



SAN FRANCISCO PLANNING DEPARTMENT

Discretionary Review Analysis Abbreviated

HEARING DATE JUNE 17, 2010

Date: June 10, 2010
Case No.: **2009.0535D**
Project Address: **2296-2298 VALLEJO STREET**
Zoning: RH-2 (Residential House, Two-Family)
40-X Height and Bulk District
Block/Lot: 0557/014
Project Sponsor: Richard Crocker
c/o Jeremy Paul, Quickdraw Consulting
60 Otis Street
San Francisco, CA 94103
Staff Contact: Glenn Cabreros – (415) 558-6169
glenn.cabreros@sfgov.org
Recommendation: **Do not take DR and approve project as proposed.**

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

PROJECT DESCRIPTION

The project proposes various interior and exterior alterations to the existing three-story-over-two-basement, four-unit building. The various vertical and horizontal alterations are proposed within the existing building footprint. Existing exterior side stairs along the Fillmore Street façade are proposed to be enclosed within a side horizontal addition. At the roof level, dormer windows are proposed along the Fillmore Street façade and a stair/elevator penthouse is proposed along the interior (east) side property line. A rear horizontal addition and reconfiguration of the existing rear deck is proposed for the dwelling unit at the roof level. Exterior façade alterations, include but are not limited to, zinc siding at bay structures, new guardrails at all decks and reroofing of the existing roof.

SITE DESCRIPTION AND PRESENT USE

The project is located at 2296-2298 Vallejo Street, Lot 014 in Assessor's Block 0557, at the northeast corner of the intersection with Fillmore Street in an RH-2 (Residential, House, Two-Family) District and a 40-X Height and Bulk District. The subject lot contains a three-story-over-two-basement, four-unit building constructed in 1906 with a four-space carport along the rear lot line. The Modern architectural style of the existing façades is attributed to a renovation project in 1951. The Vallejo Street façade is considered to be the front of the existing building. The lot is 5,550 square feet in area measuring 40 feet wide by 137.5 feet deep.

SURROUNDING PROPERTIES AND NEIGHBORHOOD

The subject lot is within the Pacific Heights neighborhood which is characterized by large, single-family residences and multi-unit buildings constructed on steep lots. The subject block-face consists of mostly

three-story structures of varied architectural styles along Vallejo Street. The structures along the block-face of Vallejo Street are constructed on steep downhill lots, and therefore have tall rear facades four to five stories. Directly across Vallejo Street and south of the subject lot is a four-story, 43-unit condominium building that terraces uphill from Vallejo Street. Directly across Fillmore Street and west of the subject lot is three-story, two-unit building. Adjacent and east of the subject lot is a three-story, two-unit building.

HEARING NOTIFICATION

TYPE	REQUIRED PERIOD	REQUIRED NOTICE DATE	ACTUAL NOTICE DATE	ACTUAL PERIOD
Posted Notice	10 days	June 7, 2010	June 7, 2010	10 days
Mailed Notice	10 days	June 7, 2010	June 7, 2010	10 days

PUBLIC COMMENT

	SUPPORT	OPPOSED	NO POSITION
Adjacent neighbor(s)			
Other neighbors on the block or directly across the street		DR requestor	
Neighborhood groups			

DR REQUESTOR

Lisa Thomas, resident of 2295 Vallejo Street, a 43-unit condominium building directly south and across Vallejo Street from the project. She is also representing other concerned residents of 2295 Vallejo Street.

ISSUES AND RESPONSES

Issue 1: The project is oversized. The scale and the architecture of the building are not in keeping with the character of the street and neighborhood.

Response: With the exception of the rear horizontal addition at the uppermost unit and the side horizontal addition to enclose stairs along the Fillmore Street façade, the overall scale and massing of the existing building would remain unchanged. The overall architecture would be updated with quality, exterior finish materials.

Issue 2: The proposed balconies and built-out extensions of the roofline (dormers, stair penthouse and elevator penthouse) will impact the streetscape and sight lines from neighboring properties.

Response: The rooftop additions are well integrated into the existing roofline. The dormers are proposed to be no higher than the existing ridge line. The stair/elevator penthouse is located along the interior lot line, so as not to have a negative visual impact to the streetscape. It is recognized by the Planning Department and its Commission that private views are not protected under the Planning Code.

Issue 3: The plans do not provide sufficient detail of the proposed expansion at the roof/penthouse level including proposed utilities (vents, chimneys, etc.) at roof level.

Response: A Roof Plan has been provided. The proposed dormers, penthouse, skylights, etc. are designed/grouped in a manner to mitigate rooftop clutter.

ENVIRONMENTAL REVIEW

On October 16, 2009, under Case No. 2009.0535E, the Department determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class (1)(e) – additions to existing structures that do not exceed 50-percent).

RESIDENTIAL DESIGN TEAM REVIEW

The request for Discretionary Review was reviewed by the Department's Residential Design Team (RDT). The RDT supports the project as proposed.

Under the Planning Commission's pending DR Reform legislation, this project would not be referred to the Planning Commission as this project does not meet the threshold of exceptional or extraordinary.

BASIS FOR RECOMMENDATION

The Department believes the project is not exceptional or extraordinary for the following reasons:

- The project is Code-complying and proposes alterations that would neither negatively impact neighborhood character nor the immediate neighbors/buildings.
- The project is consistent with the Residential Design Standards.

RECOMMENDATION: Do not take DR and approve project as proposed.

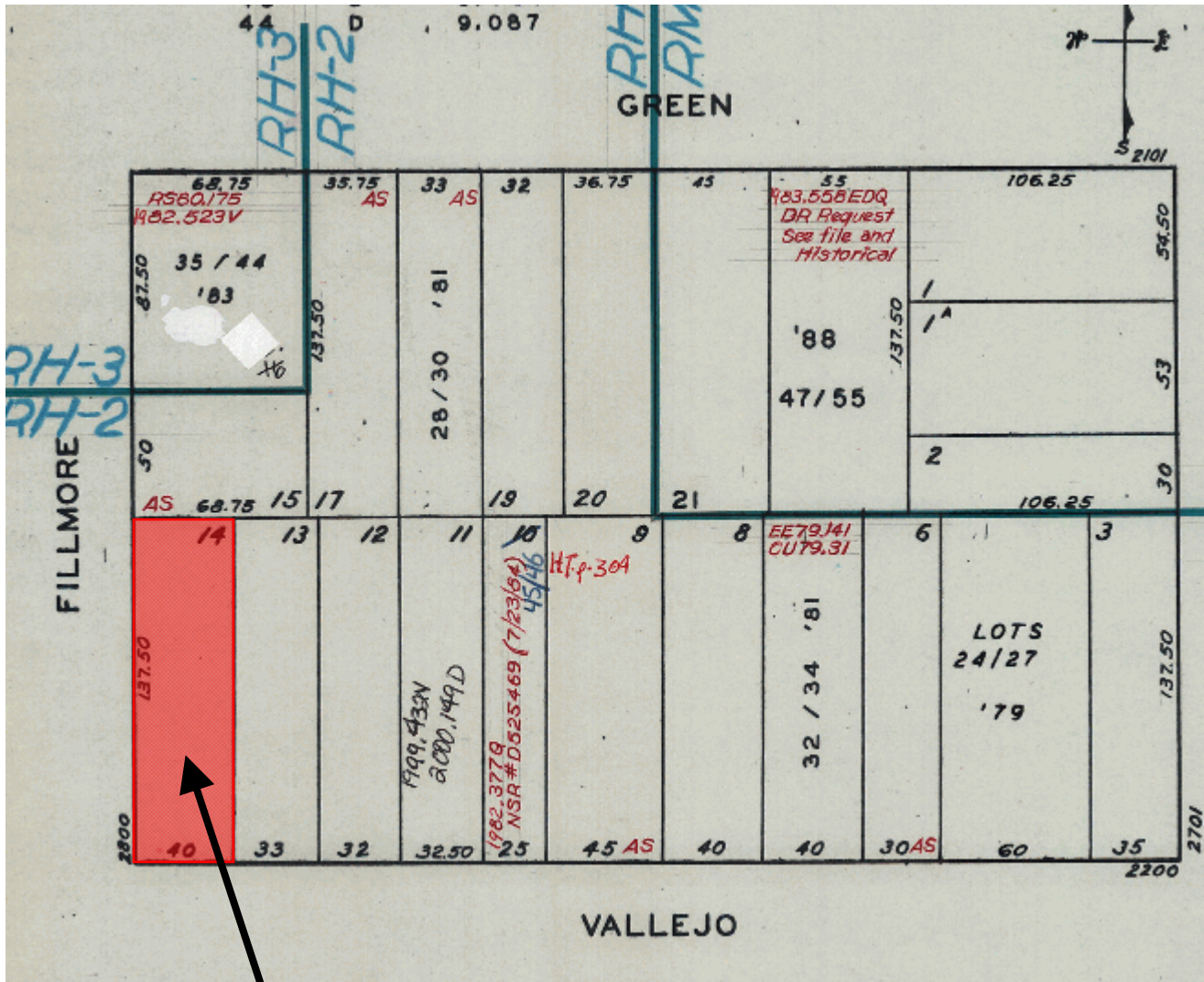
Attachments:*

- Block Book Map
- Aerial Photographs
- Zoning Map
- Environmental Evaluation Application, Case No. 2009.0535E
- Section 311 Notice
- DR Application
- Project sponsor submittal
- Reduced Plans and Illustrative Rendering

*Sanborn Map was unavailable at the time of this report. See "Aerial Photo 1 – Plan View" in lieu of Sanborn Map.

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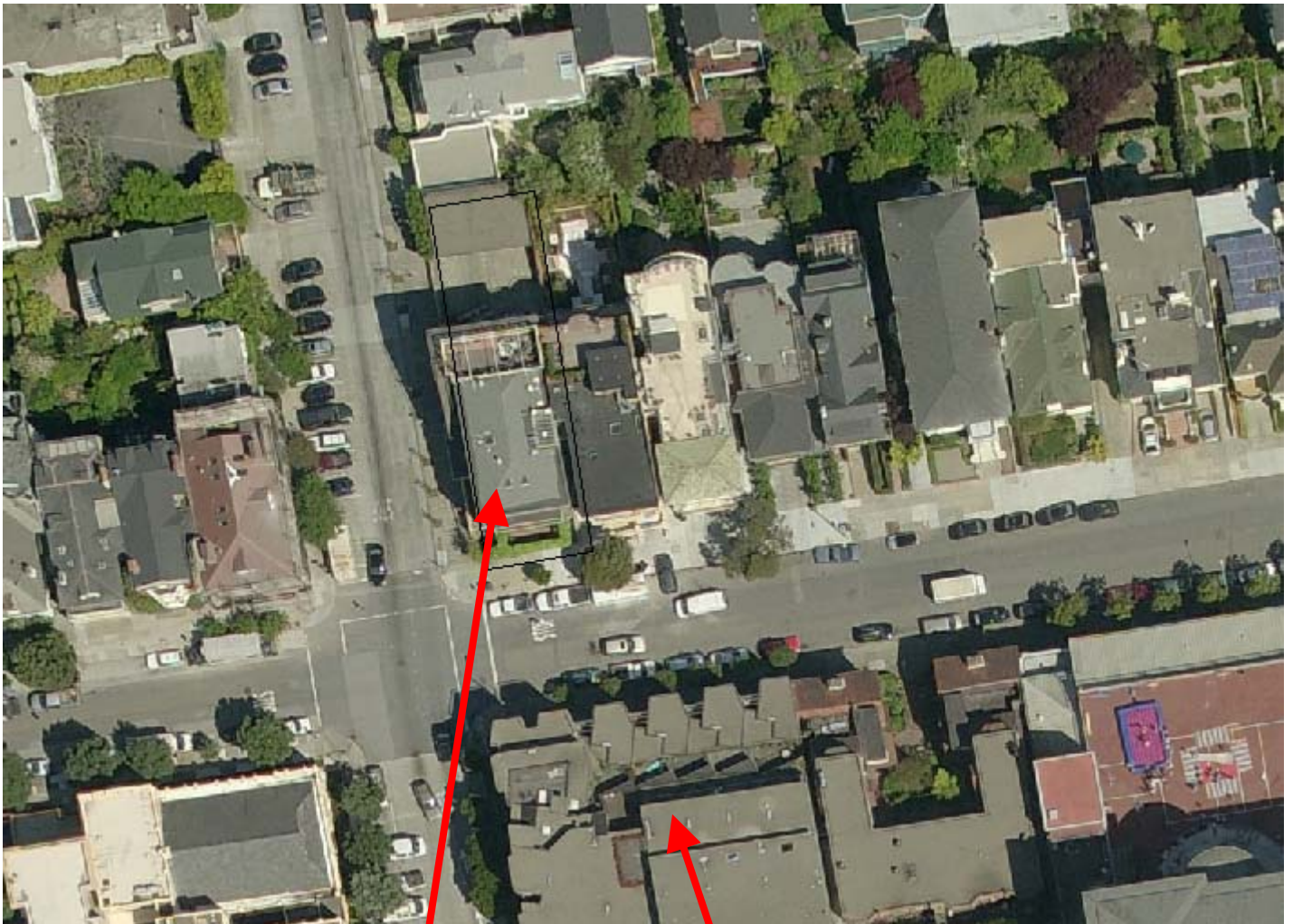
Parcel Map



SUBJECT PROPERTY



Aerial Photo 1 – Plan View



SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2009.0535D
2296-2298 Vallejo Street

Aerial Photo 2



SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2009.0535D
2296-2298 Vallejo Street

Aerial Photo 3

DR REQUESTOR'S
PROPERTY



SUBJECT PROPERTY



Aerial Photo 4



SUBJECT PROPERTY

DR REQUESTOR'S
PROPERTY



Discretionary Review Hearing
Case Number 2009.0535D
2296-2298 Vallejo Street

Aerial Photo 5

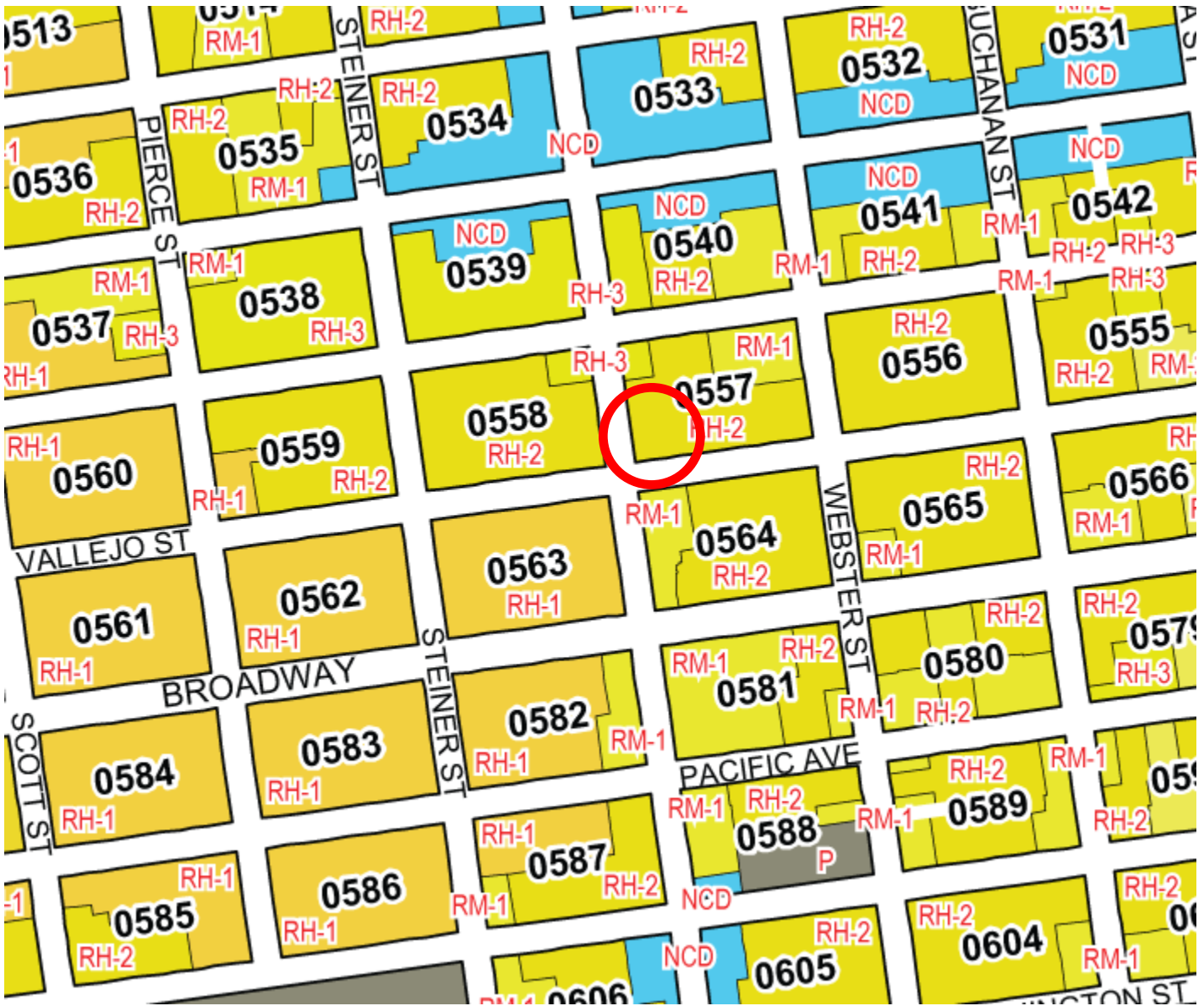
DR REQUESTOR'S
PROPERTY



SUBJECT PROPERTY



Zoning Map



Discretionary Review Hearing
Case Number 2009.0535D
2296-2298 Vallejo Street



**SAN FRANCISCO
PLANNING DEPARTMENT**

Date received:

Environmental Evaluation Application

The California Environmental Quality Act (CEQA) requires public agencies to review the environmental impacts of proposed projects. In San Francisco, environmental review under CEQA is administered by the Major Environmental Analysis (MEA) division of the Planning Department. The environmental review process begins with the submittal of a completed Environmental Evaluation (EE) Application to the Planning Department. Only the current EE Application form will be accepted. No appointment is required but staff is available to meet with applicants upon request.

