLITION NOTE:

ALTERATION IS NOT TO EXCEED THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS. A SEPARATE AND ADDITIONAL PERMIT IS REQUIRED TO REPAIR DRY-ROT OR FOR ANY ALTERATION WHICH EXCEEDS THE SCOPE OF DEMOLITION DESCRIBED IN THESE PLANS.

SCOPE OF WORK

THIS HORIZONTAL AND VERTICAL ADDITION INCLUDE:
 UNIT #1 - EXCAVATE 1 AT GARAGE AREA, ADD BEDROOM AND BATHROOM TO GRN FLOOR
 * ADD MASTER BEDROOM, BATHROOM AND RELOCATE KITCHEN AT 2ND FLOOR
 UNIT #2 - ADD MASTER BATHROOM AS ADD TO 3RD FLOOR AND RELOCATE KITCHEN
 * NEW 4TH FLOOR (INCL. FAMILY ROOM, TWO BEDROOM, TWO BATHROOM, AND DEN)

BLOCK 1450 LOT 019C
 380-382 19TH AVENUE



SITE PLAN
 (1/8" = 1'-0")

REVISION	BY
9/18/05	

HAWK N. LEE, P. E.
 Consulting Engineer
 1609 Noriega Street
 San Francisco, California 94122
 (415) 691-6225 fax (415) 681-1012

BLOCK 1450 LOT 019C
 380-382 19TH AVE.
 SAN FRANCISCO, CALIFORNIA

VERTICAL AND HORIZONTAL
 ADDITION

Date:	5/09/08
Scale:	AS SHOWN
Drawn:	H. LEE
Job:	380/19TH
Sheet:	A1
Of:	Sheet



EXISTING FRONT ELEVATION
WITH ADJACENT BUILDING
(3/16" = 1'-0")



PROPOSED FRONT ELEVATION
WITH ADJACENT BUILDING
(3/16" = 1'-0")

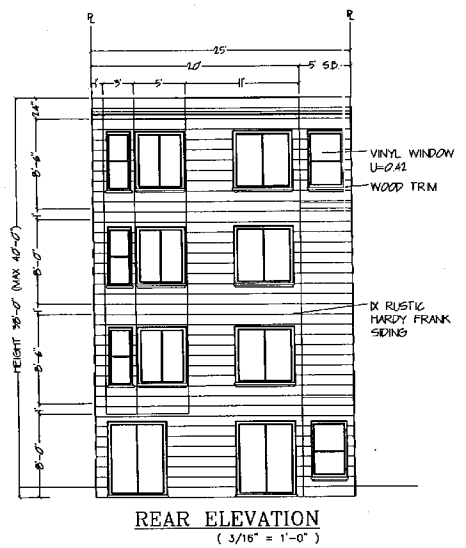
REVISIONS	BY
V1:8/09	

HAWK N. LEE, P. E.
Consulting Engineer
1609 Norridge Street
San Francisco, California 94122
(415) 681-8928 fax (415) 681-1012

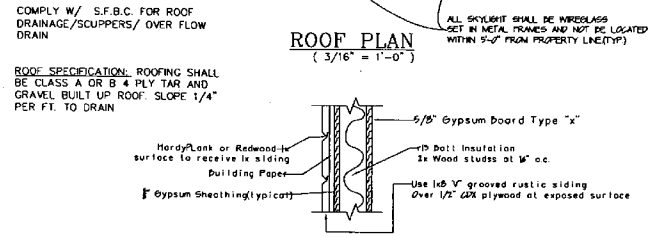
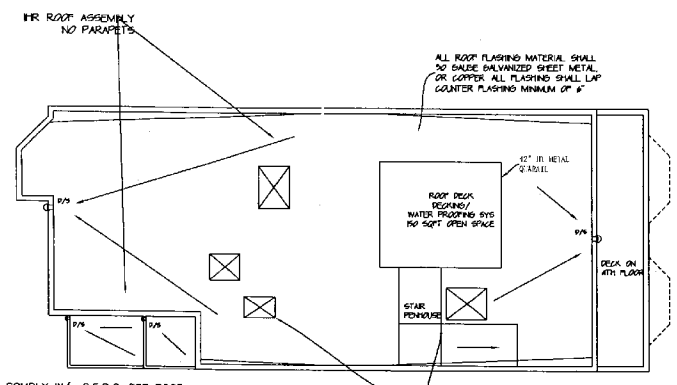
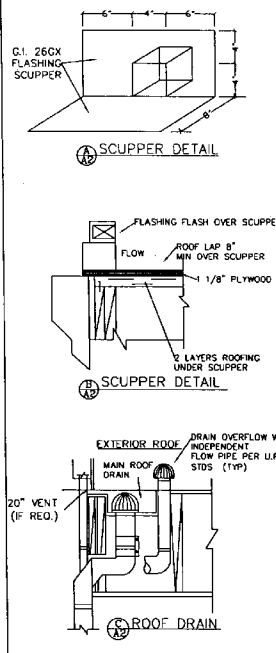
BLOCK 1450 LOT 019C
380-382 19TH AVE.
SAN FRANCISCO, CALIFORNIA

