



# SAN FRANCISCO PLANNING DEPARTMENT

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## Permit to Alter Case Report

*Hearing Date:* October 6, 2010  
*Filing Date:* September 22, 2010  
*Case No.:* **2009.1100H**  
*Project Address:* **1095 Market Street**  
*Category:* Category I – Joseph D. Grant Building  
*Zoning:* C-3-G (Downtown General)  
90-X Height and Bulk District  
*Block/Lot:* 3703/ 059  
*Applicant:* Jim Abrams  
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### PROPERTY DESCRIPTION

Historically known as the Joseph D. Grant Building, the subject building is located at 1095 Market Street (Assessor's Block 3703; Lot 059) at the southwest corner of Market & 7<sup>th</sup> Streets. It is a Category I (Significant) Building. The building is located within a C-3-G (Downtown General) Zoning District with an 90-X Height and Bulk limit.

1095 Market Street is an American Commercial Block building designed by noted Bay Area architect Newton Tharp in 1905. It is an eight-story steel frame structure that is clad in pressed brick and brownstone terra cotta. The base of the building was modernized sometime in the recent past and prior to its designation under Article 11; however, the upper-floors retain a high level of historic integrity. The building exhibits a typical tripartite arrangement of base, shaft, and capital and its overall design exhibits a variety of Revival-style architectural motifs.

### PROJECT DESCRIPTION

The proposed project includes the exterior rehabilitation of the subject building, which includes the following:

1. Rehabilitation and reconstruction of the ground-floor of the building based on physical and photographic evidence
2. Survey and repair of the existing historic windows
3. Reconstruction of the missing historic cornice feature
4. Installation of new canopies, awnings, and signage

5. Installation of new storefront and entry systems
6. Construction of new rooftop enclosures for mechanical equipment
7. Construction of several rooftop additions related to the proposed rooftop terrace as well as mechanical rooms, elevator shaft and override.

Under the proposed delegation of Minor Alteration Permits, the Department would review some aspects of this project administratively and it would be subject to the 20-day Request for Hearing notice period.

## OTHER ACTIONS REQUIRED

A request for Conditional Use Authorization pursuant to Section 216(b) of the Planning Code to convert the subject building from office to a hotel/hostel with up to 94 rooms with associated restaurant, bar, and nightclub uses has been noticed and will be heard at the regularly scheduled Planning Commission hearing on October 14, 2010.

## COMPLIANCE WITH THE PLANNING CODE PROVISIONS

The proposed project is in compliance with all other provisions of the Planning Code.

## APPLICABLE PRESERVATION STANDARDS

### ARTICLE 11

City Charter Section 4.135 gives the Historic Preservation Commission (HPC) authority to approve, disapprove, or modify Permit to Alter applications for designated Significant or Contributory buildings. In appraising a proposal for a Permit to Alter, the Historic Preservation Commission should consider the factors of architectural style, design, arrangement, texture, materials, color, and other pertinent issues. Section 1111.6 of the Planning Code outlines standards and requirements for the HPC to consider when reviewing a Permit to Alter.

### SECTION 1111.6 OF THE PLANNING CODE

Section 1111.6 of the Planning Code outlines the specific standards and requirements the Historic Preservation Commission shall use when evaluating permits to alter. These standards, in relevant part(s), are listed below:

- (a) The proposed alteration shall be consistent with and appropriate for the effectuation of the purposes of this Article 11.
- (b) For Significant Buildings - Categories I and II, and for Contributory Buildings - Categories III and IV, proposed alterations of structural elements and exterior features shall be consistent with the architectural character of the building, and shall comply with the following specific requirements:
  - (1) The distinguishing original qualities or character of the building may not be damaged or destroyed. Any distinctive architectural feature which affects the overall appearance of the building shall not be removed or altered unless it is the only feasible means to protect the public safety.

(2) The integrity of distinctive stylistic features or examples of skilled craftsmanship that characterize a building shall be preserved.

(3) Distinctive architectural features which are to be retained pursuant to Paragraph (1) but which are deteriorated shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material shall match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features shall be based on accurate duplication of features, substantiated by historic, physical or photographic evidence, if available, rather than on conjectural designs or the availability of different architectural elements from other buildings or structures. Replacement of non-visible structural elements need not match or duplicate the material being replaced.

(6) In the case of Significant Buildings - Category I, any additions to height of the building (including addition of mechanical equipment) shall be limited to one story above the height of the existing roof, shall be compatible with the scale and character of the building, and shall in no event cover more than 75 percent of the roof area.

## PUBLIC/NEIGHBORHOOD INPUT

The Department has received no public input on the project as of the date of this report.

## ISSUES & OTHER CONSIDERATIONS

None.

## STAFF ANALYSIS

Based on the requirements of Article 11 and the Secretary of the Interior's Standards, Department has determined the following:

**Cornice Reconstruction:** The historic cornice was removed from the building prior to designation as a Category I building under Article 11. The Sponsor proposes to construct a new cornice based on physical and photographic evidence. The proposed cornice will be constructed of Fiber-Reinforced Polymer (FRP) and will be attached to the existing parapet in the same location as the historic cornice feature.

According to the Secretary of the Interior's Standards, the use of substitute materials for wholesale replacement or replication of a missing historic feature is an acceptable treatment provided that the work is based on documented, physical, or photographic evidence. FRP is widely used as a substitute material for large architectural features. FRP is more cost efficient than terra-cotta or other traditional building materials in terms of production and installation. The proposed elevation and section drawings submitted by the Sponsor illustrate some features evident in the historic photographs; however, the details should be further refined to provide a closer match to the historic cornice. The Department

believes that the information provided to date by the Sponsor is acceptable for the purposes of the HPC's review and approval in concept; however, the Department recommends the following conditions of approval:

1. The shop drawings shall be included in the architectural addendum and are subject to review and approval by Department Preservation Staff to ensure that the replacement cornice closely matches all exterior profiles, dimensions, and detailing of the historic cornice
2. Prior to the production of the replacement cornice and the approval of the architectural addendum, Department Preservation Staff shall review site mock-ups of the FRP panels, including a mock-up of the exterior finish. The results of the site mock-up and all finish samples shall be presented at a future hearing to the Historic Preservation Commission for review and approval.

**Ground-Floor Reconstruction:** The ground floor of the subject building was heavily modified prior to Article 11 designation. The Sponsor proposes to remove the existing non-historic materials that obscure the base and rehabilitate the exterior of the ground-floor based on physical and photographic evidence. Some historic fabric remains at the ground-floor and the project team will investigate behind any non-historic cladding materials to confirm if any historic fabric remains but is hidden from view. All remaining historic fabric will be retained and restored. There is a possibility that some features, such as the rusticated columns located along Market Street, are no longer extant. These columns along with any other features at the ground-floor that have been removed are proposed to be reconstructed based on similar features that remain intact; there are rusticated masonry columns and cast iron columns along 7<sup>th</sup> and Stevenson Streets. The replacement features, in particular any columns, belt courses, etc., will match historic materials to the greatest extent possible in terms of all dimensions, profiles, color, composition, and texture.

Using substitute materials for features that are missing or beyond repair is acceptable and may be found to be in conformance with the Secretary of the Interior's Standards provided that the replacement material closely matches the characteristics of the historic material. The Sponsor proposes cast stone and cast aluminum. The Department believes these alternate materials proposed for features that are missing or beyond repair are appropriate and that the replacement materials will be a close match to the characteristics of the historic materials. The Department recommends the following conditions of approval as part of this proposed scope of work:

3. After the removal of any non-historic fabric, and prior to any other work at the exterior of the ground-floor, the Sponsor shall submit documentation to the Department Preservation Staff of the results of any investigative work and the location and condition of any remaining character-defining features that were covered with non-historic materials. These features shall be retained if it is determined that they are in fair or repairable condition.
4. The shop drawings for the cast metal and cast stone columns, which may be based on dimensioned drawings and molds of extant historic columns, shall be included in the architectural addendum and are subject to review and approval by Department Preservation Staff to ensure that the replacement features, if applicable, closely match all exterior profiles, dimensions, and detailing of the historic features.

5. Prior to the production of the replacement features and the approval of the architectural addendum, Department Preservation Staff shall review site mock-ups of the replacement materials, including a mock-up of the exterior finish.

**Storefront Systems:** The Sponsor proposes to replace the existing non-historic storefront systems with new wood storefront systems based on physical and photographic evidence. The storefronts will provide the same mullion pattern and profile as illustrated in the historic photographs. The new entries on Market and Stevenson Streets will be based on historic photographs and will provide the same profiles as illustrated in the historic photographs; however, the configuration will be contemporary to meet current Code requirements. The new entry systems will also be constructed of wood, and as stated above, will reference the historic entry configuration. While contemporary, the Department believes that the proposed entry systems are compatible with the character-defining features of the subject building and meet the Secretary of the Interior's Standards. The Department recommends the following conditions of approval as part of this proposed scope of work:

6. All storefront shall have a painted finish.
7. Sections through the proposed storefront and entry systems that indicate all exterior profiles and dimensions shall be provided and are subject to review and approval prior to the approval of the architectural addendum by the Planning Department.
8. The louver proposed for the arched window opening on the Stevenson Street elevation shall be set behind the frame of the proposed wood storefront system and an architecturally finished grille shall be installed in lieu of glazing within the frame. The grille shall be finished in the same manner as the proposed new storefronts. A section illustrating the above shall be included in the architectural addendum are subject to review and approval by Department Preservation Staff.

**Window Repair:** The building retains almost all of its historic wood windows. Based on a visual inspection performed by the Project team, all windows appear to be in repairable condition. Windows may be retrofitted for greater energy performance, but it is not anticipated that any windows will be replaced. Please see pages 34, 39-41 of the Project packet for more information.

Some windows that face the light-well will be impacted by the seismic work (shear walls) associated with the Project. The Project includes the retention and repair of these windows; however, a painted panel will be installed on the inside of the window frame to obscure the seismic work from view. Please see the floor plans for the locations of obscured windows within the light-well. The Department believes that the approach proposed by the Project team is in conformance with the Secretary of the Interior's Standards; the light-well is located on a secondary elevation that is only visible over the roofline of an adjacent property; while some window openings will be obscured, all materials associated with the historic window and the opening will be maintained and can be accessed for routine maintenance and repair from the exterior; the glazed area will still give a sense of depth and will reflect light in a similar manner as they did historically.

It is anticipated that upon further inspection that some windows may be in greater disrepair and require replacement. In anticipation of the work, the Department recommends that the HPC grant approval for a maximum of 20% of the overall windows to be replaced if they are beyond repair, provided that the new

windows are constructed of solid wood and that they match the configuration, operation, and all exterior profiles and dimensions of the historic windows.

9. All windows are intended to be retained and repaired, however 20% or less of the windows may be replaced if upon further inspection it is determined that they are beyond repair. Any deviation from this condition of approval, such as further inspection determines that more than 20% of the windows require replacement or the use of substitute materials, shall require review and approval by the Historic Preservation Commission.

**Canopies and Signage:** New retractable awnings are proposed for each storefront opening along 7<sup>th</sup> Street and Market Street. The angle of the awning may vary from what is depicted in historic photographs due to current code requirements for overhead clearance; however the awnings will be based on the awnings evident in historic photographs. The awnings will be attached to the new storefront systems and will be confined within each storefront bay. The Department believes that the proposed awnings are compatible with the subject building with the following condition:

10. Each awning shall have a free hanging valance.

The proposed canopy structures for the entrances on Market and Stevenson Streets are restrained in design and appear contemporary in overall detailing. Materials include powder-coated metal and clear glass. Signage will be provided on the horizontal band that frames the canopy. The structures are proposed to be confined within the entry bays and attached to the exterior of the building and to the new storefront systems. The Department believes that the proposed canopy structures are compatible with the subject building; the design is retained, will not imply a false sense of history, and does not compete with its character-defining features; the proposed materials and location are consistent with the building's period of significance. Modest pin-letter signage is also proposed at the corner of Market and 7<sup>th</sup> Streets located above the storefronts within a flat band between the belt and sill course that separate the base from the first-floor windows. This is the location of similar signage that can be seen in the historic photographs. The pin-letter signage also appears to be compatible and references the building's period of significance in a contemporary manner. The Department recommends the following conditions of approval:

11. Any attachment to the building (pin-letters and canopies) shall be done in manner that minimizes damage to historic fabric. Attachment details for the location where the canopies are attached to historic fabric shall be included within the plans and are subject to review and approval by Preservation Planning Staff.
12. Material and finish samples shall be reviewed and approved by Preservation Planning Staff prior to fabrication and prior to the approval of any building permit.

**Masonry Repointing & Cleaning:** The exterior of the building will be cleaned and re-pointed as part of the Project. A façade inspection is also proposed to be completed to identify areas for minor brick repair. All work is proposed to be conducted by a qualified Preservation Architect and any work necessary to address brick repair, restoration, re-pointing, and cleaning is proposed to be executed in conformance with the Secretary of the Interior's Standards. In particular, cleaning and repointing is proposed to follow *NPS Preservation Briefs No. 1 and No.2 – The Cleaning and Waterproof Coating of Masonry Buildings and*

*Repointing Mortar Joints in Historic Masonry Buildings.* The Department believes that the work, in concept, is appropriate and recommends the following conditions of approval:

13. The final façade inspection report, including recommendations to address deterioration, repair, and cleaning, shall be submitted to the Preservation Planning Staff for review and approval prior to the approval of the building permit to address said work.

**Rooftop Additions:** Section 1111.6 of the Planning Code limits the rooftop expansion (including area for mechanical equipment) of any Category I (Significant) building to one-story and 75% of the overall roof area. The overall roof area of the subject building is 6,560 square feet. The proposed rooftop expansion to accommodate mechanical room, generator, cooling tower, restrooms for patrons using the rooftop open space, elevator overrides, and egress stairs will occupy 2,240 square feet of the roof area, which equates to 34%. The Project is therefore below to 75% maximum. The elevator override is located in an area that minimizes its overall visual impact from the public right-of-way; it is partly visible along its secondary elevation over the roofline of an adjacent property. The elevator is shown at rooftop level on page 19 as 14'-11" above the roofline. The Department has determined that the override exceeds one-story in height and will have to be modified in order to comply with the Code. The Sponsor confirmed that the elevator proposed will further reduce the overall height and that there is some interstitial space between the ceiling of the top floor and the roof structure that will allow for further reduction in the overall height. The Department recommends approval of the proposed scope of work with the following condition of approval:

14. The elevator override shall be reduced in height to the greatest extent possible in order to comply with the Code and to minimize its visual appearance, but to still comply with life & safety requirements enforced by other City agencies. A Section, with dimensions, that illustrate this compliance shall be included within the architectural addendum and is subject to review and approval by Preservation Planning Staff.

## ENVIRONMENTAL REVIEW STATUS

The Planning Department has determined that the proposed project is exempt/excluded from environmental review; pursuant to CEQA Guideline Section 15301 (Class One-Maintenance and Repair of Existing facility) because the project is an alteration of an existing structure and meets the *Secretary of the Interior's Standards*.

## PLANNING DEPARTMENT RECOMMENDATION

Planning Department staff recommends APPROVAL WITH CONDITIONS of the proposed project as it appears to meet the provisions of Article 11 of the Planning Code regarding Major Alteration to a Category I building and the *Secretary of the Interior Standards* for Rehabilitation.

**Permit to Alter  
October 6, 2010**

**Case Number 2009.1100H  
1095 Market Street**

## **ATTACHMENTS**

Draft Motion  
Plans  
Photographs

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# SAN FRANCISCO PLANNING DEPARTMENT

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## DRAFT Permit to Alter MAJOR ALTERATION MOTION # XXXXX

*Hearing Date:* October 6, 2010  
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**ADOPTING FINDINGS FOR A PERMIT TO ALTER FOR MAJOR ALTERATIONS TO A CATEGORY I (SIGNIFICANT) BUILDING, INCLUDING EXTERIOR REHABILITATION, INCLUDING RECONSTRUCTION OF THE HISTORIC CORNICE BASED ON PICTORIAL EVIDENCE AND THE INSTALLATION OF CANOPIES, SIGNAGE, AND AWNINGS FOR THE PROPERTY LOCATED ON LOT 059 IN ASSESSOR'S BLOCK 3703. THE SUBJECT BUILDING IS WITHIN A C-3-G (DOWNTOWN GENERAL) ZONING DISTRICT AND AN 90-X HEIGHT AND BULK DISTRICT.**

### PREAMBLE

WHEREAS, on September 22, 2010, JIM ABRAMS (Project Sponsor) filed an application with the San Francisco Planning Department (hereinafter "Department") for a Permit to Alter for exterior rehabilitation, including reconstruction of the historic cornice based on pictorial evidence and the installation of canopies, signage, and awnings at the subject building located on lot 059 in Assessor's Block 3703, a Category I Building, historically known as the Joseph D. Grant Building.

WHEREAS, the Project was determined by the Department to be categorically exempt from environmental review. The Historic Preservation Commission (hereinafter "Commission") has reviewed and concurs with said determination.

WHEREAS, on October 6, 2010, the Commission conducted a duly noticed public hearing on the current project, Case No. 2009.1100H ("Project") for the Permit to Alter.

WHEREAS, in reviewing the Application, the Commission has had available for its review and consideration case reports, plans, and other materials pertaining to the Project contained in the Department's case files, has reviewed and heard testimony and received materials from interested parties during the public hearing on the Project.

**MOVED**, that the Commission hereby grants the Permit to Alter, WITH CONDITIONS, and in conformance with the architectural submittal dated October 6, 2010 and labeled Exhibit A on file in the docket for Case No. 2009.1100H based on the following condition(s):

**Conditions:**

1. The shop drawings shall be included in the architectural addendum and are subject to review and approval by Department Preservation Staff to ensure that the replacement cornice closely matches all exterior profiles, dimensions, and detailing of the historic cornice.
2. Prior to the production of the replacement cornice and the approval of the architectural addendum. The Department Preservation Staff shall review site mock-ups of the FRP panels, including a mock-up of the glaze samples. The results of the site mock-up and all glaze samples shall be presented at a future hearing to the Historic Preservation Commission for review and approval.
3. After the removal of any non-historic fabric, and prior to any other work at the exterior of the ground-floor, the Sponsor shall submit documentation to the Department Preservation Staff of the results of any investigate work and the location and condition of any remaining character-defining features that were covered with non-historic materials. These features shall be retained if it is determine that they are in fair or repairable condition.
4. The shop drawings for the cast metal and cast stone columns, which may be based on dimensioned drawings and molds of extant historic columns, shall be included in the architectural addendum and are subject to review and approval by Department Preservation Staff to ensure that the replacement features, if applicable, closely match all exterior profiles, dimensions, and detailing of the historic features.
5. Prior to the production of the replacement features and the approval of the architectural addendum, Department Preservation Staff shall review site mock-ups of the replacement materials, including a mock-up of the exterior finish.
6. All storefront systems shall have a painted finish.
7. Sections through the proposed storefront and entry systems that indicate all exterior profiles and dimensions shall be provided and are subject to review and approval prior to the approval of the architectural addendum by the Planning Department.

8. The louver proposed for the arched window opening on the Stevenson Street elevation shall be set behind the frame of the proposed wood storefront system and an architecturally finished grille shall be installed in lieu of glazing within the frame. The grille shall be finished in the same manner as the proposed new storefronts.
9. All windows are intended to be retained and repaired, however 20% or less of the windows may be replaced if upon further inspection it is determined that they are beyond repair. Any deviation from this condition of approval, such as further inspection determines that more than 20% of the windows require replacement or the use of substitute materials, shall require review and approval by the Historic Preservation Commission
10. Each awning shall have a free hanging valance.
11. Any attachment to the building (pin-letters and canopies) shall be done in manner that minimizes damage to historic fabric. Attachment details for the location where the canopies are attached to historic fabric shall be included within the plans and are subject to review and approval by Preservation Planning Staff.
12. Material and finish samples shall be reviewed and approved by Preservation Planning Staff prior to fabrication and prior to the approval of any building permit.
13. The final façade inspection report, including recommendations to address deterioration, repair, and cleaning, shall be submitted to the Preservation Planning Staff for review and approval prior to the approval of the building permit to address said work.
14. The elevator override shall be reduced in height to the greatest extent possible in order to comply with the Code and to minimize its visual appearance, but to still comply with life & safety requirements enforced by other City agencies. A Section, with dimensions, that illustrate this compliance shall be included within the architectural addendum and is subject to review and approval by Preservation Planning Staff.

## **FINDINGS**

Having reviewed all the materials identified in the recitals above and having heard oral testimony and arguments, this Commission finds, concludes, and determines as follows:

1. The above recitals are accurate and also constitute findings of the Commission.
2. Findings pursuant to Article 11:

The Historical Preservation Commission has determined that the proposed work is compatible with the exterior character-defining features of the subject building and meets the requirements of Article 11 of the Planning Code:

- That the proposal respects the character-defining features of the subject building;
- That the architectural character of the subject building will be maintained and those features that affect the building's overall appearance that are removed or repaired shall be done so in-kind;
- All architectural elements and cladding repaired where possible in order to retain as much historic fabric as possible;
- That the integrity of distinctive stylistic features and examples of skilled craftsmanship that characterize the building shall be preserved; and,
- That all new materials shall match the historic material in composition, design, color, texture and other visual qualities and shall be based on accurate duplication of features.

For these reasons, the proposal overall, is appropriate for and consistent with the purposes of Article 11, meets the standards of Article 1111.6 of the Planning Code and complies with the *Secretary of the Interior's Standards*.

3. **General Plan Compliance.** The proposed Permit to Alter is, on balance, consistent with the following Objectives and Policies of the General Plan:

I. URBAN DESIGN ELEMENT

THE URBAN DESIGN ELEMENT CONCERNS THE PHYSICAL CHARACTER AND ORDER OF THE CITY, AND THE RELATIONSHIP BETWEEN PEOPLE AND THEIR ENVIRONMENT.

GOALS

*The Urban Design Element is concerned both with development and with preservation. It is a concerted effort to recognize the positive attributes of the city, to enhance and conserve those attributes, and to improve the living environment where it is less than satisfactory. The Plan is a definition of quality, a definition based upon human needs.*

OBJECTIVE 1

EMPHASIS OF THE CHARACTERISTIC PATTERN WHICH GIVES TO THE CITY AND ITS NEIGHBORHOODS AN IMAGE, A SENSE OF PURPOSE, AND A MEANS OF ORIENTATION.

POLICY 1.3

*Recognize that buildings, when seen together, produce a total effect that characterizes the city and its districts.*

OBJECTIVE 2

CONSERVATION OF RESOURCES WHICH PROVIDE A SENSE OF NATURE, CONTINUITY WITH THE PAST, AND FREEDOM FROM OVERCROWDING.

POLICY 2.4

*Preserve notable landmarks and areas of historic, architectural or aesthetic value, and promote the preservation of other buildings and features that provide continuity with past development.*

*POLICY 2.5*

*Use care in remodeling of older buildings, in order to enhance rather than weaken the original character of such buildings.*

*POLICY 2.7*

*Recognize and protect outstanding and unique areas that contribute in an extraordinary degree to San Francisco's visual form and character.*

*The goal of a Permit to Alter is to provide additional oversight for buildings and districts that are architecturally or culturally significant to the City in order to protect the qualities that are associated with that significance.*

*The proposed project qualifies for a Permit to Alter and therefore furthers these policies and objectives by maintaining and preserving the character-defining features of the subject building for the future enjoyment and education of San Francisco residents and visitors.*

1. The proposed project is generally consistent with the eight General Plan priority policies set forth in Section 101.1 in that:

- A) The existing neighborhood-serving retail uses will be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses will be enhanced:

*The proposed project is not neighborhood-serving; however, its continued use maintains and strengthens the surrounding retail uses, many of them are locally-owned, by bringing visitors to the area.*

- B) The existing housing and neighborhood character will be conserved and protected in order to preserve the cultural and economic diversity of our neighborhoods:

*The proposed project will strengthen neighborhood character by respecting the character-defining features of the subject building in conformance with the Secretary of the Interior's Standards.*

- C) The City's supply of affordable housing will be preserved and enhanced:

*The proposed project will have no adverse effect on the City's supply of affordable housing.*

- D) The commuter traffic will not impede MUNI transit service or overburden our streets or neighborhood parking:

*The proposed project will not result in commuter traffic impeding MUNI transit service or overburdening the streets or neighborhood parking.*

- E) A diverse economic base will be maintained by protecting our industrial and service sectors from displacement due to commercial office development. And future opportunities for resident employment and ownership in these sectors will be enhanced:

*The proposal also includes a Request for Conditional Use Authorization from the Planning Commission to convert the building into a hostel/hotel, which will provide opportunities for employment.*

- F) The City will achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

*Preparedness against injury and loss of life in an earthquake is unaffected by the proposed amendments. Any construction or alteration associated would be executed in compliance with all applicable construction and safety measures.*

- G) That landmark and historic buildings will be preserved:

*The proposed project in conformance with Article 11 of the Planning Code and the Secretary of the Interior's Standards.*

- H) Parks and open space and their access to sunlight and vistas will be protected from development:

*The proposed Permit to Alter will not impact the City's parks and open space.*

4. For these reasons, the proposal overall, appears to meet the Secretary of the Interior's Standards and the provisions of Article 11 of the Planning Code regarding Major Alterations to Category I (Significant) buildings.

**DECISION**

That based upon the Record, the submissions by the Applicant, the staff of the Department and other interested parties, the oral testimony presented to this Commission at the public hearings, and all other written materials submitted by all parties, the Commission hereby **GRANTS Permit to Alter Application, 2009.1100H** attached hereto as "EXHIBIT A" which is incorporated herein by reference as though fully set forth.

**APPEAL AND EFFECTIVE DATE OF MOTION: APPEAL: Any aggrieved person may appeal this Motion to the Board of Appeals within fifteen (15) days after the date of this Motion No. XXXX. The effective date of this Motion shall be the date of this Motion. For further information, please contact the Board of Appeals in person at 1650 Mission Street, (Room 304) or call 575-6880.**

I hereby certify that the Historical Preservation Commission ADOPTED the foregoing Motion on October 6, 2010.