The EE Application will not be processed unless it is completely filled out and the appropriate fees are paid in full. Checks should be made payable to the San Francisco Planning Department. See the current *Schedule of Application Fees* and contact the staff person listed below for verification of the appropriate fees. Fees are generally non-refundable. **Documents in italics are available online at sfgov.org/planning.**

The EE Application is comprised of four parts. Part 1 is a checklist to ensure that the EE Application is complete; Part 2 requests basic information about the site and the project; Part 3 is a series of questions to help determine if additional information is needed for the EE Application; and Part 4 is a project summary table.

The complete EE Application should be submitted to the Planning Department staff as follows: For projects greater than 10,000 square feet in size and where Part 3 Questions #3, #8, #10, or #11 are answered in the affirmative, or for projects that require mitigation measures, please send the application materials to the attention of Ms. Kienker. For all other projects, please send the application materials to the attention of Mr. Bollinger.

Brett Bollinger
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9024, brett.bollinger@sfgov.org

Leigh Kienker
1650 Mission Street, Suite 400
San Francisco, CA 94103
(415) 575-9036, leigh.kienker@sfgov.org

PART 1 – EE APPLICATION CHECKLIST	Provided	Not Applicable
Two copies of this application with all blanks filled in	<input checked="" type="checkbox"/>	
Two sets of project drawings (see "Additional Information" at the end of page 4,)	<input checked="" type="checkbox"/>	
Photos of the project site and its immediate vicinity, with viewpoints labeled	<input checked="" type="checkbox"/>	
Fee	<input checked="" type="checkbox"/>	
<i>Supplemental Information Form for Historical Resource Evaluation</i> and/or Historic Resource Evaluation Report, as indicated in Part 3 Questions 1 and 2	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Geotechnical Report, as indicated in Part 3 Questions 3a and 3b	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Tree Disclosure Statement</i> , as indicated in Part 3 Question 4	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Phase I Environmental Site Assessment, as indicated in Part 3 Question 8	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Additional studies (list)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Applicant's Affidavit. I certify the accuracy of the following declarations:

- a. The undersigned is the owner or authorized agent of the owner(s) of this property.
- b. The information presented is true and correct to the best of my knowledge.
- c. I understand that other applications and information may be required.

Signed (owner or agent): 

Date: 6/13/2009

(For Staff Use Only) Case No. 2009.0535E

Address: 2296-2298 VALLEJO

Block/Lot: 0557-014

2009.0535E

PART 3 – ADDITIONAL PROJECT INFORMATION	Yes	No
1. Would the project involve a major alteration of a structure constructed 50 or more years ago or a structure in an historic district? If yes, submit a <i>Supplemental Information Form for Historical Resource Evaluation</i> . Instructions on how to fill out the form are outlined in the <i>San Francisco Preservation Bulletin No. 16</i> (see pages 28-34 in Appendix B).	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Would the project involve demolition of a structure constructed 50 or more years ago or a structure located in an historic district? If yes, a Historic Resource Evaluation Report (HRER)* will be required. The scope of the HRER will be determined in consultation with the Department's Preservation Coordinator.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3a. Would the project result in excavation or soil disturbance/modification greater than 10 feet below grade? If yes, how many feet below grade would be excavated? _____ What type of foundation would be used (if known)? _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3b. Is the project site located in an area of potential geotechnical hazard as identified in the San Francisco General Plan or on a steep slope or would the project be located on a site with an average slope of 20% or more? If yes to either Question 3a or 3b, please submit a Geotechnical Report.*	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Would the project involve expansion of an existing building envelope, or new construction, or grading, or new curb cuts, or demolition? If yes, please submit a <i>Tree Disclosure Statement</i> .	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Would the project result in ground disturbance of 5,000 gross square feet or more?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Would the project result in any construction over 40 feet in height? If yes, apply for a Section 295 (Proposition K) Shadow Study. This application is available on the Planning Department's website and should be submitted at the Planning Information Center , 1660 Mission Street, First Floor.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Would the project result in a construction of a structure 80 feet or higher? If yes, an initial review by a wind expert, including a recommendation as to whether a Wind Analysis* is needed, may be required, as determined by Department staff.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Would the project involve work on a site with an existing or former gas station, auto repair, dry cleaners, or heavy manufacturing use, or a site with underground storage tanks? If yes, please submit a Phase I Environmental Site Assessment (ESA).* A Phase II ESA (for example, soil testing) may be required, as determined by Department staff.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Would the project require any variances, special authorizations, or changes to the Planning Code or Zoning Maps? If yes, please describe.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Is the project related to a larger project, series of projects, or program? If yes, please describe.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Is the project in a Community Plan Area? If yes, please identify the area (for example, Market/Octavia)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

* Report or study to be prepared by a qualified consultant who is contracted directly by the project sponsor.

PART 4 – PROJECT SUMMARY TABLE

If you are not sure of the eventual size of the project, provide the **maximum** estimates.

Gross Square Footage (GSF)	Existing Uses	Existing Uses to be Retained	Net New Construction and/or Addition	Project Totals
Residential	6094	6094	1000	7094
Retail				
Office				
Industrial				
Parking				
Other (specify use)				
Total GSF				7094
Dwelling units	4	4		
Hotel rooms				
Parking spaces	8			8
Loading spaces				
Number of buildings	2			2
Height of building(s)	40			40
Number of stories	4			4

Please describe any additional project features that are not included in this table:

Additional Information: Project drawings in 11x17 format should include existing and proposed site plans, floor plans, elevations, and sections, as well as all applicable dimensions and calculations for existing and proposed floor area and height. The plans should clearly show existing and proposed off-street parking and loading spaces; driveways and trash loading areas; vehicular and pedestrian access to the site, including access to off-street parking and parking configuration; and bus stops and curbside loading zones within 150 feet of the site. A **transportation study** may be required, depending on existing traffic conditions in the project area and the potential traffic generation of the proposed project, as determined by the Department's transportation planners. **Neighborhood notification** may also be required as part of the environmental review processes.

~~CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW~~

Class 1 (e)(i) Additions to existing facilities that do not exceed 50%.

Spencer Hayward 10.16.09



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Historic Resource Evaluation Response

Project Address: **2296-98 Vallejo Street**
 Block/Lot: 0057/014
 Case No.: 2009.0535E
 Date of Review: October 14, 2009
 Planning Dept. Reviewer: Sophie Hayward
 (415) 558-6372 | sophie.hayward@sfgov.org

1650 Mission St.
 Suite 400
 San Francisco,
 CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
 Information:
415.558.6377

PROPOSED PROJECT

Demolition

Alteration

PROJECT DESCRIPTION

The proposed project involves extensive alterations to the existing four-story, four-unit apartment building. Alterations will include the removal of exterior stairs and features, the addition of a new balcony, the reconfiguration of interior stairways, the modification of the existing roof deck, the addition of dormers at the fourth story, and an expansion at the existing fourth story. As proposed, the fourth floor will be expanded by approximately ten feet to the north, to add an estimated 400 square feet of habitable space.

PRE-EXISTING HISTORIC RATING / SURVEY

The County Assessor's records indicate that the existing four-unit building was constructed in 1906. As noted in the submitted Historic Resource Evaluation (HRE), historic Sanborn Fire Insurance maps illustrate that the subject building was originally configured with two bay windows and a round turret at the northwest corner, with one-story porches on the west and north elevations. Sanborn maps indicate that the form and plan of the original structure remained largely unchanged through 1950.¹ In 1951, owner Robert Grison contracted architect Mario Louis Gaidano for an extensive renovation, which transformed the subject building into a structure with details, cladding, and fenestration characteristic of the Modern architectural style.

Although the subject building is not included on any historic surveys and is not included on the National or the California Registers, its recorded date of construction makes it a "Category B" building for the purposes of CEQA review by the Planning Department.² It does not appear that the subject building is a historic resource for the purposes of CEQA review.

¹ "2296 Vallejo Street, San Francisco: Revised Project Review and Follow-Up," by Carey & Company. (September, 2009), page 5. The report is in the docket associated with Case No. 2009.0535E, for 2296 Vallejo Street, and is available for review by request at the San Francisco Planning Department, 1650 Mission Street, San Francisco, 94103.

² Please see "Preservation Bulletin #16," available online at: http://www.sfgov.org/site/uploadedfiles/planning/projects_reports/PresBulletin16CEQA10_8_04.PDF (November 2, 2007)

HISTORIC DISTRICT / NEIGHBORHOOD CONTEXT

The subject building is located on the northeast corner of Fillmore and Vallejo Streets, within an RH-2 Zoning District and a 40-X Height and Bulk District in the Pacific Heights neighborhood. The surrounding neighborhood is characterized by two- and three-story single family homes, as well as a number of larger, multi-family apartment buildings. Buildings in the surrounding area are constructed in a range of architectural styles, including Mission and Classical Revival, and an eclectic mix of more modern styles.

It does not appear that the subject property is located within a potential historic district for the purposes of CEQA.

-
1. **California Register Criteria of Significance:** Note, a building may be an historical resource if it meets any of the California Register criteria listed below. If more information is needed to make such a determination please specify what information is needed. *(This determination for California Register Eligibility is made based on existing data and research provided to the Planning Department by the above named preparer / consultant and other parties. Key pages of report and a photograph of the subject building are attached.)*

Event: or Yes No Unable to determine
Persons: or Yes No Unable to determine
Architecture: or Yes No Unable to determine
Information Potential: Further investigation recommended.
District or Context: Yes, may contribute to a potential district or significant context

If Yes; Period of significance:

Notes: Below is an evaluation of the subject property against the criteria for inclusion on the California Register; it does not appear that the subject property is eligible for the California Register.

Criterion 1: It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States;

As noted earlier in this report, while the subject building appears to have been constructed in 1906, it underwent a significant alteration that was completed in 1952. The alteration included the replacement of original features including the fenestration, cladding, porch, and balconies. It appears that the original subject building was constructed early in the development of the neighborhood; however, the subject building does not retain any of the character-defining features of its original construction. The subject building was significantly altered in the mid-twentieth century, but it does not appear that the alteration is associated with events that have made a significant contribution to the broad patterns of local residential development history.

Criterion 2: It is associated with the lives of persons important in our local, regional, or national past;

No persons of known historical significance appear to have been associated with the subject property.

Criterion 3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values;

The subject building is a four-story apartment building and a one-story car port at the rear of the subject lot. The subject lot follows the topography of the area, and slopes steeply downward from Vallejo Street to the north. A concrete sidewalk wraps around the corner of the lot, and includes stairs on the west elevation of the subject building due to the steep slope.

The subject building has a rectangular plan and a hipped roof clad in asphalt shingles. The subject building is clad in smooth stucco, and features a metal gate at the northwest corner of the Vallejo Street elevation, which wraps around to the west elevation and meets a concrete wall. Behind the wall, there is a brick patio on the west portion of the lot, from which stairs rise to the second story of the west elevation. There is a long porch that extends along the Vallejo Street elevation at the second story, accessed by glazed wood doors. The west elevation, along Fillmore Street, features the brick staircase that leads up from the patio to the second-story entrance. Small, rectangular, wood-sash windows with textured glass flank the entrance. A flat-roofed porch supported by wood posts shelters the entrance. The north (rear) elevation contains three bands of windows and entrances that wrap around the northwest corner and define each story of the building. A concrete driveway separates the building from the rear wood-frame carport, which serves as the open space associated with the subject building.

While the building was originally clad in wood, and likely detailed in a Revival architectural style, details have been removed, features have been added, and stucco has been applied over the exterior resulting in a building that is formed and detailed in a modified Modern style.

The subject building does not appear to embody the distinctive characteristics of a specific type, period, region, or method of construction. There is no indication that the subject building is the work of a master, nor does it appear to possess sufficiently high artistic values to make it an individual resource for the purposes of CEQA. As noted above, it does not appear that the subject property is an individual historic resource, nor is it a contributor to a potential historic district.

Criterion 4: It yields, or may be likely to yield, information important in prehistory or history;

It does not appear that the subject property is likely to yield information important to a better understanding of prehistory or history.

-
2. **Integrity** is the ability of a property to convey its significance. To be a resource for the purposes of CEQA, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. To retain historic integrity a property will always possess several, and usually most, of the aspects. The subject property has retained or lacks integrity from the period of significance noted above:

Location: Retains Lacks
Association: Retains Lacks
Design: Retains Lacks
Workmanship: Retains Lacks

Setting: Retains Lacks
Feeling: Retains Lacks
Materials: Retains Lacks

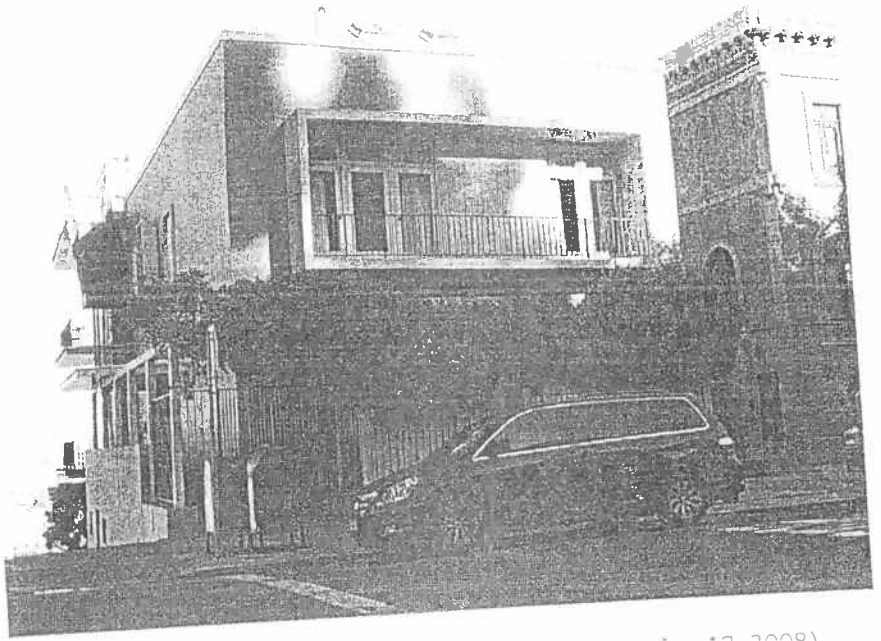
Historic Resource Evaluation Response
October 14, 2009

CASE NO. 2009.0535E
2296 Vallejo Street

CC:

Linda Avery, *Recording Secretary*, Historic Preservation Commission
Viraliza Byrd / Historic Resource Impact Review File

G:\DOCUMENTS\historic\2296 Vallejo Street.doc



10 2009

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On April 7, 2008, the Applicant named below filed Building Permit Application No. 2008.04.07.9049 (Alteration) with the City and County of San Francisco.