VERTICAL AND HORIZONTAL
ADDITON

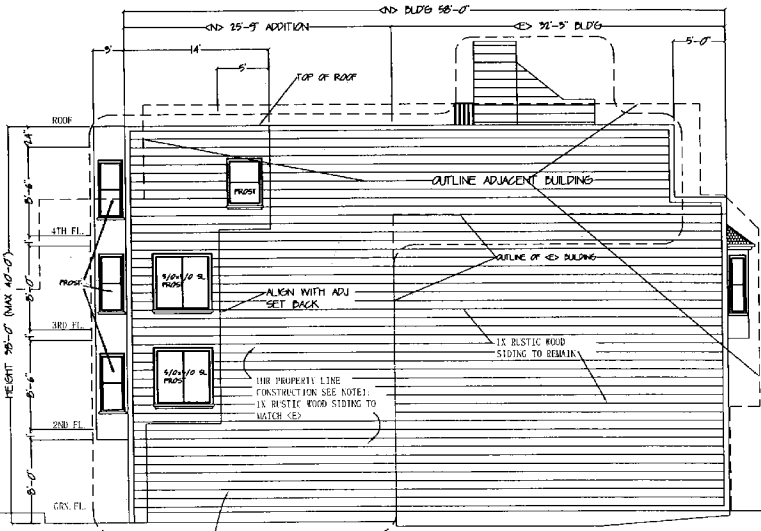
Date: 7/07/09
Scale: AS SHOWN
Drawn: H LEE
Job: 380/19TH
Sheet
of A1.1
Sheet



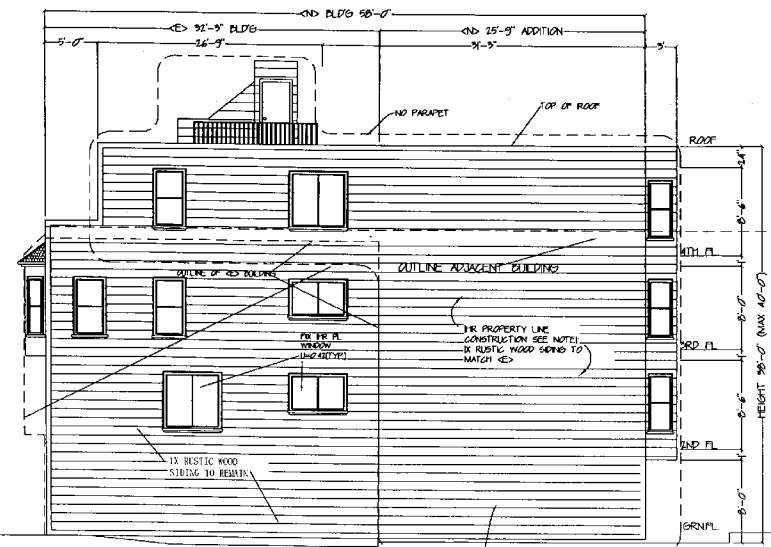
Emergency Escape Or Rescue Windows
 In every sleeping room in every dwelling unit shall have at least a window or door approved for emergency egress and rescue which shall open into a public street, public alley, yard or exit court. The emergency door or window shall be operated from the inside to provide a full clear opening per California Building Code Section 310.4 without the use of special tools. Minimum net clear area of 5.7 sq. ft. Dimensions: ht. 24" minimum, 20" minimum width, sill height not more than 44".



NOTE 1: ONE HOUR PROPERTY LINE WALL CONSTRUCTION DETAIL



NORTH ELEVATION
(3/16" = 1'-0")



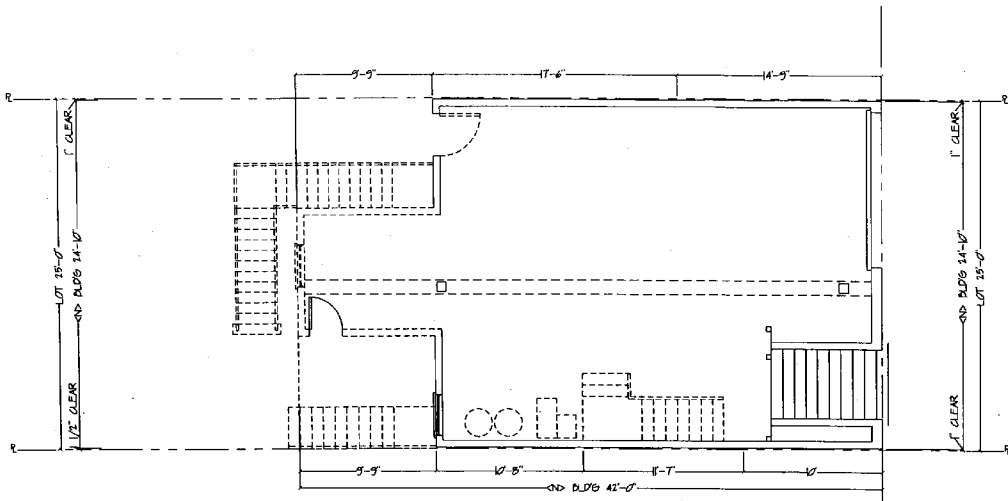
SOUTH ELEVATION
(3/16" = 1'-0")