Linda D. Avery  
Commission Secretary

AYES:

NAYS:

ABSENT:

ADOPTED:     October 6, 2010

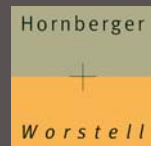


# 1095 MARKET STREET

HISTORIC PRESERVATION COMMISSION PACKAGE

*Prepared for:*

**1095 Market Street Holding LLC**



*Prepared by:*

**Hornberger + Worstell**

170 Maiden Lane  
San Francisco, CA 94108

October 6th, 2010



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**1095 MARKET PROJECT DESCRIPTION**

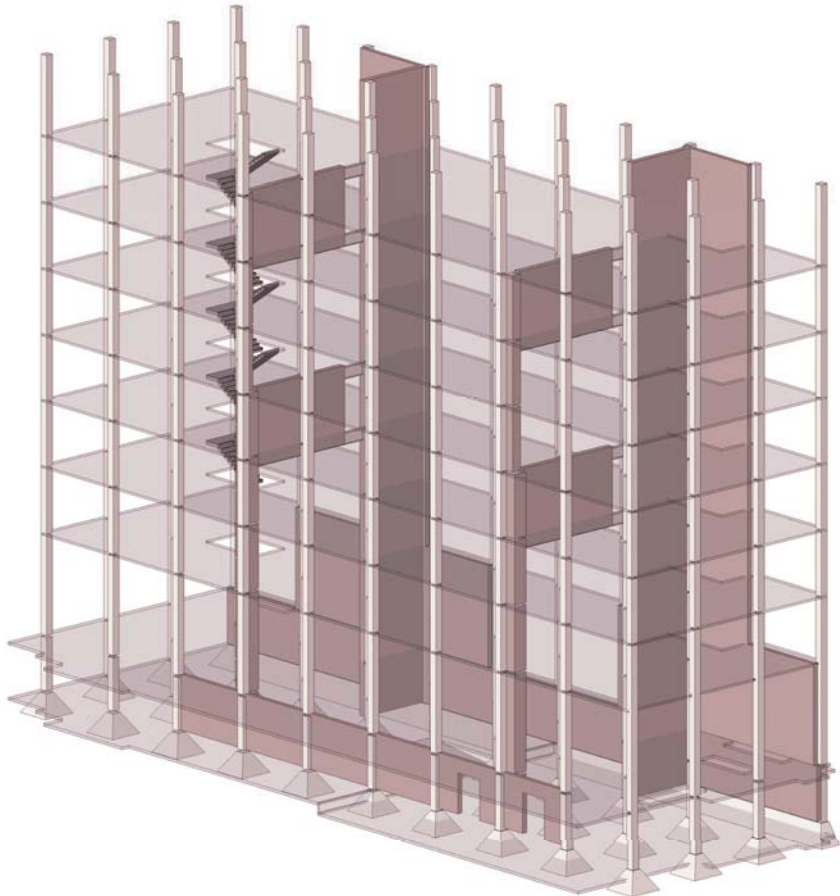
The proposed project at 1095 Market Street (Assessor’s Block 0703, Lot 059) is a seismic strengthening and architectural rehabilitation of an existing historic 9-story (including base-ment), 61,000 sf commercial office building built in 1905. The building located between 6th and 7th Streets on Market sits on an 8,250 sf site zoned C-3-G. The project would rehabilitate the historic building (which is rated Category I under Article 11 of the San Francisco Planning Code) in a manner consistent with the Secretary of Interior’s Standards for Historic Rehabilitation. The proposed project would also convert the building use from office to a 42,000 sf, 94-room, R-1 occupancy hostel/hotel. The hostel/hotel will include a 2,500 sf restaurant, a 3,500 sf bar/lounge and two rooftop terraces that total 8,500 sf.

The project intends to preserve, replace and rehabilitate, or, if documents are available, to reconstruct several of the major architectural elements of the building. The ground floor storefront on Market and 7th Street and Stevenson, which has been heavily modified and bears no resemblance to the original storefront, would be replaced with a new storefront and building entrance that is compatible with the historic character of the building. The building’s double-hung wood windows on its main facades (Market, 7th St and Stevenson) will be retained and rehabilitated. The project would likely replace the window glazing with more energy efficient and acoustically insulated double pane glazing. The exterior brick façade, which is in relatively good condition, would be cleaned, re-pointed and repaired where needed.

Studies demonstrate that the building is currently seismically unsound and its building systems are failing. The project proposes to conduct a complete systems overhaul and a full seismic upgrade of the building in a manner consistent with the Secretary of Interior’s Standards for Historic Rehabilitation. The proposed seismic retrofit has been carefully designed to affect as little of the building’s exterior as possible. In order to accomplish the seismic strengthening without disturbing the exterior facades of the building, the project proposes to rely on a strengthened diaphragm system with additional lateral load resisting structural components. The building’s compromised status, both with regard to its struc-ture and building systems, would require a full rehabilitation under all circumstances.

---

i. All areas are approximated





HISTORIC PHOTO  
- 7TH STREET AND MARKET STREET



HISTORIC PHOTO  
- MARKET STREET

# 1095 MARKET STREET

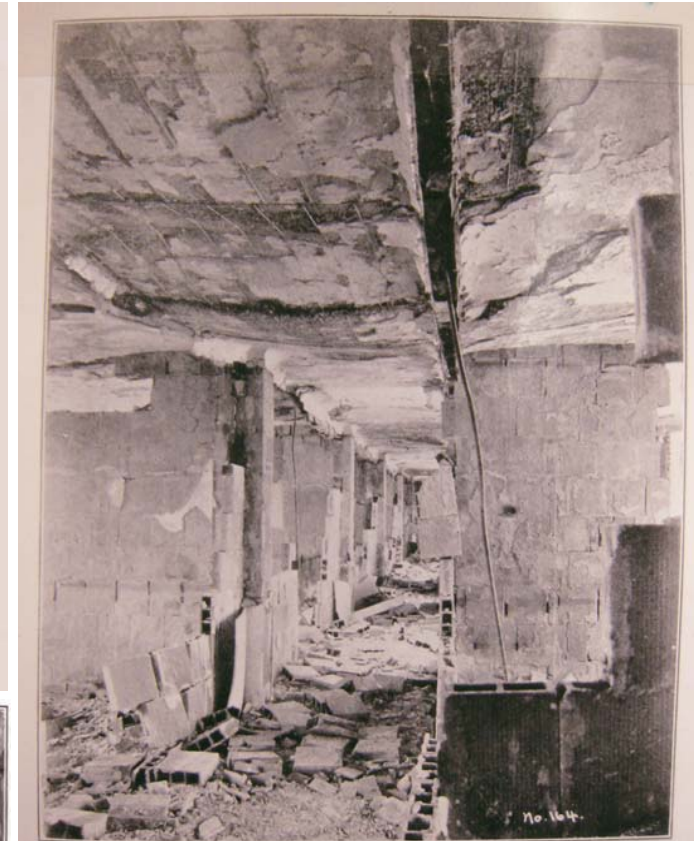
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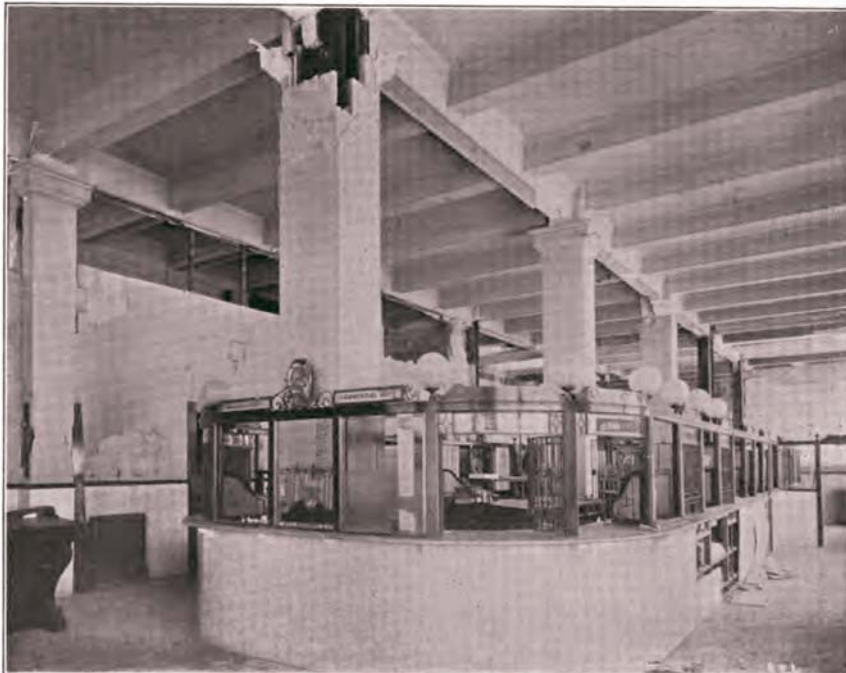
OWNER :  
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ARCHITECT : HORNBERGER + WORSTELL  
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SAN FRANCISCO CA 94108

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GRANT BUILDING. Eighth Story. Showing the damage to the hollow tile partitions and column covering. The partitions were carried through the suspended Roebling wire lath ceiling to the underside of the roof. The falling of the blocks between the ceiling and the roof sagged and damaged the ceiling in many places in this story, as shown. The wire lath ceilings in the other stories remain in first-class condition.



GRANT BUILDING. Typical view showing the damage to the hollow-tile column protection and the failure of the hollow-tile partitions. The Roebling concrete floors and wire lath and plaster ceilings are in good condition throughout.



HISTORIC PHOTO  
- POST EARTHQUAKE IN 1906

# 1095 MARKET STREET

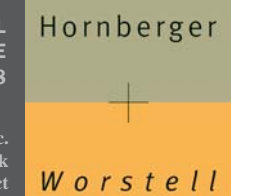
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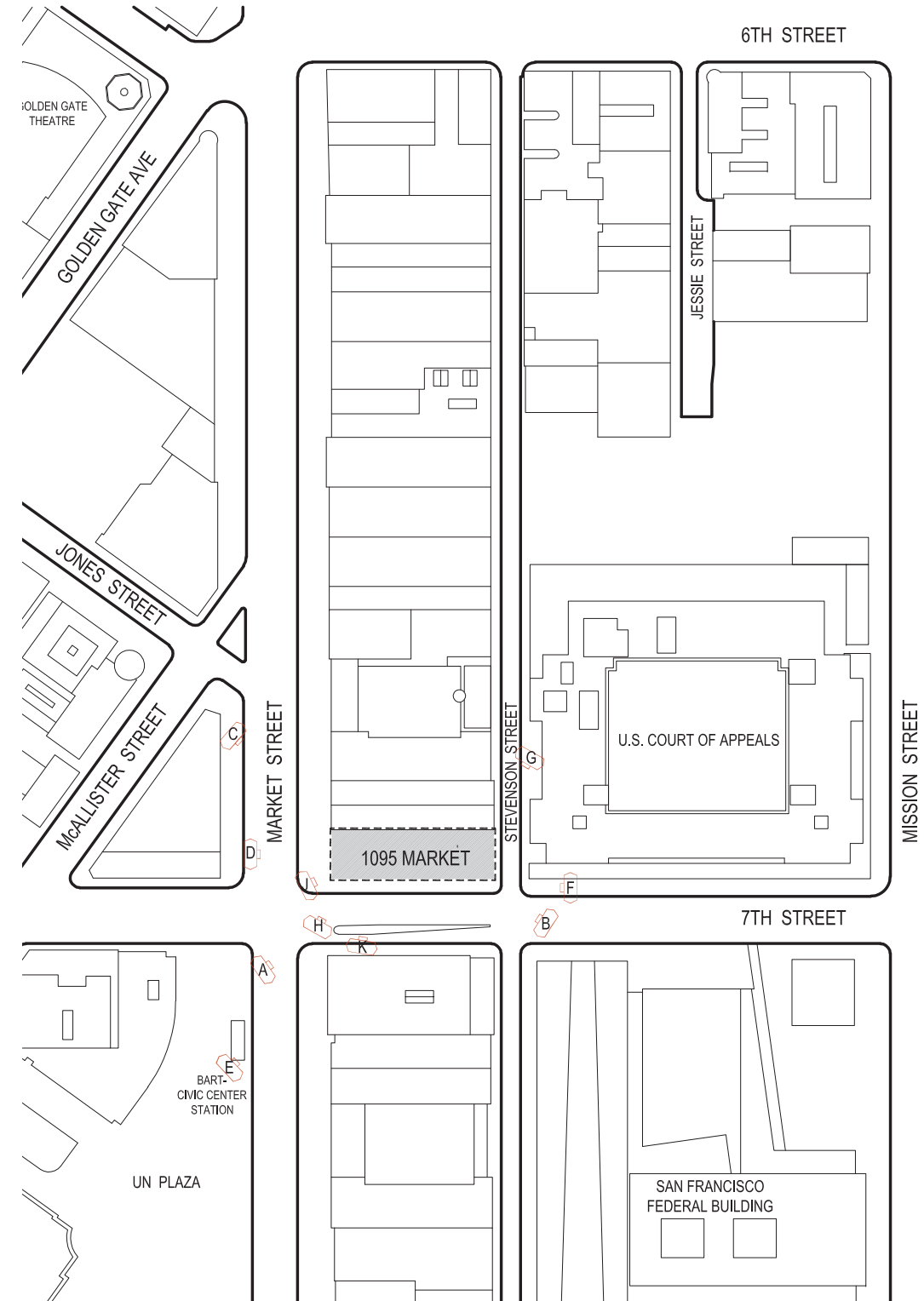
HISTORIC VIEWS 5



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Aerial View  
(Google Earth)



Site Plan

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View A  
VIEW TODAY ALONG MARKET AT 7TH STREET  
(NORTHWEST CORNER)



View B  
VIEW TODAY ALONG 7TH AT STEVENSON STREET  
(SOUTHWEST CORNER)

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SITE PHOTOS 7

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View C  
- MARKET STREET LOOKING SOUTHEAST



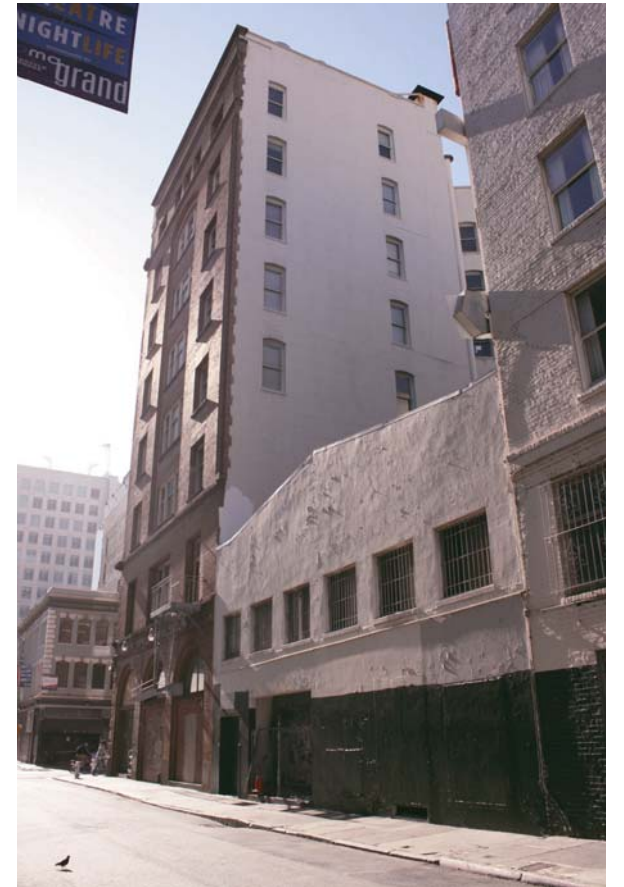
View D  
- ALONG MARKET STREET LOOKING EAST



View E  
- FROM MARKET STREET BART STATION ENTRANCE



View F  
- ALONG 7TH STREET LOOKING NORTH



View G  
- ALONG STEVENSON STREET LOOKING SOUTH

# 1095 MARKET STREET

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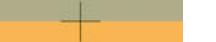
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View H  
- INTERSECTION OF MARKET AND 7TH LOOKING NORTHEAST



View J  
- LOOK EAST AT EXISTING STORE FRONT



View K  
- 7TH STREET AT UPPER FACADE

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Existing Main Entry at Market Street.

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**SELECTIVE REMOVAL LEGEND**

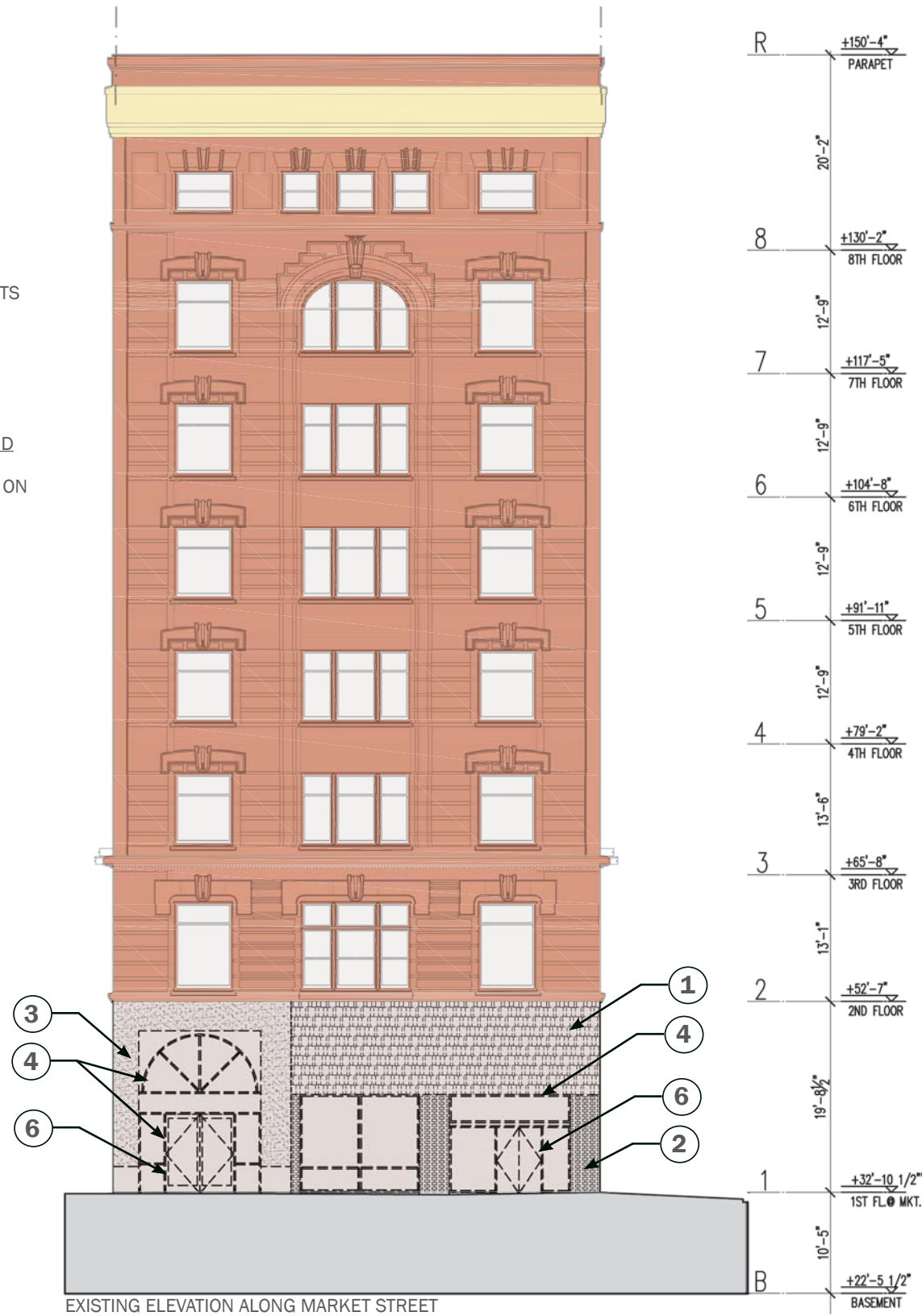
- ① REMOVE (E) NON-CONTRIBUTING SHINGLES
- ② REMOVE (E) NON-CONTRIBUTING BRICK
- ③ REMOVE (E) NON-CONTRIBUTING PLASTER
- ④ REMOVE (E) NON-CONTRIBUTING STOREFRONT SYSTEM
- ⑤ REMOVE (E) NON-CONTRIBUTING FIRE ESCAPE
- ⑥ REMOVE (E) NON-CONTRIBUTING DOOR
- ⑦ REMOVE (E) ROOFTOP EQUIPMENT AND ASSOC. SUPPORTS
- ⑧ REMOVE PORTION OF (E) WALL
- ⑨ REMOVE (E) WINDOW

**PROPOSED MODIFICATION/ NEW CONSTRUCTION LEGEND**

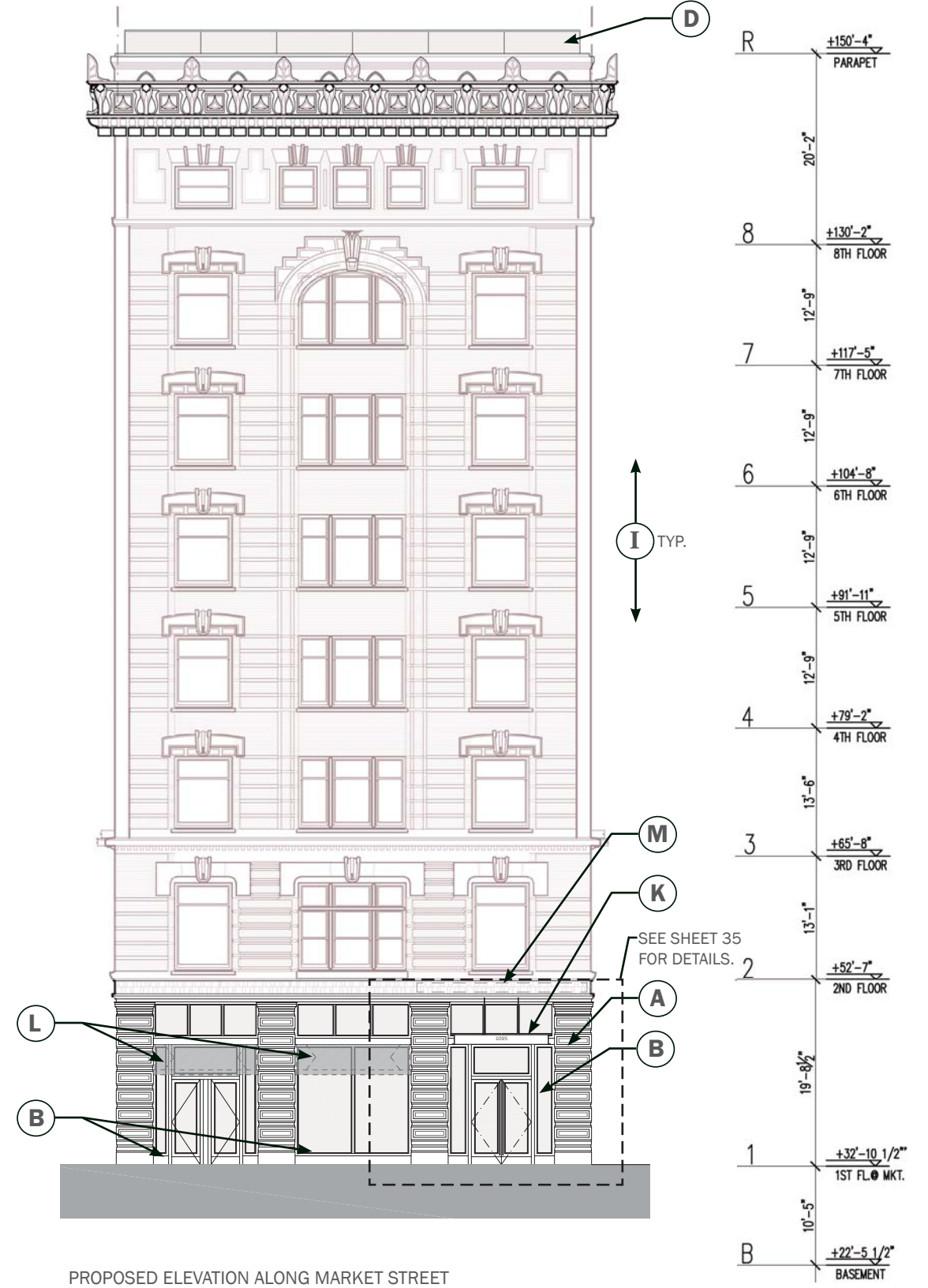
- Ⓐ (N) ORNAMENTAL/ RUSTICATED COLUMNS TO MATCH (E) ON 7TH ST.
- Ⓑ (N) WOOD STOREFRONT SYSTEM W/ STONE BASE AND CLEAR INSULATED GLAZING
- Ⓒ (N) DECORATIVE CORNICE
- Ⓓ (N) GLASS GUARDRAIL MOUNTED BEHIND PARAPET
- Ⓔ (N) SOLID PANEL DOORS
- Ⓕ (N) LOUVER INSTALLED IN (E) OPENING
- Ⓖ (N) MECH ROOM/ STAIR PENTHOUSE/ ELEVATOR PENTHOUSE ENCLOSURE AT ROOF
- Ⓕ (N) WOOD FRAMED DOORS W/ GLASS INSET
- Ⓖ (E) HISTORICAL WINDOWS TO BE REHABILITATED, TYP.
- Ⓙ (N) SECURITY FENCE W/ BAMBOO AND/OR FOLIAGE
- Ⓚ (N) REMOVABLE STEEL FRAME AND GLASS MARQUEE
- Ⓛ (N) FULLY RETRACTABLE FABRIC DART AWNING
- Ⓜ (N) SIGNAGE LETTERING

**LEGEND:**

- SIGNIFICANT
- CONTRIBUTING
- NON-CONTRIBUTING

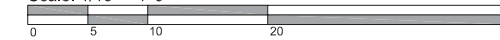


EXISTING ELEVATION ALONG MARKET STREET



PROPOSED ELEVATION ALONG MARKET STREET

Scale: 1/16" = 1'-0"