CONTACT INFORMATION		PROJECT SITE INFORMATION	
Applicant:	Quickdraw Consulting, Jeremy Paul	Project Address:	2296-2298 Vallejo Street
Address:	60 Otis St.	Cross Streets:	Fillmore Street (NE corner)
City, State:	San Francisco, CA 94103	Assessor's Block /Lot No.:	0557/014
Telephone:	(415) 552-1888	Zoning Districts:	RH-2 /40-X

Under San Francisco Planning Code Section 311, you, as a property owner or resident within 150 feet of this proposed project, are being notified of this Building Permit Application. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant above or the Planner named below as soon as possible. If your concerns are unresolved, you can request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

PROJECT SCOPE		
<input type="checkbox"/> DEMOLITION	and/or	<input type="checkbox"/> NEW CONSTRUCTION or <input checked="" type="checkbox"/> ALTERATION
<input checked="" type="checkbox"/> VERTICAL EXTENSION		<input type="checkbox"/> CHANGE # OF DWELLING UNITS <input checked="" type="checkbox"/> FACADE ALTERATION(S)
<input type="checkbox"/> HORIZ. EXTENSION (FRONT)		<input checked="" type="checkbox"/> HORIZ. EXTENSION (SIDE) <input checked="" type="checkbox"/> HORIZ. EXTENSION (REAR)

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
BUILDING USE	Four-unit Residential Building	No Change
FRONT SETBACK	9 feet	No Change
SIDE SETBACKS	None.....	No Change
BUILDING DEPTH	65 feet	No Change
REAR YARD.....	64 feet	No Change
HEIGHT OF BUILDING	39 feet (to ridge).....	No Change
NUMBER OF STORIES	3 over 2 basement levels	No Change
NUMBER OF DWELLING UNITS	4	No Change
NUMBER OF OFF-STREET PARKING SPACES	4 (at carport).....	No Change

PROJECT DESCRIPTION

The project proposes various interior and exterior alterations to the existing four-unit building. The various proposed vertical and horizontal extensions are to occur within the existing building footprint. The existing exterior side stairs along Fillmore Street are proposed to be enclosed within a side horizontal addition. At the roof level, dormer windows are proposed along the Fillmore Street façade and a stair/elevator penthouse is proposed along the interior side lot line. A horizontal rear addition and reconfiguration of the existing rear deck is proposed for the dwelling unit at the roof level. Exterior façade alterations, include but are not limited to, zinc wall siding at bay structures, new guardrails at all decks and re-roofing of the existing roof. See attached plans.

PLANNER'S NAME: Glenn Cabreros

PHONE NUMBER: (415) 558-6169

EMAIL: glenn.cabreros@sfgov.org

DATE OF THIS NOTICE: 3-25-10

EXPIRATION DATE: 4-24-10

APPLICATION REQUESTING DISCRETIONARY REVIEW ("D.R.")

This application is for projects where there are exceptional and extraordinary circumstances that justify further consideration, even though the project already meets requirements of the Planning Code, City General Plan and Priority Policies of the Planning Code.

D.R. Applicant's Name LYA THOMAS Telephone No: 415 922 4717

D.R. Applicant's Address 2295 VALEJO ST 314
Number & Street (Apt. #)
SAN FRANCISCO 94123
City Zip Code

D.R. Applicant's telephone number (for Planning Department to contact): 415 922 4717
If you are acting as the agent for another person(s) in making this request please indicate the name and address of that person(s) (if applicable):

Name SEE ATTACHED FOR LIST OF PERSONS Telephone No: _____

Address _____
Number & Street (Apt. #)
_____ Zip Code
City

Address of the property that you are requesting the Commission consider under the Discretionary Review: 2296 - 2298 VALEJO STREET

Name and phone number of the property owner who is doing the project on which you are requesting D.R.: RICHARD CROCKER / CROCKER PROPERTIES 831.763.3620

Building Permit Application Number of the project for which you are requesting D.R.: 2008.04.07.9049

Where is your property located in relation to the permit applicant's property?
SOUTH SIDE, ACROSS THE STREET

A. ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST
Citizens should make very effort to resolve disputes before requesting D.R. Listed below are a variety of ways and resources to help this happen.

1. Have you discussed this project with the permit applicant? YES NO THROUGH APPLICANT'S AGENT
2. Did you discuss the project with the Planning Department permit review planner? YES NO
3. Did you participate in outside mediation on this case? Community Board Other NO
OWNER/OWNER'S AGENT DECLINED
CASE # 10-0156

09.05350

4. If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the results, including any changes that were made to the proposed project so far.

SEE ATTACHED

B. DISCRETIONARY REVIEW REQUEST

1. What are the reasons for requesting Discretionary Review? The project meets the minimum standards of the Planning Code. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies?

SEE ATTACHED

2. If you believe your property, the property of others or the neighborhood would be adversely affected, please state who would be affected, and how:

SEE ATTACHED

3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above (in question B1)?

SEE ATTACHED

Please write (in ink) or type your answers on this form. Please feel free to attach additional sheets to this form to continue with any additional information that does not fit on this form.

CHECKLIST FOR APPLICANT:

Indicate which of the following are included with this Application:

REQUIRED:

- Check made payable to Planning Department (see current fee schedule).
- Address list for nearby property owners, in label format, plus photocopy of labels.
- Letter of authorization for representative/agent of D.R. applicant (if applicable).
- Photocopy of this completed application.

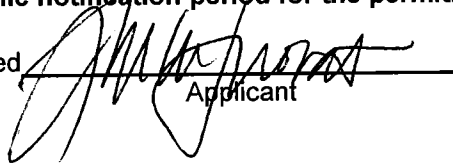
OPTIONAL:

- Photographs that illustrate your concerns.
- Covenants or Deed Restrictions.
- Other Items (specify).

File this objection in person at the Planning Information Center. If you have questions about this form, please contact Information Center Staff from 8 a.m. to 5 p.m., Monday to Friday.

Plan to attend the Planning Commission public hearing which must be scheduled after the close of the public notification period for the permit.

Signed


Applicant

4/24/2010

Date

Discretionary Review Application
Project Address: 2296 – 2298 Vallejo Street

Additional person(s) making this D.R request:

1. Dr. and Mrs. Alvin D Benjamin 2295 Vallejo Street # 307, San Francisco, 94123 415.346.6561
2. Dee Sala 2295 Vallejo Street #304, San Francisco 94123 415.563.8958
3. David Rogers & Teresa Romanek 2295 Vallejo Street # 301 San Francisco 94123 415.260.2182
4. Erick Haskell 2295 Vallejo Street #310 San Francisco 94123
5. Helen Kosik-Westley (owner 2295 Vallejo Street #312) c/o PO Box 848 Monterey CA, 93942 831-657-9737

Answers to DR Application Questions:

Question A4:

Various owners at 2295 Vallejo Street have discussed concerns with the owner's agent, Mr. Jeremy Paul, or have on several occasions requested the opportunity to discuss our concerns with owner's agent. Most of these attempts have been ignored). Reference letters to Mr. Jeremy Paul from Dr. Alvin Benjamin dated October 27 2009 and November 10, 2009 (copies attached – Exhibit 1, Exhibit 2).

We have attempted to use the city's suggested mediation services to discuss our concerns regarding the project and to potentially find amenable solutions to the proposed project to meet these concerns – owner's agent declined to leverage this service to meet with concerned owners.

Various owners at 2295 Vallejo Street have also been in touch with the Planner assigned to the project, Mr. Glenn Cabrerros for assistance in resolving our concerns. See enclosed letter to Mr. Cabrerros from Dr. Alvin Benjamin dated December 1, 2009 (copy enclosed – Exhibit 3).

To date, the owner and owner's agent have not been willing to review and discuss neighboring property concerns and questions.

Question B1:

- The project as presented is oversize, over scale and not in keeping with the architecture on the street and appropriateness of the neighborhood
- The project's proposed balconies on the West side of the property and build-out (extension of the roofline) for the penthouse unit and penthouse stairwell at the top of the property will impact the streetscape and sight lines from neighboring properties
- The plans presented do not adequately depict in sufficient detail all planned impacts to the roof and proposed expansion of the penthouse level, proposed expansion of east side stairwells at the penthouse level and proposed utilities (vents, chimneys, etc.) at the roof level .

Question B2:

We believe most owners and occupants at 2295 Vallejo Street with North and West facing units will be impacted by the proposed changes to the following elements:

- Proposed boxed in balcony on the West side of the building (3rd level) would be an eyesore to North and West facing unit owners and may impact property values of owners
- Potential increase in height of penthouse stairwell would be an eyesore to north-facing unit owners
- Proposed new penthouse dormer would be an eyesore to North-facing unit owners and may impact property values of owners

Question B3:

- Potential changes (note owner & owners' agent have not accepted repeated attempts to meet and review such changes to the plans)
 - Revision to the proposed West side balcony on 3rd level (new standing seam zinc metal wall siding) proposed new "boxed in" balcony
 - Revision to the proposed new dormer (west side) on roof (which extends the height of this section of the existing roof by over 6 feet, and by a undetermined width (unclear from plans what the width impact is)
 - Revision to the proposed height and extension (approx 4 feet per plans) of the penthouse (4th floor) stairwell on the Eastside of the property roof

October 27, 2009

Mr. Jeremy Paul
52 Otis Street
San Francisco, CA 94103

Dear Mr. Paul:

I was one of the neighbors who attended your Pre Application Meeting concerning alterations at 2296-2298 Vallejo Street about six weeks ago.

At this time I would like to suggest:

- 1) A copy of the plans and elevations for the proposed alterations sent to me at the address below.
- 2) Subsequent to this, a meeting with you and/or Richard Crocker and/or the architects to further discuss the project.

My neighbors and I have some concerns. I do not think that these are major and I would hope that we would be able to resolve any differences in this pre application period, thereby obviating more intense and prolonged adjudication in the future.

My comments are extended as a friendly gesture and I trust you will respond in similar fashion.

Yours sincerely,

Alvin D. Benjamin, M.D.
2295 Vallejo Street # 307
San Francisco, CA 94123

cc: Richard Crocker
San Francisco Planning Board

09.0535D

November 10, 2009

Mr. Jeremy Paul
52 Otis Street
San Francisco, CA 94103

Dear Mr. Paul:

Thank you for forwarding the plans for the development proposal at 2296-2298 Vallejo Street.

After some study, I would reiterate the fact that our concerns and differences are not major. I suggest that we now meet together to resolve them. Please be informed that Jack Scott will be in attendance as my adviser.

Most days I am broadly available. I await your reply as to date and location.

Sincerely,

A. D. Benjamin, M.D.
2295 Vallejo Street
San Francisco, CA 94123

415 346 6561

09.05350 1

December 1, 2009

Mr. Glenn Cabrerros
San Francisco Planning Department
1650 Mission Street
San Francisco, CA 94103

RE: Planned Renovation 2296-2298 Vallejo Street
Block/Lot #0557/014 Zoning: RH-2/40-X

Dear Mr. Cabrerros:

I am one of a group of neighbors across the street from the renovation site noted above. Following an August, 2009 neighborhood pre application meeting, we have reservations concerning the proposed change in elevations.

In an attempt to compromise our differences, I have sought a meeting with construction consultant Jeremy Paul of Quickdraw and have been unsuccessful.

I am enclosing self explanatory correspondence which I hope can be entered into the records as your planning process proceeds.

Yours Truly,

Alvin D. Benjamin, M.D.
2295 Vallejo # 307
San Francisco, CA 94123

encl: 2

09.0535D 1

RICHARD L. CROCKER

**2298 Vallejo Street
San Francisco, California 94123**

June 9, 2010

President Ron Miguel
San Francisco Planning Commission
1650 Mission St.,
San Francisco, CA

Regarding: Discretionary Review Request 09.535D 2296 - 2298 Vallejo Street
Building Permit Application Number 2008.04.07.9049

Dear President Miguel and Honorable Commissioners:

In the more than two years since this permit application was filed, we have worked very hard to create an improved home for ourselves and our tenants while minimizing the impacts on our neighbors across the street to every extent possible. The application you see before you is the result of that process.

Our case planner, Mr. Glenn Cabrerros, has worked with us every step of the way and we wish to express our appreciation for his contributions to this project. In addition to providing code and Residential Design Guidelines-based comments, Mr. Cabrerros has provided practical advice and opinions on how we might achieve our goals with the least possible obstruction of the views of our neighbors across the street.

We originally hired noted modernist architect Anne Fougeron for this project (after reading in the Chronicle that Director Rahaim chose a home of her design as his favorite new small residence in San Francisco). It was her grand vision for a major reconstruction and addition to our four unit apartment house at the corner of Vallejo and Fillmore that was originally filed with this building permit. Although we love her exciting and dynamic design, we came to see that the substantial expansions of the building and radical alterations to the exterior of the Fougeron design were just too big and too much for this corner. After discussions with neighbors and consultation with our planner and our permit consultant, we went back to the drawing board.

Theresa and I selected a new architect, Eugene Sakai, and set him on a very different task than we had Ms. Fougeron. Where we asked Ms. Fougeron for excitement and creativity, we asked Mr. Sakai for practicality and efficiency; the results are the application that is now before you. We hope you'll agree that Mr. Sakai has succeeded. Not only is this design modest in scope, staying below the height of the ridge line of the existing roof, Mr. Sakai has unified exterior elements of our building, beautifying the results of bad remodels done decades ago.

Every possible step has been taken to minimize the expansion of the exterior envelope at 2296 which might be seen from our uphill neighbors at 2295 Vallejo Street; but we could not achieve our main goal of this project without some small alteration of the roofline. Our apartment on the top floor is nearly unlivable with an awkward floor plan and ceiling. This must be corrected to provide the quality of living space an apartment should provide. Fortunately the Planning Code and the Residential Design Guidelines support improvements as we have proposed. Ours is a fully code compliant project, which will correct a long present design deficiency, and provide quality housing to apartment dwellers at this address for many years to come.

We prepared a scale model of the existing building and of the alterations proposed with this application. On May 17 we held a neighborhood meeting that was well attended by the DR requesters and many of the other condo owners from 2295 Vallejo. We had a very cordial and informative meeting, but we reached the same impasse we have each time we have spoken with these neighbors across the street: they will see any alterations we make, and they contend that any view impact at all will damage their property values.

It is a simple and practical fact that we can not improve our building as needed without some alteration on the roof. As proposed, these alterations are minimal and will not substantially obstruct anyone's view, but our uphill neighbors will see the changes. No apartment will lose views of the Golden Gate Bridge, the Bay, or of Alcatraz; they will simply see small additions below our existing roofline that did not previously exist.

As stated in the DR request, we did decline an invitation to attend Community Boards mediation, it seemed quite pointless to us; every time we have spoken with these neighbors the issues are the same -views, views and views. We have reduced the mass of our alterations to the point that there is no room for further reduction, as reduction is what the neighbors at 2295 Vallejo hoped to achieve at Community Boards, we were unwilling to participate in the process. We have otherwise cooperated with our neighbors to every extent possible, including providing plans and information when requested.

The DR requestors are our neighbors, and we sincerely wish to be friendly with all of them. But our apartments have design problems and the code provides avenues to correct them. We believe it is our responsibility as property owners to improve the habitability of our apartments if possible. Theresa and I regret that our

neighbors are upset by our modest addition, but when it's completed we are confident that every one of the parties to this Discretionary Review Request will find what we have done to be an attractive improvement, with no great impact on their views or property values.

Please follow staff recommendations and reject this Discretionary Review and approve the project as proposed.

Thank you for your time commissioners, and thank you for your public service.