REVISIONS	BY
9/18/09	

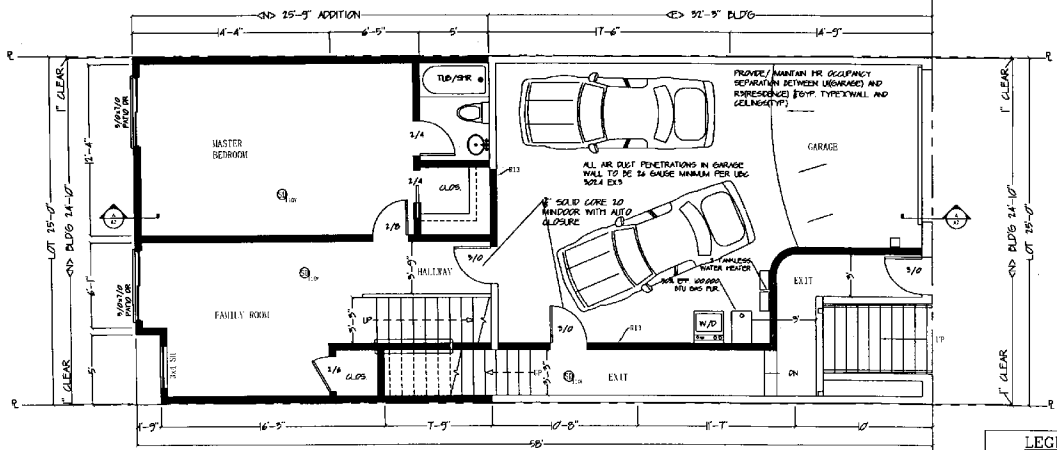
HAWK N. LEE, P. E.
 Consulting Engineer
 1809 Heritage Street
 San Francisco, California 94122
 (415) 681-8325 fax (415) 681-1012

BLOCK 1450 LOT 019C
 380-382 19TH AVE.
 SAN FRANCISCO, CALIFORNIA

Date: 7/09/09
 Scale: AS SHOWN
 Drawn: H LEE
 Job: 980/19TH
 Sheet
 Or A2 Sheet



EXISTING GRN FLOOR PLAN
(1/4" = 1'-0")



PROPOSED GROUND FLOOR PLAN
(1/4" = 1'-0")

LIVING AREA 597 SQFT

LEGEND	
	EXISTING WALLS TO REMAIN
	NEW WALLS
	DEMOLISHED WALLS

ARCHITECTURAL

- DURING BIDDING AND NEGOTIATION PERIOD, THE GENERAL AND SUBCONTRACTOR(S) SHALL CONFIRM, IN WRITING, APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, AND SHALL NOTIFY HAWK N. LEE, P.E. (ENGINEER) IN WRITING, ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF THE SPECIFIED PRODUCT.
- UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A SPECIFIC CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUB-CONTRACTORS AND GENERAL CONTRACTORS WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY, AND CONFIRMING THAT WORK IS BUILDABLE, AS SHOWN, BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM HAWK N. LEE, P.E. (ENGINEER) BEFORE PROCEEDING WITH WORK IN QUESTION, OR RELATED WORK.
- GENERAL CONTRACTOR SHALL APPLY FOR AND OBTAIN AT THE CONTRACTOR'S SOLE EXPENSE, ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY CITY AND STATE AGENCIES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL REGULATORY AGENCIES, APPLICABLE BUILDING CODES AND REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFECTS FOUND IN EXISTING BASE BUILDING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES AT PLASTER OR GYPSUM BOARD. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJACENT ADJOINING SURFACES, ALIGN AND SAND SMOOTH.
- GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PORTIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS AND LIGHT SWITCHES WITH THE ENGINEER IN THE FIELD, BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED.
- CONTRACTOR SHALL PROVIDE ALL EXISTING CONSTRUCTION AND FINISHES AND SHALL BE RESPONSIBLE TO REPAIR ALL DAMAGES CAUSED BY HIM OR HIS SUBCONTRACTOR(S).
- GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR EXISTING FINISH FLOOR, FURNISHINGS AND EXISTING FINISHES IN AREAS OF DEMOLITION AND CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED BY THE WORK OF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS.
- CABINET WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE STANDARDS ESTABLISHED IN THE "MANUAL OF MILLWORK".

ELECTRICAL REQUIREMENTS:

- ALL ELECTRICAL CONDUCTOR WIRES WITH 4 PRONGS OUTLETS SHALL HAVE NEUTRALS, SUCH AS COOKING APPLIANCES, DRYERS, ETC.
- FRONT AND REAR OF THE HOME SHALL BE PROVIDED WITH RECEPTACLE WITHIN 6 FEET 6 INCHES OF GRADE AND SHALL BE WATERPROOF AND GFCI PROTECTED AT BOTH LOCATIONS. NEC SECTION 210-52
- THERE SHALL BE TWO SMALL APPLIANCES OUTLETS BRANCH CIRCUITS FOR THE KITCHEN AND SHALL BE LIMITED TO SERVICE THE KITCHEN COUNTERS AND WALLS IN THE KITCHEN. NEC SECTION 210-52(B)
- OUTSIDE PLUGS, RANGE HOODS, DISPOSALS, DISHWASHERS, AND MICROWAVES SHALL HAVE ITS OWN SEPARATE CIRCUITS.
- BATHROOM OUTLETS SHALL HAVE DEDICATED 20 AMP CIRCUIT AND BE GFCI PROTECTED. THIS CIRCUIT CANNOT SERVE OTHER RECEPTACLES, LIGHT, FANS, ETC. PER NEC SECTION 210.52