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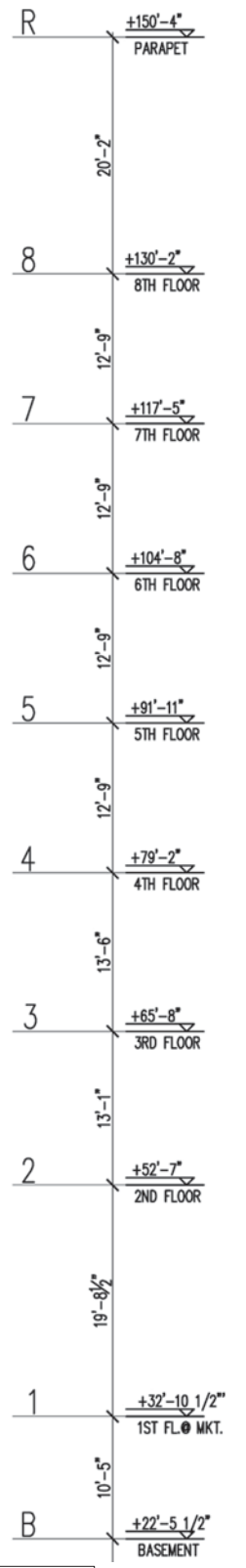
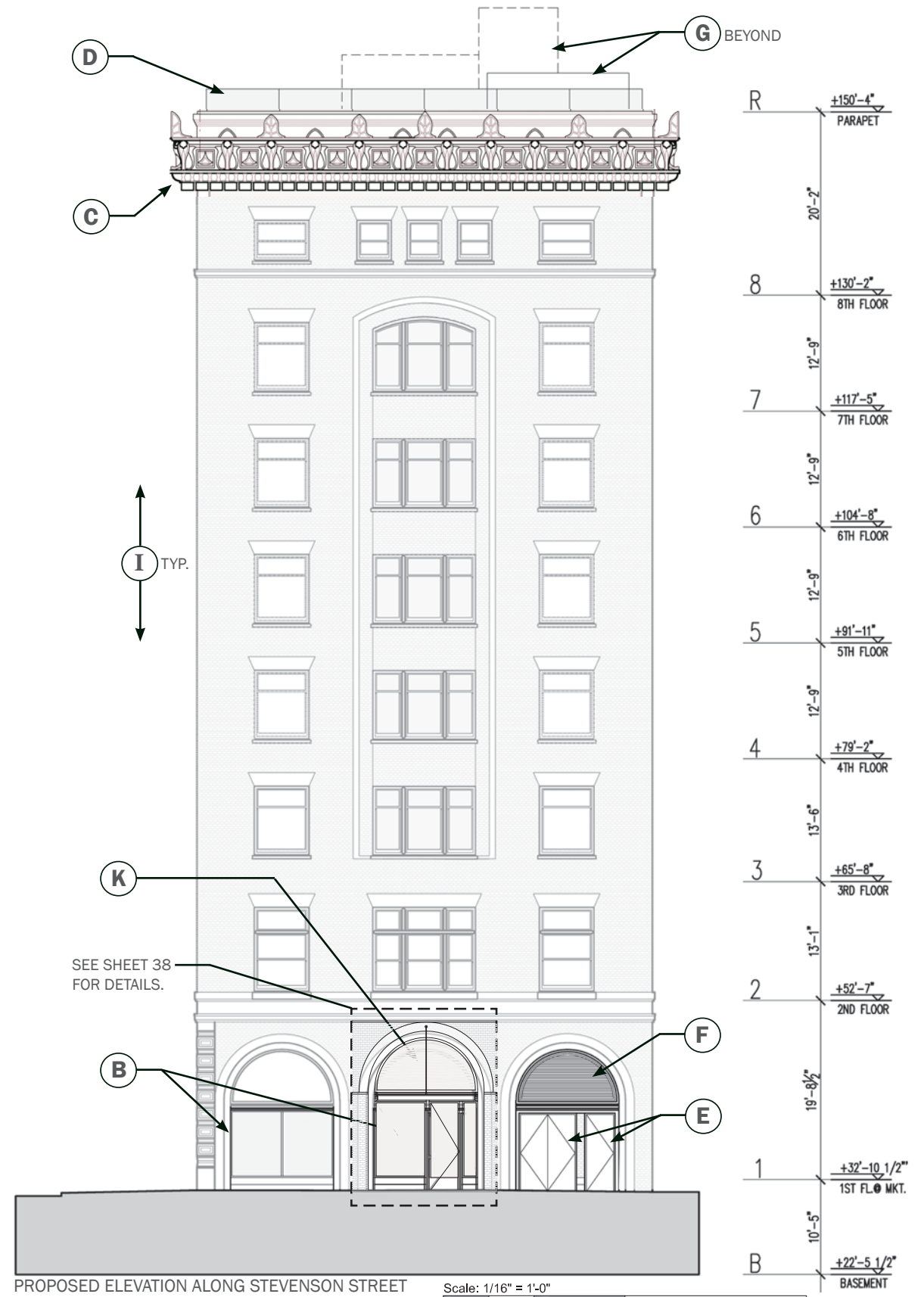
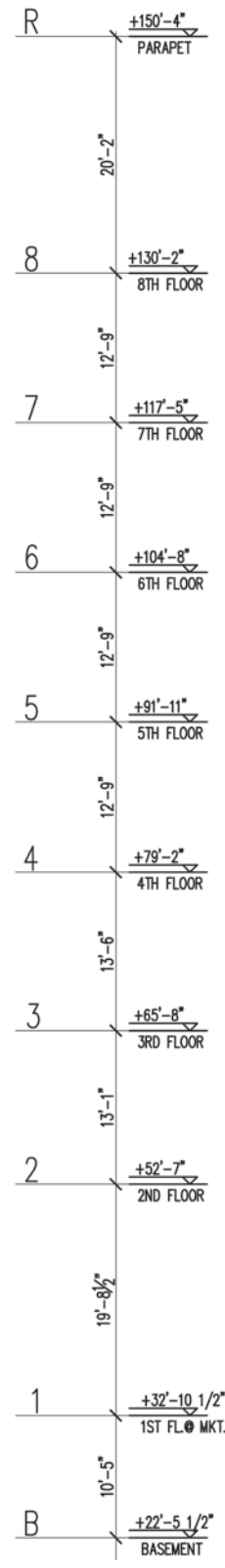
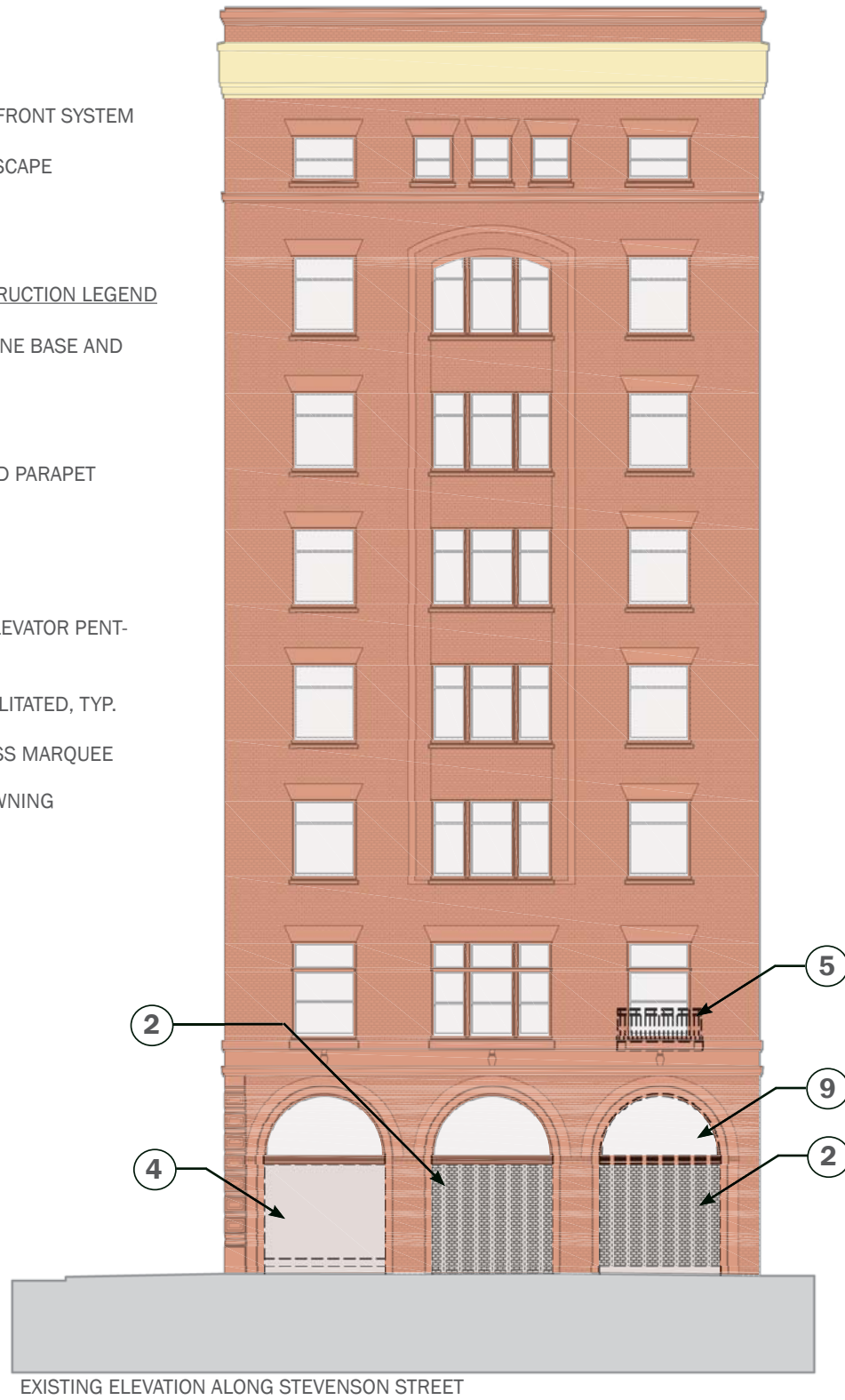
- ② REMOVE (E) NON-CONTRIBUTING BRICK
- ④ REMOVE (E) NON-CONTRIBUTING STOREFRONT SYSTEM
- ⑤ REMOVE (E) NON-CONTRIBUTING FIRE ESCAPE
- ⑨ REMOVE (E) WINDOW

**PROPOSED MODIFICATION/ NEW CONSTRUCTION LEGEND**

- Ⓑ (N) WOOD STOREFRONT SYSTEM W/ STONE BASE AND CLEAR INSULATED GLAZING
- Ⓒ (N) DECORATIVE CORNICEZ
- Ⓓ (N) GLASS GUARDRAIL MOUNTED BEHIND PARAPET
- Ⓔ (N) SOLID PANEL DOORS
- Ⓕ (N) LOUVER INSTALLED IN (E) OPENING
- Ⓖ (N) MECH ROOM/ STAIR PENTHOUSE/ ELEVATOR PENTHOUSE ENCLOSURE AT ROOF
- Ⓘ (E) HISTORICAL WINDOWS TO BE REHABILITATED, TYP.
- Ⓚ (N) REMOVABLE STEEL FRAME AND GLASS MARQUEE
- Ⓛ (N) FULLY RETRACTABLE FABRIC DART AWNING
- Ⓜ (N) SIGNAGE LETTERING

**LEGEND:**

- SIGNIFICANT
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Scale: 1/16" = 1'-0"  
 0 5 10 20 40 FEET EXTERIOR ELEVATIONS 12

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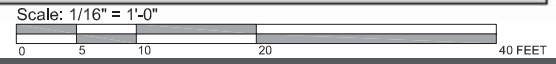
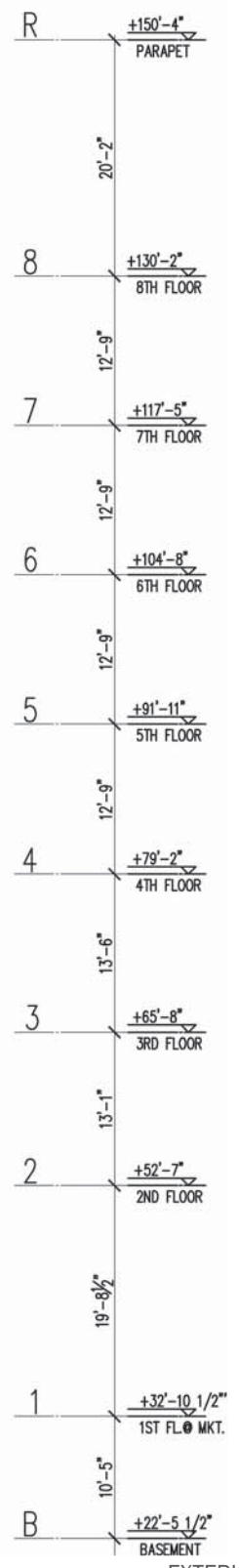
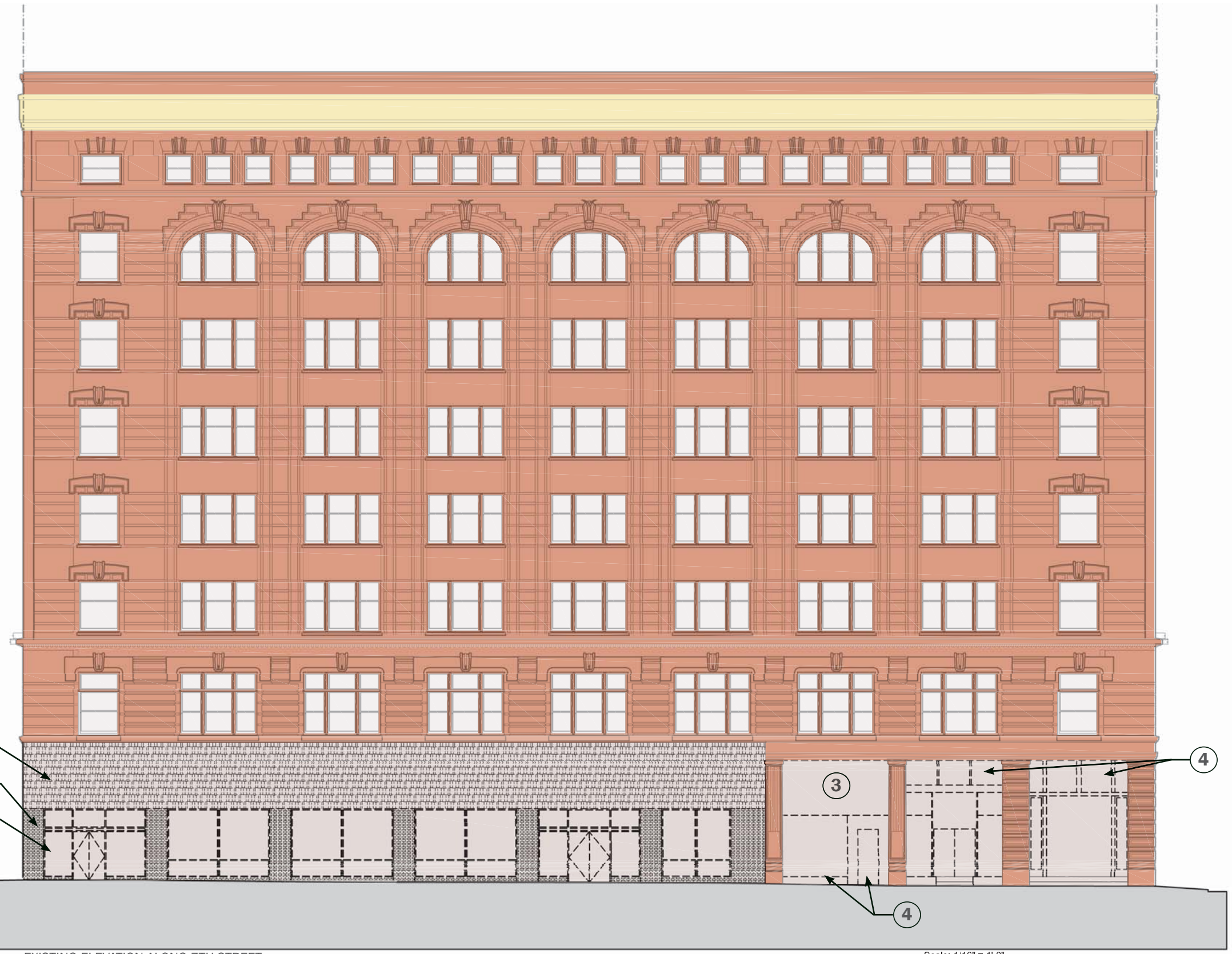
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- ① REMOVE (E) NON-CONTRIBUTING SHINGLES
- ② REMOVE (E) NON-CONTRIBUTING BRICK
- ③ REMOVE (E) NON-CONTRIBUTING PLASTER
- ④ REMOVE (E) NON-CONTRIBUTING STOREFRONT SYSTEM

LEGEND:

- SIGNIFICANT
- CONTRIBUTING
- NON-CONTRIBUTING

- ①
- ②
- ④



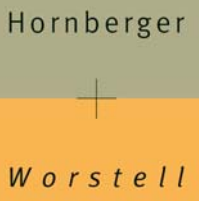
EXISTING ELEVATION ALONG 7TH STREET

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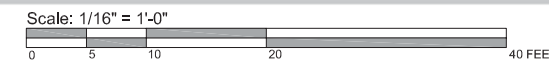
SELECTIVE REMOVAL LEGEND

- ⑦ REMOVE (E) ROOFTOP EQUIPMENT AND ASSOC. SUPPORTS
- ⑨ REMOVE (E) WINDOW

- LEGEND:
- SIGNIFICANT
  - CONTRIBUTING
  - NON-CONTRIBUTING



EXISTING ELEVATION AT EXISTING LIGHTWELL



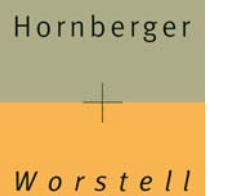
EXTERIOR ELEVATION 15

# 1095 MARKET STREET

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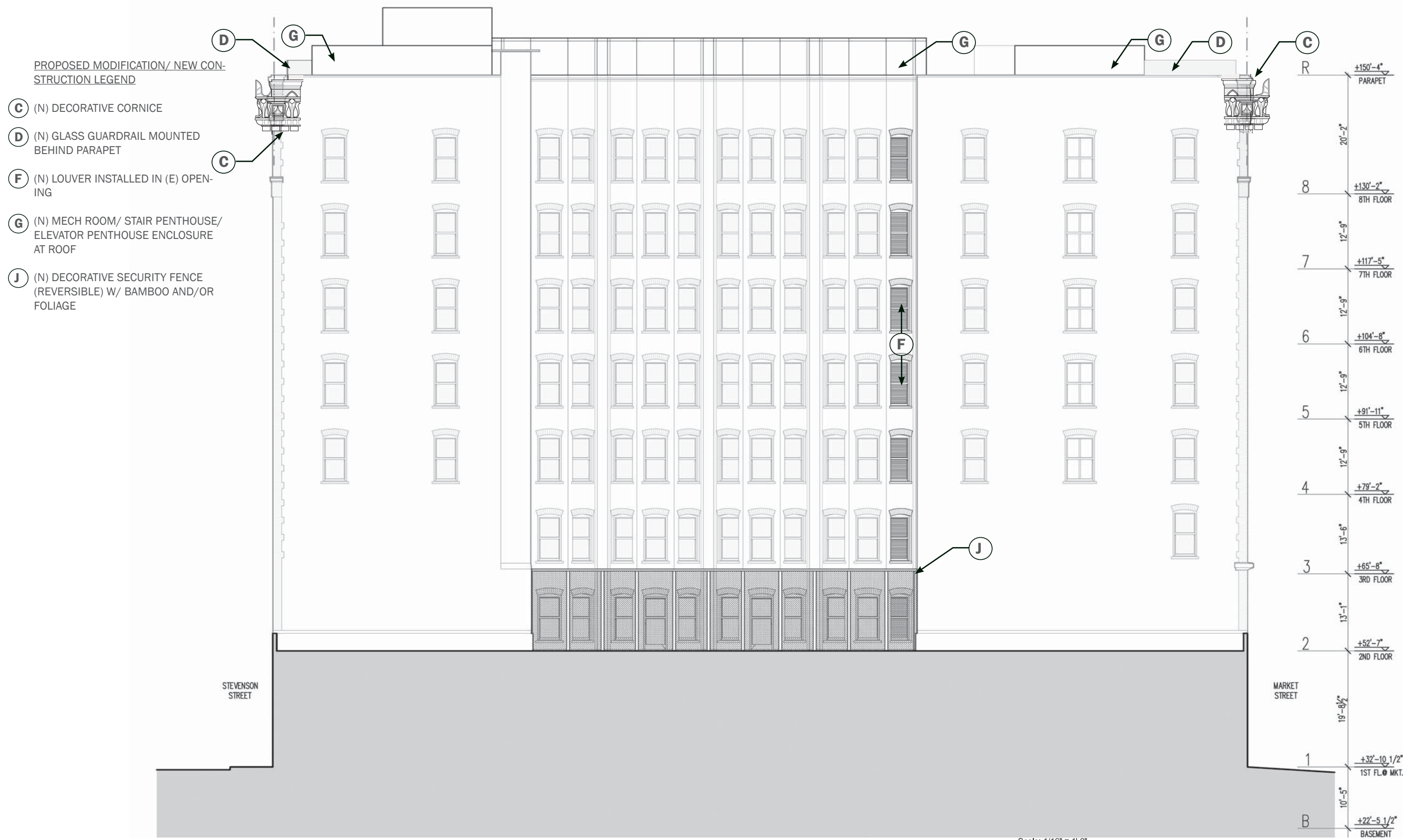
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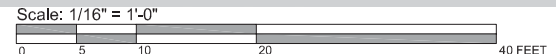


**PROPOSED MODIFICATION/ NEW CONSTRUCTION LEGEND**

- (C)** (N) DECORATIVE CORNICE
- (D)** (N) GLASS GUARDRAIL MOUNTED BEHIND PARAPET
- (F)** (N) LOUVER INSTALLED IN (E) OPENING
- (G)** (N) MECH ROOM/ STAIR PENTHOUSE/ ELEVATOR PENTHOUSE ENCLOSURE AT ROOF
- (J)** (N) DECORATIVE SECURITY FENCE (REVERSIBLE) W/ BAMBOO AND/OR FOLIAGE

R	+150'-4"	PARAPET
	20'-2"	
8	+130'-2"	8TH FLOOR
	12'-9"	
7	+117'-5"	7TH FLOOR
	12'-9"	
6	+104'-8"	6TH FLOOR
	12'-9"	
5	+91'-11"	5TH FLOOR
	12'-9"	
4	+79'-2"	4TH FLOOR
	13'-6"	
3	+65'-8"	3RD FLOOR
	13'-1"	
2	+52'-7"	2ND FLOOR
	19'-8 1/2"	
1	+32'-10 1/2"	1ST FL. MKT.
	10'-5"	
B	+22'-5 1/2"	BASEMENT

PROPOSED ELEVATION AT EXISTING LIGHTWELL



# 1095 MARKET STREET

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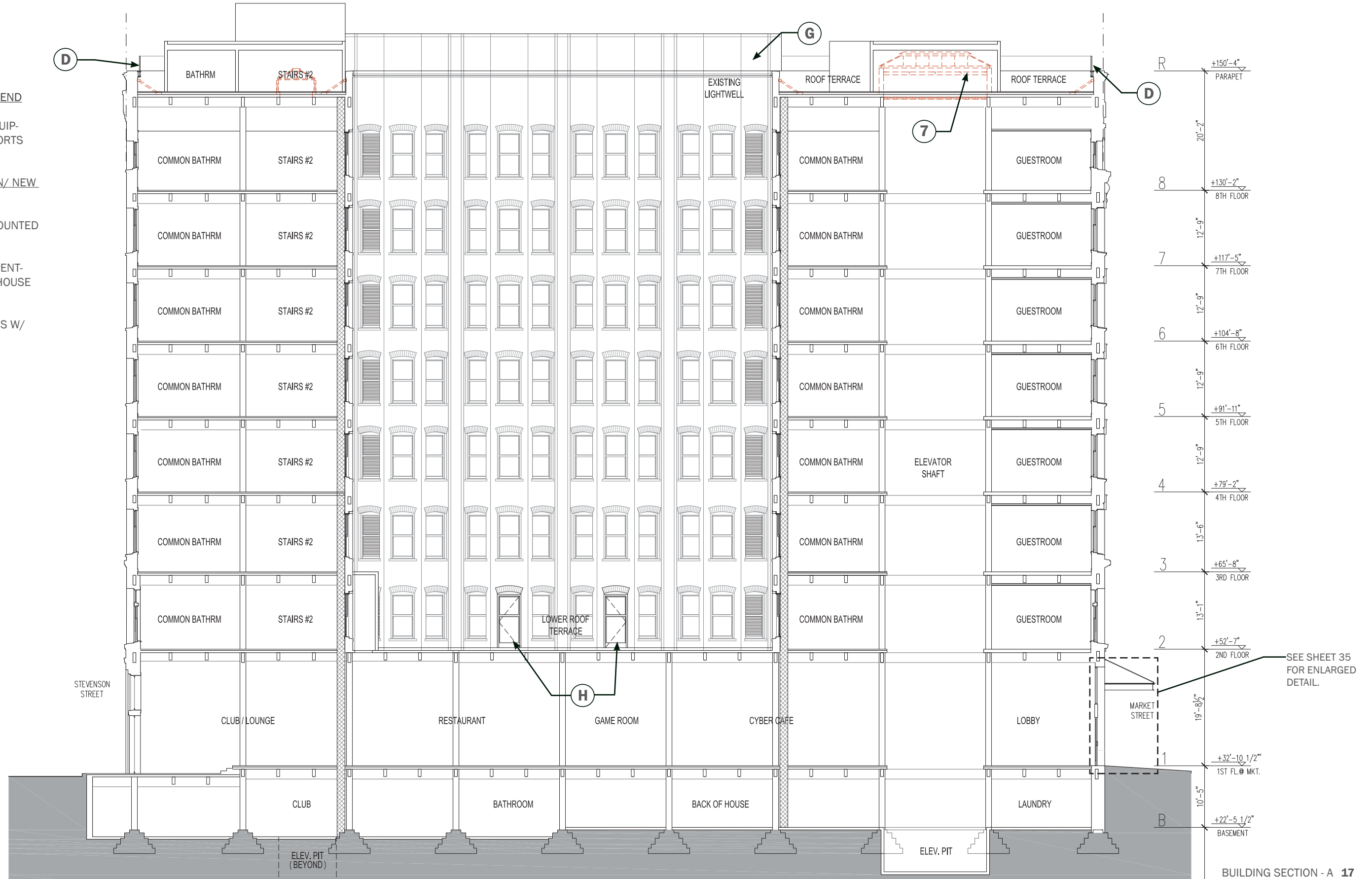
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BUILDING SECTION - A 17

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**SELECTIVE REMOVAL LEGEND**

**7** REMOVE (E) ROOFTOP EQUIPMENT AND ASSOC. SUPPORTS

**PROPOSED MODIFICATION/ NEW CONSTRUCTION LEGEND**

**G** (N) MECH ROOM/ STAIR PENTHOUSE/ ELEVATOR PENTHOUSE ENCLOSURE AT ROOF



SEE SHEET 35 FOR ENLARGED DETAIL.



MARKET STREET

SEE SHEET 38 FOR ENLARGED DETAIL.