Respectfully,

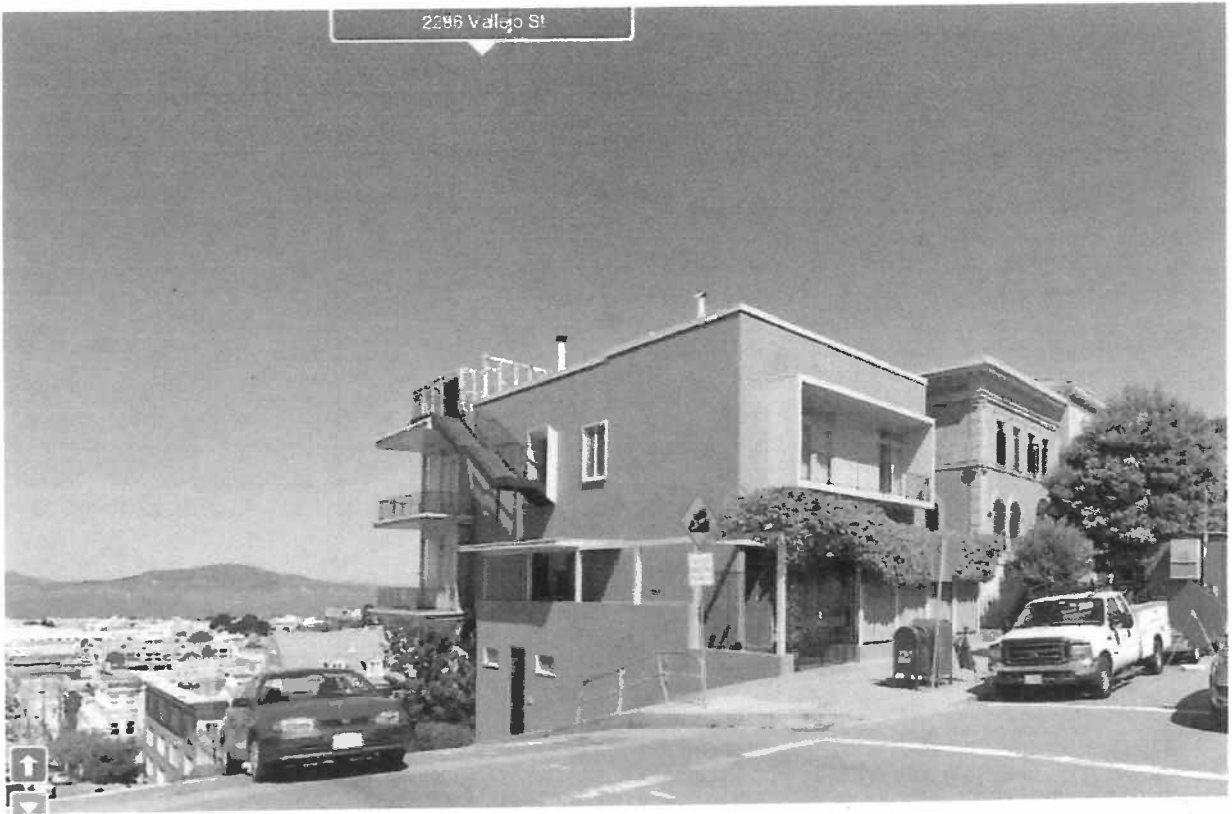
A handwritten signature in black ink, appearing to read "R. Crocker", with a long horizontal flourish extending to the right.

Richard & Theresa Crocker

2296-2298 Vallejo Front



2296-8 Vallejo Corner



2298 VALLEJO STREET – ROOFTOP VIEW

PHOTOGRAPH of EXISTING CONDITIONS



Photograph of Existing Conditions as viewed from 2295 Vallejo Street Upper Deck

COMPUTER RENDERING of PROPOSED DESIGN



Computer Rendering of proposed design as viewed from 2295 Vallejo Street Upper Deck

2298 VALLEJO STREET – ROOFTOP VIEW

PHOTOGRAPH of EXISTING CONDITIONS



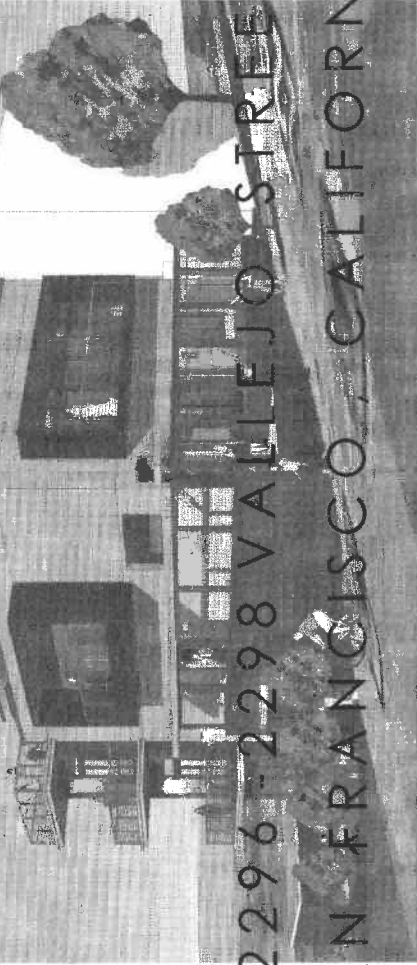
Photograph of Existing Conditions as viewed from 2295 Vallejo Street Upper Deck

COMPUTER RENDERING of PROPOSED DESIGN



Computer Rendering of proposed design as viewed from 2295 Vallejo Street Upper Deck

VALLEJO STREET APARTMENT IMPROVEMENTS



2296-2298 VALLEJO STREET
SAN FRANCISCO, CALIFORNIA

Studio 5
19 N. 2nd St., Ste. 202
San Jose, CA 95112
P: (408) 998-0982
F: (408) 998-0982

R. C. HORTONS, LLC
2296 2298 VALLEJO STREET
SAN FRANCISCO, CA
APARTMENT IMPROVEMENTS



NO.	DATE	DESCRIPTION
09.001	05.14.2009	DESIGN DEVELOPMENT REVIEW
	05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
	08.04.2009	PLANNING DEPARTMENT SUBMITTAL SET
	10.03.2009	PLANNING DEPARTMENT SUBMITTAL SET
	11.30.2009	PLANNING DEPARTMENT SUBMITTAL SET
	02.07.2010	PLANNING DEPARTMENT SUBMITTAL SET

COVER SHEET

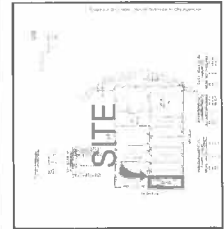


10' SCALE

LOCATION MAP



ASSESSOR'S PARCEL MAP



SHEET INDEX

- TITLE SHEET
- POSTING & PROPOSED SITE PLAN
- CONCRETE PHOTO
- DEMOLITION PLANS
- DEMOLITION & EX. ROOF PLAN
- EX. ELEVATIONS (FOR REF. ONLY)
- EX. ELEVATIONS (FOR REF. ONLY)
- FLOOR PLANS
- FLOOR PLANS
- FLOOR PLANS
- ROOF PLAN
- ROOF PLAN
- EXTERIOR ELEVATIONS
- EXTERIOR ELEVATIONS
- SECTIONS
- SECTIONS
- PERSPECTIVE RENDERINGS
- PERSPECTIVE RENDERINGS

PROJECT TEAM

OWNER
R.C. HORTONS, LLC
19 North Second Street, Ste. 202
San Jose, CA 95113
Attn: W. Richard Coker
Ph: 408.998.0982
Email: rchard@rc Hortons.com

PERMIT CONSULTANT
GUDONAW Hermit Consulting
San Francisco, CA 94103
Attn: Je. emy Pau
Ph: 415.520.1888
Fax: 415.520.1889
E-Mail: jerry@gudonaw.com

ARCHITECT
Studio 5
19 North Second Street, Ste. 202
San Jose, CA 95113
Attn: Eugene H. Joo, AIA, LEED AP
Ph: 408.998.0982
Email: eho@studio5.com

PROJECT INFORMATION

ASSESSOR'S BLOCK AND LOT NO: 0857-014
ZONING AND JURISDICTION: RH-2 (RESIDENTIAL HOUSE TWO FAMILY)
HEIGHT AND BLOCK DISTRICT: 38' X
SERVICES: 45% REQUIRED BRK TARD
TYPE OF CONSTRUCTION: TYPE V A, FULLY SPRINKLERED
BUILDING OCCUPANCY GROUPS: R-2 (MULTI-FAMILY RESIDENTIAL - 2+ UNITS)
NUMBER OF FLOORS (EX): 4 OVER BASEMENT
NUMBER OF FLOORS (NEW): 4 OVER BASEMENT

EXISTING UNIT COUNT: 4
PROPOSED UNIT COUNT: 4
EXISTING LIVING AREA (TOTAL BUILDING): 14,294.5 SF
PROPOSED LIVING AREA: 14,827.5 SF (INTERIOR ROOMS ONLY)
EXISTING FLOOR ADDED AREA: 17,535.5 SF
FOURTH FLOOR ADDED AREA: 4,943.5 SF
TOTAL ADDED AREA: 17,535.5 SF
R1 + TN AREA: 4,294 + 7,345.5 SF = 11,639.5 SF

SCOPE OF WORK

On the basement floor, an existing staircase area will be excavated to create a location for a new private elevator and lobby area of 4 x 6.8 x 4, with a new stair access from basement to the ground floor.

On the first (ground) floor, an existing (887) SBA enclosure will be enclosed by 4'-0" x 10'-0" x 10'-0" (284) units of 1/2" L-284 SF.

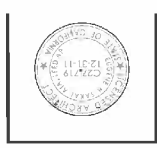
On the fourth (top) floor an existing 1877 SBA unit will be expanded by 4'-0" x 10'-0" x 10'-0" (284) units of 1/2" L-284 SF. The new unit will be expanded to 18'-5" x 11'-7" with a new dormer of 18'-5" x 11'-7" with a new dormer to create the head height required to relocate an existing escape stair, continuing along w/ a 10'-0" x 6'-0" within the master bedroom area.

The escape stair which connects the third and fourth floors will be relocated inside the building envelope and will remain an exterior stair.

Existing wind screens at the north side of the fourth floor will be removed and replaced w/ new glass rail.

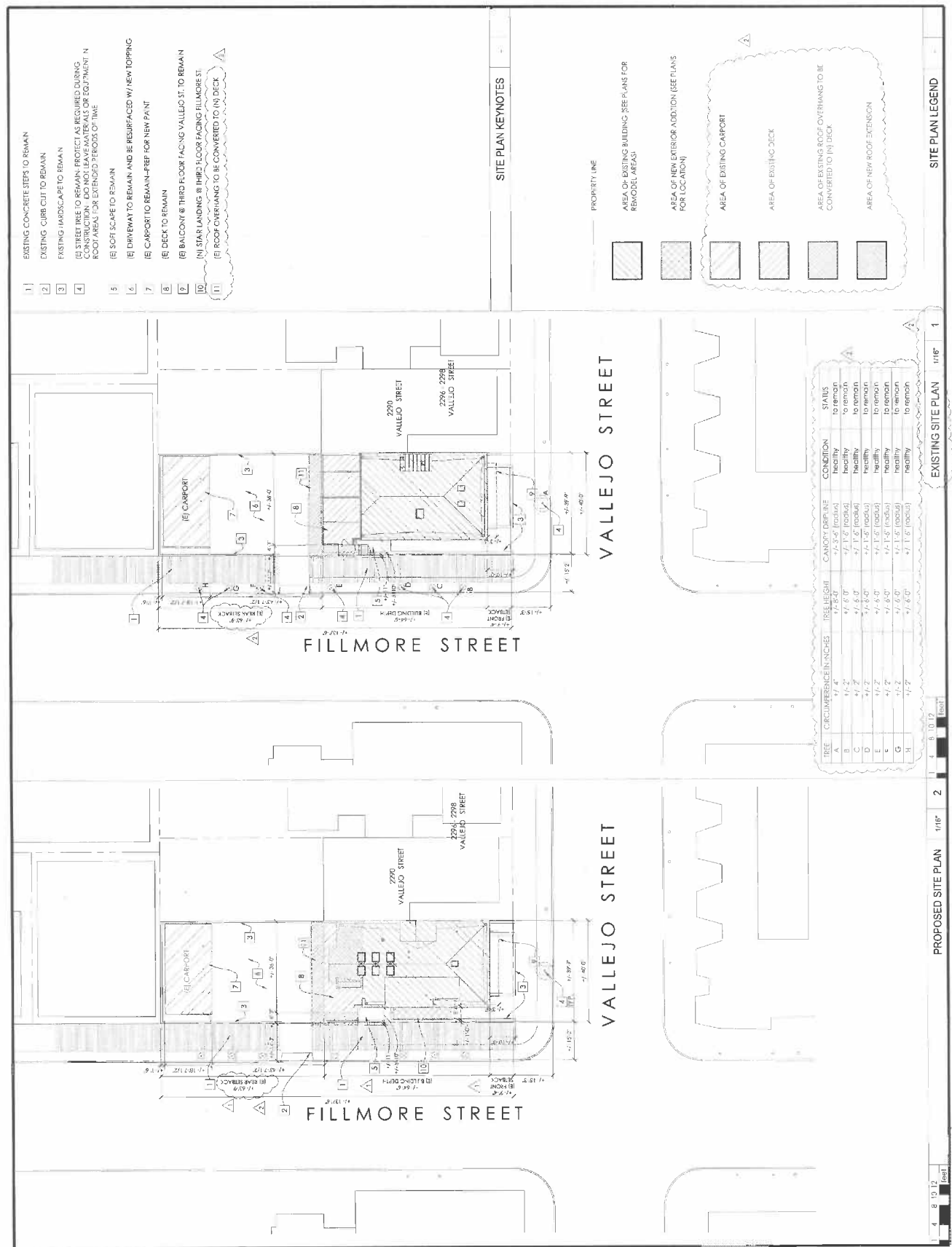
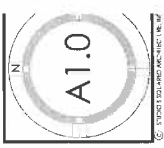
Modular glass facade improvements are proposed at east of this project, including new paint railing, exterior cladding, and entry concepts.

APPLICABLE CODES (with City of San Francisco Amendment):
1. The 2007 California Building Code with San Francisco Amendments
2. The 2007 San Francisco Building Code with San Francisco Amendments
3. The 2007 California Energy Code with San Francisco Amendments
4. The 2007 California Mechanical Code with San Francisco Amendments
5. The 2007 San Francisco Mechanical Code with San Francisco Amendments
6. The 2007 San Francisco Plumbing Code with San Francisco Amendments



09-001	REVISION	DATE	DESCRIPTION
01	DESIGN DEVELOPMENT REVIEW	05.14.2009	PLANNING DEPARTMENT SUBMITTAL SET
02	PLANNING DEPARTMENT SUBMITTAL SET	05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
03	PLANNING DEPARTMENT SUBMITTAL SET	08.04.2009	PLANNING DEPARTMENT SUBMITTAL SET
04	PLANNING DEPARTMENT SUBMITTAL SET	11.30.2009	PLANNING DEPARTMENT SUBMITTAL SET
05	PLANNING DEPARTMENT SUBMITTAL SET	01.07.2010	PLANNING DEPARTMENT SUBMITTAL SET

EXISTING & PROPOSED SITE PLAN



- 11** EXISTING CONCRETE STEPS TO REMAIN
- 1** EXISTING CURB CUT TO REMAIN
- 2** EXISTING HARDSCAPE TO REMAIN
- 3** (E) STREET TREE TO REMAIN PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME
- 4** (E) SOFT SCAPE TO REMAIN
- 5** (E) DRIVEWAY TO REMAIN AND BE RESURFACED W/ NEW TOPPING
- 6** (E) CARPORT TO REMAIN - PREP FOR NEW PAINT
- 7** (E) DECK TO REMAIN
- 8** (E) BALCONY @ THIRD FLOOR FACING VALLEJO ST. TO REMAIN
- 9** (E) STAR LANDING @ THIRD FLOOR FACING VALLEJO ST.
- 10** (E) ROOF OVERHANGING TO BE CONVERTED TO IN DECK
- 11** (E) ROOF OVERHANGING TO BE CONVERTED TO IN DECK

SITE PLAN KEYNOTES

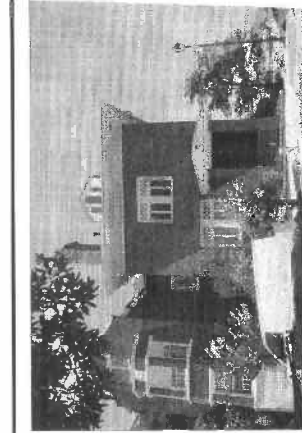
- PROPERTY LINE
- AREA OF EXISTING BUILDING REE PLANS FOR REMODEL AREAS
- AREA OF NEW EXTERIOR ADDITION (SEE PLANS FOR LOCATION)
- AREA OF EXISTING CARPORT
- AREA OF EXISTING DECK
- AREA OF EXISTING ROOF OVERHANG TO BE CONVERTED TO IN DECK
- AREA OF NEW ROOF EXTENSION

SITE PLAN LEGEND

TREE	CIRCUMFERENCE (IN INCHES)	TREE HEIGHT (FEET)	CANOPY SPREAD (FEET)	CONDITION	STATUS
A	17'-2"	47'-6.0'	47'-5.0' (radius)	healthy	to remain
B	17'-2"	47'-6.0'	47'-5.0' (radius)	healthy	to remain
C	17'-2"	47'-6.0'	47'-5.0' (radius)	healthy	to remain
D	17'-2"	47'-6.0'	47'-5.0' (radius)	healthy	to remain
E	17'-2"	47'-6.0'	47'-5.0' (radius)	healthy	to remain
F	17'-2"	47'-6.0'	47'-5.0' (radius)	healthy	to remain
G	17'-2"	47'-6.0'	47'-5.0' (radius)	healthy	to remain
H	17'-2"	47'-6.0'	47'-5.0' (radius)	healthy	to remain