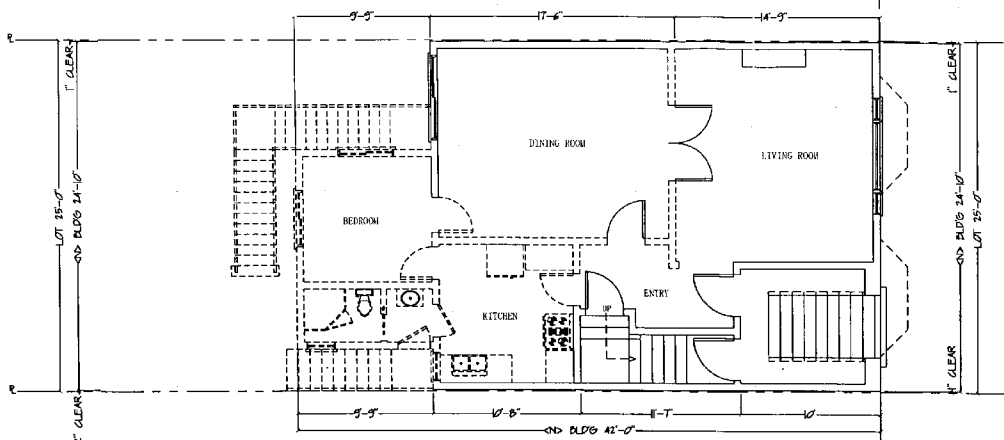
REVISIONS	BY
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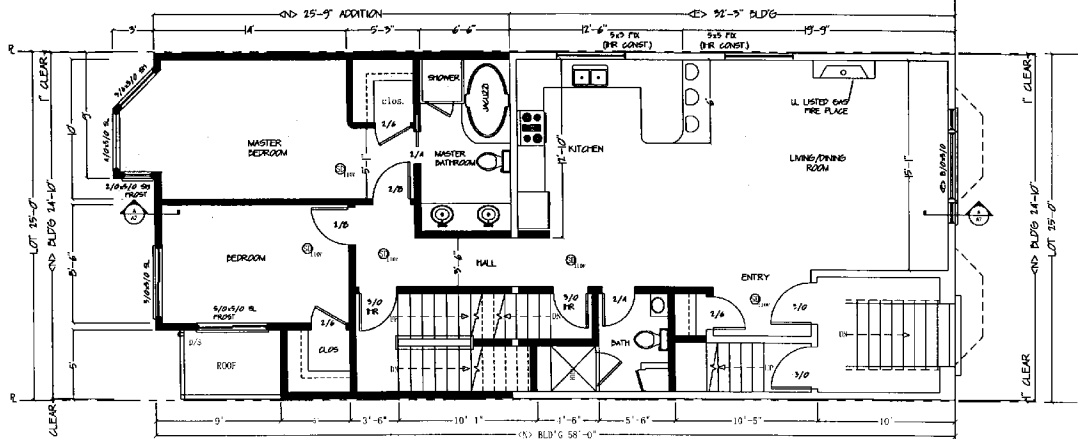
BLOCK 1450 LOT 019C
380-382 19TH AVE.
SAN FRANCISCO, CALIFORNIA

VERTICAL AND HORIZONTAL
ADDITON

Date: 5/09/08
Scale: AS SHOWN
Drawn: H. LEE
Job: 380/071
Sheet
A3
of Sheet



EXISTING 2ND FLOOR PLAN
(1/4" = 1'-0")



PROPOSED 2ND FLOOR PLAN
(1/4" = 1'-0")

EXISTING AREA 424 SQFT
 TO REMAIN 16 SQFT
 TOTAL AREA 500 SQFT

LEGEND

▬	EXISTING WALLS TO REMAIN
▬	NEW WALLS
---	DEMOLISHED WALLS

MECHANICAL SPECIFICATIONS:

- All work shall be performed by Mechanical Contractor in conformance with the Series 2007 California Mechanical Code.
- The contractor shall obtain all required mechanical permits.
- Provide 203 square inches vent for garage and add 2 square inch of vent for each additional 100 square feet of garage area.
- Provide combustion air for furnaces and water heaters at 1 square inches per 1,000 b.t.u. of the rated capacity of the units.
- Install thermostat w/ night set back controller at each unit.
- Provide 18 inch high platform for all water heaters installed in the garage.
- Provide seismic straps tie to the wall for the water heaters at 4" from the top and bottoms of the water heater.
- All outlet register to be H & C or equal units connected to the furnace.
- All new ducts in the garage shall be 22 gauge ridged sheet metal pipes.
- All joints shall be sealed with an approved sealer to keep all ducts air tight. The duct work workmanship shall be of the highest quality. The ducts will be installed in concealed space hanging from the ceiling.
- Fire and smoke dampers shall be installed where duct work penetrates rated wall assemblies.
- Terminate gas vents min. 4'-0" from the property line and 3'-0" above any openings.
- Terminate exhaust outlets outside and 3'-0" min. away from the property line and any window openings.
- Dryer vents shall not exceed 14'-0" without booster pumps. Provide dryer booster pump when the length of the dryer vent exceeds 14'-0".
- The contractor shall request clarification if conflicts arise from the construction documents.
- The contractor may substitute materials that are equivalent to specified items on these plans for this construction project.