STEVENSON STREET

**BUILDING SECTION- D 19**

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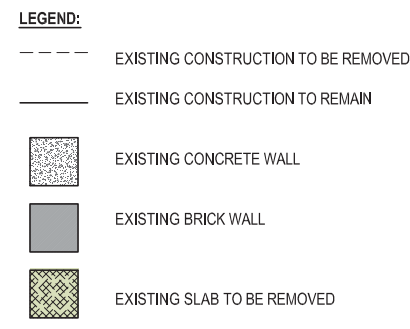
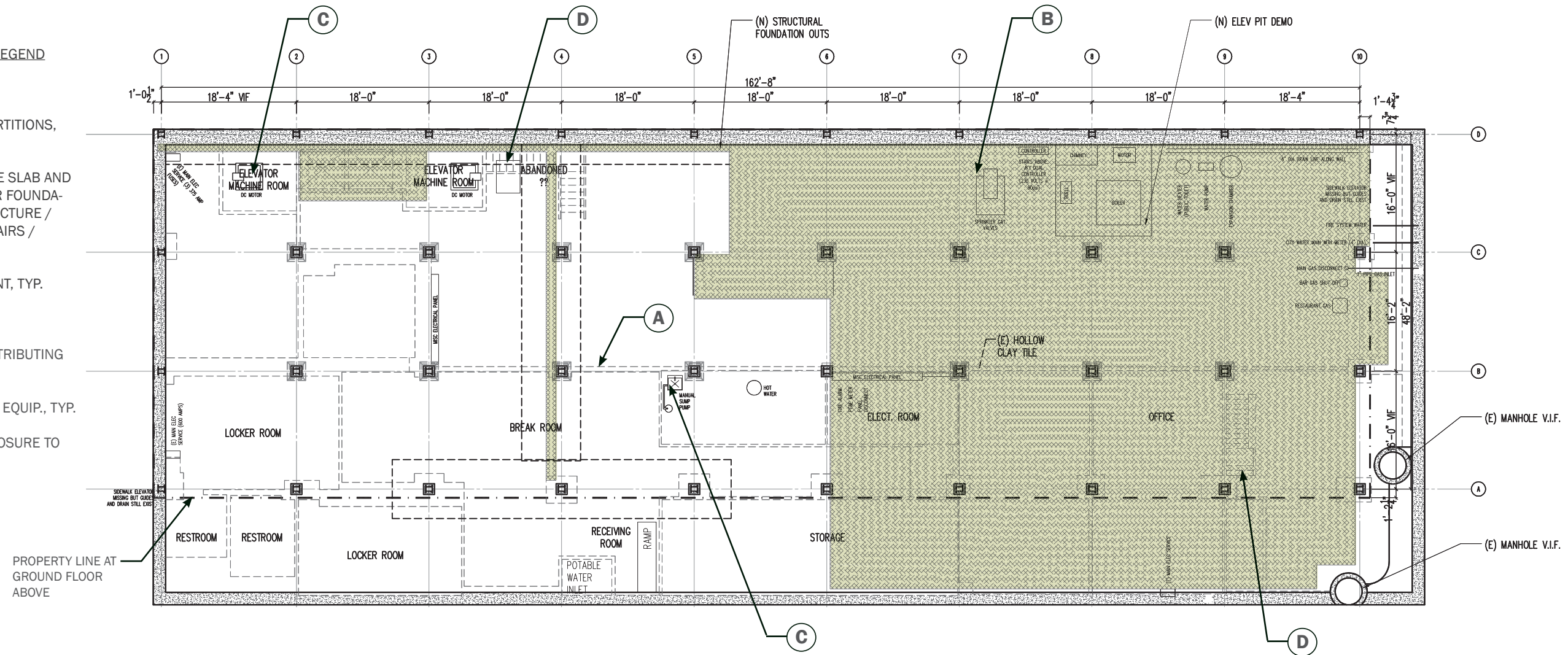
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**SELECTIVE REMOVAL LEGEND**

- (A)** REMOVE (E) INTERIOR NON-BEARING. HOLLOW CLAY TILE PARTITIONS, DOORS, ETC. TYP.
- (B)** REMOVE (E) CONCRETE SLAB AND BEAM STRUCTURE FOR FOUNDATION WORK / (N) STRUCTURE / (N) SIDEWALK / (N) STAIRS / (N) ELEVATOR ETC.
- (C)** REMOVE (E) EQUIPMENT, TYP.
- (D)** REMOVE (E) STAIRS
- (E)** REMOVE (E) NON-CONTRIBUTING STOREFRONT, TYP.
- (F)** REMOVE (E) ROOF TOP EQUIP., TYP.
- (G)** (E) BOILER FLUE ENCLOSURE TO REMAIN



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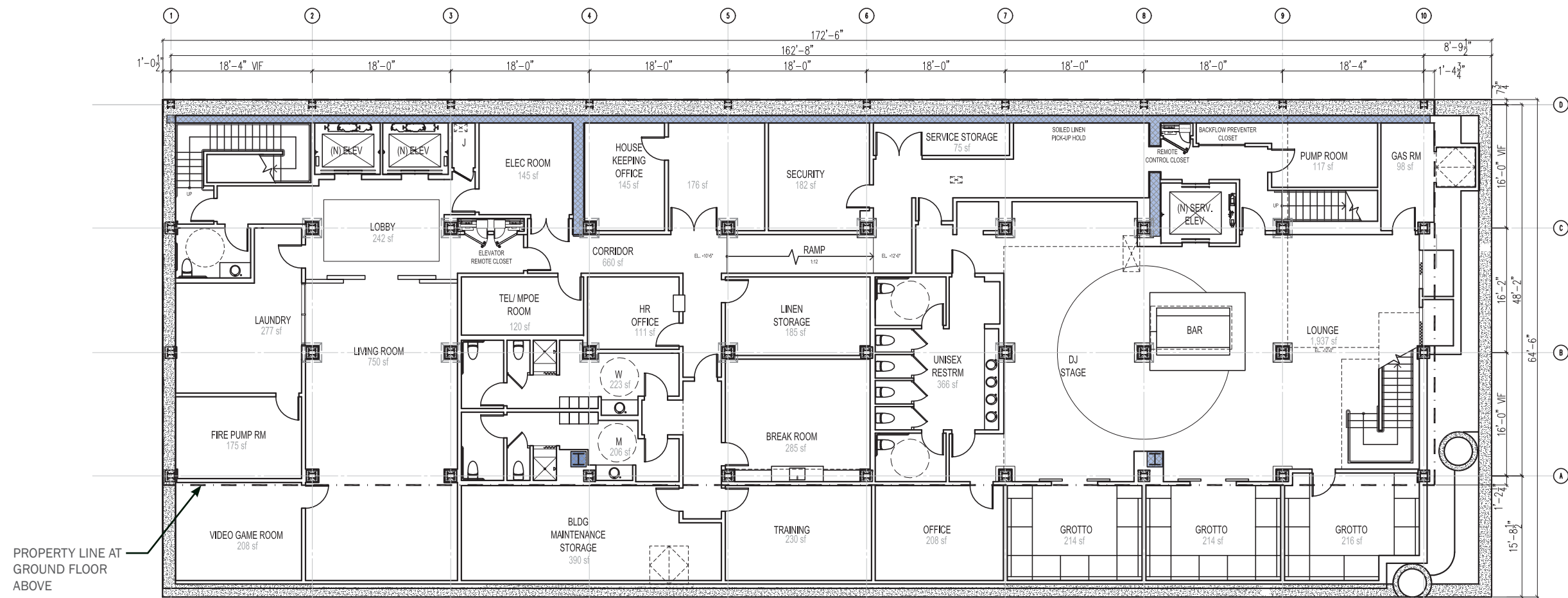
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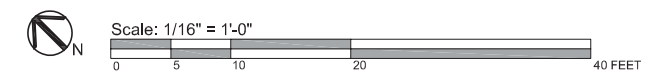


PROPERTY LINE AT GROUND FLOOR ABOVE

**LEGEND:**

- PROPERTY LINE
- NEW CONSTRUCTION
- EXISTING CONCRETE WALL
- EXISTING BRICK WALL
- NEW STRUCTURAL ELEMENTS - COLUMN/ SHEAR WALLS; S.S.D.

**PROPOSED BASEMENT FLOOR PLAN**



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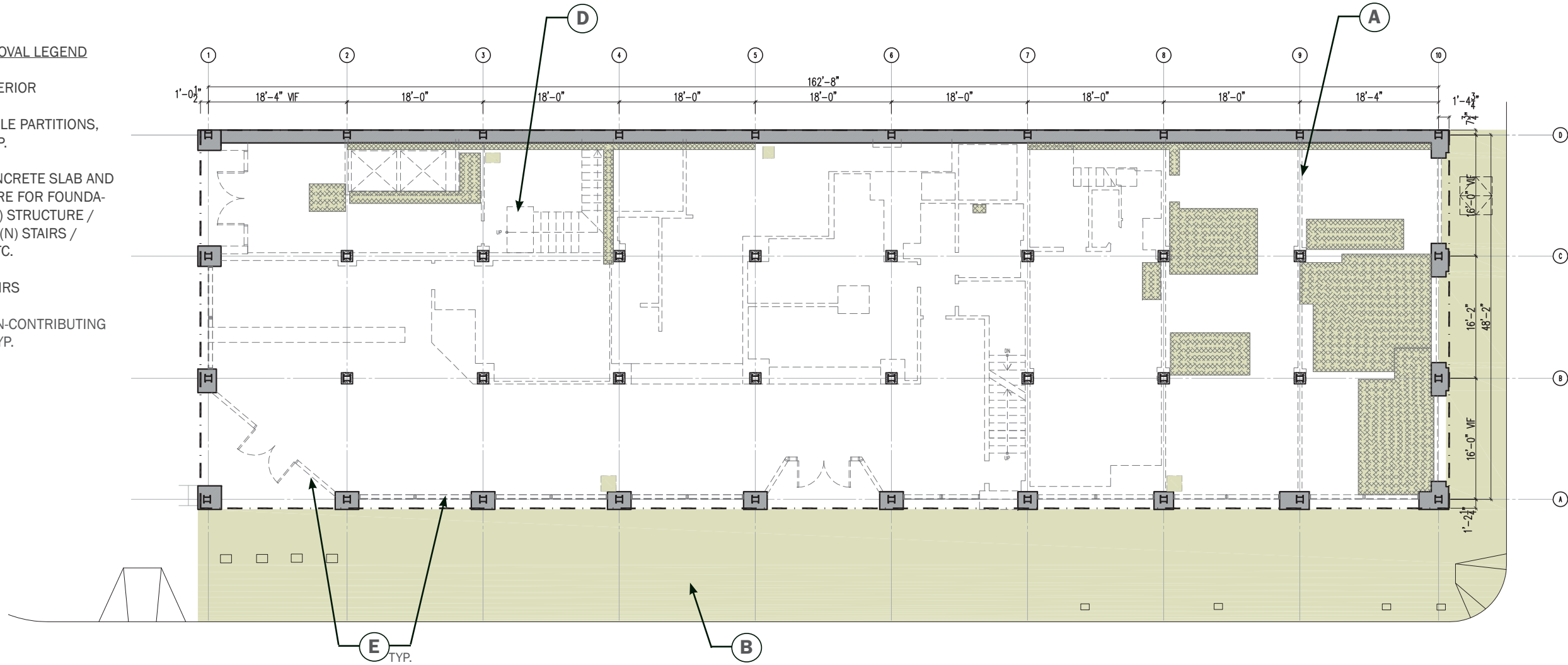
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**SELECTIVE REMOVAL LEGEND**

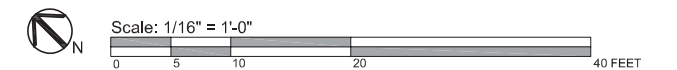
- (A)** REMOVE (E) INTERIOR NON-BEARING. HOLLOW CLAY TILE PARTITIONS, DOORS, ETC. TYP.
- (B)** REMOVE (E) CONCRETE SLAB AND BEAM STRUCTURE FOR FOUNDATION WORK / (N) STRUCTURE / (N) SIDEWALK / (N) STAIRS / (N) ELEVATOR ETC.
- (D)** REMOVE (E) STAIRS
- (E)** REMOVE (E) NON-CONTRIBUTING STOREFRONT, TYP.



**LEGEND:**

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONCRETE WALL
- EXISTING BRICK WALL
- EXISTING SLAB TO BE REMOVED

**DEMOLITION GROUND FLOOR PLAN**



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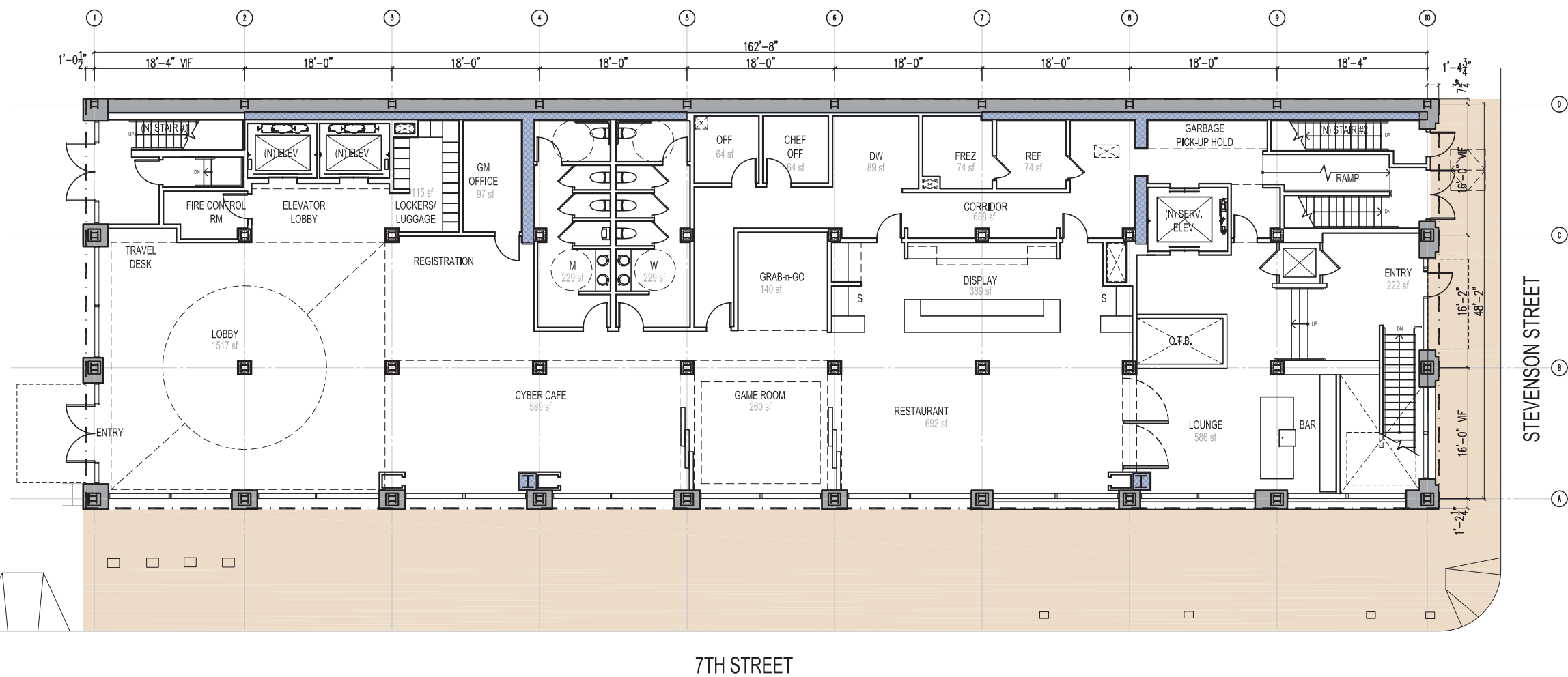
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MARKET STREET



STEVENSON STREET

7TH STREET

LEGEND:

- PROPERTY LINE
- NEW CONSTRUCTION
- EXISTING CONCRETE WALL
- EXISTING BRICK WALL
- NEW STRUCTURAL ELEMENTS - COLUMN/ SHEAR WALLS; S.S.D.
- NEW SIDEWALK / PAVING

PROPOSED GROUND FLOOR PLAN

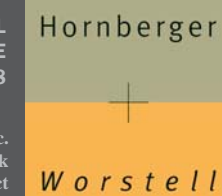


# 1095 MARKET STREET

HISTORIC PRESERVATION COMMISSION PACKAGE

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170 MAIDEN LANE  
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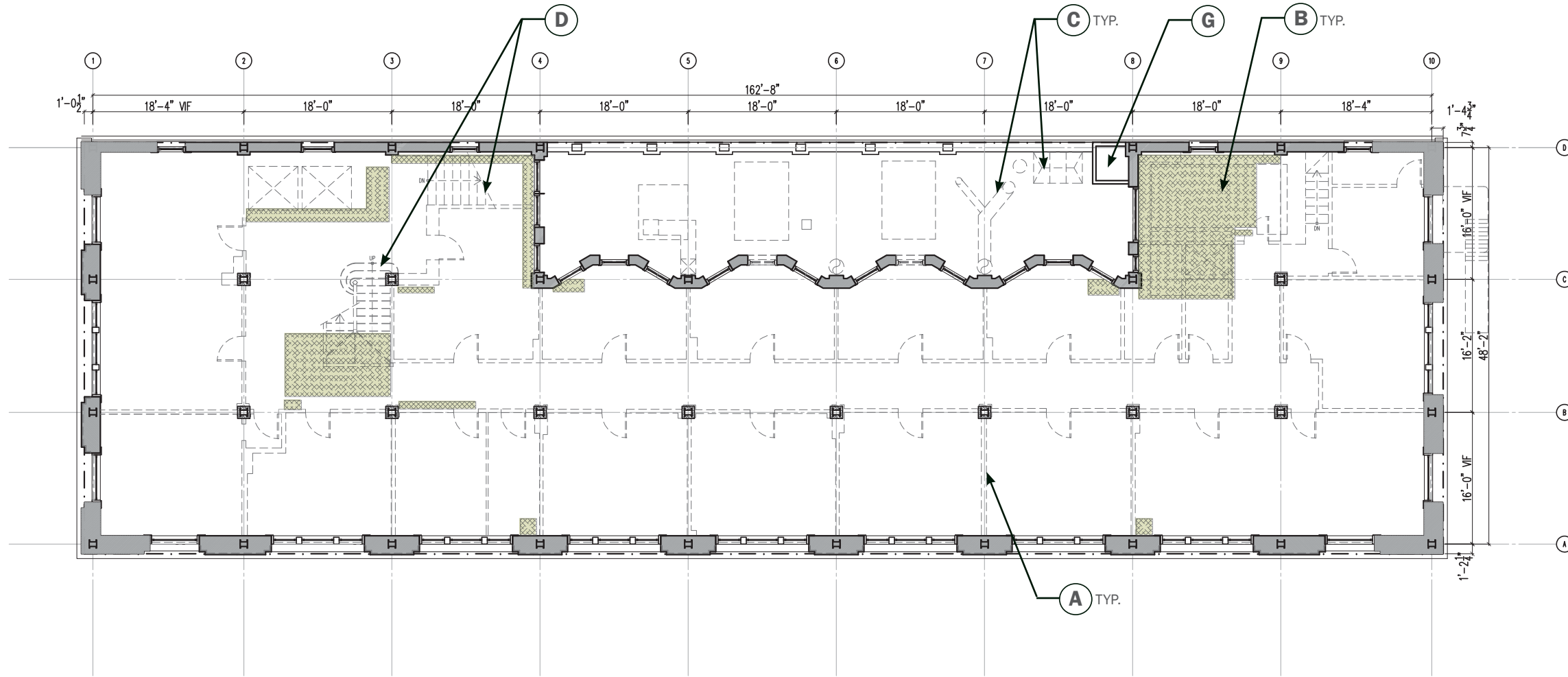


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




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**SELECTIVE REMOVAL LEGEND**

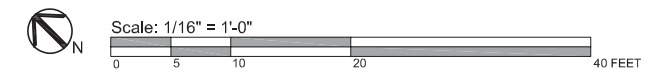
- (A)** REMOVE (E) INTERIOR NON-BEARING. HOLLOW CLAY TILE PARTITIONS, DOORS, ETC. TYP.
- (B)** REMOVE (E) CONCRETE SLAB AND BEAM STRUCTURE FOR FOUNDATION WORK / (N) STRUCTURE / (N) SIDEWALK / (N) STAIRS / (N) ELEVATOR ETC.
- (C)** REMOVE (E) EQUIPMENT, TYP.
- (D)** REMOVE (E) STAIRS
- (G)** (E) BOILER FLUE ENCLOSURE TO REMAIN



**LEGEND:**

-  EXISTING CONSTRUCTION TO BE REMOVED
-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONCRETE WALL
-  EXISTING BRICK WALL
-  EXISTING SLAB TO BE REMOVED

**DEMOLITION SECOND FLOOR PLAN**

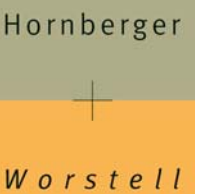


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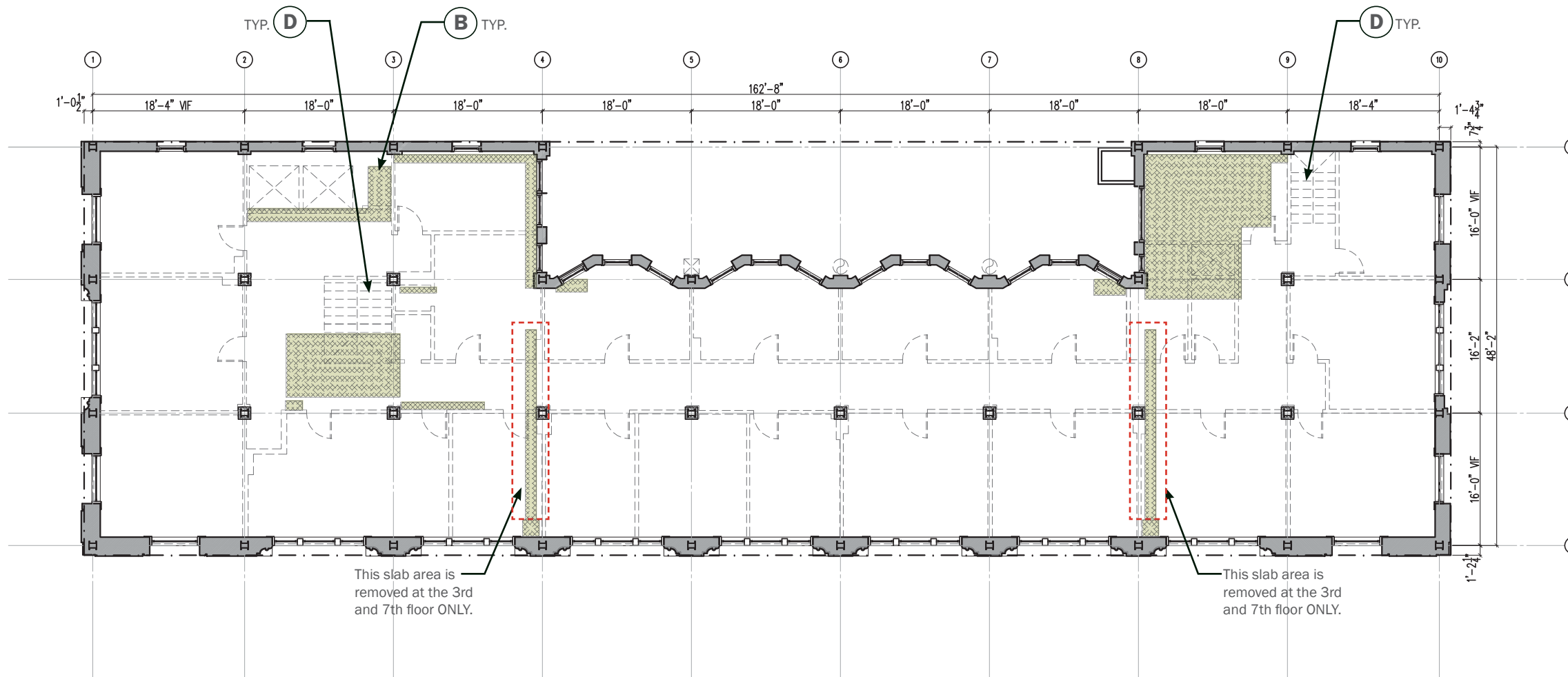




**SELECTIVE REMOVAL LEGEND**

**B** REMOVE (E) CONCRETE SLAB AND BEAM STRUCTURE FOR FOUNDATION WORK / (N) STRUCTURE / (N) SIDEWALK / (N) STAIRS / (N) ELEVATOR ETC.

**D** REMOVE (E) STAIRS



**LEGEND:**

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
- [Cross-hatch pattern] EXISTING CONCRETE WALL
- [Solid grey] EXISTING BRICK WALL
- [Diagonal lines] EXISTING SLAB TO BE REMOVED

**DEMOLITION THIRD TO SEVENTH FLOOR PLAN**



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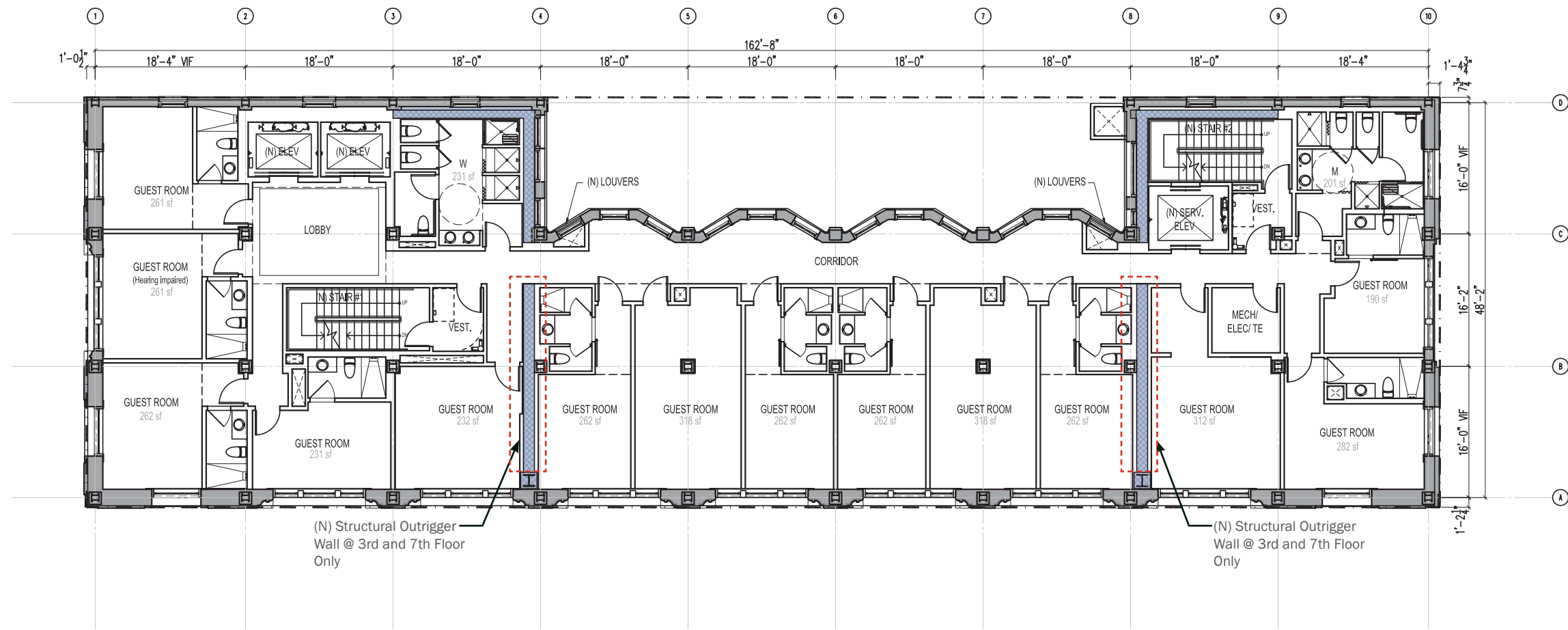
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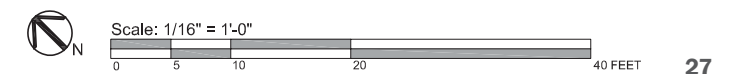
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**LEGEND:**

- PROPERTY LINE
- NEW CONSTRUCTION
- EXISTING CONCRETE WALL
- EXISTING BRICK WALL
- NEW STRUCTURAL ELEMENTS - COLUMN/ SHEAR WALLS; S.S.D.