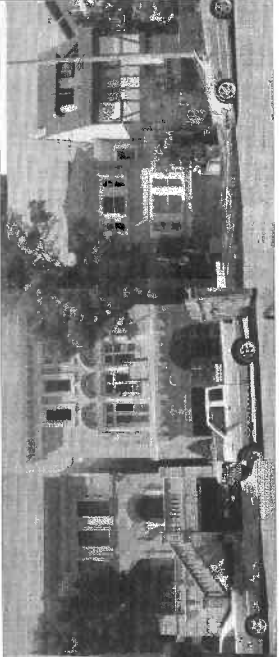
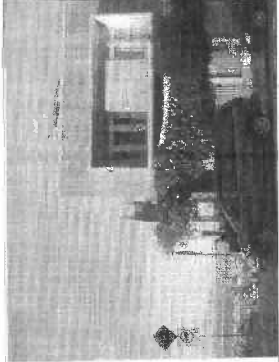
EXISTING SITE PLAN

PROPOSED SITE PLAN

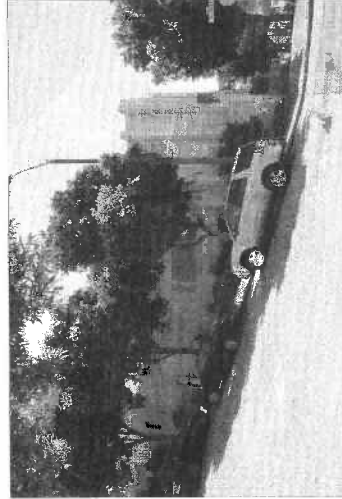


1 VIEW FROM VALLEJO STREET FACING NORTH

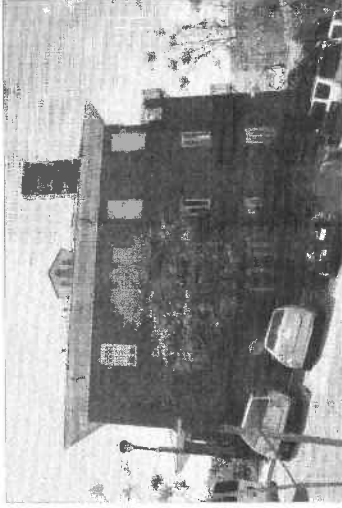
FILLMORE STREET



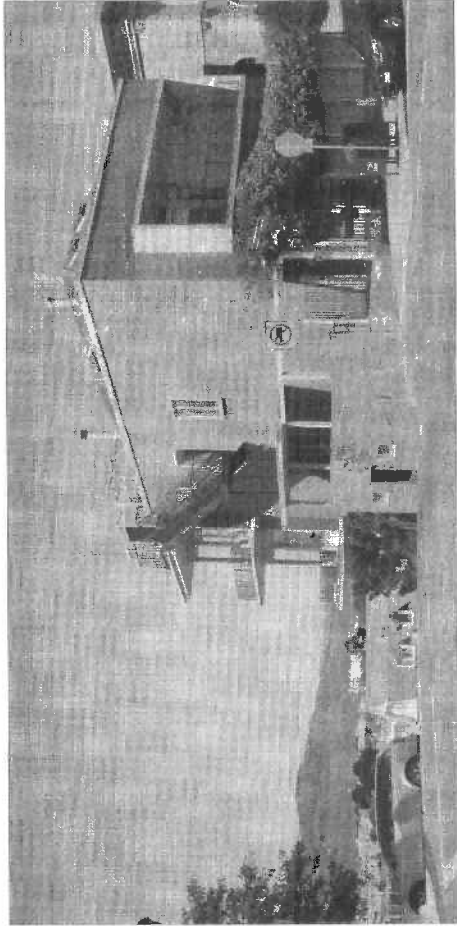
2296-2298 VALLEJO STREET



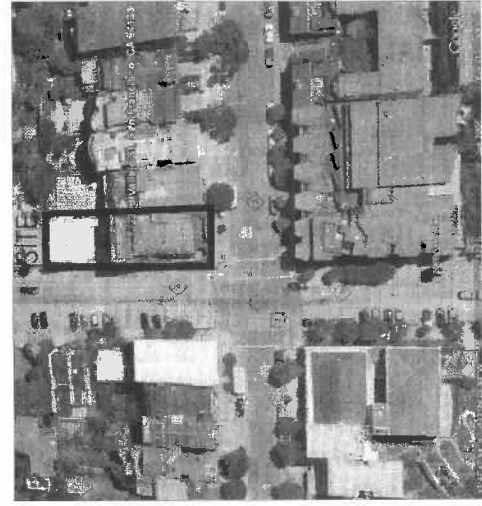
3 VIEW FROM FILLMORE STREET FACING WEST



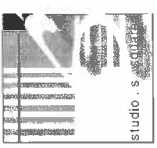
4 VIEW FROM FILLMORE STREET FACING WEST



5 VIEW OF 2296-2298 VALLEJO STREET FROM SOUTHWEST CORNER (CORNER OF VALLEJO ST., AND FILLMORE ST.)



SITE PHOTOS AND KEYMAP



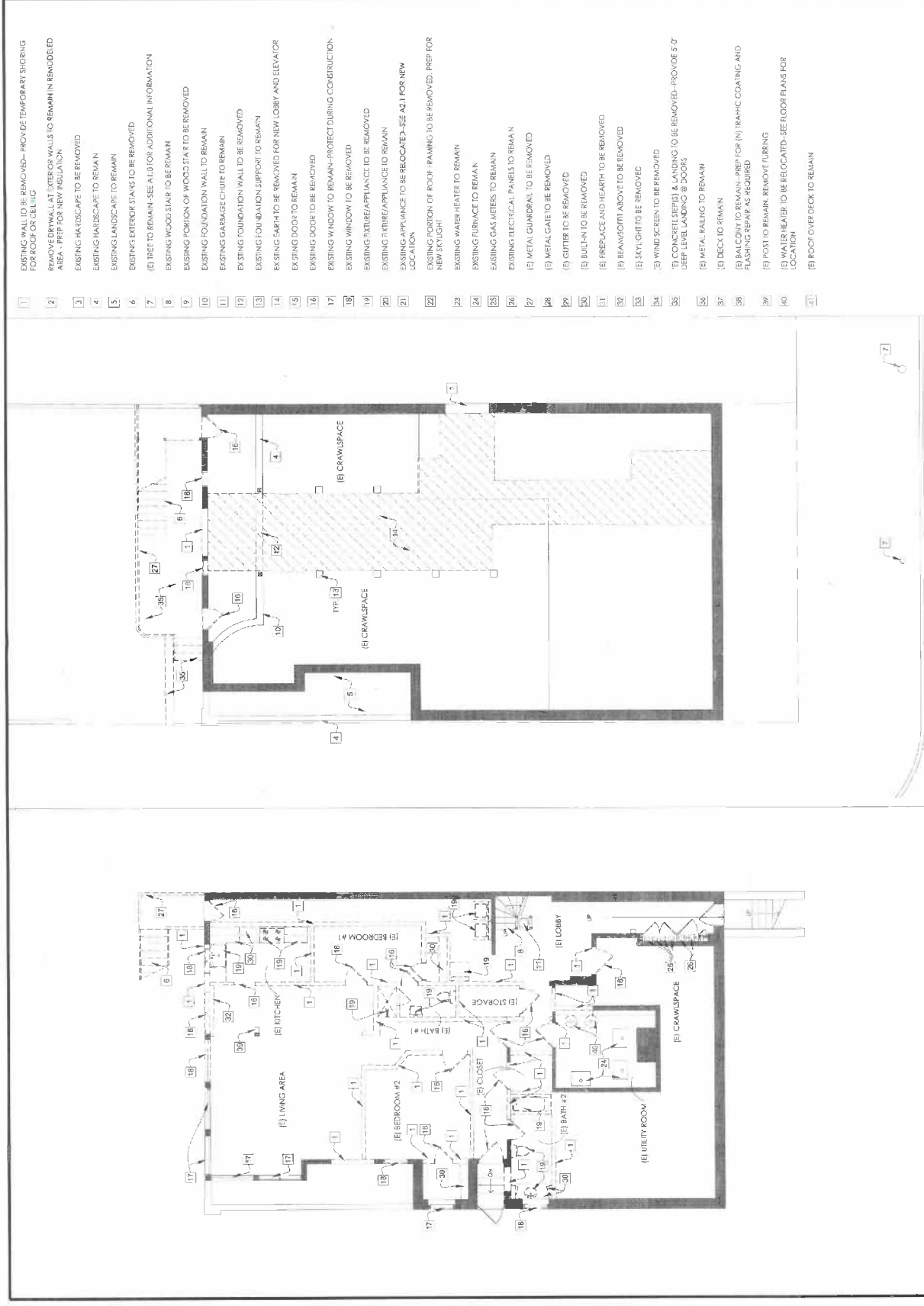
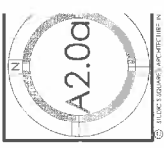
19 N. 7th St., Ste. 20
 San Jose, CA 95113
 P : (408) 998 - 098
 F : (408) 998 - 095

APARTMENT IMPROVEMENTS
 VALLEJO STREET
 2296 2298 VALLEJO STREET
 SAN FRANCISCO, CA
 94133



DATE	DESCRIPTION
05.14.2009	DESIGN DEVELOPMENT REVIEW
05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
06.04.2009	PLANNING DEPARTMENT SUBMITTAL SET
11.30.2009	PLANNING DEPARTMENT SUBMITTAL SET

DEMOLITION
 PLANS



- 1 EXISTING WALL TO BE REMOVED- PROVIDE TEMPORARY SHORING FOR ROOF OR CEILING
- 2 REMOVE DRYWALL AT EXTERIOR WALLS TO REMAIN IN REMODELED AREA - PREP FOR NEW INSULATION
- 3 EXISTING HANDSCAPE TO BE REMOVED
- 4 EXISTING LANDSCAPE TO REMAIN
- 5 EXISTING LANDSCAPE TO REMAIN
- 6 EXISTING EXTERIOR STAIRS TO BE REMOVED
- 7 (E) TREE TO REMAIN- SEE A10 FOR ADDITIONAL INFORMATION
- 8 EXISTING WOOD STAIR TO BE REMAIN
- 9 EXISTING PORTION OF WOOD STAIR TO BE REMOVED
- 10 EXISTING FOUNDATION WALL TO REMAIN
- 11 EXISTING GARBAGE CHUTE TO REMAIN
- 12 EXISTING FOUNDATION WALL TO BE REMOVED
- 13 EXISTING FOUNDATION SUPPORT TO REMAIN
- 14 EXISTING SMOOTH TO BE REMOVED FOR NEW LOBBY AND ELEVATOR
- 15 EXISTING DOOR TO REMAIN
- 16 EXISTING DOOR TO BE REMOVED
- 17 EXISTING WINDOW TO REMAIN- PROTECT DURING CONSTRUCTION
- 18 EXISTING WINDOW TO BE REMOVED
- 19 EXISTING FURNITURE/APPLIANCE TO BE REMOVED
- 20 EXISTING FURNITURE/APPLIANCE TO REMAIN
- 21 EXISTING APPLIANCE TO BE RELOCATED- SEE A21 FOR NEW LOCATION
- 22 EXISTING PORTION OF ROOF FRAMING TO BE REMOVED. PREP FOR NEW SKYLIGHT
- 23 EXISTING WATER HEATER TO REMAIN
- 24 EXISTING FURNACE TO REMAIN
- 25 EXISTING GAS METERS TO REMAIN
- 26 EXISTING ELECTRICAL PANELS TO REMAIN
- 27 (E) METAL GUARDRANT TO BE REMOVED
- 28 (E) METAL GATE TO BE REMOVED
- 29 (E) CHUTE TO BE REMOVED
- 30 (E) BULB TO BE REMOVED
- 31 (E) PREPACE AND HEARTH TO BE REMOVED
- 32 (E) BEAMS/OFFICE ABOVE TO BE REMOVED
- 33 (E) SKYLIGHT TO BE REMOVED
- 34 (E) WIND SCREEN TO BE REMOVED
- 35 (E) CONCRETE (E)P(S) & LANDING TO BE REMOVED- PROVIDE 5'-0" DEEP LEVEL LANDING @ DOORS
- 36 (E) METAL RAILING TO REMAIN
- 37 (E) DECK TO REMAIN
- 38 (E) BALCONY TO REMAIN- PREP FOR (E) TRAFFIC COATING AND FLASHING REPAIR AS REQUIRED
- 39 (E) POST TO REMAIN. REMOVE FLOORING
- 40 (E) WATER HEATER TO BE RELOCATED- SEE FLOOR PLANS FOR LOCATION
- 41 (E) ROOF OVER DECK TO REMAIN

DEMOLITION KEYNOTES

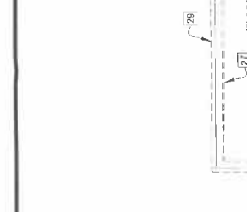
DEMOLITION PLAN @ BASEMENT 3/16" 1

DEMOLITION PLAN @ GROUND FLOOR 3/16" 2



19 N. 2nd St., Ste. 20
 San Jose, CA 95111
 P : (408) 998-092
 F : (408) 998-092

APARTMENT IMPROVEMENTS
 VALLEJO STREET
 2296-2298 VALLEJO STREET
 SAN FRANCISCO, CA
 94133



DESIGN DEVELOPMENT REVIEW
 03.14.2009
 PLANNING DEPARTMENT SUBMITTAL SET
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 PLANNING DEPARTMENT SUBMITTAL SET
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 PLANNING DEPARTMENT SUBMITTAL SET

PROJECT NO. 09-001
 REVISIONS

DEMOLITION PLANS



EXISTING WALL TO BE REMOVED - PROVIDE TEMPORARY SHORING FOR ROOF OR CEILING
 REMOVE DRYWALL AT EXTERIOR WALLS TO REMAIN IN REMODELED AREA - PREP FOR NEW INSULATION
 EXISTING HARDSCAPE TO BE REMOVED
 EXISTING LANDSCAPE TO REMAIN
 EXISTING LANDSCAPE TO REMAIN
 EXISTING EXTERIOR STAIRS TO BE REMOVED
 (E) TREE TO REMAIN - SEE A1.0 FOR ADDITIONAL INFORMATION
 EXISTING WOOD STAIR TO BE REMAIN
 EXISTING PORTION OF WOOD STAIR TO BE REMOVED
 EXISTING FOUNDATION WALL TO REMAIN
 EXISTING GARAGE CHUTE TO REMAIN
 EXISTING FOUNDATION WALL TO BE REMOVED
 EXISTING FOUNDATION SUPPORT TO REMAIN
 EXISTING EXHIBIT TO BE REMOVED FOR NEW LOBBY AND ELEVATOR
 EXISTING DOOR TO REMAIN
 EXISTING DOOR TO BE REMOVED
 EXISTING WINDOW TO REMAIN - PROTECT DURING CONSTRUCTION
 EXISTING WINDOW TO BE REMOVED
 EXISTING FURNITURE/APPLIANCE TO BE REMOVED
 EXISTING FURNITURE/APPLIANCE TO REMAIN
 EXISTING APPLIANCE TO BE RELOCATED - SEE A2.1 FOR NEW LOCATION
 EXISTING PORTION OF ROOF FRAMING TO BE REMOVED - PREP FOR NEW SKYLIGHT
 EXISTING WATER HEATER TO REMAIN
 EXISTING FURNACE TO REMAIN
 EXISTING GAS METERS TO REMAIN
 EXISTING ELECTRICAL PANELS TO REMAIN
 (E) METAL GUARD RAIL TO BE REMOVED
 (E) METAL GATE TO BE REMOVED
 (E) GUTTER TO BE REMOVED
 (E) BULLHORN TO BE REMOVED
 (E) TRIPLE AND HEARTH TO BE REMOVED
 (E) BEAMS/PIRF ABOVE TO BE REMOVED
 (E) SKYLIGHT TO BE REMOVED
 (E) WIND SCREEN TO BE REMOVED
 (E) CONCRETE (STEP(S) & LANDING) TO BE REMOVED - PROVIDE 5'-0" DEEP LEVELING & DOORS
 (E) METAL RAILING TO REMAIN
 (E) DECK TO REMAIN
 (E) BALCONY TO REMAIN - PREP FOR (N) TRAFFIC COATING AND FLASHING REPAIR AS REQUIRED
 (E) POST TO REMAIN - REMOVE CURRING
 (E) WATER HEATER TO BE RELOCATED - SEE FLOOR PLANS FOR LOCATION
 (E) ROOF OVER DECK TO REMAIN