PRODUCTS SPECIFIED ARE AS MANUFACTURED BY SINCLAIR PAINT CO., UNLESS OTHERWISE INDICATED. EQUIVALENT PRODUCTS MANUFACTURED BY SHERWIN-WILLIAMS, DUNN-EDWARDS, FULLER-O'BRIEN, OR GUDGEN IN CONFORMANCE WITH MATERIALS LIST ARE ACCEPTABLE.

MATERIALS SELECTED FOR COATING SYSTEMS FOR EACH TYPE SURFACE SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER.

INTERIOR PAINTING

FLAT FINISH ON GYPSUM WALLBOARD
 1 COAT #7
 1 COAT #8

SEMIGLOSS FINISH ON GYPSUM WALLBOARD
 1 COAT #7
 1 COAT #8
 1 COAT #9

EXTERIOR PAINTING

FLAT FINISH ON CEMENT PLASTER AND CONCRETE
 2 COATS #5

MATERIALS LIST:

- | | |
|--------------------------|-----------------------------|
| 1. RED OXIDE PRIMER | 6. FLAT LATEX WALL FINISH |
| 2. ZINC DUST PRIMER | 7. PVA SEALER |
| 3. SASH AND TRIM PRIMER | 8. LATEX ENAMEL UNDERCOATER |
| 4. ENAMEL UNDERCOATER | 9. ALKYD EGGSHELL ENAMEL |
| 5. ACRYLIC MASONRY PAINT | |

- * GENERAL LIGHTING FOR KITCHENS AND TOILET ROOMS MUST HAVE AN EFFICIENCY OF AT LEAST 40 LUMENS PER WAT(FLUORESCENT) AND BE CONTROLLED BY THE MOST ACCESSIBLE SWITCH.
- * WATER CLOSETS SHALL BE "ULTRA LOW FLOW FLUSH" TYPE WITH 1.6 GALLONS MAXIMUM PER FLUSH.
- * CONTROL VALVE FOR SHOWER OR TUB-SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER UPC 410.7.
- * MECHANICAL VENTILATION SYSTEMS SHALL BE PROVIDED FOR BATHROOMS WITHOUT WINDOWS AND SHALL PROVIDE 5 AIR CHANGE PER HOUR (BC 1203.3).

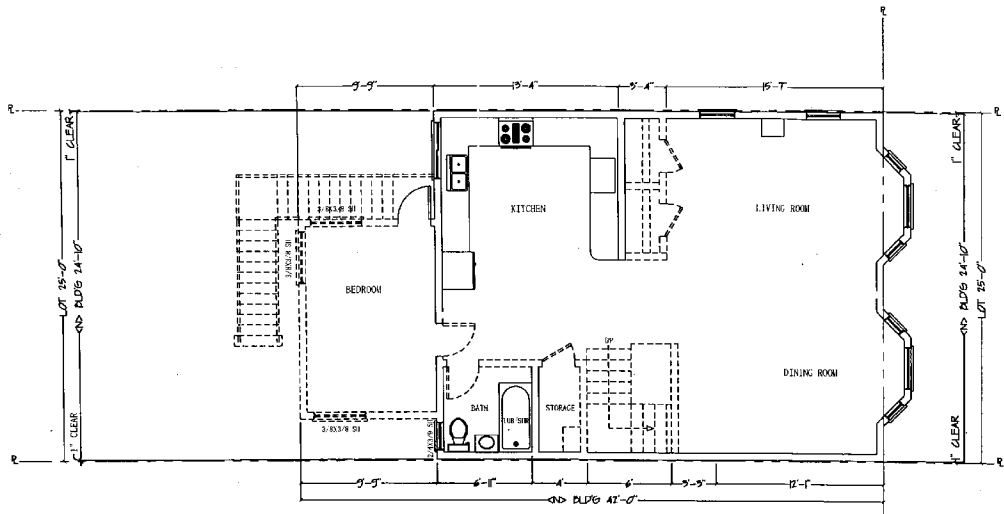
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9/18/09	

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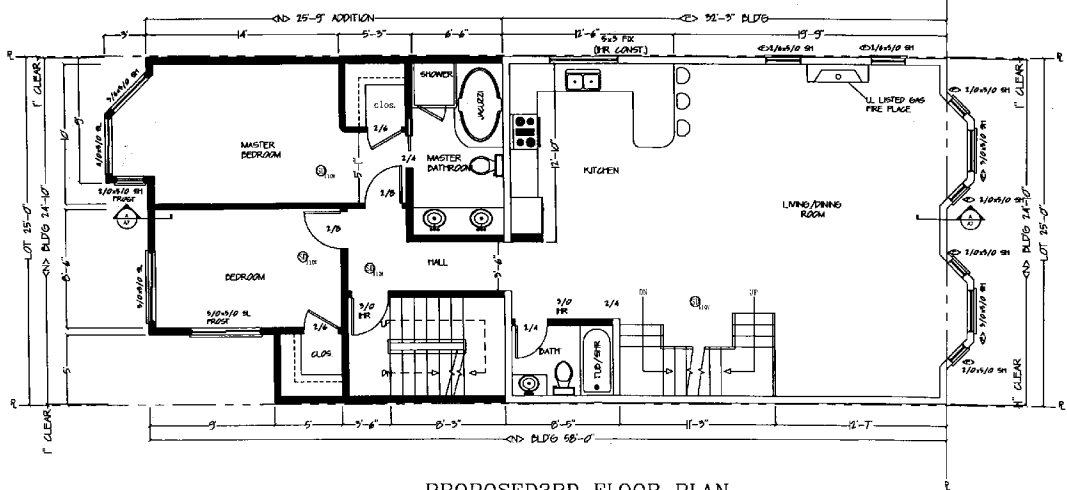
BLOCK 1450 LOT 019C
 380-382 19TH AVE.
 SAN FRANCISCO, CALIFORNIA