PROPOSED THIRD FLOOR PLAN (4TH TO 7TH SIMILAR)



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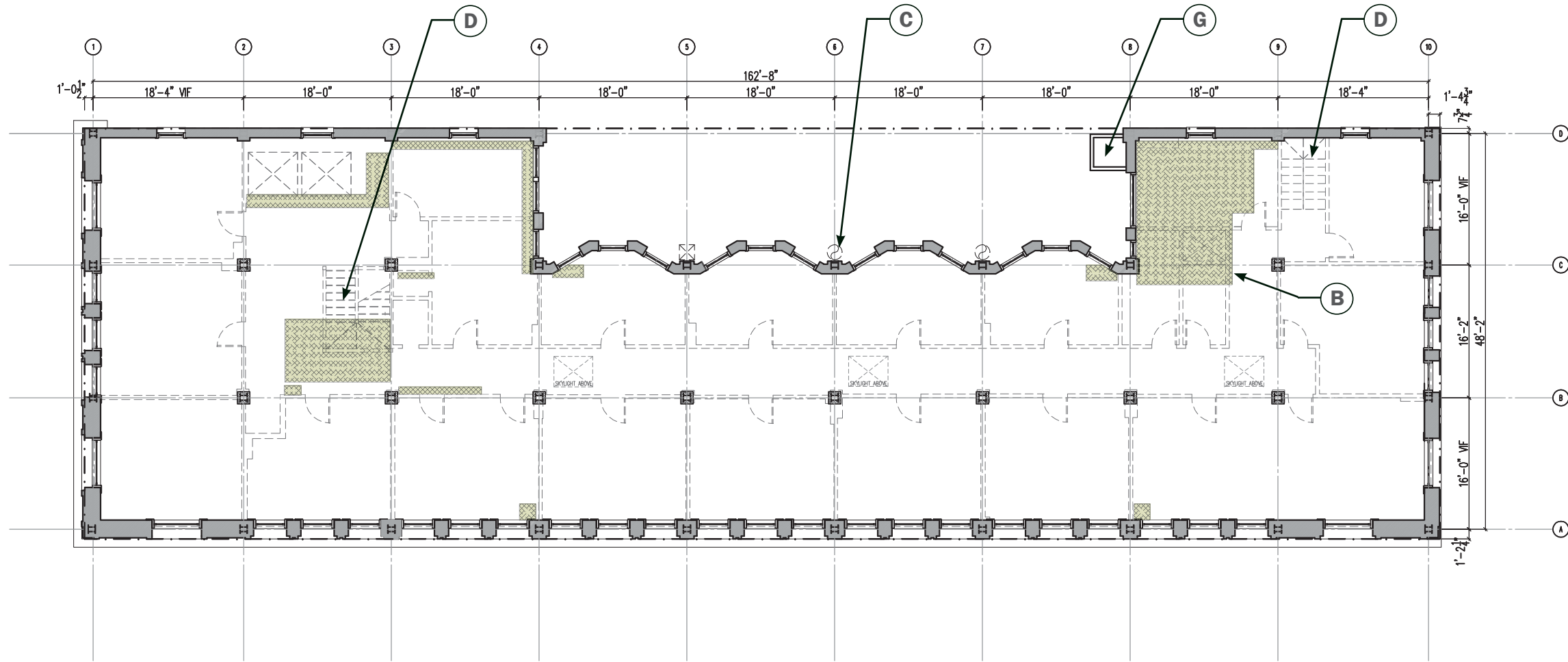
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**SELECTIVE REMOVAL LEGEND**

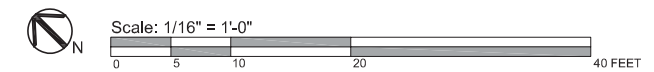
- (B)** REMOVE (E) CONCRETE SLAB AND BEAM STRUCTURE FOR FOUNDATION WORK / (N) STRUCTURE / (N) SIDEWALK / (N) STAIRS / (N) ELEVATOR ETC.
- (C)** REMOVE (E) EQUIPMENT, TYP.
- (D)** REMOVE (E) STAIRS
- (G)** (E) BOILER FLUE ENCLOSURE TO REMAIN



**LEGEND:**

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
- [Hatched Box] EXISTING CONCRETE WALL
- [Solid Grey Box] EXISTING BRICK WALL
- [Cross-hatched Box] EXISTING SLAB TO BE REMOVED

**DEMOLITION EIGHTH FLOOR PLAN**

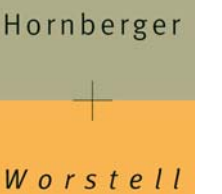


**1095 MARKET STREET**  
HISTORIC PRESERVATION COMMISSION PACKAGE

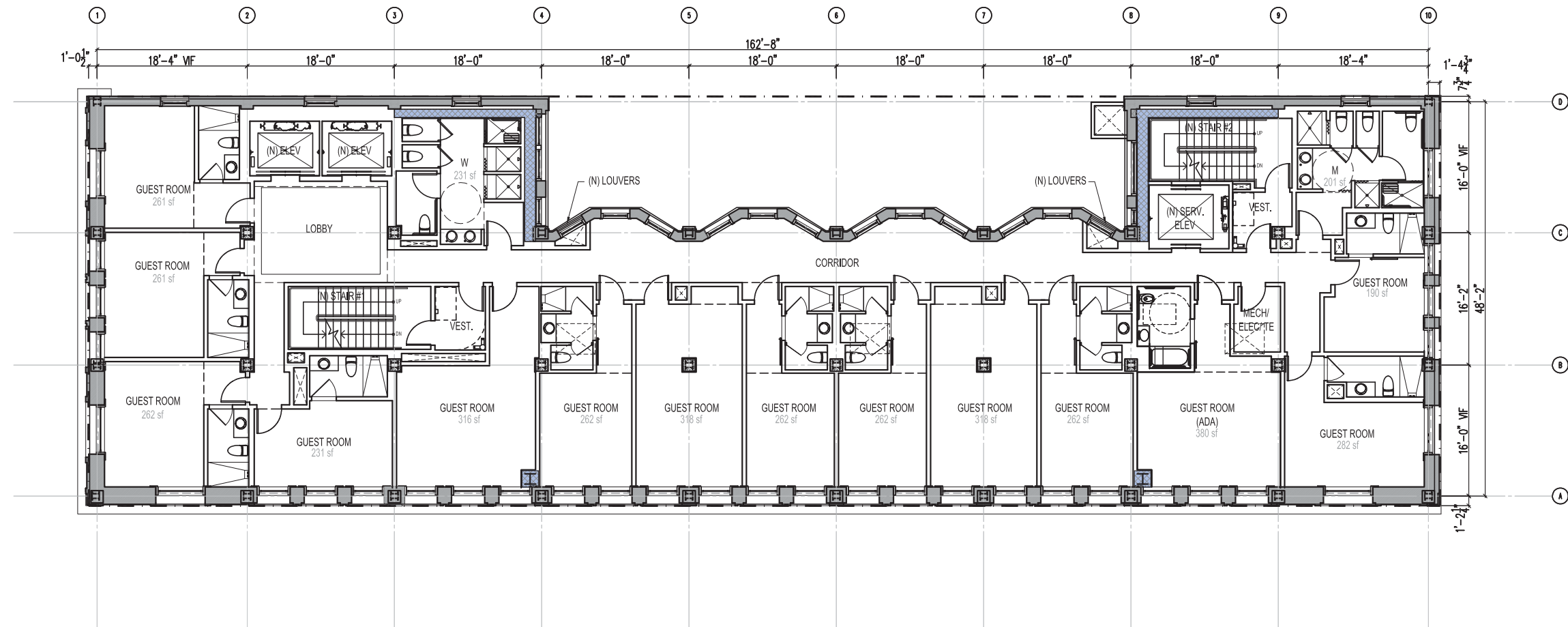
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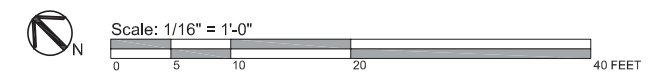
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**LEGEND:**

- PROPERTY LINE
- ==== NEW CONSTRUCTION
- ▒ EXISTING CONCRETE WALL
- EXISTING BRICK WALL
- NEW STRUCTURAL ELEMENTS - COLUMN/ SHEAR WALLS; S.S.D.

**PROPOSED EIGHTH FLOOR PLAN**



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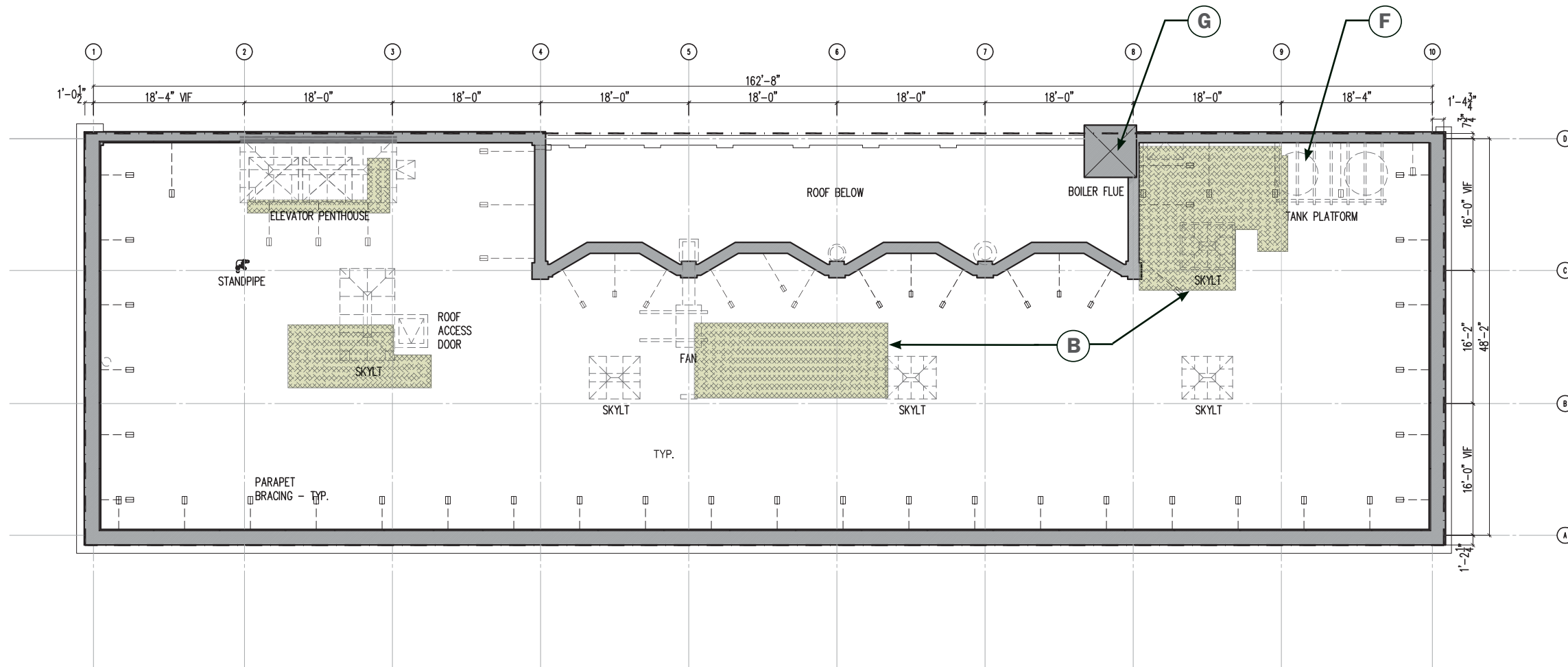
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**SELECTIVE REMOVAL LEGEND**

**(B)** REMOVE (E) CONCRETE SLAB AND BEAM STRUCTURE FOR FOUNDATION WORK / (N) STRUCTURE / (N) SIDEWALK / (N) STAIRS / (N) ELEVATOR ETC.

**(F)** REMOVE (E) ROOF TOP EQUIP., TYP.

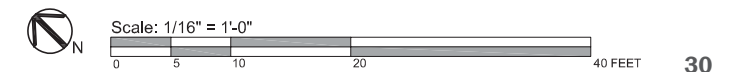
**(G)** (E) BOILER FLUE ENCLOSURE TO REMAIN



**LEGEND:**

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONCRETE WALL
- EXISTING BRICK WALL
- EXISTING SLAB TO BE REMOVED

**DEMOLITION ROOF PLAN**



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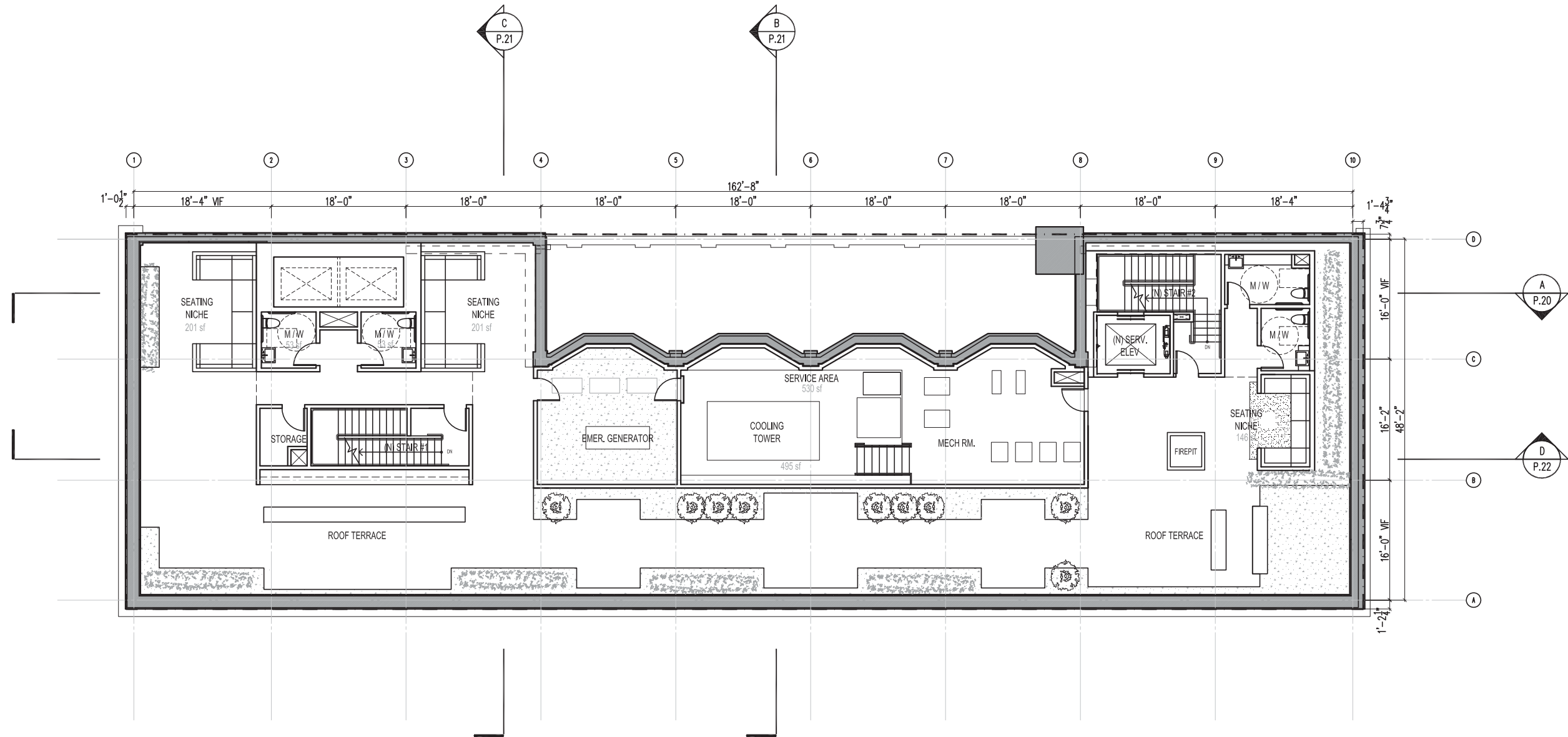
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- LEGEND:**
- PROPERTY LINE
  - ==== NEW CONSTRUCTION
  - [Stippled Box] EXISTING CONCRETE WALL
  - [Solid Grey Box] EXISTING BRICK WALL
  - [Cross-hatched Box] NEW STRUCTURAL ELEMENTS - COLUMN/ SHEAR WALLS; S.S.D.

PROPOSED ROOF TERRACE PLAN  
 Scale: 1/16" = 1'-0"  
 0 5 10 20 40 FEET

# 1095 MARKET STREET

HISTORIC PRESERVATION COMMISSION PACKAGE

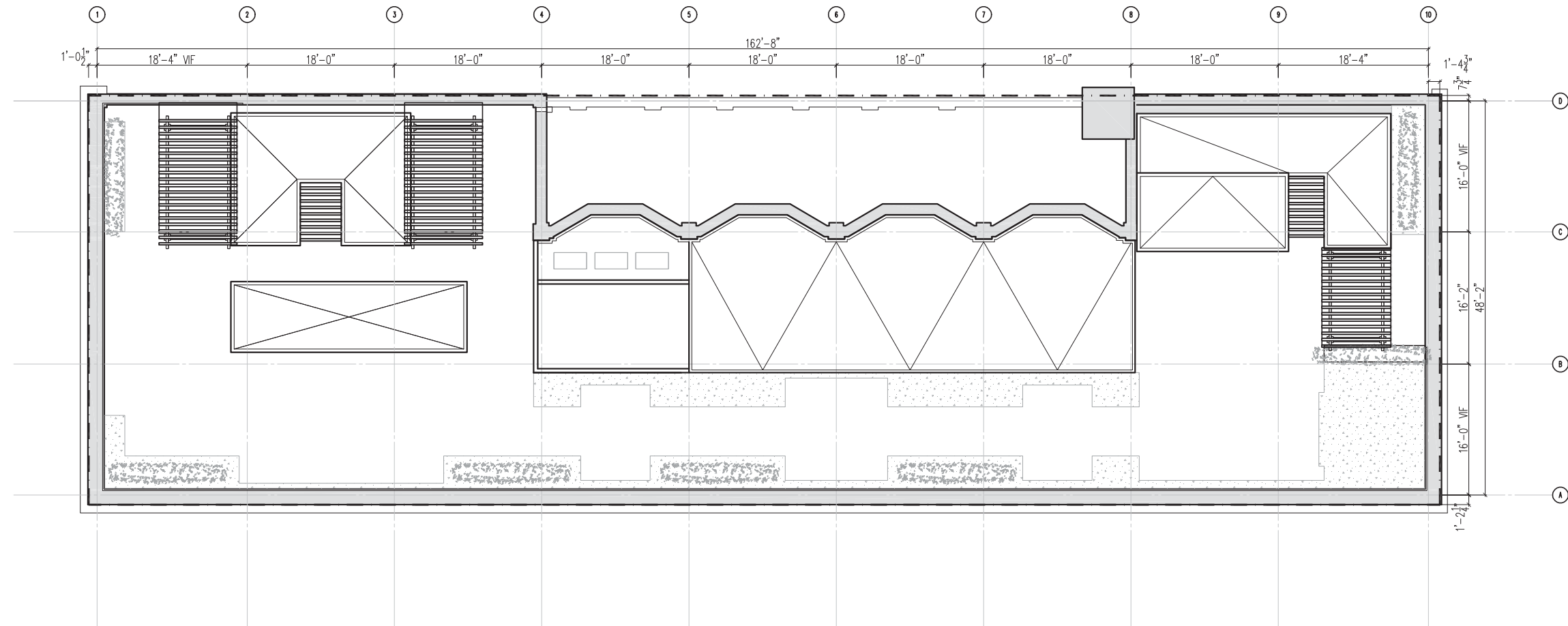
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**LEGEND:**

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-  EXISTING CONCRETE WALL
-  EXISTING BRICK WALL
-  NEW STRUCTURAL ELEMENTS - COLUMN/ SHEAR WALLS; S.S.D.

**PROPOSED ROOF PLAN**



Scale: 1/16" = 1'-0"

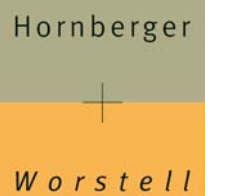


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## HISTORIC MATERIAL TREATMENT OVERVIEW: *GENERAL SPECIFICATIONS*

### BRICK MASONRY RESTORATION AND RE-POINTING

The brick facade at 1095 Market looks generally to be in fair condition. Measures will be taken to preserve the historic façade, and improve the overall building appearance. A thorough building facade condition survey will be conducted by a qualified historic preservation architect prior to construction to identify where specific problem areas exist and how to address brick repair, restoration, re-pointing and cleaning.

A careful and conservative approach will be sought to rehabilitate the brick. Mock-ups will be performed to determine the gentlest, most effective method for cleaning. Samples and mock-ups will also be required for mortar and brick re-pointing. The work will conform to the Secretary of Interior Standards and follow the guidelines outlined in the US Department of Interior, NPS Preservation Briefs No.1 and No.2 - The Cleaning and Waterproof Coating of Masonry Buildings and Repointing Mortar Joints in Historic Masonry Buildings.

### REPLACEMENT OF GROUND FLOOR STOREFRONT

The original ground floor store front was altered dramatically in the 1960's and 70's with non-structural masonry, vinyl shingle siding and aluminum windows. There are limited remnants of the historic storefront today - 4 ornamental pilasters on the south east corner of 7th Street and Stevenson Street.

The non-contributing brick pilasters will be removed and replaced with pilasters constructed in cast aluminum or cast stone based on the remaining extant ornamental pilasters. Using historical photographs and the building context, the non-contributing storefront system will be replaced with a new storefront design that is contemporary but compatible in scale, color and material while maintaining the historic character of the building.

### REHABILITATING HISTORIC WOOD WINDOWS

Double hung wood window units fill in almost every opening in the facades at 1095 Market. There are select windows at the second floor that are configured as hopper units. The windows are generally in fair condition, but do require reconditioning work. A thorough survey will also be conducted of the windows to determine the extent and method of the rehabilitation, repair, re-caulking and repainting.

Improving the thermal and acoustical performance of the building envelope is an important goal for the project. Performance tests will be done on the existing historic windows to determine the appropriate scope of rehab work for the project thermal and acoustic criteria. We will study optional designs to enhance energy and acoustical performance including, improving weather-stripping, providing a removable pony-sash or replacing glazing with insulated or low-e laminated glazing. The option that provides the best performance and compatibility with the historic resource will be pursued.



EXISTING ELEVATION ALONG MARKET STREET

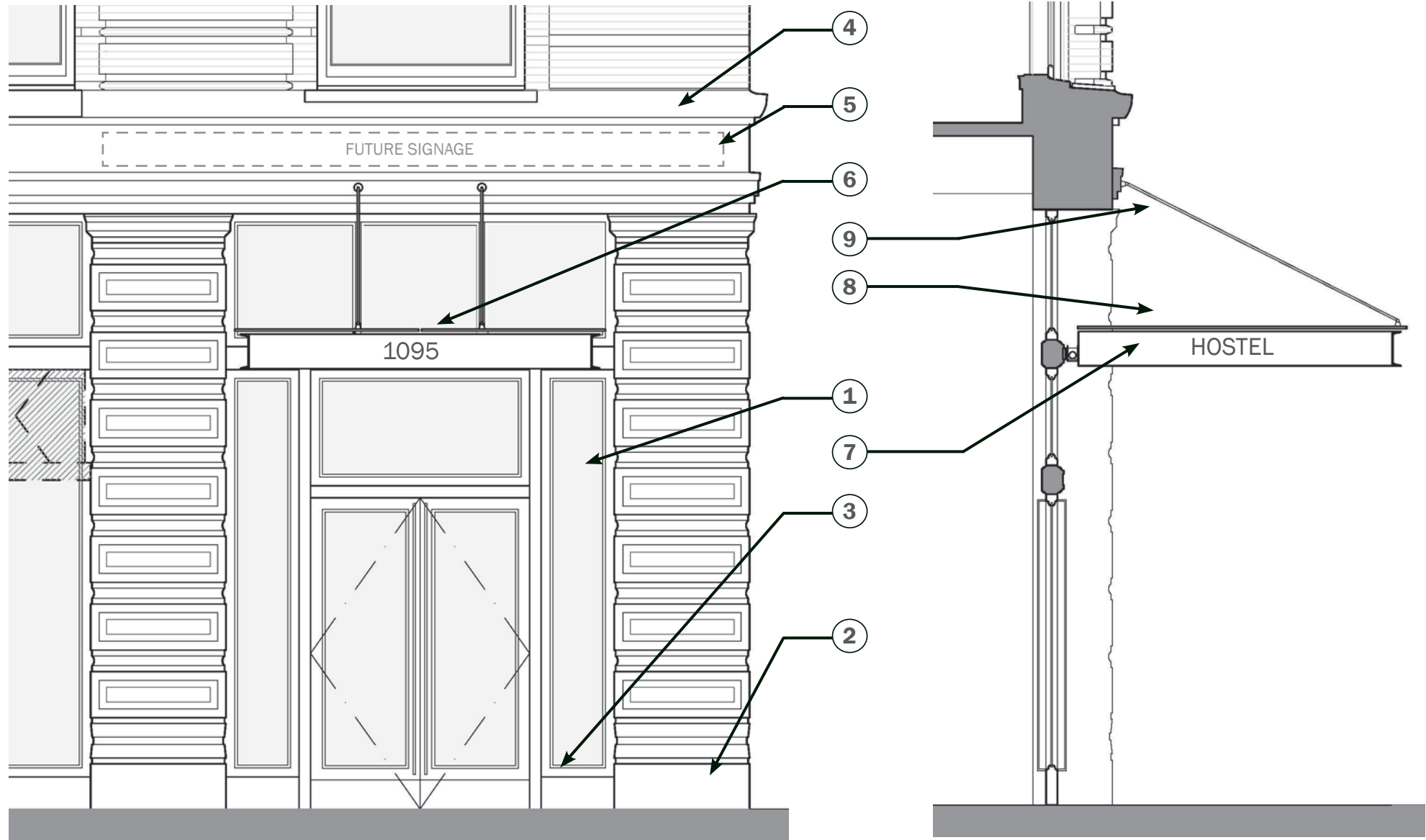


HISTORIC ELEVATION (POST EARTHQUAKE IN 1906) ALONG MARKET STREET

**GROUND FLOOR STOREFRONT DETAIL**

- ① REPLACE (E) NON-CONTRIBUTING STOREFRONT W/ NEW WOOD STOREFRONT
- ② RESTORE/ RECONSTRUCT ORNAMENTAL PILASTERS (REQUIRES FURTHER SURVEY TO DETERMINE IF PILASTERS REMAIN INTACT BEHIND NON-CONTRIBUTING BRICK VENEER)
- ③ STONE BASE AT STOREFRONT
- ④ RESTORE/ REPAIR (E) BELT COURSE
- ⑤ OPTIONAL: INCORPORATE (N) BUILDING SIGNAGE
- ⑥ NEW REMOVABLE STEEL FRAME AND GLASS MARQUEE

- ⑦ PAINTED POWDER COATED STEEL CHANNEL
- ⑧ TRANSLUCENT LAMINATED TEMPERED GLASS
- ⑨ 3/4" DIAMETER STEEL ROD SUPPORT



PROPOSED ELEVATION OF ENTRY STOREFRONT AT MARKET STREET

Scale: 1/4" = 1'-0"  
 0 2 4 8 16 FEET

PROPOSED ELEVATION OF ENTRY STOREFRONT AT MARKET STREET



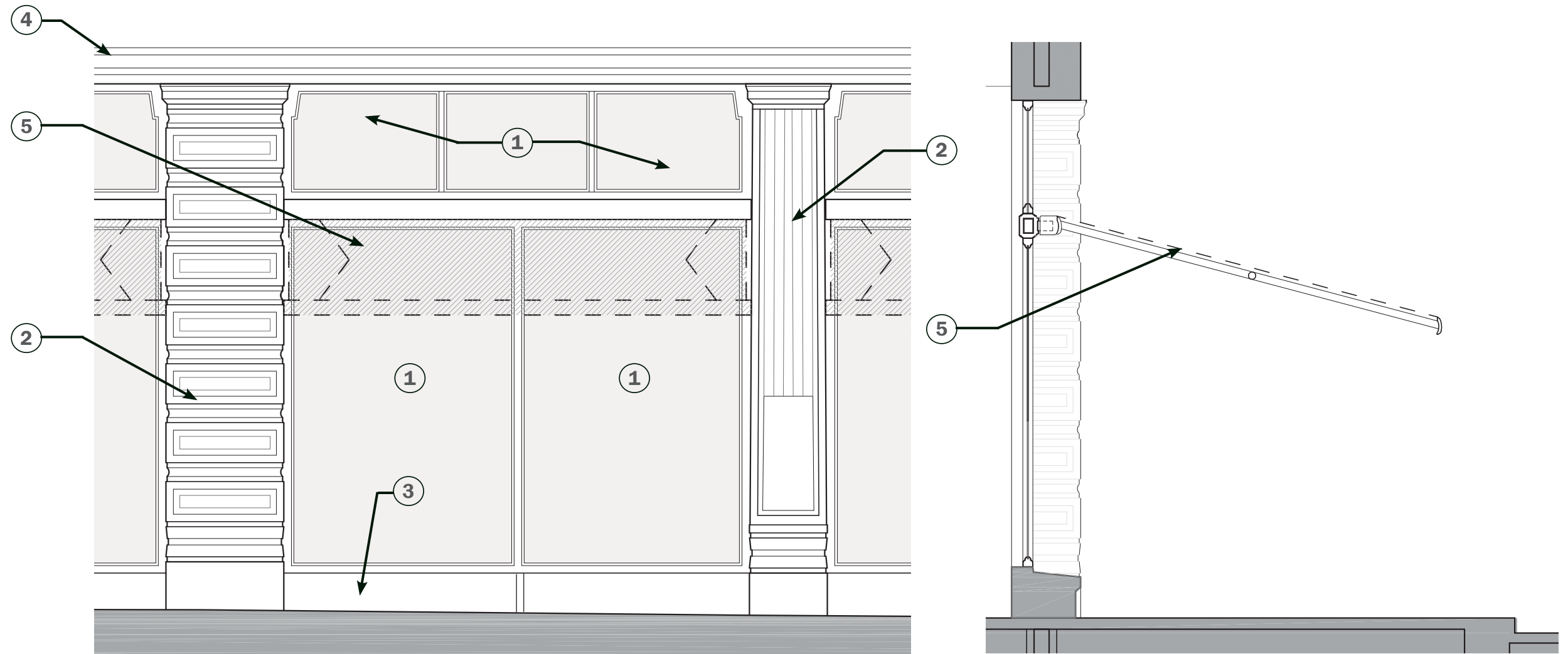
EXISTING ELEVATION ALONG 7TH STREET



HISTORIC ELEVATION ALONG 7TH STREET

**GROUND FLOOR STOREFRONT DETAIL**

- ① REPLACE (E) NON-CONTRIBUTING STOREFRONT W/ NEW WOOD STOREFRONT
- ② RESTORE/ RECONSTRUCT ORNAMENTAL PILASTERS (REQUIRES FURTHER SURVEY TO DETERMINE IF PILASTERS REMAIN INTACT BEHIND NON-CONTRIBUTING BRICK VENEER)
- ③ STONE BASE AT STOREFRONT
- ④ RESTORE/ REPAIR (E) BELT COURSE
- ⑤ NEW FULLY RETRACTABLE FABRIC DART AWNING



PROPOSED ELEVATION OF TYPICAL STOREFRONT ALONG 7TH STREET  
 Scale: 1/4" = 1'-0"  
 0 2 4 8 16 FEET

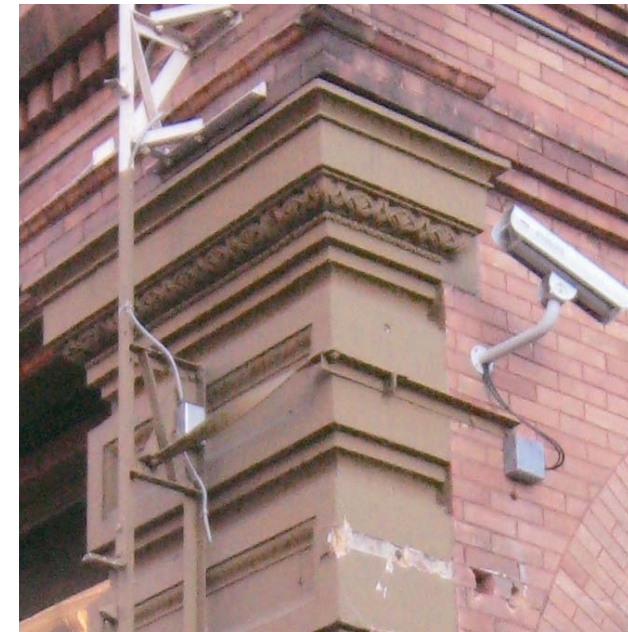


EXISTING PILASTERS ON 7TH STREET



**REHABILITATION OF ORNAMENTAL PILASTERS**

- ① SURVEY AND DOCUMENT EXISTING HISTORIC ORNAMENTAL STONE PILASTERS
- ② VERIFYING IF DETAILED HISTORIC PILASTERS REMAIN INTACT
- ③ MISSING FEATURES WILL BE REPLACED, TO MATCH ADJACENT HISTORIC PILASTERS.
- ④ (E) HISTORIC COLUMNS TO BE PROTECTED AND REPAIRED/PRESERVED.