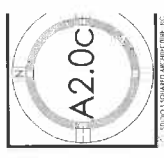


1 2 3 4 5 6
 DEMOLITION PLAN @ THIRD FLOOR 3/16' 2
 DEMOLITION PLAN @ SECOND FLOOR 3/16' 1
 DEMOLITION KEYNOTES

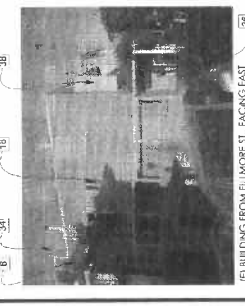
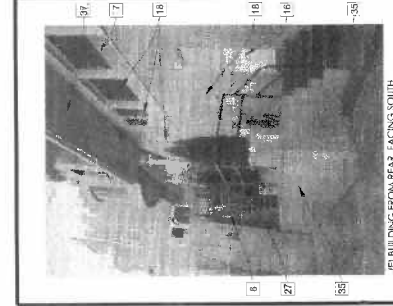
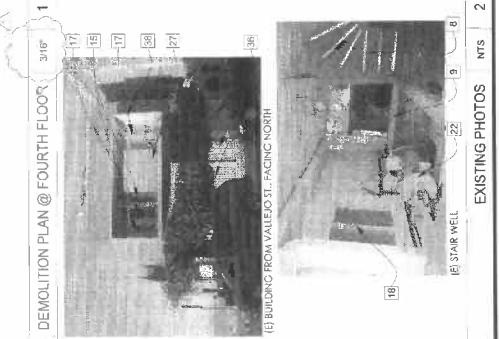
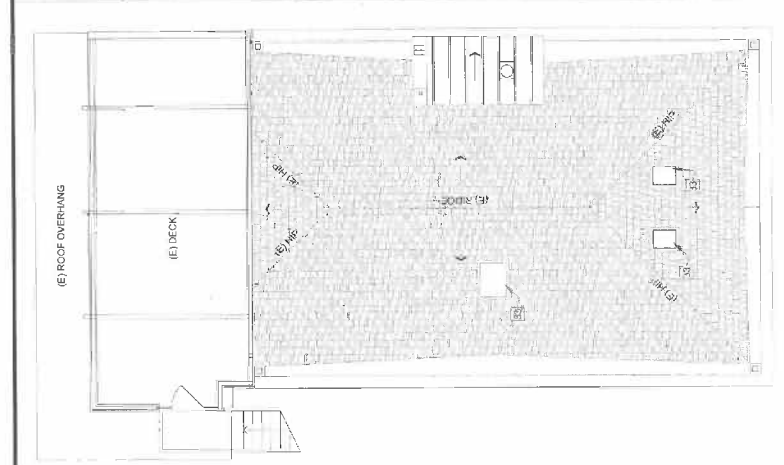
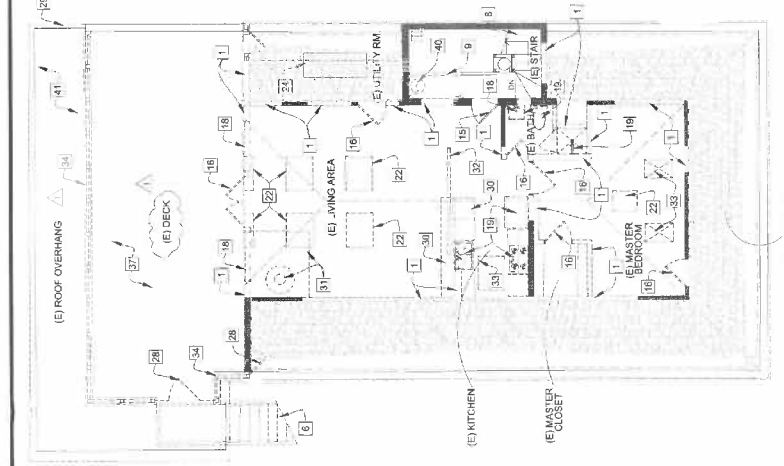


NO. 00	DATE	DESCRIPTION
05.12.2009		DESIGN DEVELOPMENT REVIEW
05.28.2009		PLANNING DEPARTMENT SUBMITTAL SET
05.28.2009		PLANNING DEPARTMENT SUBMITTAL SET
05.28.2009		PLANNING DEPARTMENT RESUBMITTAL SET
01.07.2010		PLANNING DEPARTMENT RESUBMITTAL SET

DEMOLITION PLANS

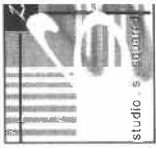


- 1 EXISTING WALL TO BE REMOVED - PROVIDE TEMPORARY SHORING FOR ROOF OR CEILING
- 2 REMOVE DRYPWALL AT EXTERIOR WALLS TO REMAIN IN REMODELED AREA - PREP FOR NEW INSULATION
- 3 EXISTING HANDICAP TO BE REMOVED
- 4 EXISTING HANDICAP TO REMAIN
- 5 EXISTING LANDSCAPE TO REMAIN
- 6 EXISTING EXTERIOR STAIRS TO BE REMOVED
- 7 (E) TREE TO REMAIN - SEE A.I.D.'S ADDITIONAL INFORMATION
- 8 EXISTING WOOD STAIR TO BE REMAIN
- 9 EXISTING PORTION OF WOOD STAIR TO BE REMOVED
- 10 EXISTING FOUNDATION WALL TO REMAIN
- 11 EXISTING GARBAGE CHUTE TO REMAIN
- 12 EXISTING FOUNDATION WALL TO BE REMOVED
- 13 EXISTING FOUNDATION SUPPORT TO REMAIN
- 14 EXISTING BATH TO BE REMOVED FOR NEW TUBRY AND BENEATOR
- 15 EXISTING DOOR TO REMAIN
- 16 EXISTING DOOR TO BE REMOVED
- 17 EXISTING WINDOW TO REMAIN - PROTECT DURING CONSTRUCTION
- 18 EXISTING WINDOW TO BE REMOVED
- 19 EXISTING FUTURE/APPLIANCE TO BE REMOVED
- 20 EXISTING FUTURE/APPLIANCE TO REMAIN
- 21 EXISTING APPLIANCE TO BE RELOCATED - SEE A.I.D. FOR NEW LOCATION
- 22 EXISTING PORTION OF ROOF FRAMING TO BE REMOVED - PREP FOR NEW SKYLIGHT
- 23 EXISTING WATER HEATER TO REMAIN
- 24 EXISTING FURNACE TO REMAIN
- 25 EXISTING GAS METERS TO REMAIN
- 26 EXISTING ELECTRICAL PANELS TO REMAIN
- 27 (E) METAL GUARDRAIL TO BE REMOVED
- 28 (E) METAL GATE TO BE REMOVED
- 29 (E) GUTTER TO BE REMOVED
- 30 (E) BUILT-IN TO BE REMOVED
- 31 (E) PREPARE AND HEARTH TO BE REMOVED
- 32 (E) BEAM/SOFFIT ABOVE TO BE REMOVED
- 33 (E) SKYLIGHT TO BE REMOVED
- 34 (E) WIND SCREENS TO BE REMOVED
- 35 (E) CONCRETE STEPS/LANDING TO BE REMOVED - PROVIDE 5'0\"/>



DEMOLITION KEYNOTES

EXISTING PHOTOS



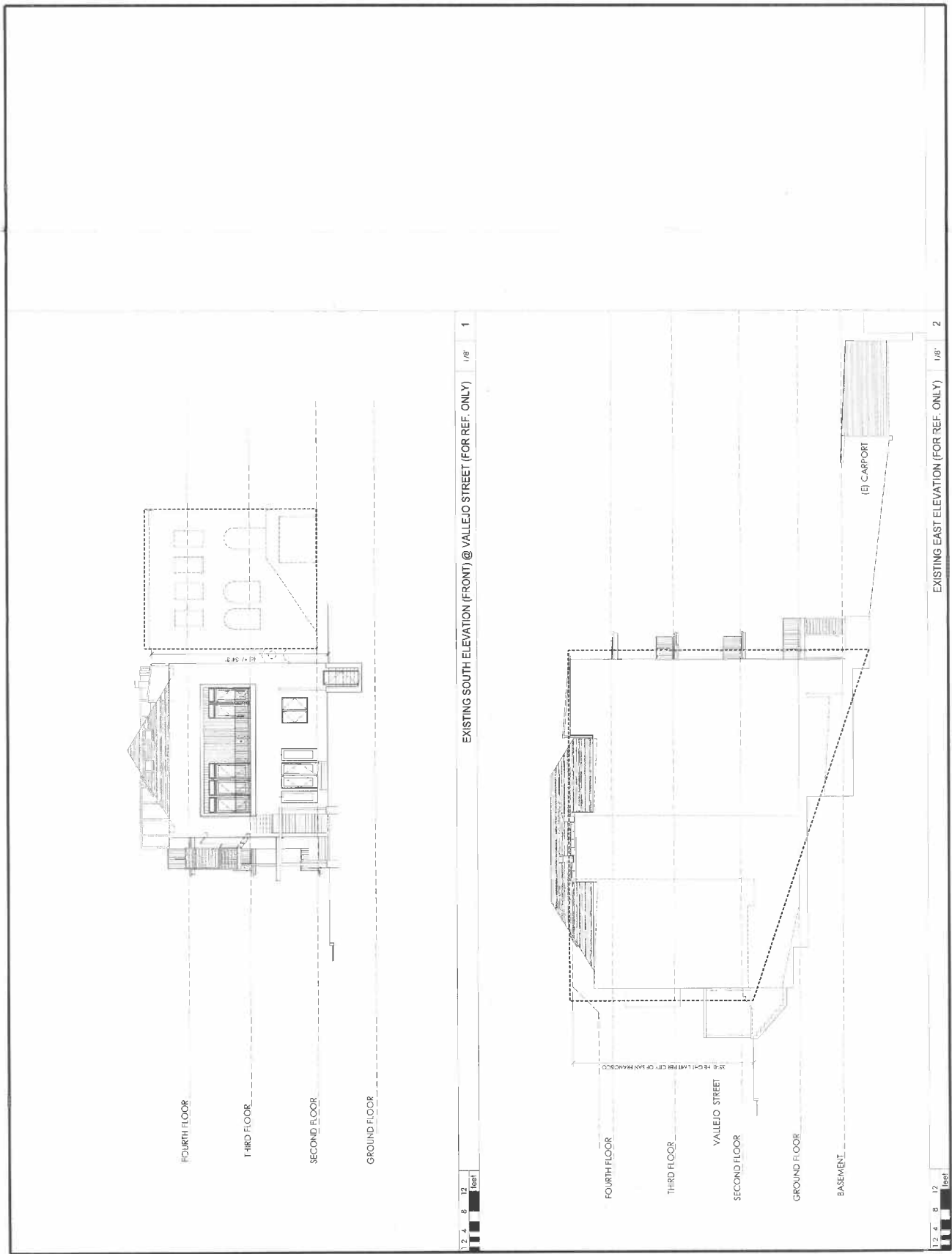
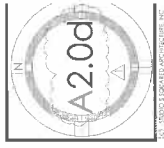
19 N. 2nd St., Ste. 205
 San Jose, CA 95113
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 F : (408) 998-0982

R. C. HORIZONS, LLC
 2296 2298 VALLEJO STREET
 SAN FRANCISCO, CA
 APARTMENT IMPROVEMENTS
 VALLEJO STREET



PROJECT NO.	09-001
DATE	03.14.2009
DESCRIPTION	DESIGN DEVELOPMENT REVIEW
REVISION	03.14.2009 PLANNING DEPARTMENT SUBMITTAL SET
	03.28.2009 PLANNING DEPARTMENT SUBMITTAL SET
	03.28.2009 PLANNING DEPARTMENT SUBMITTAL SET
	11.30.2009 PLANNING DEPARTMENT RESUBMITTAL SET

EXISTING ELEVATIONS
 (FOR REF. ONLY)



1 1/8" = 1'-0" EXISTING SOUTH ELEVATION (FRONT) @ VALLEJO STREET (FOR REF. ONLY)

2 1/8" = 1'-0" EXISTING EAST ELEVATION (FOR REF. ONLY)



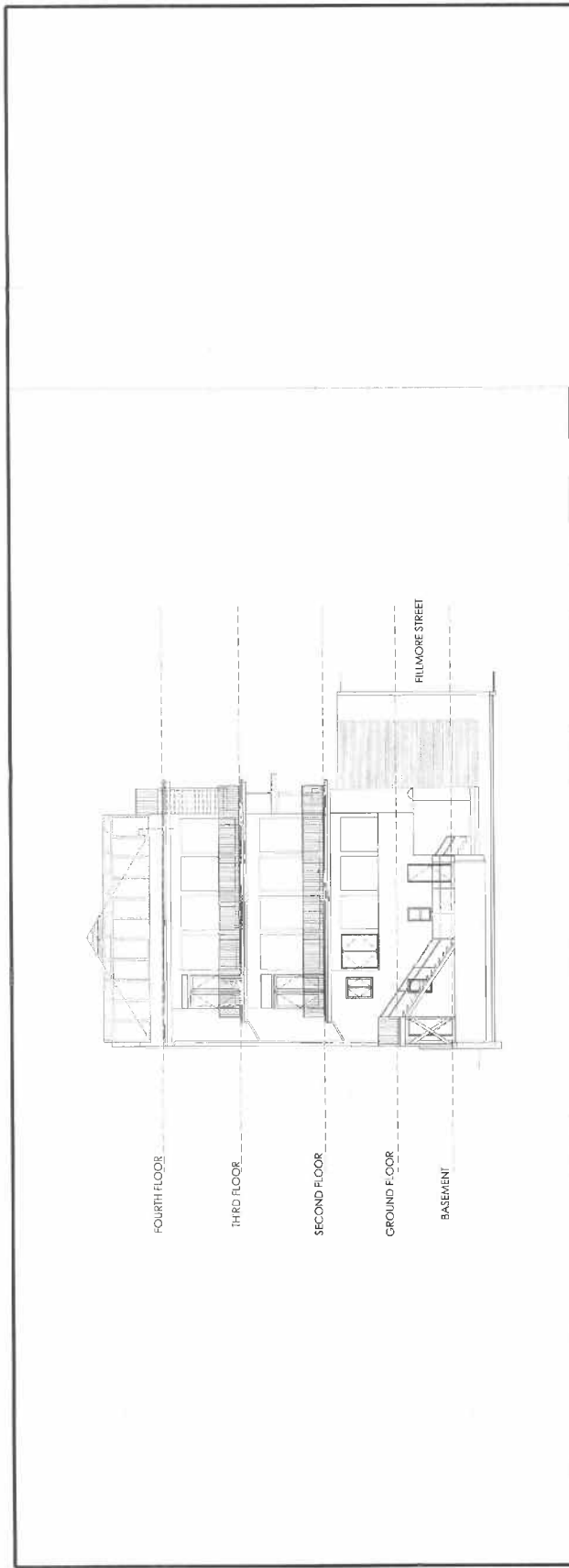
19 N. 2nd St. Ste. 205
 San Jose, CA 95113
 P : (408) 998 - 0983
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APARTMENT IMPROVEMENTS
 VALLEJO STREET
 R. C. HORIZONS, LLC
 2296 2298 VALLEJO STREET
 SAN FRANCISCO, CA