VERTICAL AND HORIZONTAL
 ADDITON

Date: 3/01/09
 Scale: AS SHOWN
 Drawn: H. LEE
 Job: 380/19TH
 Sheet
 of A4
 Sheet



EXISTING 3RD FLOOR PLAN
(1/4" = 1'-0")

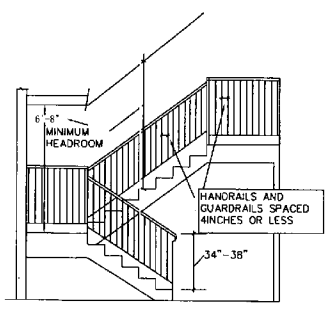


PROPOSED 3RD FLOOR PLAN
(1/4" = 1'-0")

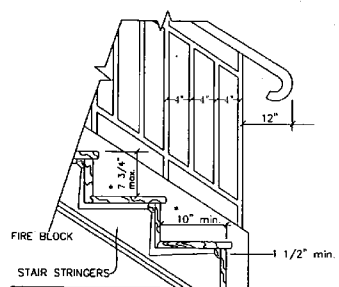
EXISTING AREA	414 SQ FT
ADDITIONS	26 SQ FT
TOTAL AREA	440 SQ FT

LEGEND

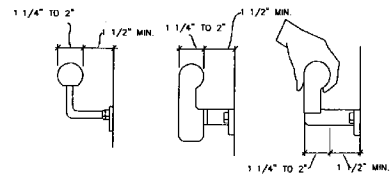
	EXISTING WALLS TO REMAIN
	NEW WALLS
	DEMOLISHED WALLS