EXISTING PILASTERS AT THE CORNER OF 7TH AND STEVENSON STREET



EXISTING PILASTERS PHOTOS 37

**1095 MARKET STREET**  
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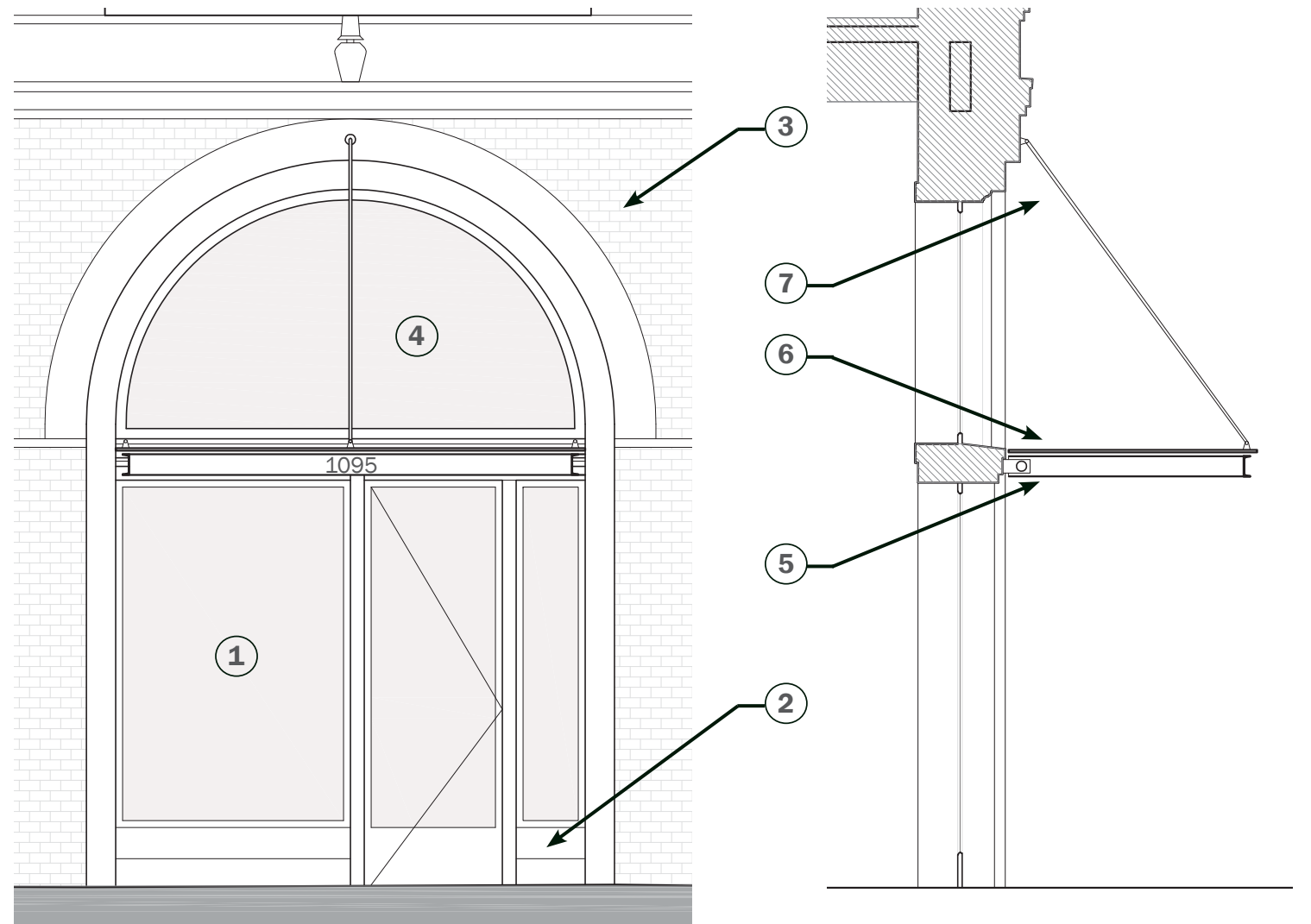
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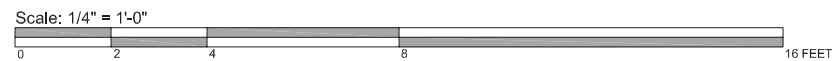
EXISTING ELEVATION ALONG STEVENSON STREET

**GROUND FLOOR STOREFRONT DETAIL**

- ① REPLACE (E) NON-CONTRIBUTING STOREFRONT W/ NEWWOOD STOREFRONT
- ② STONE BASE AT STOREFRONT
- ③ REPAIR AND CLEAN BRICK EXTERIOR
- ④ REPAIR/ REHABILITATE (E) FIXED ARCH WINDOW
- ⑤ NEW REMOVABLE STEEL FRAME AND GLASS MARQUEE
- ⑥ TRANSLUCENT LAMINATED TEMPERED GLASS OVER PAINTED POWDER COATED STEEL CHANNEL
- ⑦ 3/4" DIAMETER STEEL ROD SUPPORT



PROPOSED ELEVATION OF ENTRY STOREFRONT AT STEVENSON STREET



**REHABILITATE WOOD WINDOWS (LIGHTWELL SIDE)**

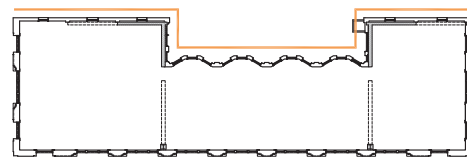
**1 TYPICAL BAY WINDOW**

- (A)** REMOVE PEELING PAINT; CLEAN AND REPAINT. PRESERVE WINDOW FRAME, SASH AND GLAZING
- (B)** PROVIDE (N) WEATHERSTRIPPING AND CAULKING AT HEAD/JAMB/SILL.
- (C)** REPAIR WINDOW FUNCTION/ OPERABILITY AS NECESSARY.

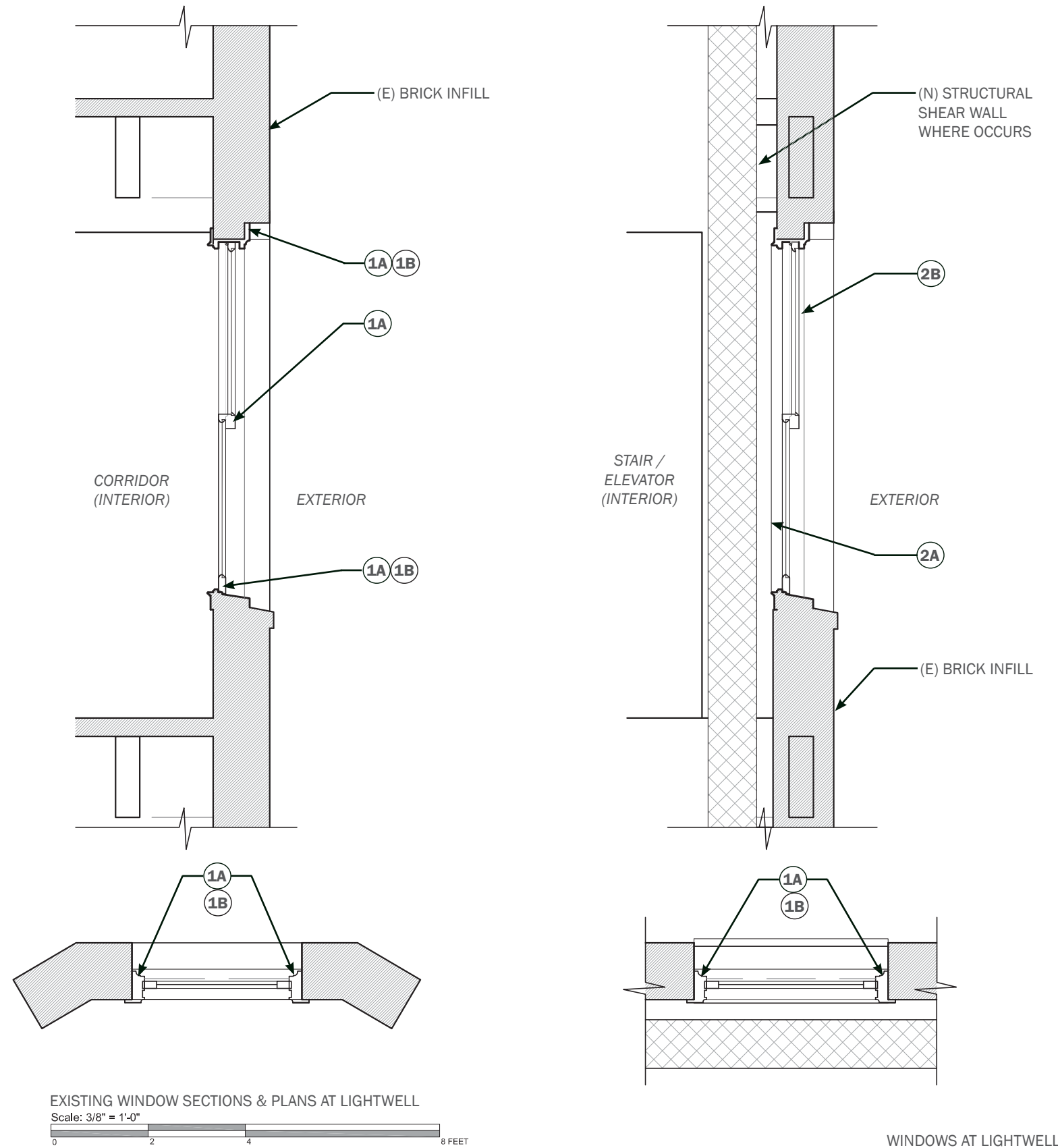
**2 WINDOWS BLOCKED BY SHEAR WALL**

- (A)** OPAQUE RIGID BACKING PANELS MOUNTED TO INTERIOR; BLACK ON VISIBLE (EXTERIOR) SIDE.
- (B)** PRESERVE (E) HISTORIC WINDOW.

**KEY PLAN**



EXISTING WINDOW TYPES AT LIGHTWELL



EXISTING WINDOW SECTIONS & PLANS AT LIGHTWELL

Scale: 3/8" = 1'-0"



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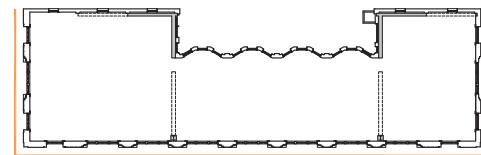


EXISTING WINDOW AT 2ND FLOOR (MARKET, 7TH AND STEVENSON STREET)

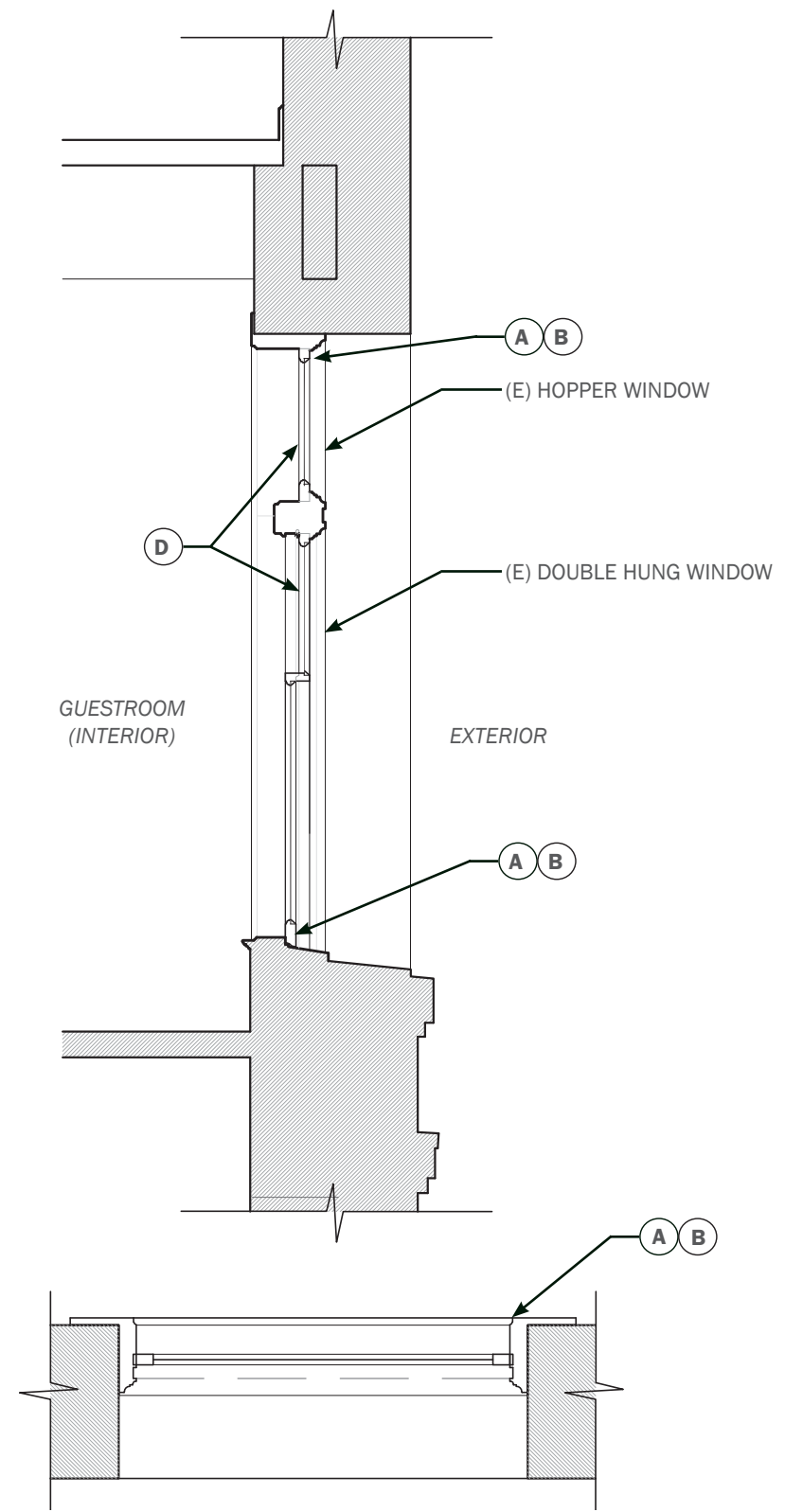
- REHABILITATE 2ND FLOOR WOOD WINDOWS**
- (A)** REMOVE PEELING PAINT, CLEAN AND REPAINT
  - (B)** PROVIDE (N) WEATHERSTRIPPING AND CAULKING AT HEAD/JAMB/SILL
  - (C)** REPAIR WINDOWS AS NECESSARY
  - (D)** REHABILITATE WINDOW TO ALLOW FOR APPROPRIATE ACOUSTICAL AND THERMAL PERFORMANCE. VARIOUS OPTIONS WILL BE STUDIED.

- REPLACE (E) GLAZING WITH INSULATING GLASS
- REPLACE (E) GLAZING WITH LAMINATED LOW-E GLASS
- PROVIDE INTERIOR PONY SASH WITHIN THE WINDOW FRAME/ TRIM

**KEY PLAN**



EXISTING WINDOW AT MARKET AND 7TH STREET



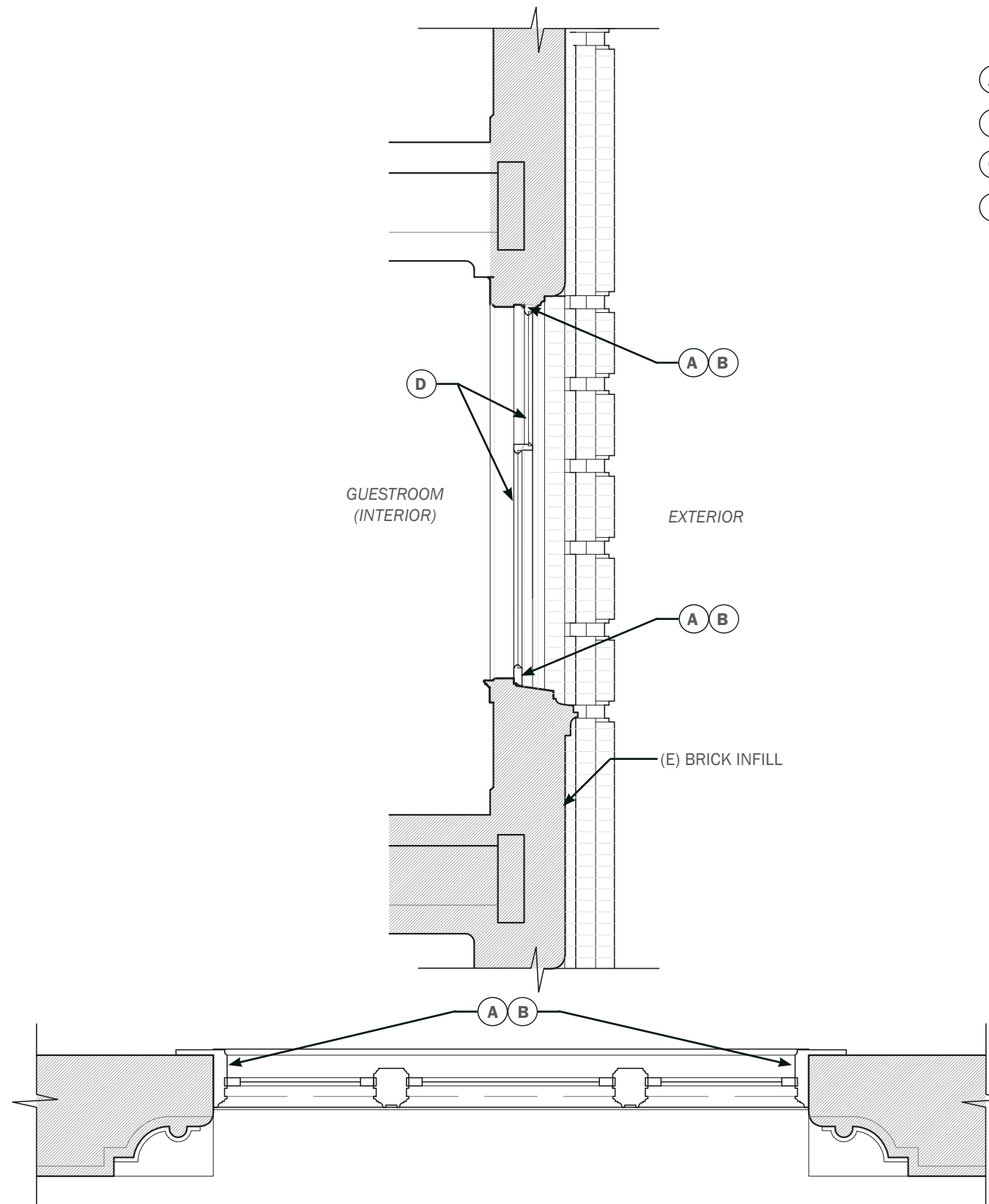
WINDOW SECTION & PLAN AT 2ND FLOOR (MARKET, 7TH AND STEVENSON STREET)

Scale: 3/8" = 1'-0"





3 BAY WINDOW AT LEVELS 3-7 (MARKET, 7TH AND STEVENSON STREET)



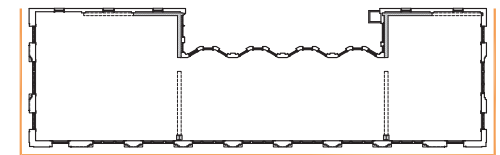
3 BAY WINDOW SECTION & PLAN AT LEVELS 3-7 (MARKET, 7TH AND STEVENSON STREET)

Scale: 3/8" = 1'-0"  
0 2 4 8 FEET

**REHABILITATE 3 BAY WOOD WINDOWS**

- (A) REMOVE PEELING PAINT, CLEAN AND REPAINT
- (B) PROVIDE (N) WEATHERSTRIPPING AND CAULKING AT HEAD/JAMB/SILL
- (C) REPAIR WINDOWS AS NECESSARY
- (D) REHABILITATE WINDOW TO ALLOW FOR APPROPRIATE ACOUSTICAL AND THERMAL PERFORMANCE. VARIOUS OPTIONS WILL BE STUDIED.
  - REPLACE (E) GLAZING WITH INSULATING GLASS
  - REPLACE (E) GLAZING WITH LAMINATED LOW-E GLASS
  - PROVIDE INTERIOR PONY SASH WITHIN THE WINDOW FRAME/ TRIM

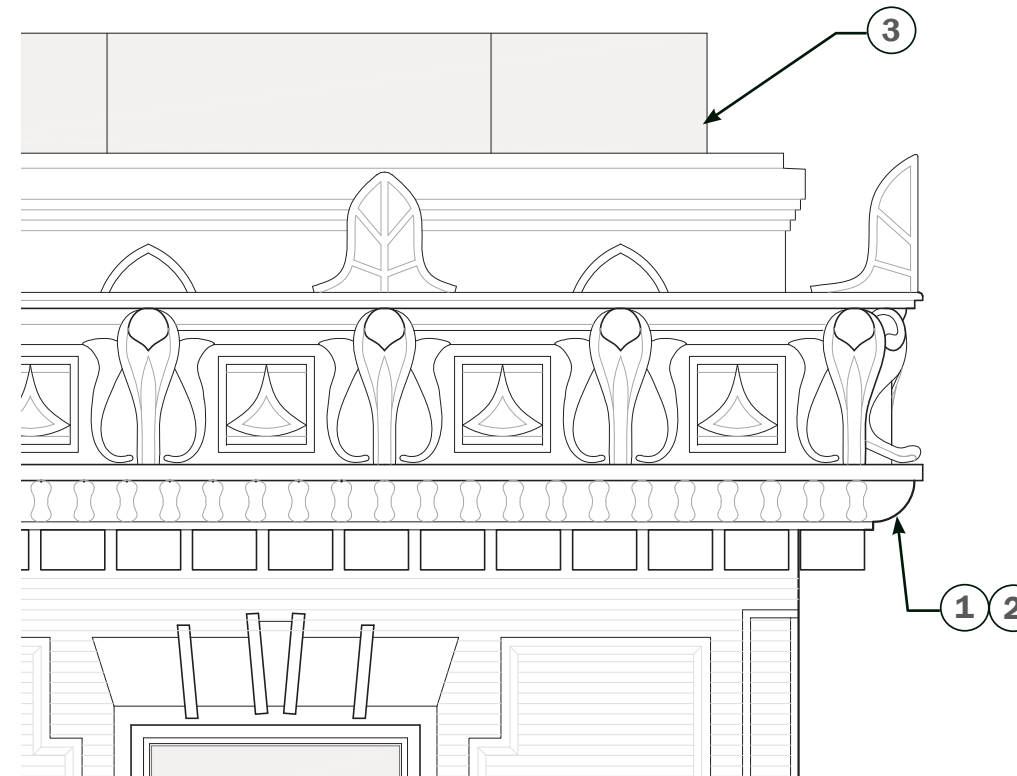
**KEY PLAN**





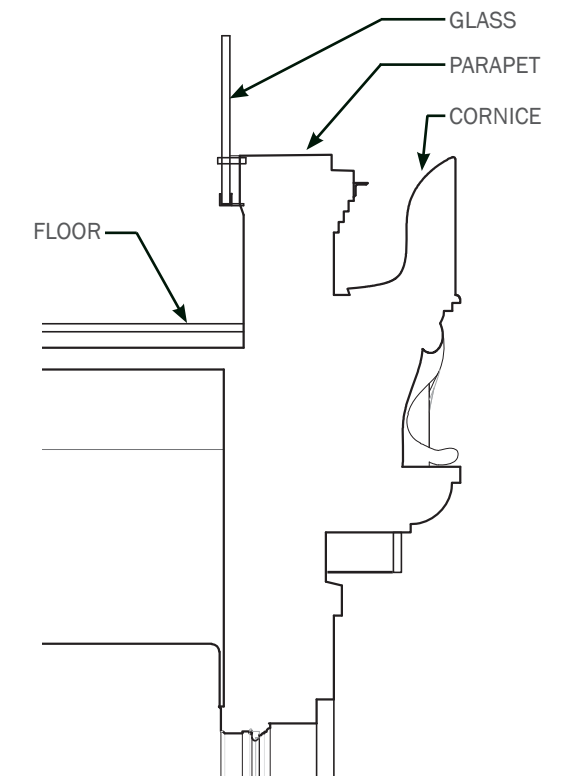


HISTORIC PHOTO OF CORNICE



ELEVATION OF PROPOSED CORNICE

Scale: 1/4" = 1'-0"



SECTION @ PARAPET + CORNICE



EXISTING CORNICE CONDITION

**NEW ORNAMENTAL CORNICE**

- ① (N) FIBER-REINFORCED POLYMER (FRP) CORNICE ATTACH TO EXISTING PARAPET.
- ② COLOR AND TEXTURE TO HARMONIZE WITH EXISTING BRICK AND STONWORK.
- ③ (N) GLASS SAFETY RAILING MOUNTED TO BACK OF PARAPET.