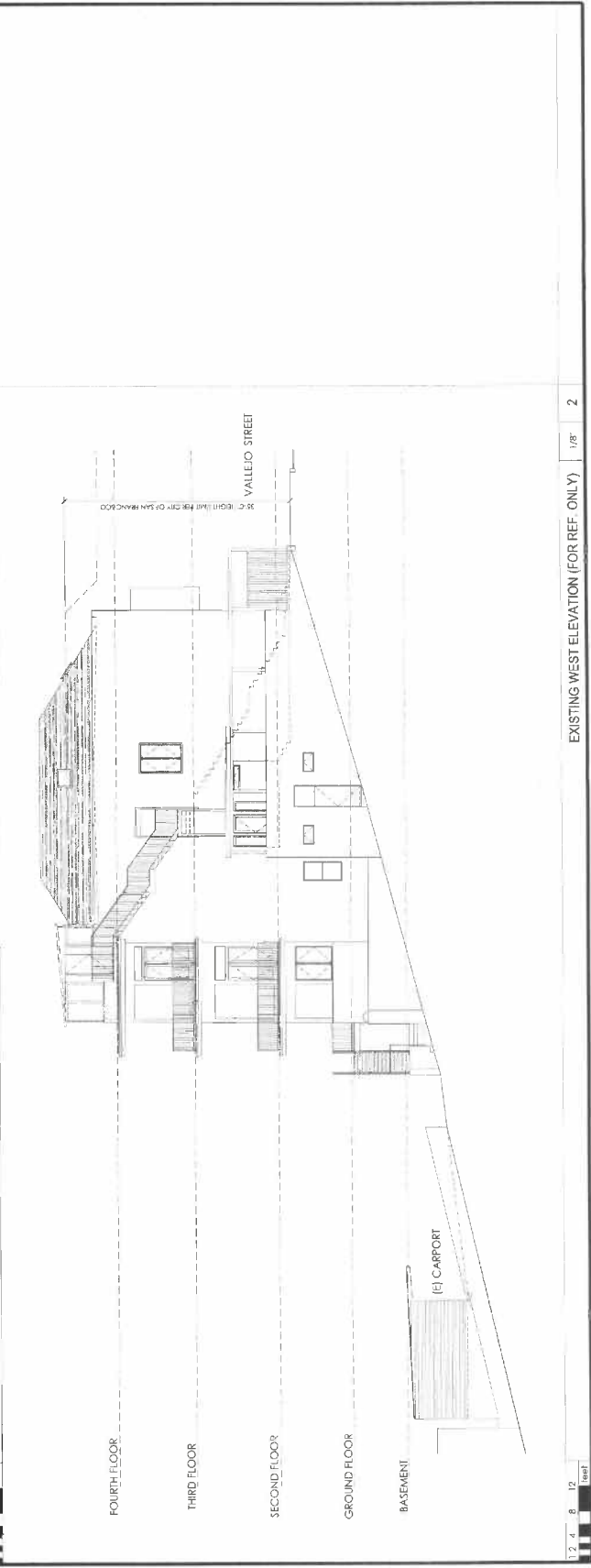


DATE	05/14/2009	DESIGN DEVELOPMENT REVIEW
DESCRIPTION	PLANNING DEPARTMENT SUBMITTAL SET	
DATE	05/28/2009	PLANNING DEPARTMENT SUBMITTAL SET
DESCRIPTION	PLANNING DEPARTMENT RESUBMITTAL SET	
DATE	11/30/2009	PLANNING DEPARTMENT RESUBMITTAL SET

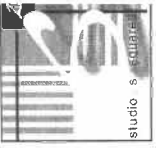
EXISTING ELEVATIONS (FOR REF. ONLY)



EXISTING NORTH ELEVATION (REAR) (FOR REF. ONLY) 1/8" = 1'



EXISTING WEST ELEVATION (FOR REF. ONLY) 1/8" = 1'

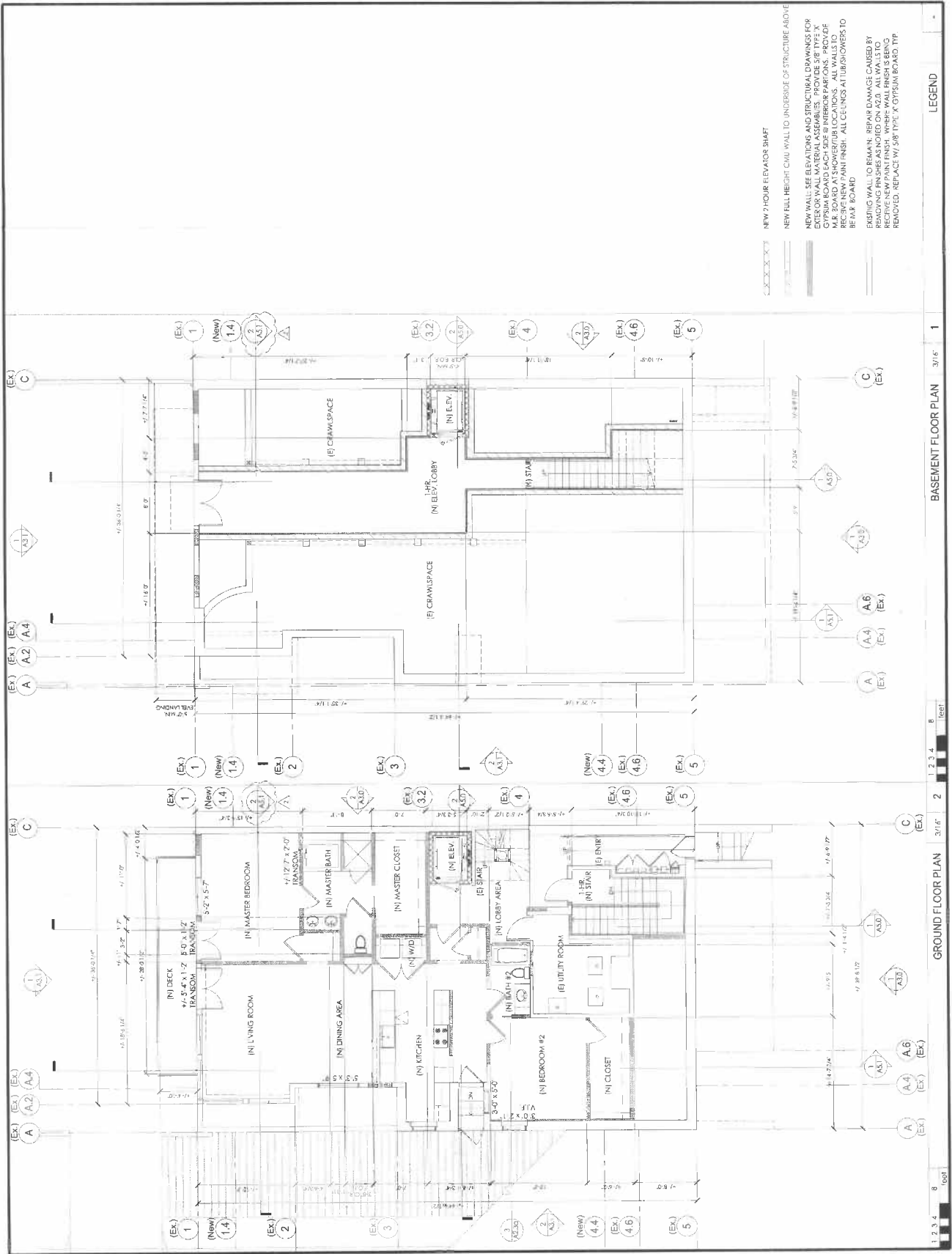


19 N. 2nd St., Ste. 205
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R. C. HORIZONS, LLC
 2296 2298 VALLEJO STREET
 SAN FRANCISCO, CA
APARTMENT IMPROVEMENTS
 VALLEJO STREET



PROJECT NO.	09-001
DATE	3/14/11
DESCRIPTION	DESIGN DEVELOPMENT REVIEW
05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
08.04.2009	PLANNING DEPARTMENT SUBMITTAL SET
11.23.2009	PLANNING DEPARTMENT RESUBMITTAL SET
01.07.2010	PLANNING DEPARTMENT RESUBMITTAL SET



- NEW 2-HOUR ELEVATOR SHAFT
- NEW FULL HEIGHT CMU WALL TO UNDERSIDE OF STRUCTURE ABOVE
- NEW WALL, SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLY. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTIONS. PROVIDE M.R. BOARD AT SHOWERS/TUB LOCATIONS. ALL WALLS TO BE FINISHED WITH FINISH. ALL CEILING AT TUBSHOWERS TO BE M.R. BOARD
- EXISTING WALL TO REMAIN. REPAIR DAMAGE CAUSED BY WATER INfiltration. REPAIR DAMAGE TO FINISHES. RECEIVE NEW PAINT FINISH. WHERE WALL FINISH IS BEING REMOVED, REPLACE W/ 5/8" TYPE 'X' GYPSUM BOARD, TYP.

LEGEND

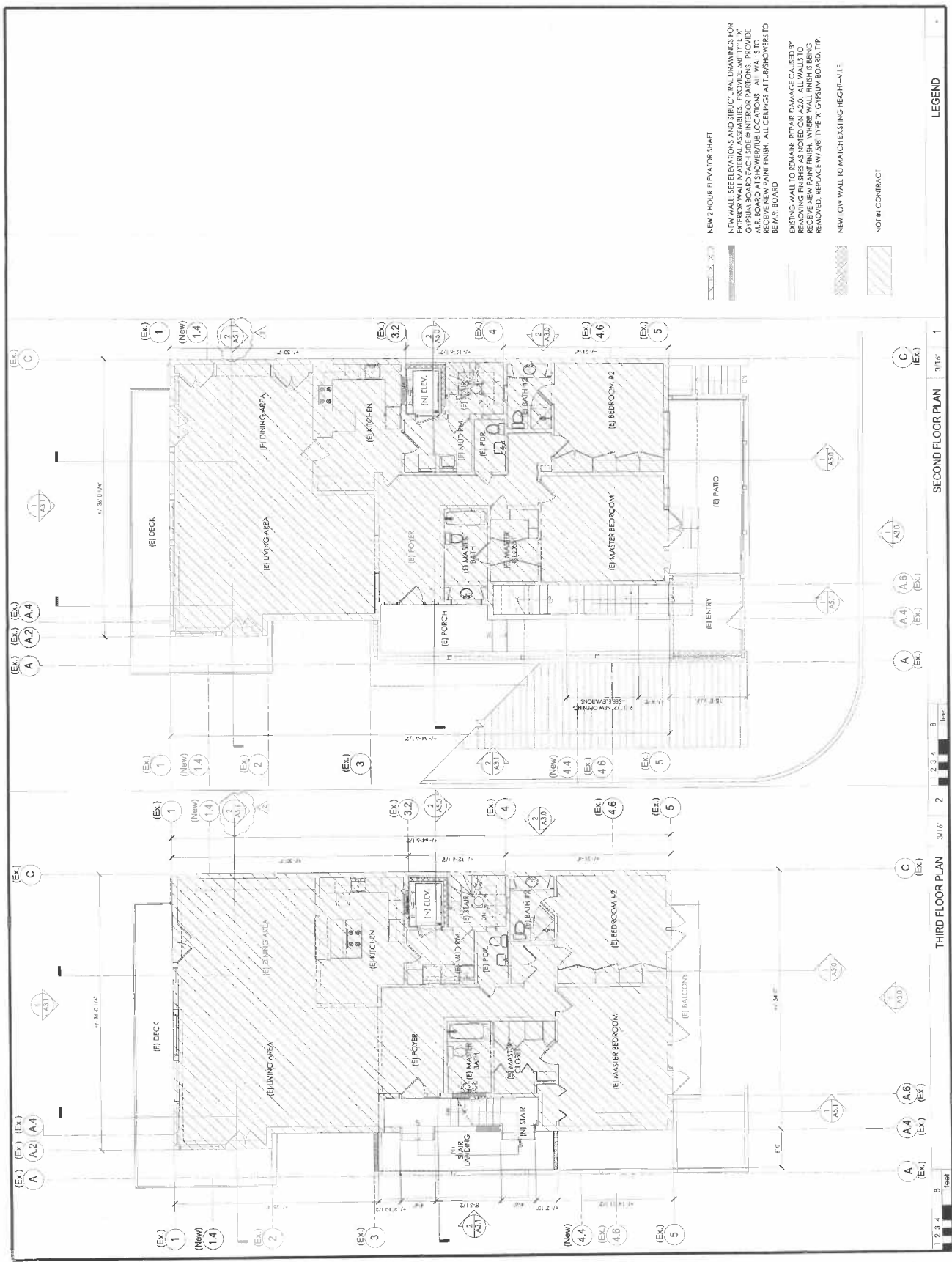
BASEMENT FLOOR PLAN 3/16'

GROUND FLOOR PLAN 3/16'

1 2 3 4 8 feet



09-01	DESIGN	05.14.2009	DESIGN DEVELOPMENT REVIEW
	DESIGN	05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
	DESIGN	05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
	DESIGN	05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
	DESIGN	05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
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	DESIGN	05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
	DESIGN	05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET



NEW 2-HOUR ELEVATOR SHAFT

NEW WALL. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL FINISHES. INTERIOR WALLS TO BE FINISHED WITH M.R. BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE NEW PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

EXISTING WALL TO REMAIN. REPAIR DAMAGE CAUSED BY REMOVING FINISHES AS NOTED ON A2.1. ALL WALLS TO RECEIVE NEW PAINT FINISH. WALLS WHERE FINISHES ARE TO BE REMOVED. REPLACE WITH 5/8" TYPE X GYPSUM BOARD, TYP.

NEW LOW WALL TO MATCH EXISTING HEIGHT-V.I.F.

NOT IN CONTRACT

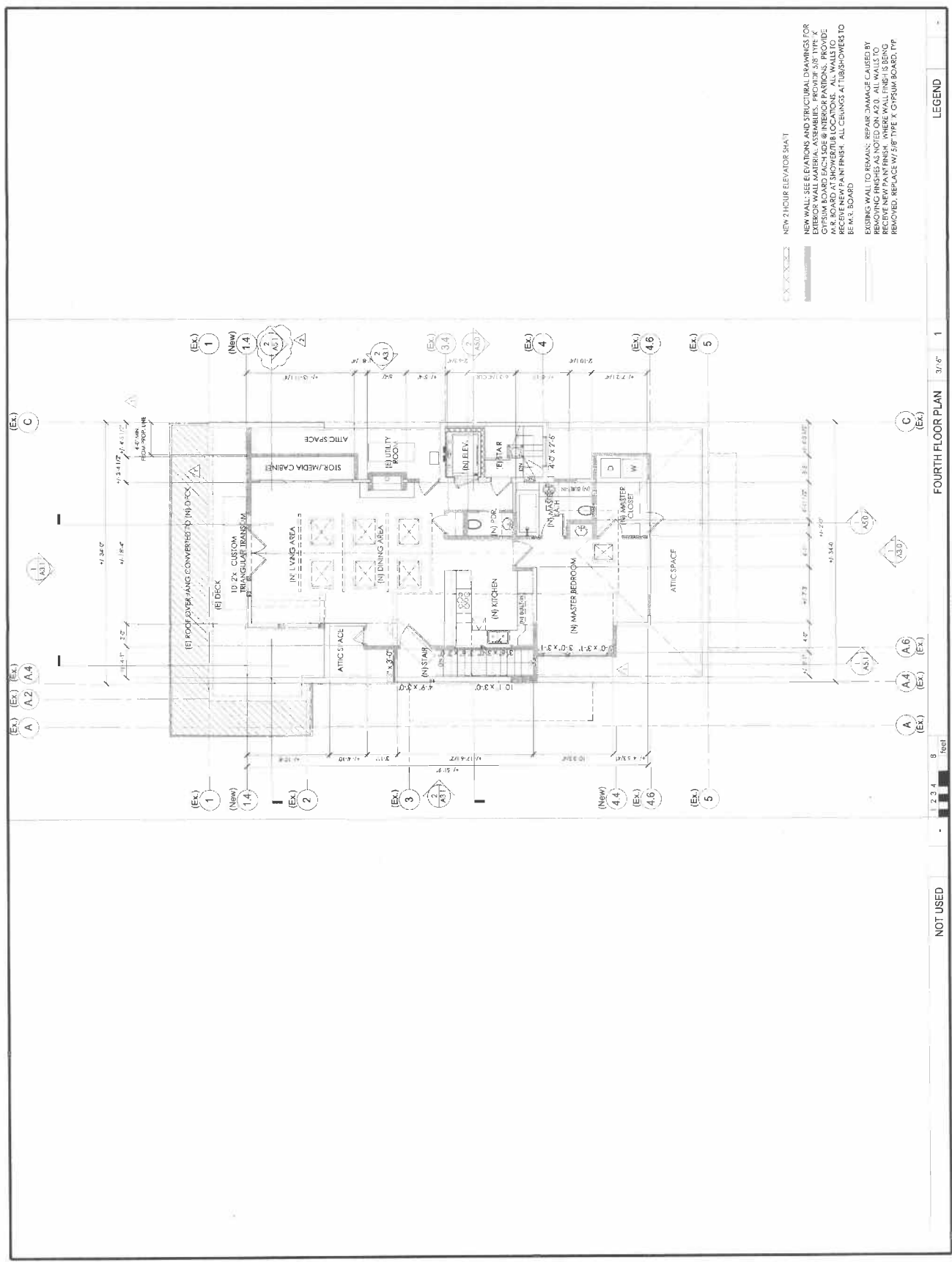
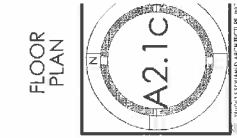
LEGEND

SECOND FLOOR PLAN 3/16 1

THIRD FLOOR PLAN 3/16 2



09.001	DESIGN DEVELOPMENT REVIEW
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01.07.2010	PLANNING DEPARTMENT RESUBMITTAL SET