(A5) STAIR WELL HEADROOM



(B A5) STAIR DETAIL
NO SCALE



(C A5) HANDRAILS

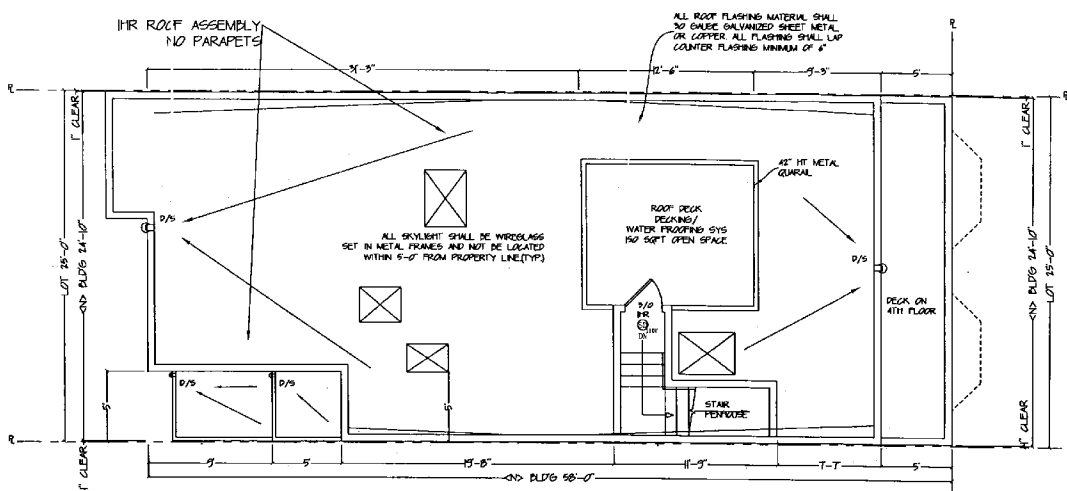
REVISIONS	BY

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BLOCK 1450 LOT 019C
380-382 19TH AVE.
SAN FRANCISCO, CALIFORNIA

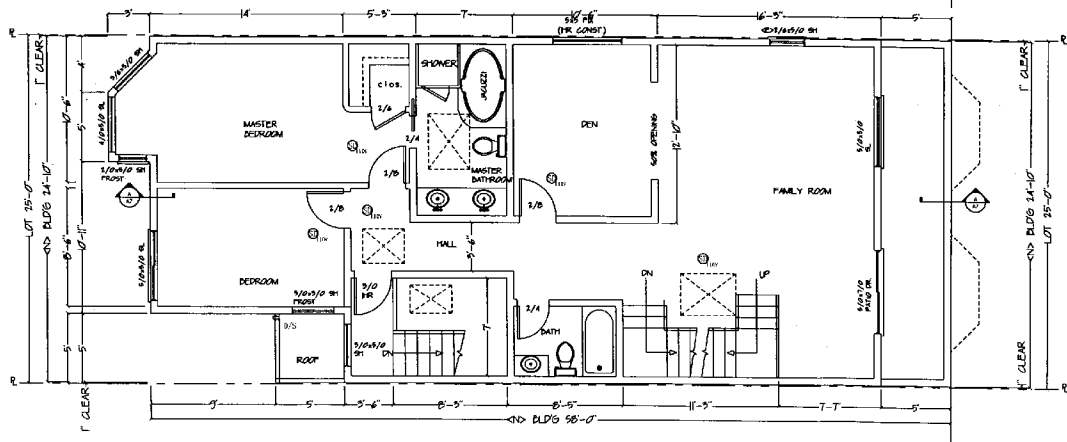
VERTICAL AND HORIZONTAL ADDITION

Date: 5/23/08
Scale: AS SHOWN
DRAWN: H LEE
Job: 380/19TH
Sheet
A5
OF Sheet



COMPLY W/ SEC. 1506 S.F.D.C. FOR
ROOF DRAINAGE/SCUPPERS/ OVER
FLOW DRAIN

PENHOUSE PLAN
(1/4" = 1'-0")



PROPOSED 4TH FLOOR PLAN
(1/4" = 1'-0")

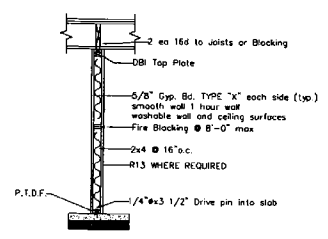
LIVING AREA	1070 SQFT
DECK	100 SQFT
STAIRS	76 SQFT
TOTAL AREA	1246 SQFT

REMODELING NOTES

1. CONTRACTOR TO PAINT INTERIOR OF ALL WORK, WHERE WORK IS PERFORMED.
2. PATCH ALL EXISTING WALLS, CEILINGS, AND FLOORS WHERE ADJACENT DEMOLITION, ELECTRICAL, PLUMBING, OR MECHANICAL REMOVAL OCCURS; NEW FINISHES TO MATCH EXISTING.
3. NEW ELECTRICAL AND MECHANICAL WORK SHOWN ON PLANS REPRESENTS MINIMUM REQUIRED; UTILIZE ALL EXISTING OUTLETS, LIGHT FIXTURES, ETC. IN COMBINATION WITH NEW, TO PROVIDE THE ELECTRICAL WORK AS SHOWN ON PLANS.
4. SHUT OFF AND RE-ROUTE ALL PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS AS REQUIRED TO COMPLETE THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AT SITE FOR DEMOLITION AND NEW CONSTRUCTION.
6. CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES AS REQUIRED.

INTERIOR FINISH SCHEDULE ALL FLOORS

ROOM	SUBFLOOR	FIN. FLR.	BASE	WALL AND CEILING
STAIRS	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
LIVING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
DINING	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
FAMILY	WOOD	TILE	WOOD	5/8" GYPSUM WALL BOARDS WATERPROOF (TYP.)
OFFICE	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
KITCHEN	WOOD	TILE	WOOD	5/8" GYPSUM WALL BOARDS
BEDROOM	WOOD	HARD WOOD	WOOD	5/8" GYPSUM WALL BOARDS
BATHS	WOOD	TILE	WOOD	5/8" GYPSUM WALL BOARDS WATERPROOF (TYP.)



A 1 Hour Wall Assembly
(Typical all walls)

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9/18/09	

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BLOCK 1450 LOT 010C
380-382 19TH AVE.
SAN FRANCISCO, CALIFORNIA

VERTICAL AND HORIZONTAL
ADDITON

Date: 9/09/08
Scale: AS SHOWN
Drawn: H LEE
Job: 380/19TH
Sheet
A6
Sheet

CALIFORNIA PLUMBING CODE REQUIREMENTS

Provide a minimum square 34" by 34" shower stall. The shower s to be at least 1024 square inches and able to encompass a 30-inch diameter circle (CPC 412.7).

The minimum capacity for water heaters shall be in accordance with the first hour rating listed in Table 5-1. (CPC 201.0)

Provide a "Water Hammer Arrestor" for the dishwasher. The water hammer arres or shall be either an air chamber or an approved mechanical device (CPC 609.10).

**CALIFORNIA CODE REGULATIONS:
TITLE 24, PART 6 - "ENERGY BUILDING" REGULATION**

Provide an Insulation Certificate form (IC-1) attached to plans (This form shall be filled out by the insulation contractor to provide a copy to the building division on the final inspection) (CEES STD 10-103.B.1).

"Water heater shall be wrapped with R-12 insulation"

Any water heater with an energy factor less than 0.58 must be externally wrapped with insulation having a thermal resistance of R-12 or greater (CEC 151 (f) 8).

Provide a fluorescent light fixture or approved high efficacy lamps of not less than 40 lumens per watt for general lighting in the kitchen. Provide a wiring layout showing the high-efficacy luminaires shall be controlled by a switch at the entrance to the bathroom (CEC.STD.150-(k) 1)

Replace all windows with a U-factor of 0.55 at the proposed addition and existing building, as per CF-IR specifying existing plus addition (CEES STD.151 (f) 3).

NFRC temporary labeling on new windows shall not be removed until inspected by the enforcement agency (CEES.STD.11 (a) 2-B).