View E  
- VIEW FROM UN PLAZA (SEE PAGE 6 FOR VIEW POINT)



View C  
- VIEW FROM MARKET STREET (SEE PAGE 6 FOR VIEW POINT)



View G  
- VIEW FROM STEVENSON STREET (SEE PAGE 6 FOR VIEW POINT)

----- INDICATES PROFILE OF NEW GLAZING / ROOF TOP ENCLOSURES

EXTERIOR MASSING STUDY 43

# 1095 MARKET STREET

HISTORIC PRESERVATION COMMISSION PACKAGE

OWNER :  
1095 Market Street Holding LLC

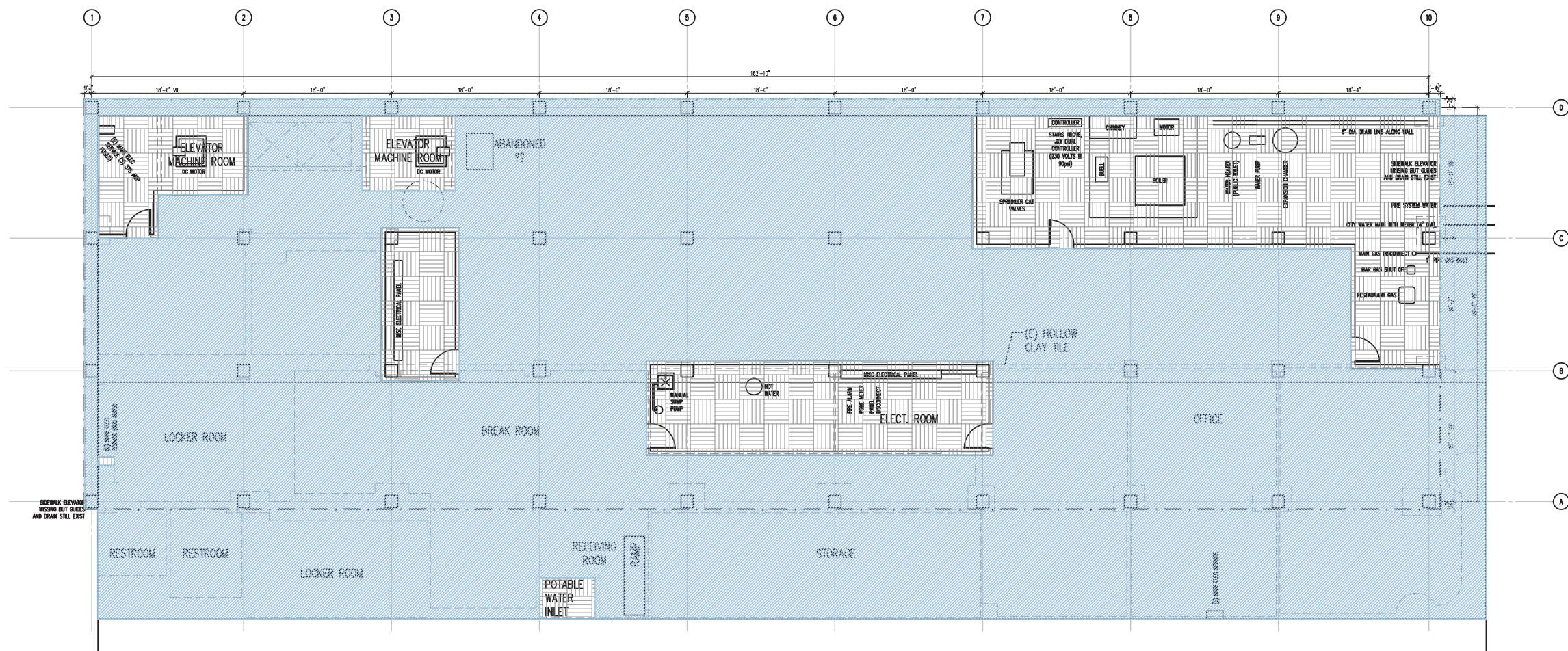
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ARCHITECT : HORNBERGER + WORSTELL  
170 MAIDEN LANE  
SAN FRANCISCO CA 94108



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	Existing FAR	Proposed FAR
Basement	8,690	8,533
Ground Floor	2,064	1,659
Mezzanine	524	260
2nd Floor	6,441	6,492
3rd Floor	6,466	6,441
4th Floor	6,469	6,445
5th Floor	6,470	6,445
6th Floor	6,470	6,445
7th Floor	6,470	6,445
8th Floor	6,472	6,447
Roof	0	871
Total	56,536	56,483



- GROSS FLOOR AREA : 8,690 SF
- EXCLUDED FROM GROSS FLOOR AREA: BASEMENT USED FOR STORAGE AND SERVICES : 2,099 SF  
\* SEE SEC. 102.9 (b) (1)

EXISTING FAR DIAGRAM - BASEMENT FLOOR PLAN



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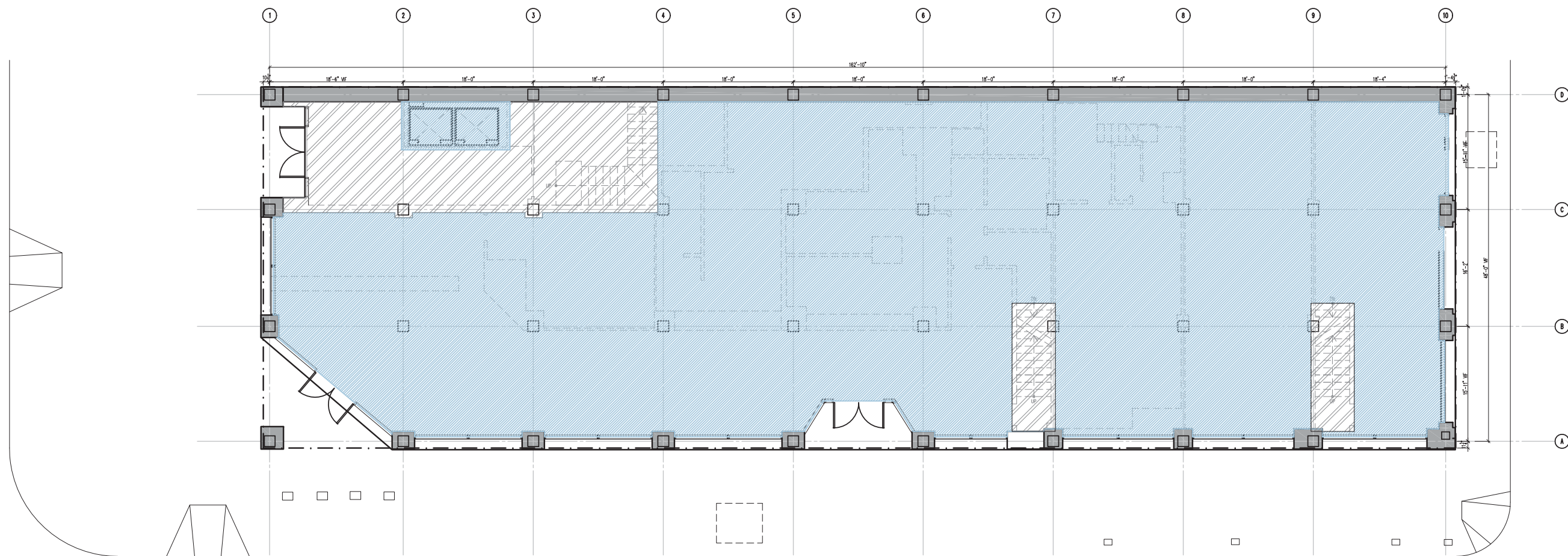
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Hornberger

Worstell

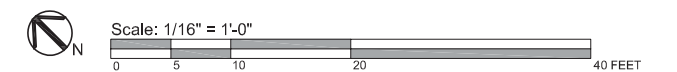
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 GROSS FLOOR AREA : 2,064 SF (NOTE: ONLY 25% of the area is counted)  
SEE SEC. 102.9 (12)

 EXCLUDED FROM GROSS FLOOR AREA: BLDG CIRCLATION AT GROUND FLOOR : 872 SF  
\* SEE SEC. 102.9 (b) (11)

EXISTING FAR DIAGRAM - GROUND FLOOR PLAN



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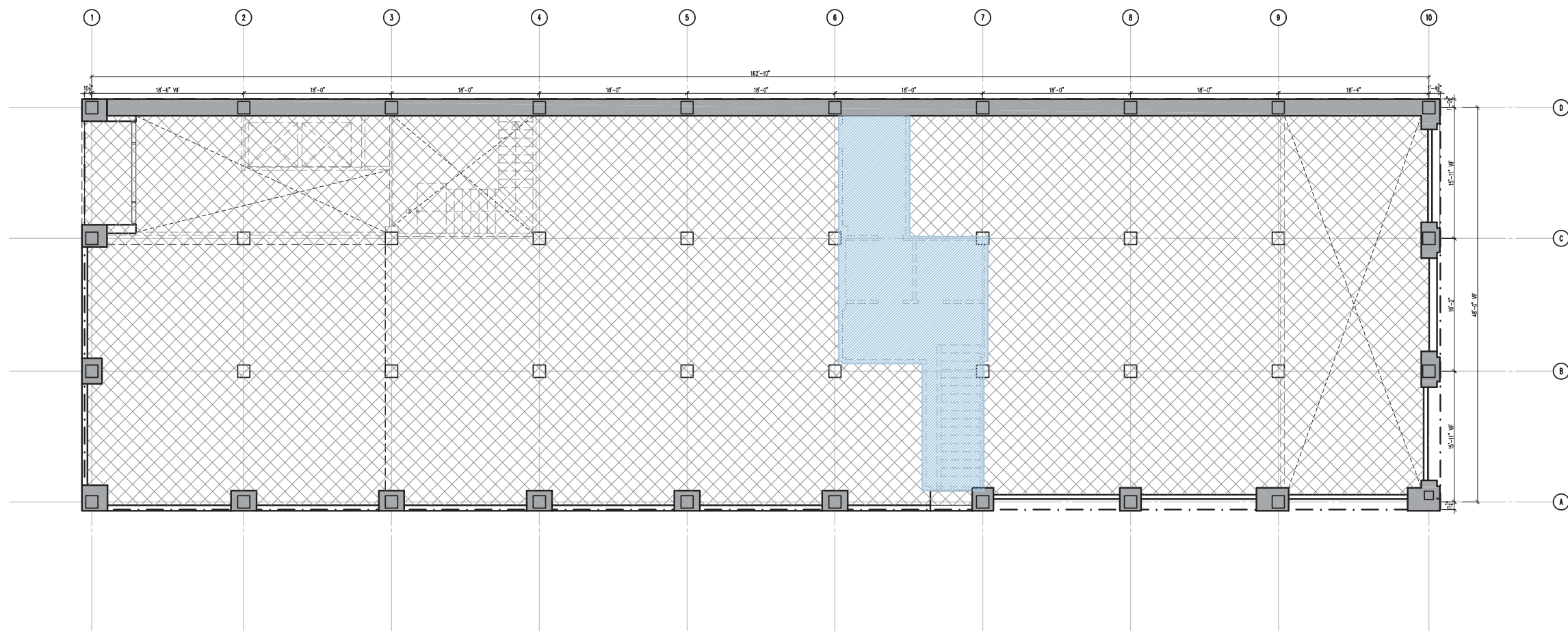
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170 MAIDEN LANE  
SAN FRANCISCO CA 94108

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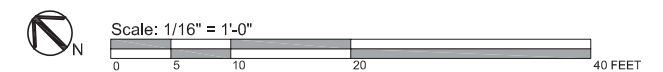
Worstell

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-  GROSS FLOOR AREA : 524 SF
-  EXCLUDED FROM GROSS FLOOR AREA: ATTIC SPACE AT MEZZANINE : 7,345 SF  
\* SEE SEC. 102.9 (b) (2)

EXISTING FAR DIAGRAM - MEZZANINE FLOOR PLAN



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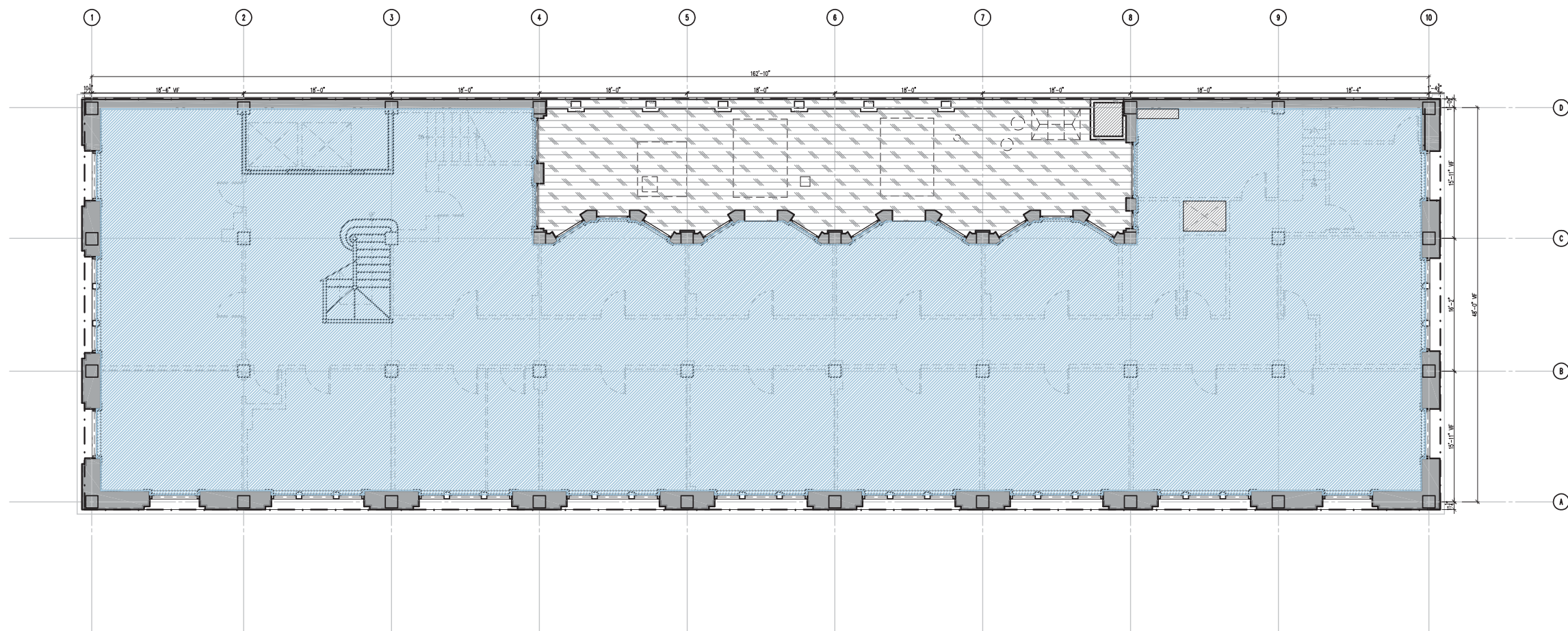
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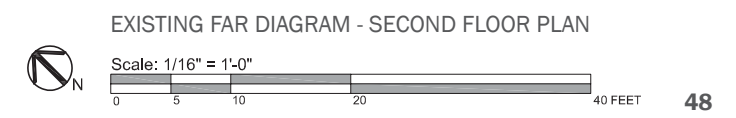
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- GROSS FLOOR AREA : 6,441 SF
- EXCLUDED FROM GROSS FLOOR AREA: MECH. AREA : 39 SF  
\* SEE SEC. 102.9 (b) (4)
- EXCLUDED FROM GROSS FLOOR AREA: ROOF DECK: 1,071 SF  
\* SEE SEC. 102.9 (b) (8)

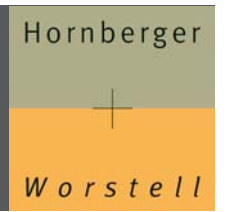


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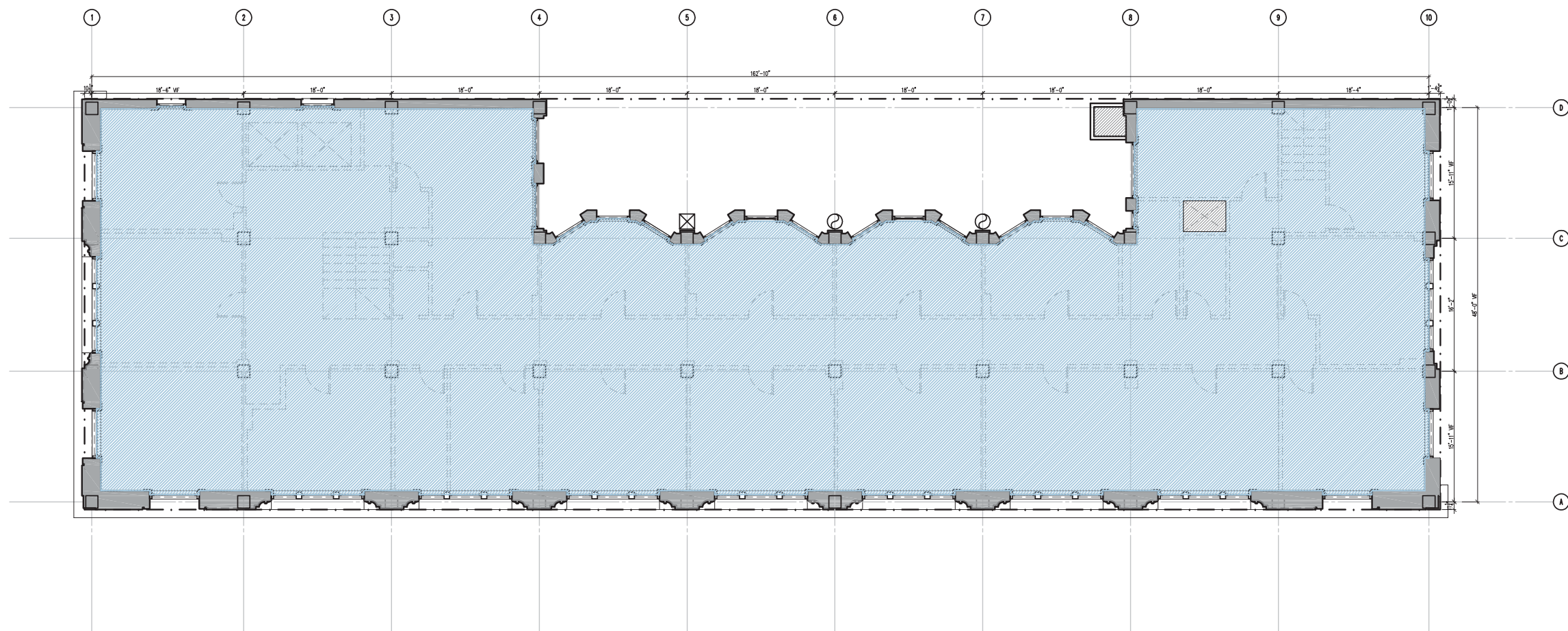
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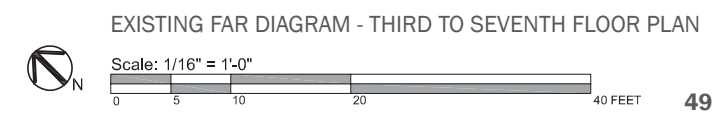


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- GROSS FLOOR AREA : 6,466 SF
- EXCLUDED FROM GROSS FLOOR AREA: MECH. AREA : 33 SF  
\* SEE SEC. 102.9 (b) (4)



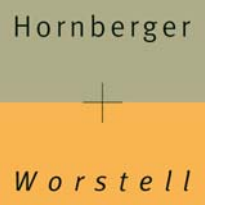
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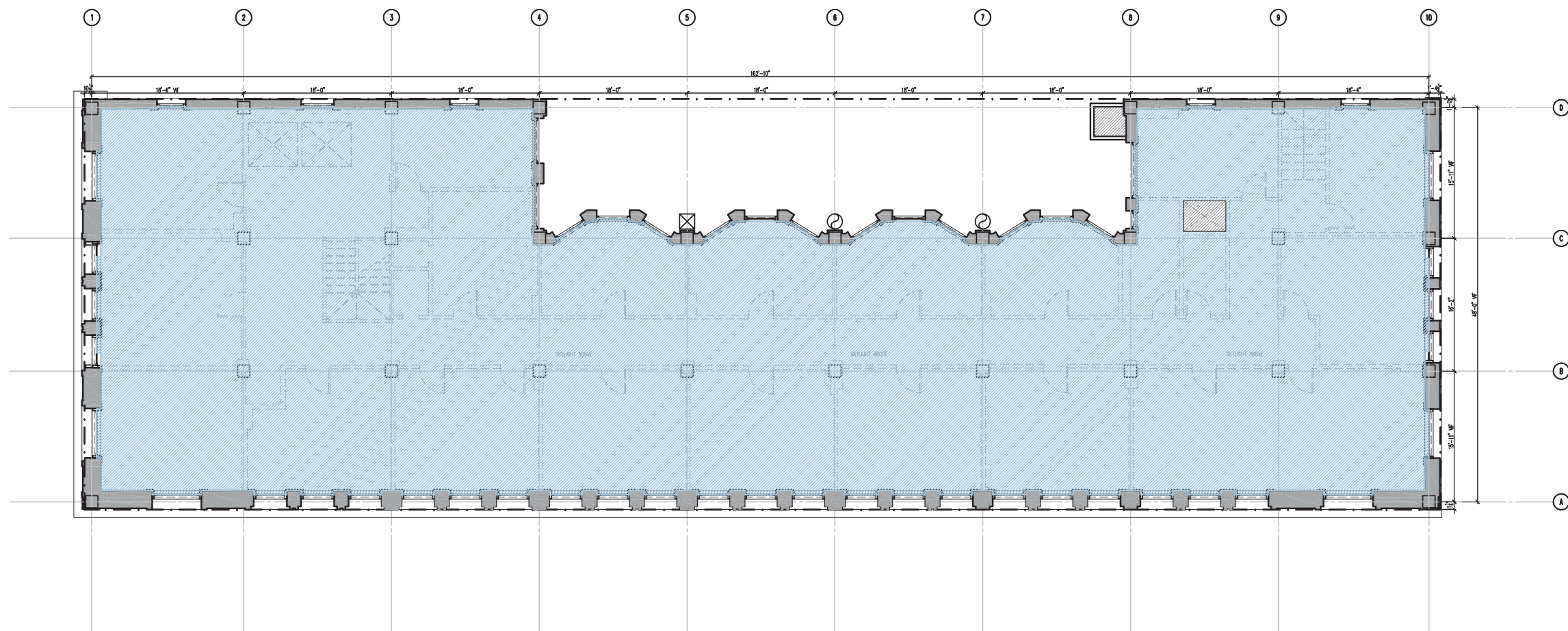
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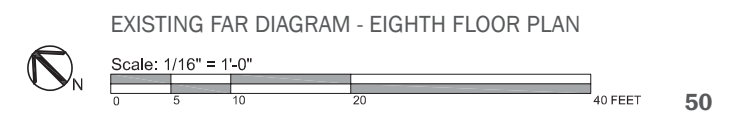


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- GROSS FLOOR AREA : 6,472 SF
- EXCLUDED FROM GROSS FLOOR AREA: MECH. AREA : 33 SF  
\* SEE SEC. 102.9 (b) (4)



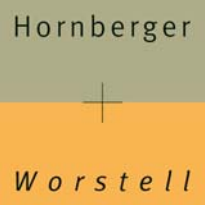
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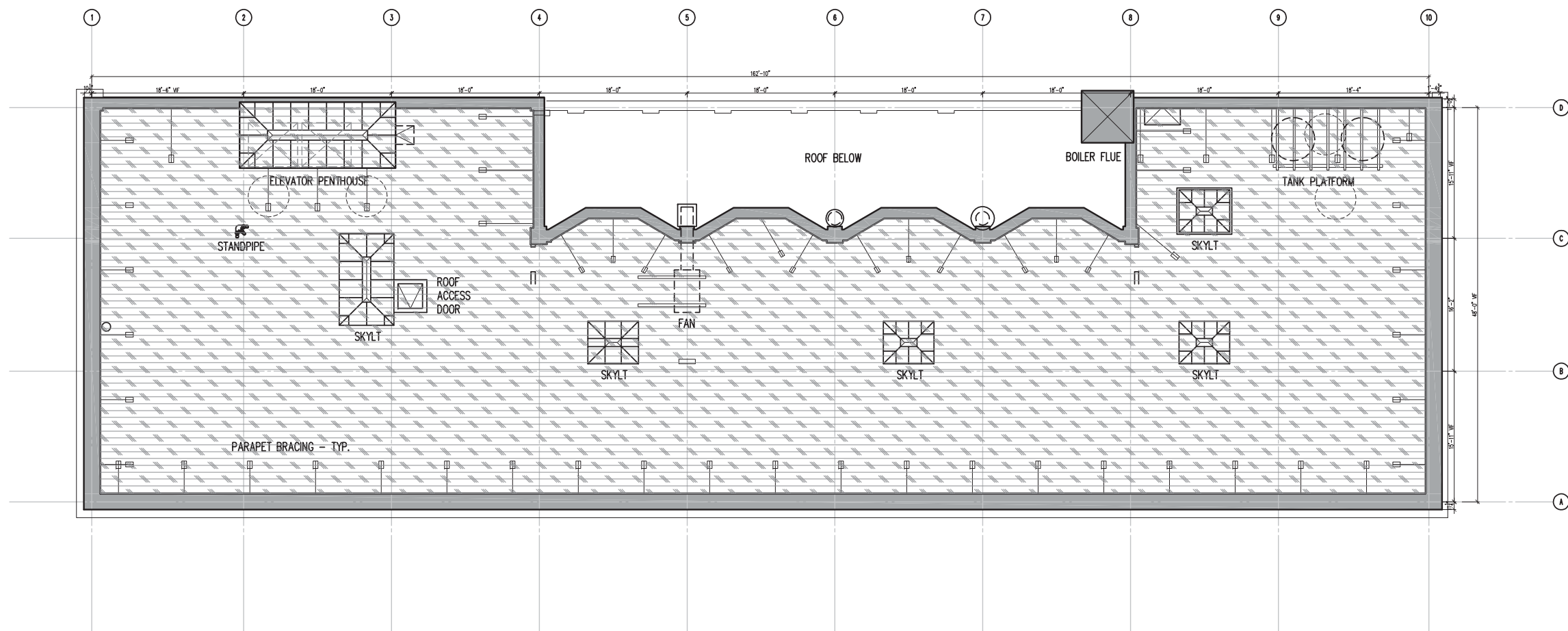
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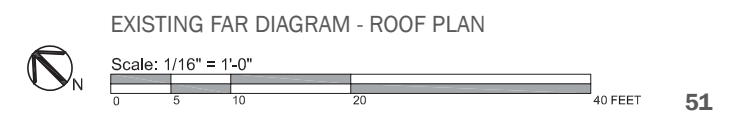
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 EXCLUDED FROM GROSS FLOOR AREA: ROOF DECK : 6,502 SF  
 \* SEE SEC. 102.9 (b) (8)