NEW 2 HOUR ELEVATOR SHAFT
 NEW WALL: SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL, ASSEMBLIES, PROVIDE 5/8" TYPE X GYPSUM BOARD EACH SIDE @ INTERIOR PARTIONS. PROVIDE 5/8" TYPE X GYPSUM BOARD EACH SIDE @ INTERIOR PARTIONS. PROVIDE ACCURATE NEW PAINT FINISH. ALL CEILING ATTACHMENTS TO BE M-3 BOARD.
 EXISTING WALL TO REMAIN. REPAIR DAMAGE CAUSED BY REMOVING FINISH AS NOTED ON A01. ALL WALLS TO RECEIVE NEW PAINT FINISH. WHERE WALL FINISH IS BEING REMOVED, REPLACE W/ 5/8" TYPE X GYPSUM BOARD, P/P

LEGEND

FOURTH FLOOR PLAN 37'-6" x 1
 1 2 3 4 8 feet

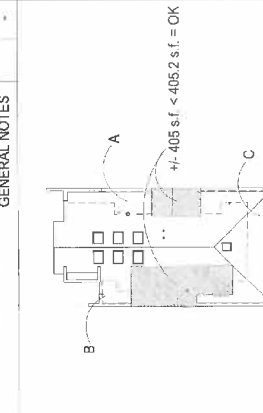
NOT USED



09.001	DESIGN DEVELOPMENT REVIEW	05.14.2009
	PLANNING DEPARTMENT SUBMITTAL SET	05.28.2009
	PLANNING DEPARTMENT SUBMITTAL SET	08.04.2009
	PLANNING DEPARTMENT SUBMITTAL SET	11.30.2009
	PLANNING DEPARTMENT SUBMITTAL SET	01.07.2010



- ROOF NOTES**
- (N) ROOFING W/ MIN. CLASS "C"-STANDING SEAM ZINC METAL ROOF OF EQUAL CONFIRM COLOR SELECTION W/ OWNER.
 - PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
 - APPROXIMATE EXISTING ROOF SLOPE 2.5/11.2
 - REMOVE NEW ROOF JACKS, TYP. CALL ALL EXPOSED NAIL HEADS WITH SMOOTH SEAM.
 - PROVIDE NEW GUTTERS AND DOWNPOUTS AT LOCATIONS SHOWN
 - ALL NEW FLASHINGS TO MATCH EXISTING 1/2" MIN. SEE STRUCTURAL DRAWINGS FOR DETAILS.
 - CONNECT ALL NEW DOWNPOUTS TO EXISTING PLASTIC DRAINPIPE AND RUN TO A LOCATION IN BACKYARD DESIGNATED BY OWNER, MIN. 5' AWAY FROM HOUSE.



Area	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)	Area (sq ft)
Roof Area	405.00	405.00	405.00	405.00	405.00	405.00	405.00	405.00	405.00
Roof Area	405.00	405.00	405.00	405.00	405.00	405.00	405.00	405.00	405.00

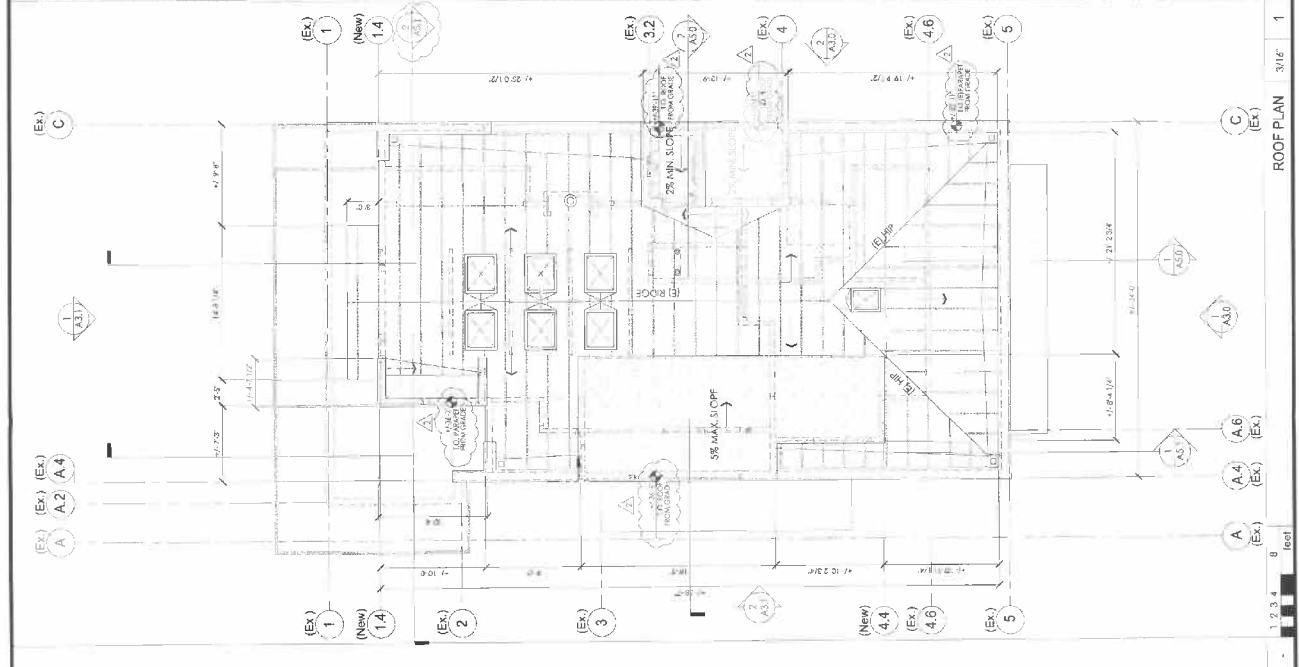
CREAM SPACE VENTILATION NOTES

- SEE ELEVATIONS FOR VENT LOCATIONS - VENTS ARE NOT TO BE LOCATED IN SHEAR WALLS OR SIMPSON STRONG WALLS
- OPENINGS FOR WALL SPACE VENTILATION SHALL BE CLOSED AS CLOSE TO THE EXTERIOR AS POSSIBLE FOR CROSS VENTILATION
- PROVIDE ADDITIONAL VENTS IN NEW AREA TO REPLACE EXISTING VENTS COVERED BY ADDITION
- EXISTING VENTS TO BE REUSED WHERE POSSIBLE. PROVIDE NEW INSECT SCREENS AND NEW VENTS TO TOTAL REQ'D AREA AS PER ABOVE.

ATTIC SPACE VENTILATION NOTES

- IN AREAS CALCULATED WITH A 1:2000 VENTILATION REQUIREMENT, 50% OF THE REQUIRED VENTILATION IS TO BE PROVIDED BY ROOF VENTS LOCATED IN THE UPPER PORTION OF THE ROOF AT LEAST 3' FROM LEAVE VENT
- IN AREAS CALCULATED WITH A 1:1000 VENTILATION REQUIREMENT, 50% OF THE REQUIRED VENTILATION IS TO BE PROVIDED BY RAFTER VENTS
- PROVIDE 1" MINIMUM AIR GAP BETWEEN ROOF AND INSULATION TYPICAL ALLOW CROSS VENTILATION

- VENT CALCULATION AND NOTES**
- ← DENOTES DIRECTION OF S. OFP
LINE OF BLDG. BELOW



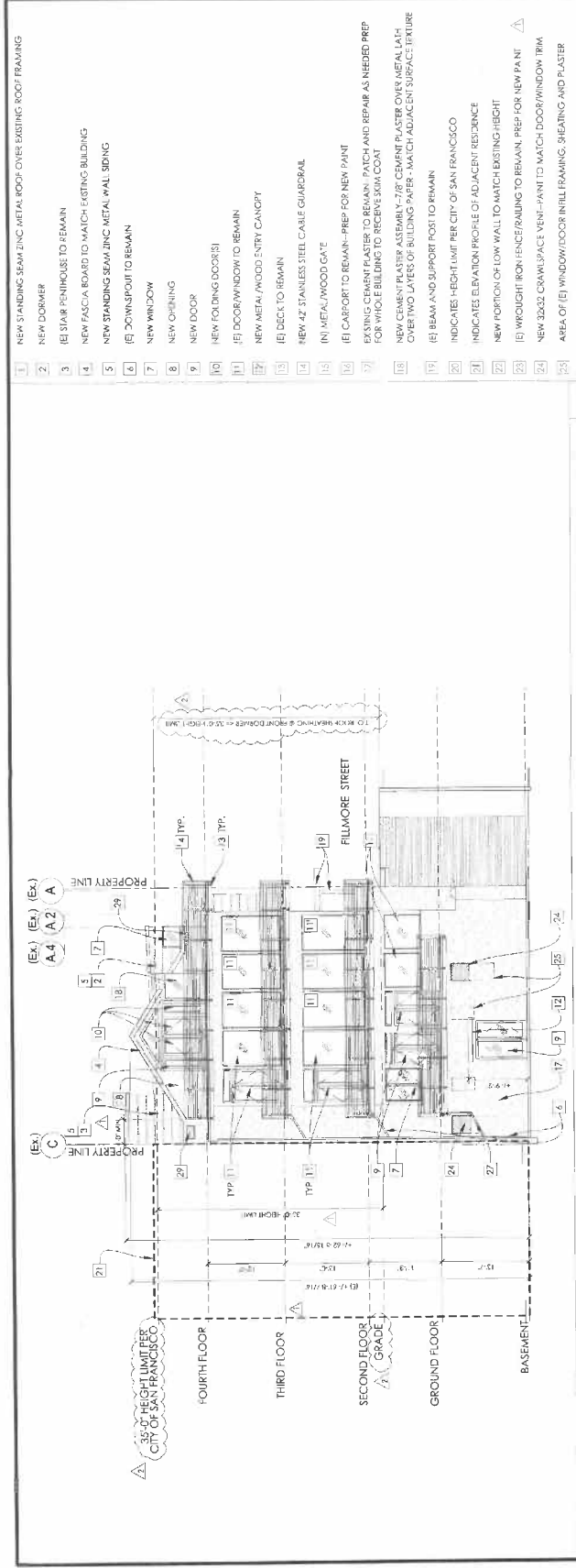


NO.	DATE	DESCRIPTION
05.1.2009	05.1.2009	DESIGN DEVELOPMENT REVIEW
05.28.2009	05.28.2009	PLANNING DEPARTMENT SUBMITTAL SET
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11.30.2009	11.30.2009	PLANNING DEPARTMENT RESUBMITTAL SET
01.07.2010	01.07.2010	PLANNING DEPARTMENT RESUBMITTAL SET

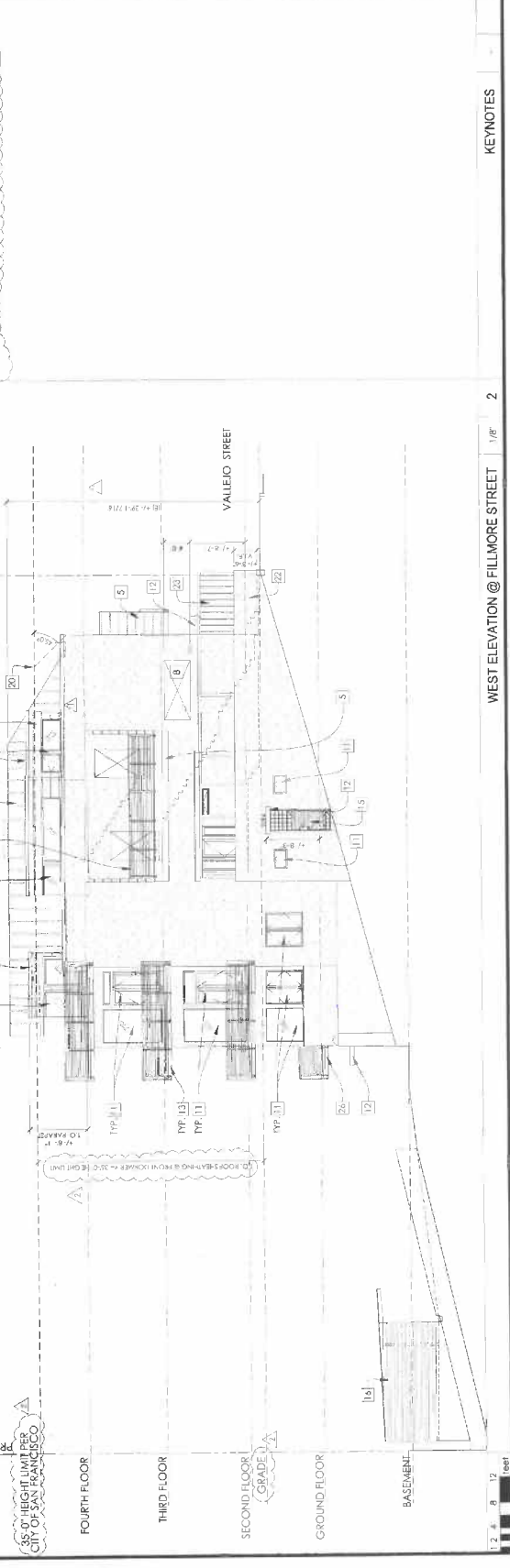
EXTERIOR ELEVATIONS



15: EXTERIOR ELEVATIONS (REV. 11/18)



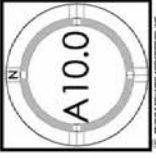
- 1** NEW STANDING SEAM ZINC METAL ROOF OVER EXISTING ROOF FRAMING
- 2** NEW DORMER
- 3** (E) STAIR PENHOUSE TO REMAIN
- 4** NEW FASCIA BOARD TO MATCH EXISTING BUILDING
- 5** NEW STANDING SEAM ZINC METAL WALL SIDING
- 6** (E) DOWNSPOUT TO REMAIN
- 7** NEW WINDOW
- 8** NEW CHIMNEY
- 9** NEW DOOR
- 10** NEW FOLDING DOOR(S)
- 11** (E) DOOR/WINDOW TO REMAIN
- 12** NEW METAL/WOOD ENTRY CANOPY
- 13** (E) DECK TO REMAIN
- 14** NEW 42" STAINLESS STEEL CABLE GIARDRAIL
- 15** (N) METAL/WOOD GATE
- 16** (E) CARPORT TO REMAIN--PREP FOR NEW PAINT
- 17** EXISTING CEMENT PLASTER TO REMAIN, PATCH AND REPAIR AS NEEDED PREP FOR WHOLE BUILDING TO RECEIVE NEW COAT
- 18** NEW CEMENT PLASTER ASSEMBLY--7/8" CEMENT PLASTER OVER METAL LATH OVER TWO LAYERS OF BUILDING PAPER--MATCH ADJACENT SURFACE TEXTURE
- 19** (E) BEAM AND SUPPORT POST TO REMAIN
- 20** INDICATES HEIGHT LIMIT PER CITY OF SAN FRANCISCO
- 21** INDICATES ELEVATION PROFILE OF ADJACENT RESIDENCE
- 22** NEW PORTION OF LOW WALL TO MATCH EXISTING HEIGHT
- 23** (E) WROUGHT IRON FENCE/RAILING TO REMAIN, PREP FOR NEW PAINT
- 24** NEW 3000 CORNERSPACE VENT--PAINT TO MATCH DOOR/WINDOW TRIM
- 25** AREA OF (E) WINDOW/FLOOR INFRAMING, SHEATING AND PLASTER
- 26** NEW DECK W/ CABLE RAILING TO MATCH (E) DECKS ABOVE
- 27** NEW DOWNSPOUT TO MATCH AND CONNECT W/ EXISTING
- 28** NEW OPERABLE SKYLIGHT
- 29** NEW 22x12 ATIC COVER VENT
- 30** NEW PAINED SHEET METAL PARAPET CAP TO MATCH EXISTING



- 1** NEW STANDING SEAM ZINC METAL ROOF OVER EXISTING ROOF FRAMING
- 2** NEW DORMER
- 3** (E) STAIR PENHOUSE TO REMAIN
- 4** NEW FASCIA BOARD TO MATCH EXISTING BUILDING
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- 30** NEW PAINED SHEET METAL PARAPET CAP TO MATCH EXISTING

KEYNOTES

WEST ELEVATION @ FILLMORE STREET 1/18 2



PERSPECTIVE
RENDERINGS

REVISION	DATE	DESCRIPTION
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05.28.2009		PLANNING DEPARTMENT SUBMITTAL SET
08.04.2009		PLANNING DEPARTMENT SUBMITTAL SET
11.30.2009		PLANNING DEPARTMENT RESUBMITTAL SET



VALLEJO STREET
APARTMENT IMPROVEMENTS
2296-2298 VALLEJO STREET
SAN FRANCISCO, CA
R. C. HORIZONS, LLC

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