NOTES:

- Minimum ceiling height of proposed bathroom compartments that shall not be less than 7'-0" (CBC 310.6.1).
- Interior finish materials shall have smooth, hard non-absorbent surface such as Portland cement, concrete, ceramic tile or other approved materials that extend to a height not less than 70 inches above the drain inlet (CBC section 807.1.3).
- No plastic plumbing pipes are allowed for domestic water supply and sanitary waste system.
- Water closet shall have a maximum 1.6 gallons per flush (CPC 402.3).
- Shower heads shall not exceed a water supply flow rate of 2.5 gallons per minute (CPC 402.7).
- Shower shall be provided with individual control valves of the pressure balance or thermostatic mixing type valve (CPC 420).
- Provide a 30-inch minimum clear width where the water closet is located (CPC 408.6).
- Strap water heater within the upper 1/3 and lower 1/3 of its vertical dimension. Strap at the lower point shall be installed 4 inches above water heater controls (CPC 210.5). Raise the water heater to 18" from the garage floor to the frame. Any water heater w/ an energy factor less than 0.59 must be externally wrapped w/ insulation having a thermal resistance of R-12 or greater (CEC 1151 (f) 8). The minimum capacity for water heaters shall be in accordance w/ the first hour rating listed in table 5-1. (CPC 201.0) The first hour recovery rate shall be 8- gallons.
- Bathroom outlet shall be on a dedicated 20-ampere circuit (CEC 210-52-a).
- Provide at least one GFCI protected outdoor outlet (CEC 210-52e).
- Provide at least one wall switched-controlled lighting outlet or a light in each proposed room (CEC 210-70).
- Provide a lighting outlet at the stairway controlled by a wall switch at each level (CEC-270 (a)).
- Provide one switch-controlled outdoor light outlet at the exterior side of the outdoor entrance or exit at the master bedroom (CEC 210.70).
- Upgrade the existing electrical service to at least 100 amperes due to additional load created by the addition (CEC 230-79-a).
- Provide at least one fluorescent light fixture or approved high efficiency lamps of 40 lumens per watt or greater for the bathroom.
- Electrical outlets installed in bedrooms shall be protected with an arc fault circuit interrupter (CEC 210-12 (b)).
- Duct connection and opening shall be sealed with pressure sensitive duct tape tested and labeled ul 181, ul 181 A or ul 181 B (CEES.STD 150 (K) 2-m).
- Provide a minimum 26 gauge galvanized sheet metal heating supply ducts between (E) mechanical and (N) bedrooms (CEC 302.4.3).
- Exhaust duct discharge to the outside of the building located at least 3 feet from any openings into the building (CMC 504.1).
- Domestic clothes dryer exhaust duct shall terminate outside of the building at least 3 feet from any opening into the building (CMC 504.3.1).
- The minimum capacity for water heaters shall be in accordance with the first hour rating used in table 5-1 (CPC 501.0).

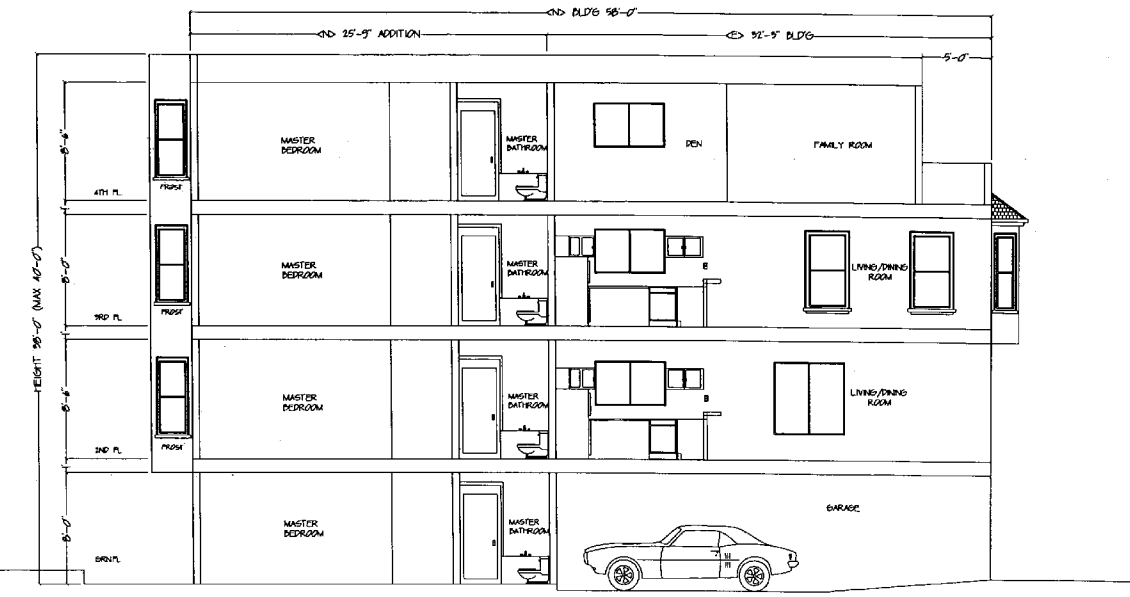
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BLOCK 1450 LOT 019C
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SAN FRANCISCO, CALIFORNIA

VERTICAL AND HORIZONTAL
ADDITION

Date: 3/03/08
Scale: AS SHOWN
Drawn: H. LEE
Job: 280/19TH
Sheet
A7
Of Sheet



BUILDING SECTION "A-A"
(1/4" = 1'-0")