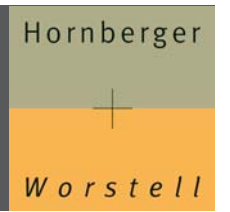


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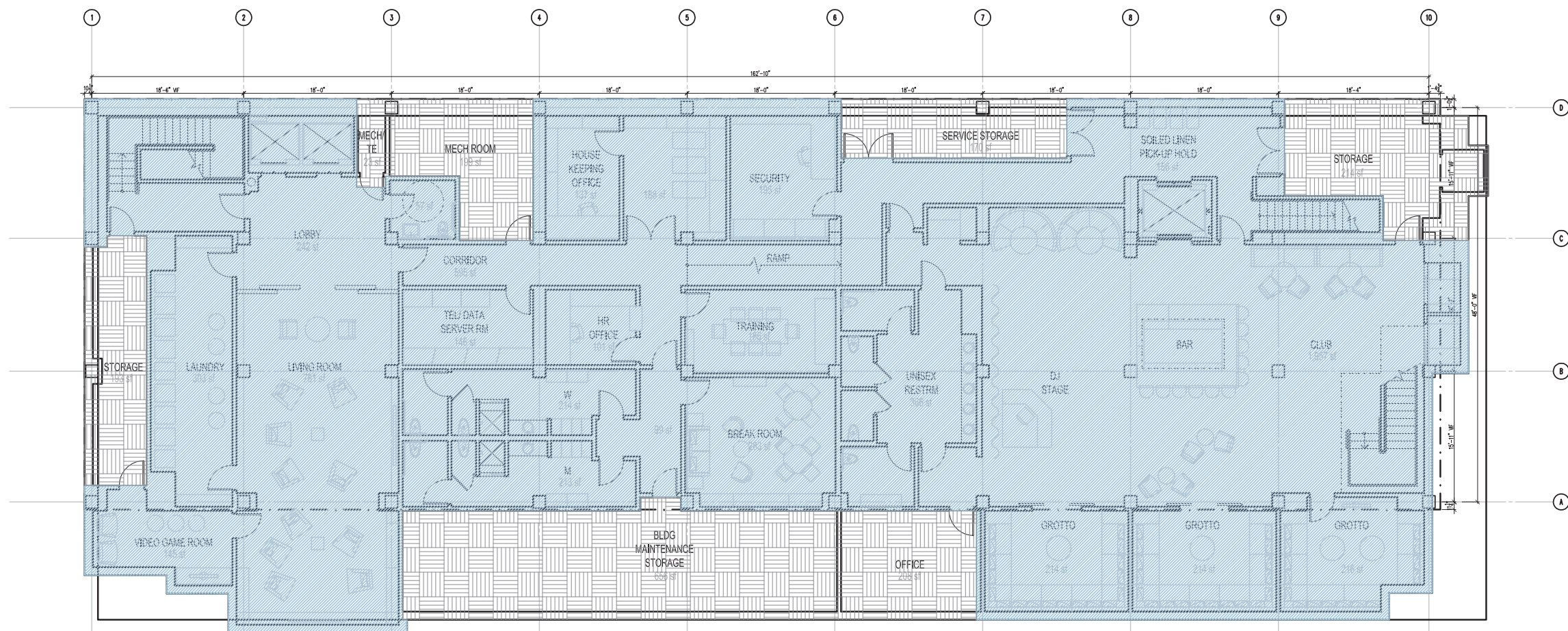
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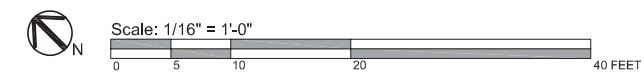
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- GROSS FLOOR AREA : 8,533 SF
- EXCLUDED FROM GROSS FLOOR AREA: BASEMENT USED FOR STORAGE AND SERVICES : 1,964 SF  
\* SEE SEC. 102.9 (b) (1)

PROPOSED FAR DIAGRAM - BASEMENT FLOOR PLAN



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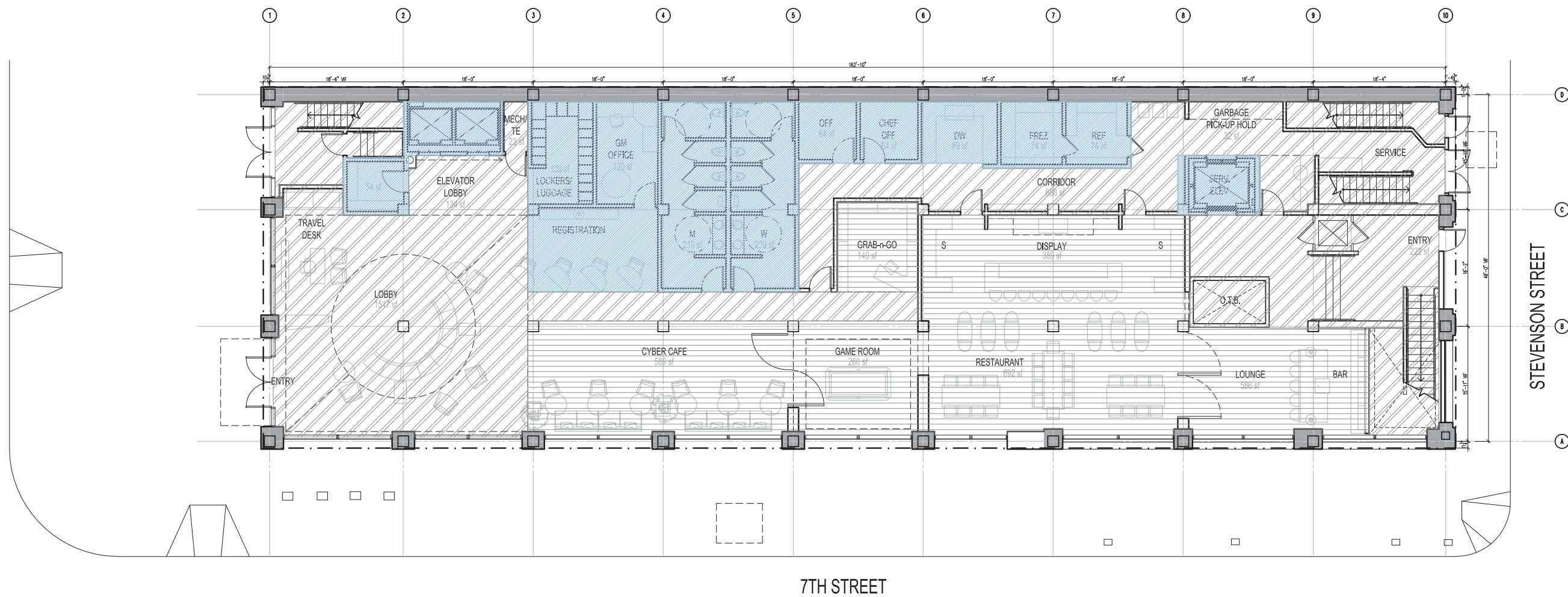
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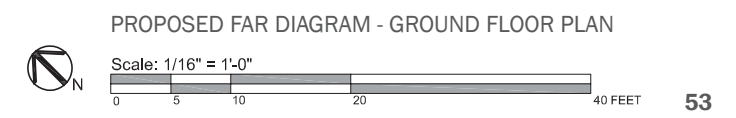
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- GROSS FLOOR AREA : 1,659 SF
- EXCLUDED FROM GROSS FLOOR AREA: BLDG CIRCULATION, BLDG SERVICE AT GROUND FLOOR : 3,281 SF  
\* SEE SEC. 102.9 (b) (11)
- EXCLUDED FROM GROSS FLOOR AREA: PUBLIC AREA : 2,493 SF  
\* SEE SEC. 102.9 (b) (12)



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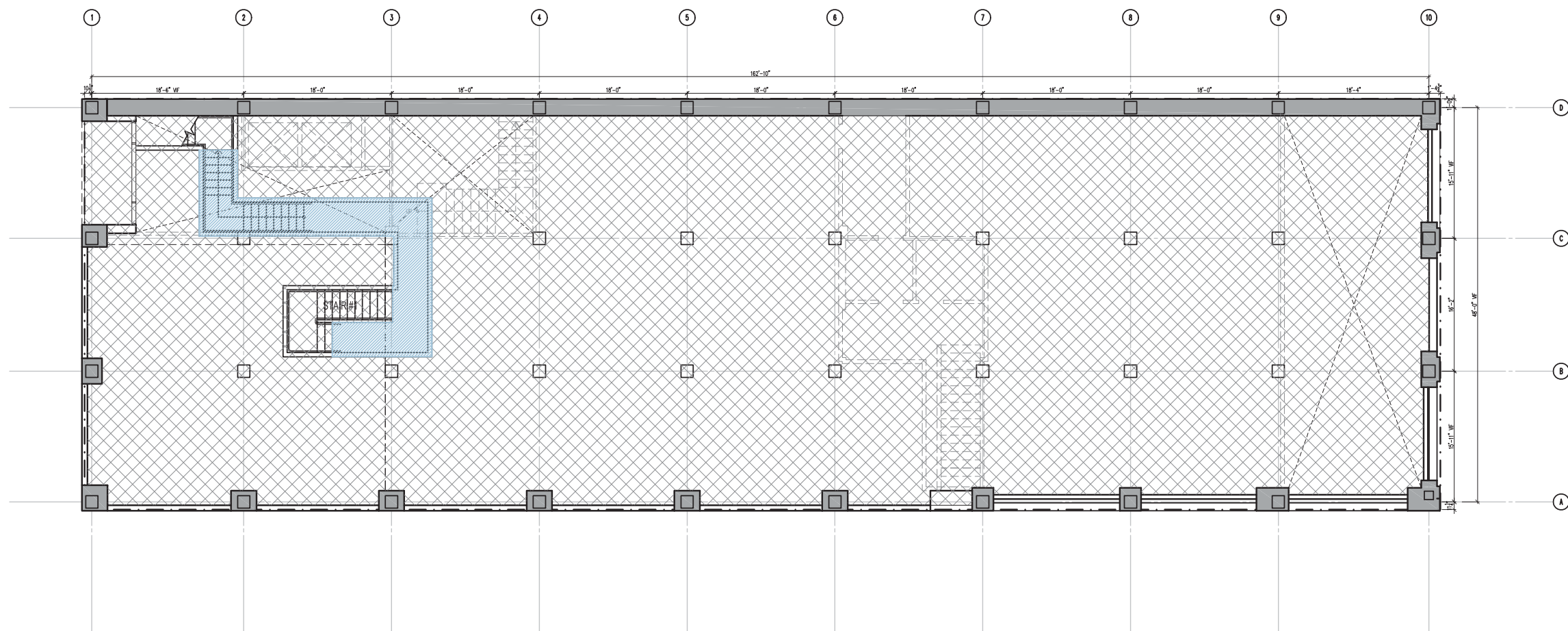
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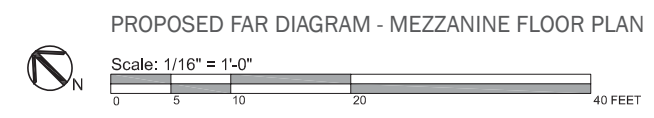


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- GROSS FLOOR AREA : 260 SF
- EXCLUDED FROM GROSS FLOOR AREA: ATTIC SPACE AT MEZZANINE : 7,345 SF  
\* SEE SEC. 102.9 (b) (2)

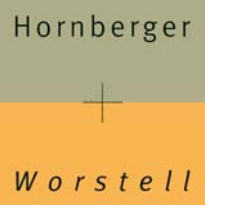


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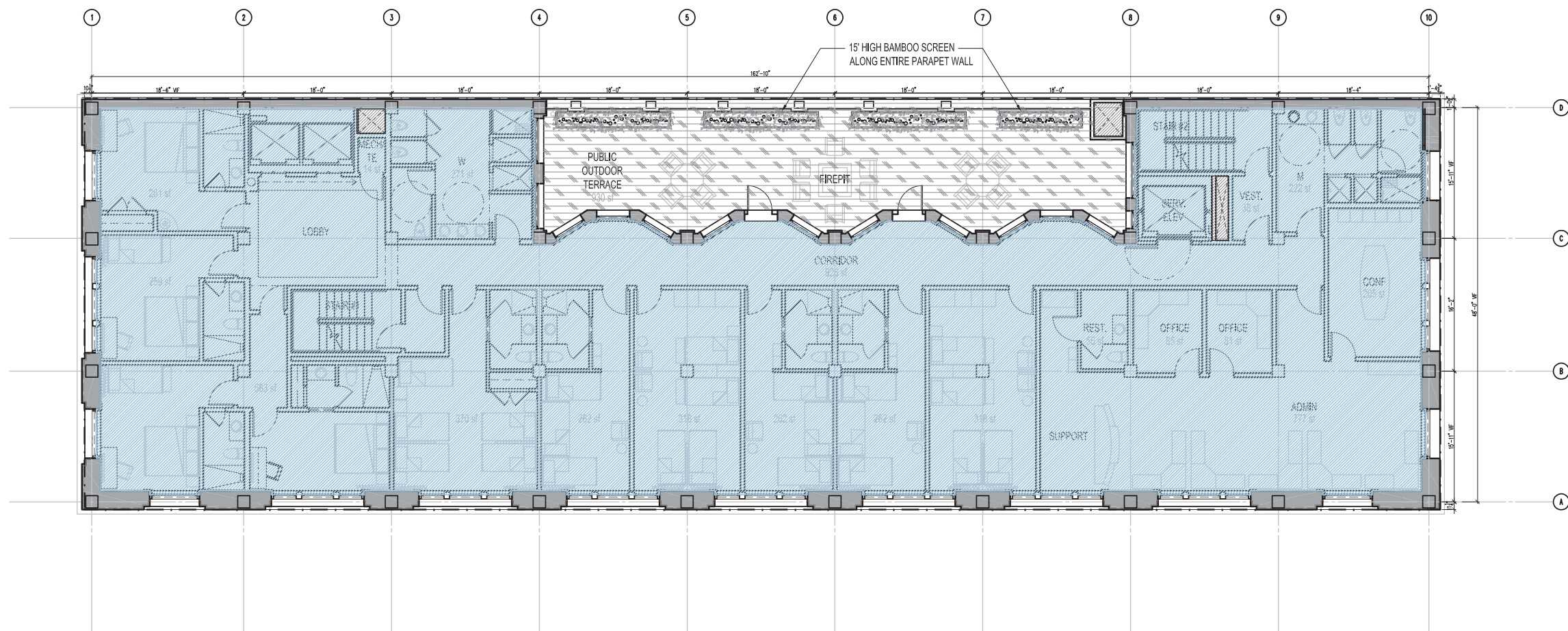
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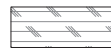
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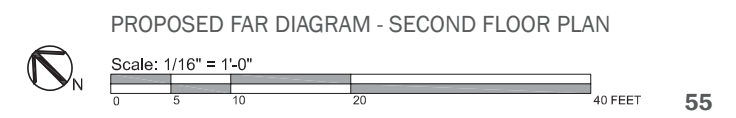


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-  GROSS FLOOR AREA : 6,492 SF
-  EXCLUDED FROM GROSS FLOOR AREA: MECH. AREA : 41 SF  
\* SEE SEC. 102.9 (b) (4)
-  EXCLUDED FROM GROSS FLOOR AREA: ROOF DECK : 1,071 SF  
\* SEE SEC. 102.9 (b) (8)



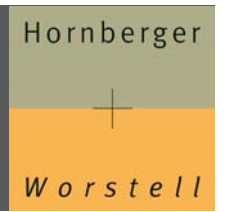
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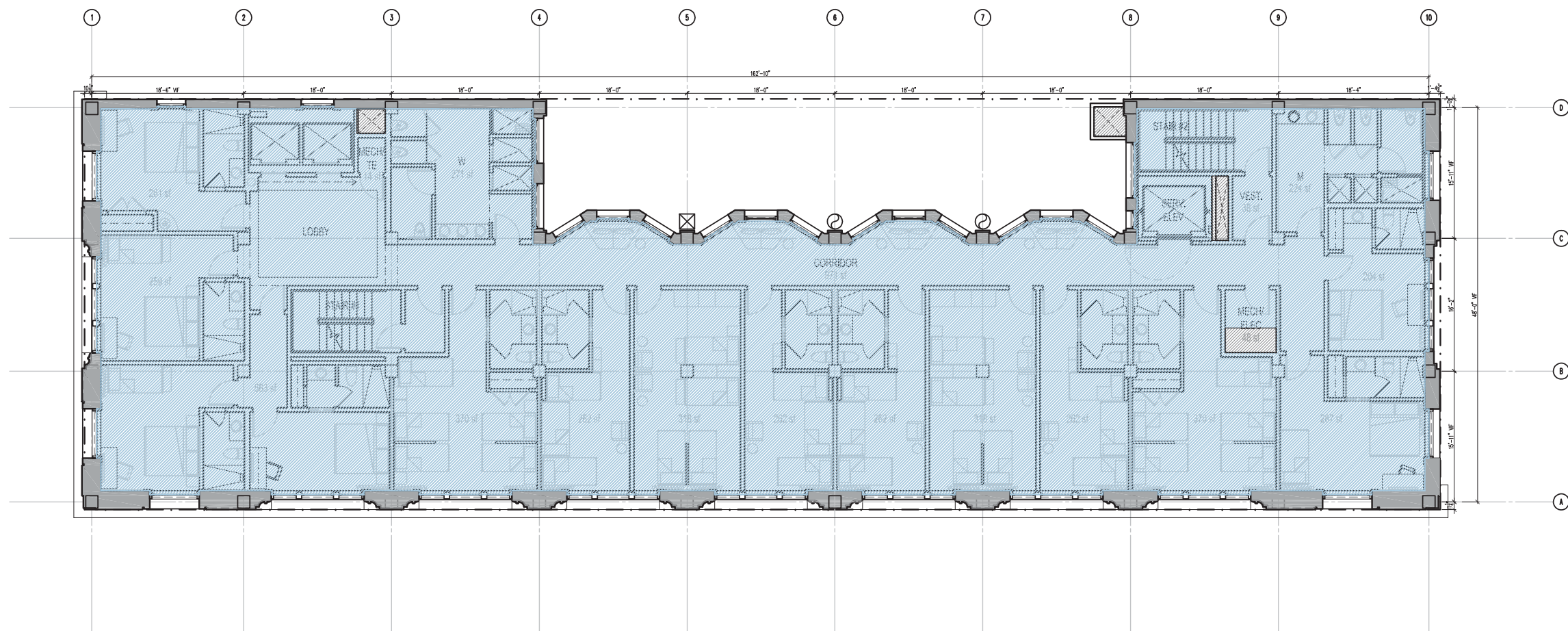
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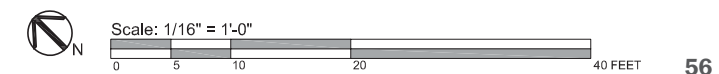


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- GROSS FLOOR AREA : 6,441 SF
- EXCLUDED FROM GROSS FLOOR AREA: MECH. AREA : 59 SF  
\* SEE SEC. 102.9 (b) (4)

PROPOSED FAR DIAGRAM - THIRD TO SEVENTH FLOOR PLAN



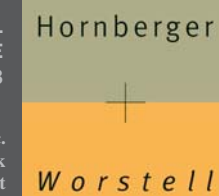
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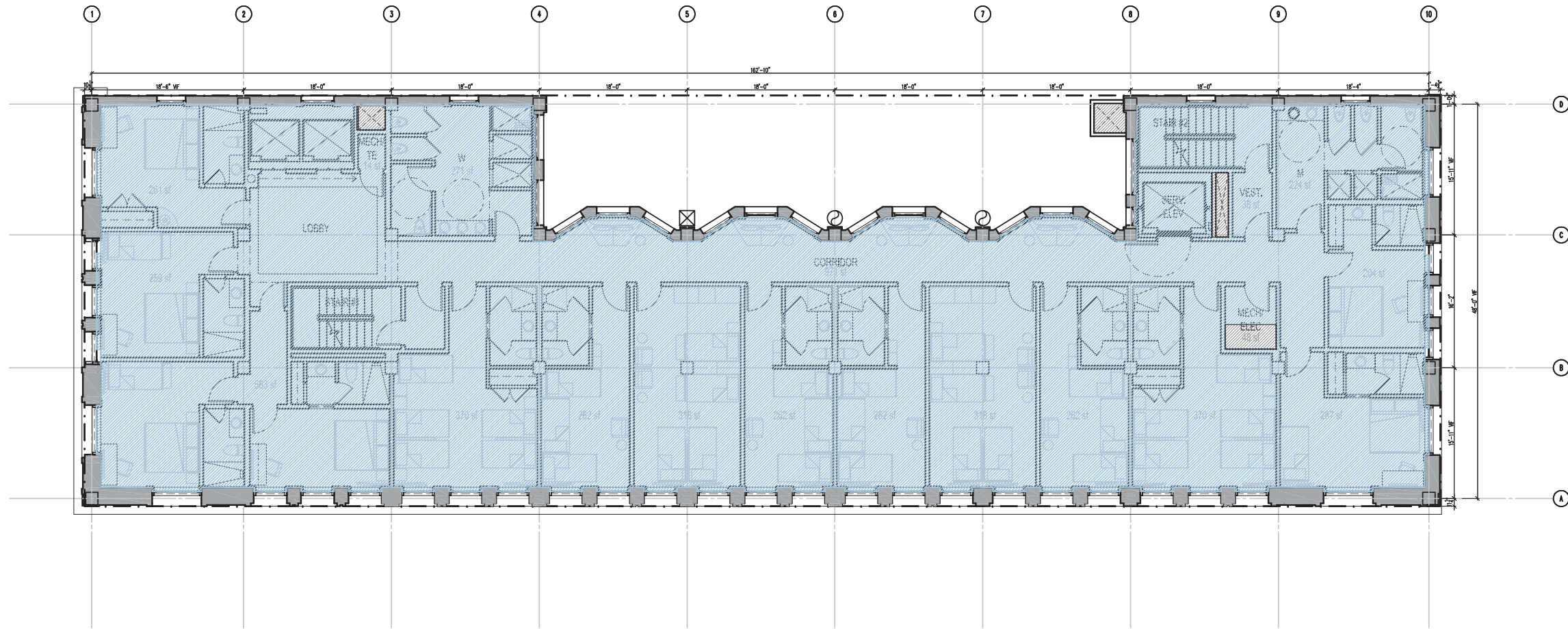
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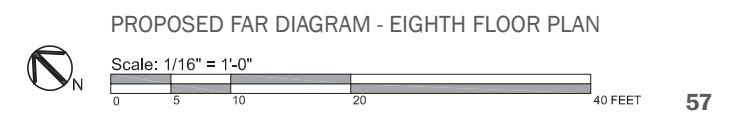
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- GROSS FLOOR AREA : 6,447 SF
- EXCLUDED FROM GROSS FLOOR AREA: MECH. AREA : 59 SF  
\* SEE SEC. 102.9 (b) (4)



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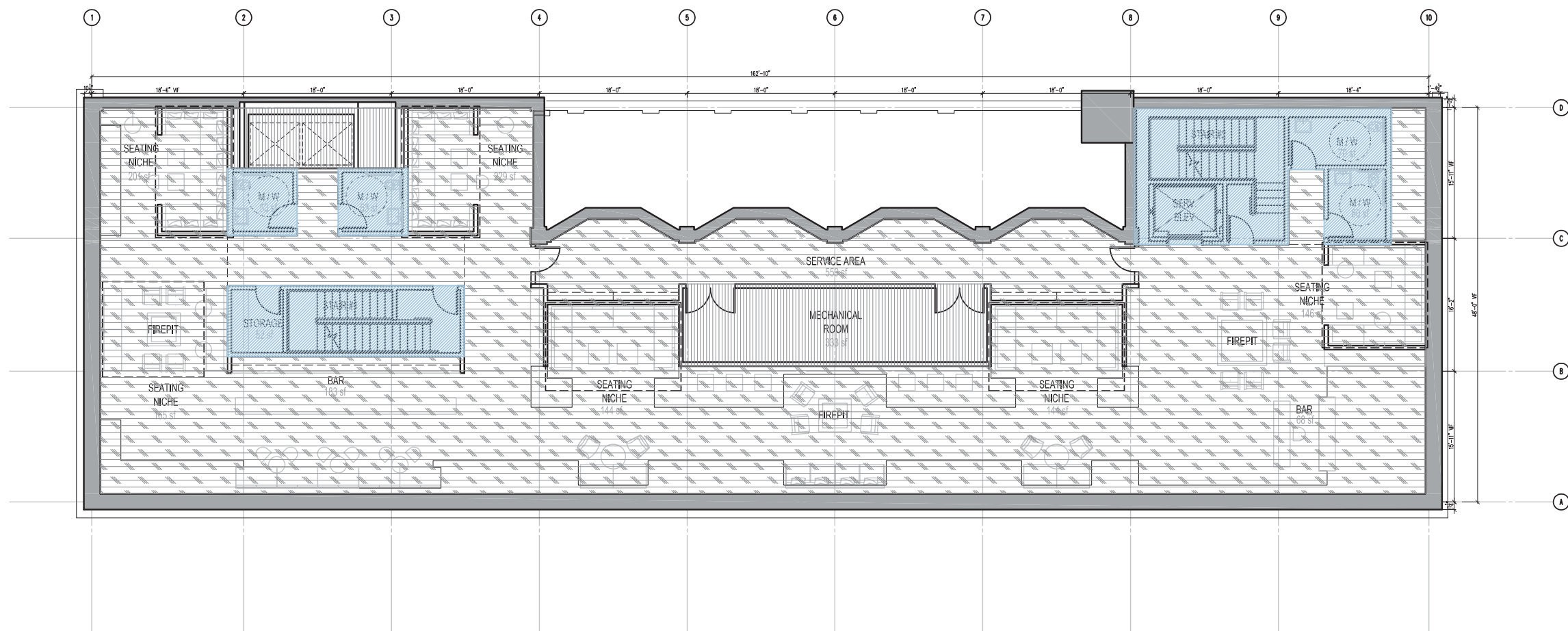
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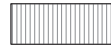
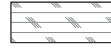


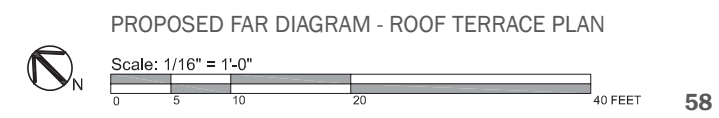
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-  GROSS FLOOR AREA : 871 SF
-  EXCLUDED FROM GROSS FLOOR AREA: ELEVATOR OVERRIDES/ COOLING TOWER: 534 SF  
\* SEE SEC. 102.9 (b) (3)
-  EXCLUDED FROM GROSS FLOOR AREA: ROOF DECK: 5,103 SF  
\* SEE SEC. 102.9 (b) (8)



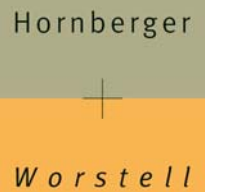
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